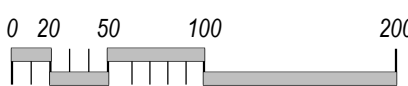


HOLIDAY INN EXPRESS

PHASE II DEVELOPMENT PLANS
LOT 1 INDIAN MEADOWS FILING NO.3



VICINITY MAP
SCALE: 1"=100'-0"



Land Use & Site Development Project Summary Table			
Gross Floor Area	57,949 Sq. Ft.		
Net Floor Area	56,584 Sq. Ft.		
Unit Size	Varies		
Number of Units	87 Guest Rooms		
Zoning (existing and proposed)	CC - Existing/Proposed (Hotel - Conditional Use per Table 300-1)		
Frontage	173.9 Ft.		
Use Breakdown	Description	Square Footage	# of Units
Principal Use	Hotel	59,584	87
Standards	Zone District Requirements	Proposed	Variance? (Y/N)
Lot Area	No Min, No Max	2.007 Acres	N
Lot Coverage	No Max	14,800 Sq. Ft.	N
Floor Area Ratio	No Max	0.17	N
Overall Building Height	63' (Max)	55'-9"	N
Average Plate Height	Ft. (Max)	12'-3"	N
Frontage Area Height	26' (Min)	43'-8"	N
Front Setback	5' (Min), 20' (Max)	80.3'	N (existing easements)
Side Setback	7.5' (Min.)	15'	N
Rear Setback	7.5' (Min)	227.2'	N
Second Story Intensity	75% (Min)	97%	N
Parking	79 (87 less 10% transit credit)	84 (95 summer)	N
Snow Storage	18,340 Sq. Ft.	18,580 Sq. Ft.	N

CS: how many people
proposed to occupy the
staff rooms?

CS: Amend to
Dormitory

CS: see comments site
plan

CS: what is 90 based
on?

DESIGN TEAM:

CIVIL ENGINEER (APPLICANT):
FOUR POINTS SURVEYING AND ENGINEERING
ATTN: JOE WIEDEMEIER, P.E.
PO BOX 775966
STEAMBOAT SPRINGS, CO 80477
970-871-6772
JOEW@FOURPOINTSSE.COM

ARCHITECT:
DESIGN 2 FUNCTION, LLC
ATTN: NICHOLAS PIRKL, AIA
P.O. BOX 93368
ALBUQUERQUE, NM 87199
505-823-6481
NICK@DESIGN2FUNCTIONLLC.COM

LANDSCAPE DESIGNER:
HICKORY FLATS LANDSCAPE DESIGN
ATTN: ANDY BENJAMIN
OAK CREEK, CO 80467
970-846-0117
HICKORYFLATSLDS@GMAIL.COM

OWNER:
GRAY STONE, LLC
ATTN: BOB AMIN
83 E. 120 AVE
THORNTON, CO 80233
303-995-4594
BOBAMIN@LIVE.COM

DRAWING INDEX:

1.

CS

COVER SHEET
2.

C1

CIVIL COVER PAGE & NOTES
3.

C2

EXISTING CONDITIONS PLAN
4.

C3.1

OVERALL SITE PLAN
5.

C3.2

FUTURE CROSS ACCESS TO INGLES LANE
6.

C4.1

GRADING AND DRAINAGE PLAN - PHASE 1
7.

C4.2

GRADING AND DRAINAGE PLAN - PHASE 2
8.

C4.3

STORMWATER PROFILES
9.

C5

UTILITY PLAN
10.

C6

PAVING PLAN
11.

C7

SNOW STORAGE PLAN FOR HOLIDAY INN EXPRESS
12.

L1

LANDSCAPE PLAN
13.

L2

LANDSCAPE AREA DELINEATION PLAN
14.

AS1.1

SITE SHADOW PLAN
15.

AS1.2

SITE LIGHTING PLAN
16.

AS1.3

SITE LIGHTING CUT SHEETS
17.

A1.1

1ST FLOOR PLAN
18.

A1.2

2ND FLOOR PLAN
19.

A1.3

3RD FLOOR PLAN
20.

A1.4

4TH FLOOR PLAN
21.

A1.5

ROOF PLAN
22.

A2.1

SOUTH AND EAST EXTERIOR ELEVATIONS
23.

A2.2

NORTH AND WEST EXTERIOR ELEVATIONS
24.

A2.3

RENDERINGS

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* Due to variation in printing techniques, only printed dimension shall be used. Contractors shall verify all layout, dimensions and other related information prior to bidding or construction.

DRAWING ISSUE DATES:
4/4/22 Site Development Package
6/23/22 Site Development Revisions

DRAWING REVISION DATES:

PROJECT MANAGER:
NICK PIRKL

DRAWN BY:
NAP

SHEET TITLE:
SITE
DEVELOPMENT
COVER SHEET

CS

SHEET: 01 OF

**Holiday Inn Express & Suites
Site Development Package**
Location: 9022700, Inn Code SBSSG
3400 S. LINCOLN AVE
STEAMBOAT SPRINGS, CO 80487

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PROJECT MANAGER:
NICK PIRKL

DRAWN BY:
NAP

SHEET TITLE:
SITE SHADOW PLAN

AS1.1
SHEET: 14 OF



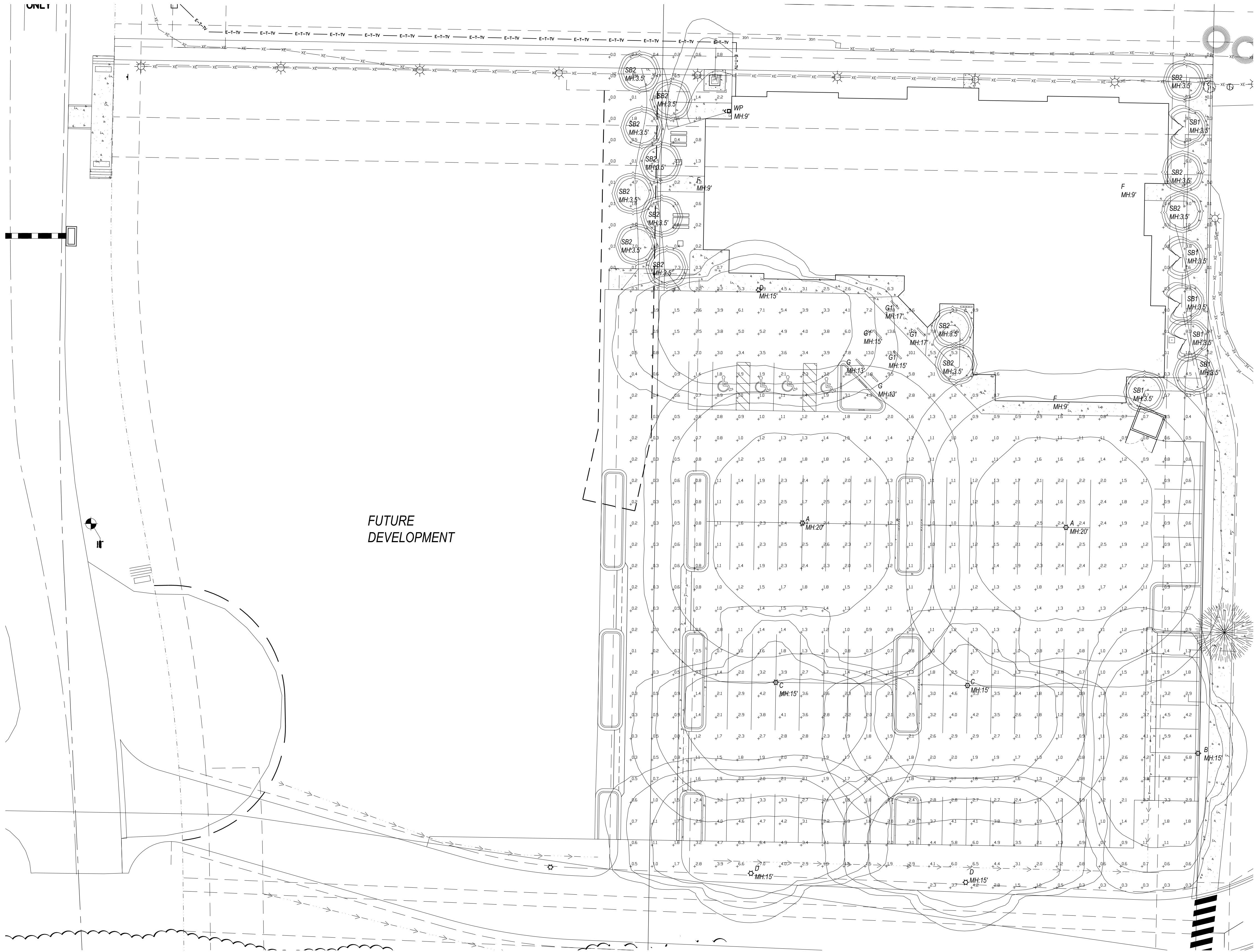
SHADOW PLAN - DECEMBER
SCALE: 1"=40'-0"
MOUNTAIN STANDARD TIMES (9:00, 12:00, 3:00)



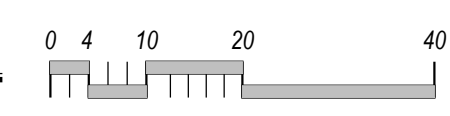
SHADOW PLAN - MARCH
SCALE: 1"=40'-0"
MOUNTAIN DAYLIGHT TIMES (9:00, 12:00, 3:00)

SHADOW LEGEND:

	DIAGONAL HATCH = 9:00 AM BOTH PLANS
	SOLID HATCH = 12:00 PM BOTH PLANS
	HORIZONTAL/VERTICAL HATCH = 3:00 PM BOTH PLANS



SITE LIGHTING PLAN
SCALE: 1"=20'-0"



NOTE:
ALL EXTERIOR LIGHT FIXTURES ARE TO BE INSTALLED IN A DOWN-CAST CONFIGURATION. THIS INCLUDES THE TYPE "G" FIXTURE IN THE PORTE COCHERE AND THE "WP" WALL MOUNTED LIGHT FIXTURES

LUMINAIRE SCHEDULE						
LABEL	QUANTITY	MANUFACTURER	CATALOG #	LUMENS PER LAMP	FIXTURE WATTS	TOTAL WATTS
A	2	Lithonia	DSX1 LED P3 40K T5M MVOLT	13055	102	204
B	1	Lithonia	DSX1 LED P3 40K T4M MVOLT HS (houseside shield)	9552	102	102
C	2	Lithonia	DSX1 LED P2 40K T4M MVOLT	8707	70	140
D	3	Lithonia	DSX1 LED P3 40K T4M MVOLT HS (houseside shield)	9552	102	306
E	0	Lithonia	DSX1 LED P2 40K TFTM MVOLT	8895	70	0
F	3	Lithonia	LDN6 40/10 LO6AR LSS (recessed can)	952	10.44	31.32
G	2	Precision	ML5IP65-D-MO-K40-4'-W-LOH-FXXX-EF-UNIV	1949	22.42	44.84
G1	4	Precision	ML5IP65-D-HO-K40-4'-W-LOH-FXXX-EF-UNIV	3226	40.98	163.92
SB1	4	Lithonia	RADB LED P2 40K ASY DBLXD	559	8	32
SB2	15	Lithonia	RADB LED P2 40K SYM DBLXD	617	8	120
WP	1	Lithonia	WSQ LED P1 SR3 40K MVOLT	2244	19.56	19.56
TOTALS	37					1163.64

Holiday Inn Express & Suites
Site Development Package
Location: 9022700, Inn Code SBSSG
3400 S. LINCOLN AVE
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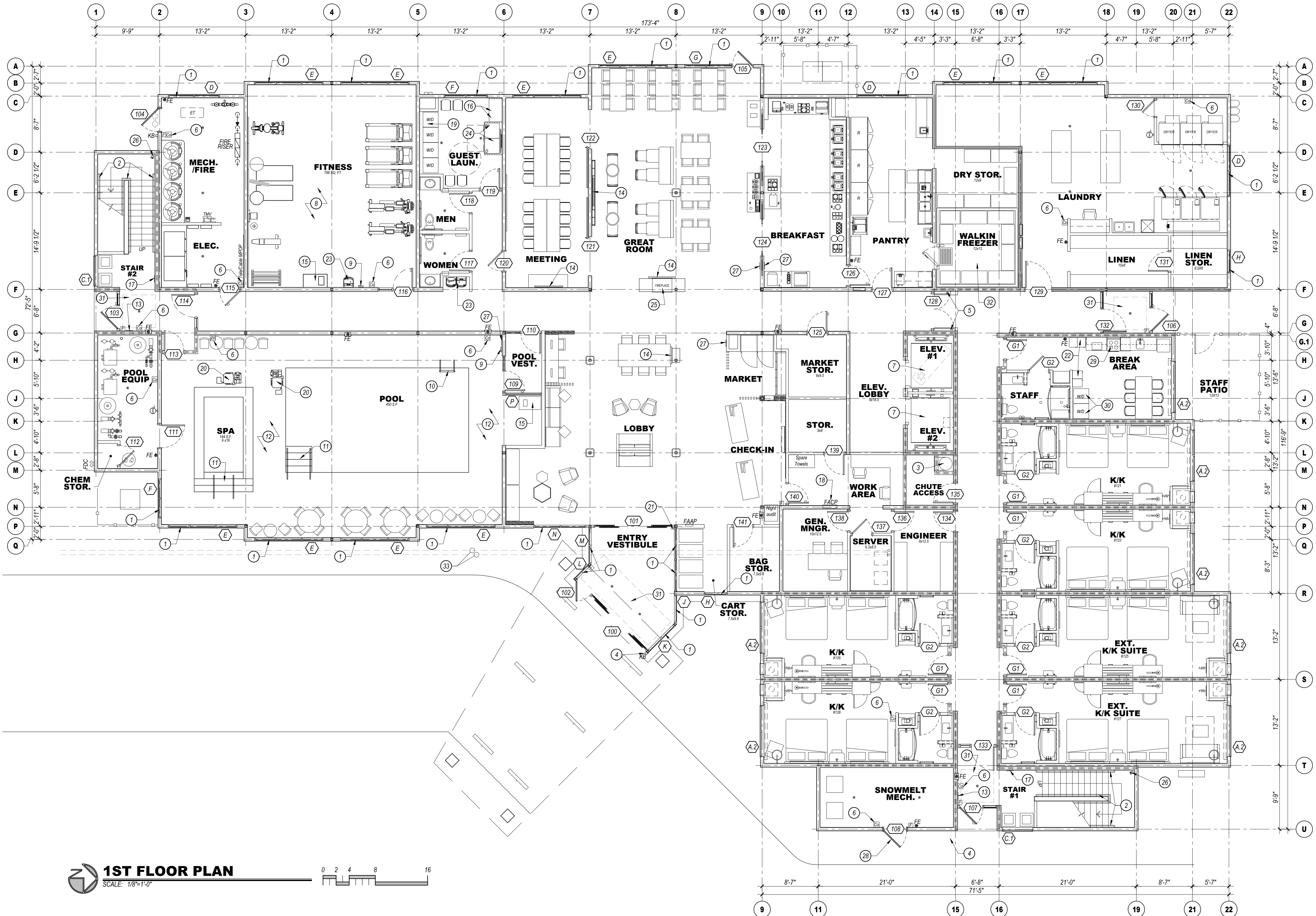
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6/23/22 Site Development Revisions

DRAWING REVISION DATES:

PROJECT MANAGER:
NICK PIRKL

DRAWN BY:
NAP

SHEET TITLE:
SITE LIGHTING PLAN



- FLOOR PLAN KEYED NOTES:**
- KAWNEER VG 451 FRONT PLANE GLAZING SYSTEM, TYPICAL AT ALL EXTERIOR STOREFRONT AND WINDOW LOCATIONS. PROVIDE TEMPERED GLASS AS SHOWN ON ELEVATIONS.
 - 1 1/2" DIAMETER PAINTED STEEL HANDRAIL AND GUARDRAILS.
 - VALIANT 24" DIAMETER FACTORY FABRICATED LINEN CHUTE WITH 90 MINUTE RATED 24"x30" LINEN DISCHARGE DOOR AT GROUND LEVEL AND 90 MINUTE RATED 18"x18" LINEN CHUTE ACCESS DOORS @ 2ND - 4TH FLOORS. DOORS SHALL BE SELF-CLOSING AND SELF-LATCHING. PROVIDE SPRINKLER HEADS IN CHUTE.
 - PROVIDE KNOX BOX AS DIRECTED BY THE FIRE MARSHALL.
 - CORRIDOR FIRE DOORS ON MAGNETIC HOLD-OPEN DEVICES.
 - PROVIDE A CARBON MONOXIDE DETECTOR AT LOCATIONS SHOWN, MINIMUM.
 - ELEVATORS TO HAVE 42" WIDE DOORS AND SHALL BE SCHINDLER MRL TRACTION TYPE WITH 150 FPM RATED SPEED. ELEVATOR #1 SHALL BE 3000 FRONT OPENING SIZED FOR AMBULANCE STRETCHER ACCESS AND IDENTIFIED BY THE INTERNATIONAL SYMBOL FOR EMERGENCY MEDICAL SERVICES "STAR OF LIFE" PER IBC 3002.4. ELEVATOR #2 SHALL BE 3000 FRONT OPENING. VERIFY ALL REQUIREMENTS WITH SUPPLIER PRIOR TO CONSTRUCTION. PROVIDE HANDRAIL ON REAR WALL AT 32" A.F.F. MINIMUM. PROVIDE SIGN "DO NOT USE IN CASE OF FIRE". PROVIDE 2-WAY COMMUNICATION AS PER THE IFC ON 2ND - 4TH FLOORS ADJACENT TO ELEVATOR DOORS. SYSTEM AND LOCATION SHALL BE APPROVED BY THE FIRE AUTHORITY. PROVIDE PICTORIAL SIGN "IN FIRE EMERGENCY, DO NOT USE ELEVATOR, USE EXIT STAIRS" COMPLYING WITH IBC 3002.3. FINAL DESIGN SHALL BE APPROVED BY THE FIRE AUTHORITY.
 - FINAL FITNESS ROOM LAYOUT SHALL COMPLY WITH IFC FITNESS STANDARDS. ALL FINISHES SHALL COMPLY WITH STANDARDS.
 - PROPOSED LOCATION OF WALL MOUNTED HOUSE PHONE MOUNTED @ 48" A.F.F. TYPICAL. PHONE SHALL RING @ FRONT DESK.
 - POOL LADDER AND HANDRAILS.
 - ACCESSIBLE POOL AND/OR SPA STAIRS WITH 1 1/2" DIAMETER S/S HANDRAILS.
 - CLEAR DECK SPACE SLOPE TO TRENCH AND/OR AREA DRAINS 1/4" PER FOOT MAXIMUM, TYPICAL. 5'-0" CLEAR AROUND POOL AND SPA. FINAL DESIGN OF POOL AND DECK MUST MEET ALL STATE AND IFC DESIGN STANDARDS AND REQUIREMENTS.
 - TACTILE EXIT SIGN PER IBC 1011.3 @ EACH STAIRWELL DOOR AND EXIT DOOR.
 - WALL MOUNTED HDTV TELEVISION. CONCEAL ALL POWER/CABLE CONNECTIONS.
 - TOWEL AND HAMPER CABINET LOCATION.
 - FRONT LOADED WASHER AND DRYER, ADA ACCESSIBLE.
 - STAIRWELL SIGN MOUNTED @ 5'-0" A.F.F. AT EACH FLOOR NEXT TO DOOR AS SHOWN. SEE DETAIL (A1) 1 FOR INFORMATION. FINAL DESIGN SHALL BE APPROVED BY THE FIRE MARSHALL.
 - PROPOSED LOCATION OF FIRE ALARM CONTROL PANEL. VERIFY WITH FIRE MARSHALL. SYSTEM SHALL ACTIVATE UPON FIRE SPRINKLER WATER FLOW.
 - STACKABLE WASHER/DRYER UNITS, TYPICAL OF (4).
 - PROVIDE HANDICAP ACCESSIBLE LIFT FOR POOL AND SPA, VERIFY INSTALLATION DETAILS WITH MANUFACTURER.
 - MAIN ENTRY CARD READER LOCATION WITH INTERCOM TO FRONT DESK.
 - EMPLOYEE LOCKERS (10), 25 CUBIC FOOT MINIMUM.
 - WATER COOLER LOCATION.
 - PLASTIC LAMINATE FOLDING COUNTER OVER ADA WASHER DRYERS AND ADJACENT TO EQUIPMENT AS SHOWN. ACCESSIBLE COUNTER SHALL BE 34" A.F.F. MAXIMUM.
 - GAS FIRE PLACE, DIRECT VENT SUPERIOR MODEL HRT33PFF WITH RUSTIC LINER, LCD THERMOSTATIC REMOTE, STANDARD BLOWER.
 - FIRE PROTECTION DRY STANDPIPE LOCATION WITH VALVES AT EACH LANDING, VERIFY WITH FIRE DEPARTMENT.
 - PROVIDE OCCUPANT LOAD SIGNS IN POOL, LOBBY AND BREAKFAST AREA. DESIGN AND LOCATION SHALL BE APPROVED BY THE FIRE MARSHALL.
 - PROVIDE DOOR SIGN (FIRE RISER/MECHANICAL ROOM) ON DOOR. PROVIDE A FIRE FLOW STROBE ABOVE DOOR AS DIRECTED BY THE FIRE MARSHALL.
 - EMPLOYEE KITCHEN AREA WITH 4 BURNER RANGE.
 - EMPLOYEE STACKABLE WASHER/DRYER UNITS.
 - RECESSED WALK-OFF MAT WITH FLOOR DRAIN.
 - WALK-IN FREEZER WITH INSULATED FLOOR AND ENTRY RAMP. REMOTE CONDENSER SHALL BE LOCATED OUTSIDE.
 - (2)-4" CONDUITS TO FUTURE HOTEL NETWORK/SERVER ROOM.

- GENERAL NOTES:**
- FINISHED FLOOR ELEVATION IS INDICATED AS 100'-0" FOR REFERENCE ONLY. SEE CIVIL DRAWINGS FOR ACTUAL ELEVATION OF FINISHED FLOOR.
 - ALL DIMENSIONS ARE TO CENTERLINE OF STUDS AND COLUMNS OR FACE OF FINISHED WALLS U.N.O. (FACE OF SHEATHING AT EXTERIOR FACE OF EXTERIOR WALLS).
 - T.G. INDICATES TEMPERED GLASS LOCATIONS.
 - ALUMINUM WINDOWS TO BE THERMALLY BROKEN INSULATED WINDOWS.
 - PROVIDE FIRE ALARM HORNS AND STROBES IN ALL WHEEL CHAIR & HEARING LOSS ACCESSIBLE ROOMS, INCLUDING TOILET ROOMS.
 - SEE A3.8 SHEETS FOR ENLARGED GUEST ROOM AND COMMON AREA PLANS.
 - SEE A5.8 SHEETS FOR TYPICAL GUEST ROOM INTERIOR ELEVATIONS.
 - SEE APPROVED INTERIOR DESIGN DRAWINGS FOR ALL FINISHES.
 - POOL DRAWING SHALL BE SUBMITTED TO FRANCHISE FOR APPROVAL. POOLS MUST UTILIZE ANTI-VORTEX DRAIN COVERS COMPLIANT WITH ASME A112.19.8-2007. DRAWINGS SHALL INCLUDE ALL DECK AND SUB-SURFACE DRAINAGE DETAILS (2 DRAINS MINIMUM IN POOL AND SPA), SAFETY EQUIPMENT, SIGNAGE, UNDERWATER LIGHTING, DEPTH MARKINGS, "NO DIVING" SYMBOLS, ADA LIFTS, FURNITURE, ETC. A LIQUID POOL COVER, HEATSAVER OR EQUAL, IS REQUIRED.
 - CONTRACTOR IS REQUIRED TO FOLLOW ALL ITEMS NOTED IN THE LATEST BRAND STANDARDS MANUAL, WHETHER NOTED IN THE CONSTRUCTION DRAWINGS OR NOT. THIS INCLUDES ALL TECHNICAL REQUIREMENTS.
 - SEE SHEET A0-6.0 FOR MINIMUM PERFORMANCE SPECIFICATIONS AND REQUIREMENTS.

WALL FIRE RATING LEGEND

— [X] — WALL TYPE, SEE SHEET A0.2

NOTE: PROVIDE WALL MARKING AS PER 9A0.2 ABOVE ACCESSIBLE CEILINGS FOR ALL FIRE PARTITIONS AND FIRE BARRIERS. SEE DESIGN DATA "CHAPTER 1" AND FLOOR PLANS FOR MORE INFORMATION ON WALL TYPES

PROJECT DATA			
Chapter 3 - Use and Occupancy Classification	Type	Sq. Ft.	
	A-2	1,250	Breakfast area, meeting room
	A-3	2,750	Lobby, Market, Elev. Lobby, Pool
	B	7,930	Offices, Laundry, work room, Fitness, Game Room, etc.
	R-1	2,870	Guest Rooms and residential corridors
1st floor total		14,800	
2nd - 4th floors		14,383	Each Floor
Chapter 5 - General Building Heights and Areas	Height	63' max	55'-9" Actual Height
	Stories	4	
	Area	57,949	Total Building Area
Chapter 6 - Types of Construction		V-A	Wood construction
Chapter 9 - Fire Protection Systems		Sec. 903	Building will be fully sprinklered per NFPA 13
	Appendix B105.1(2)		Base fire flow = 4,250 GPM. Reduce to 25% per table B105.2 = 1063 GPM @ 2hr duration required. 1 hydrant required per C102.1.

Information above based on the 2018 International Building Code

ROOM TYPE MATRIX								
FLOOR	KING	KING/ KING	KING/ SUITE	KING/ SUITE	KING ACC. ROLL-IN #214	KING/ KING ADA #225, #325	KING SUITE ADA #303	KING/ KING SUITE ADA #425
1ST		4		2				6
2ND	3	15	4	3	1	1		27
3RD	3	16	3	3		1	1	27
4TH	3	16	4	3				1
TOTAL	9	51	11	11	1	2	1	87

WHEEL CHAIR ACCESSIBLE (MOBILITY FEATURES) 76 TO 100 TOTAL GUEST ROOMS = 5 ROOMS (4 TRANSFER TUBS + 1 ROLL-IN SHOWER REQUIRED).

HEARING LOSS ACCESSIBLE (COMMUNICATION FEATURES) 76 TO 100 TOTAL GUEST ROOMS = 9 ROOMS REQUIRED (ONLY 1 ROOM THAT IS ALSO A WHEEL CHAIR ACCESSIBLE ROOM MAY COUNT TOWARDS THE TOTAL REQUIRED NUMBER PER 2010 ADAAG SECTION 224.5. 1 KING ROOM (#224), 5 KING/KING ROOMS (#200, 209, 300, 309, 400), 1 KING SUITE (#320) AND 1 KING/KING SUITE (#412) ALONG WITH ALL OF THE MOBILITY ROOMS ARE PROVIDED WITH COMMUNICATION FEATURES.

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DRAWING ISSUE DATES:

4/4/22 Site Development Package

6/23/22 Site Development Revisions

DRAWING REVISION DATES:

PROJECT MANAGER:

NICK PIRKL

DRAWN BY:

NAP

SHEET TITLE:

1ST FLOOR PLAN

1 STAIRWELL SIGN

SCALE: 1 1/2" = 1'-0"

LOCATED INSIDE STAIRWELL

SEE FLOOR PLANS TO CONFIRM ROOF ACCESS AVAILABILITY.

BRAILLE FLOOR LEVEL INDICATION MUST BE BETWEEN 48" AND 60".

SEE FLOOR PLANS FOR TOTAL NUMBER OF FLOORS AND EXIT DISCHARGE LEVEL.

NOTE: ALL CHARACTERS TO BE TACTILE (RAISED)

2 ADA TOILET SIGN

SCALE: 1 1/2" = 1'-0"

BRAILLE

TACTILE CHARACTERS

3 ADA EXIT SIGN

SCALE: 1 1/2" = 1'-0"

BRAILLE

TACTILE CHARACTERS



HEARING LOSS ACCESSIBLE (COMMUNICATION FEATURES) 76 TO 100 TOTAL GUEST ROOMS = 9 ROOMS REQUIRED (ONLY 1 ROOM THAT IS ALSO A WHEEL CHAIR ACCESSIBLE ROOM MAY COUNT TOWARDS THE TOTAL REQUIRED NUMBER PER 2010 ADAAG SECTION 224.5. 1 KING ROOM (#224), 5 KING/KING ROOMS (#200, 209, 300, 309, 400), 1 KING SUITE (#320) AND 1 KING/KING SUITE (#412) ALONG WITH ALL OF THE MOBILITY ROOMS ARE PROVIDED WITH COMMUNICATION FEATURES.

PROJECT DATA			
Chapter 3 - Use and Occupancy Classification	Type	Sq. Ft.	
	A-2	1,250	Breakfast area, meeting room
	A-3	2,750	Lobby/Market, Elev Lobby, Pool
	B	7,930	Offices, Laundry, work room, Fitness, Game Room, etc.
	R-1	2,870	Guest Rooms and residential corridors
1st floor total		14,800	
2nd - 4th floors	R-1	14,383	Each Floor
Chapter 5 - General Building Heights and Areas	Height	63' max	55'-9" Actual Height
	Stories	4	
	Area	57,949	Total Building Area
Chapter 6 - Types of Construction		V-A	Wood construction
Chapter 9 - Fire Protection Systems		Sec. 903	Building will be fully sprinklered per NFPA 13
		Appendix B105.1(2)	Base fire flow = 4,250 GPM. Reduce to 25% per table B105.2 = 1063 GPM @ 2hr duration required. 1 hydrant required per C102.1.
Information above based on the 2018 International Building Code			



PROJECT DATA			
Chapter 3 - Use and Occupancy Classification	Type	Sq. Ft.	
	A-2	1,250	Breakfast area, meeting room
	A-3	2,750	Lobby/Market, Elev Lobby, Pool
	B	7,930	Offices, Laundry, work room, Fitness, Game Room, etc.
	R-1	2,870	Guest Rooms and residential corridors
1st floor total		14,800	
2nd - 4th floors	R-1	14,383	Each Floor
Chapter 5 - General Building Heights and Areas	Height	63' max	55'-9" Actual Height
	Stories	4	
	Area	57,949	Total Building Area
Chapter 6 - Types of Construction		V-A	Wood construction
Chapter 9 - Fire Protection Systems		Sec. 903	Building will be fully sprinklered per NFPA 13
		Appendix B105.1(2)	Base fire flow = 4,250 GPM. Reduce to 25% per table B105.2 = 1063 GPM @ 2hr duration required. 1 hydrant required per C102.1.
Information above based on the 2018 International Building Code			

○ FLOOR PLAN KEYED NOTES:

1. KAWNEER WG 451 FRONT PLANE GLAZING SYSTEM, TYPICAL AT ALL EXTERIOR STOREFRONT AND WINDOW LOCATIONS. PROVIDE TEMPERED GLASS AS SHOWN ON ELEVATIONS.
2. 1 1/2" DIAMETER PAINTED STEEL HANDRAIL AND GUARDRAILS.
3. VALUANT 24" DIAMETER FACTORY FABRICATED LINEN CHUTE WITH 90 MINUTE RATED 24"x30" LINEN DISCHARGE DOOR AT GROUND LEVEL AND 90 MINUTE RATED 18"x18" LINEN CHUTE ACCESS DOORS @ 2ND - 4TH FLOORS. DOORS SHALL BE SELF CLOSING AND SELF LATCHING. PROVIDE SPRINKLER HEADS IN CHUTE.
4. PROVIDE KNOX BOX AS DIRECTED BY THE FIRE MARSHALL.
5. CORRIDOR FIRE DOORS ON MAIN FLOOR TO HOLD OPEN DEVICES.
6. PROVIDE A CARBON MONOXIDE DETECTOR AT LOCATIONS SHOWN, MINIMUM.
7. ELEVATORS TO HAVE 42" WIDE DOORS AND SHALL BE SCHINDLER MR. TRACTION TYPE WITH 150 FPM RATED SPEED. ELEVATOR #1 SHALL BE 3500FPM FRONT OPENING SIZE FOR AMBULANCE STRETCHER ACCESS AND IDENTIFIED BY THE INTERNATIONAL SYMBOL FOR EMERGENCY.
8. PROVIDE PICTORIAL SIGN "FIRE ESCAPE ROUTE" FOR ELEVATOR #2. SHALL BE 3000FPM FRONT OPENING. VERIFY ALL REQUIREMENTS WITH SUPPLIER PRIOR TO CONSTRUCTION. PROVIDE HANDRAIL ON REAR WALL AT 32" A.F.F. MINIMUM. PROVIDE SIGN "DO NOT USE IN CASE OF FIRE". PROVIDE 2-WAY COMMUNICATION AS PER THE IFC ON 2ND - 4TH FLOORS ADJACENT TO ELEVATOR DOORS. SYSTEM AND LOCATION SHALL BE APPROVED BY THE FIRE AUTHORITY.
9. PROVIDE PICTORIAL SIGN "IN FIRE EMERGENCY, DO NOT USE ELEVATOR. USE EXIT STAIRS" COMPLIANT WITH IBC 1002.3. FIRE ESCAPE ROUTE SHALL BE APPROVED BY THE FIRE AUTHORITY.
10. FINAL FITNESS ROOM LAYOUT SHALL COMPLY WITH IHG FITNESS STANDARDS. ALL FINISHES SHALL COMPLY WITH STANDARDS.
11. PROPOSED LOCATION OF WALL MOUNTED HOUSE PHONE MOUNTED @ 48" A.F.F. TYPICAL. PHONE SHALL RING @ FRONT DESK.
12. POOL LADDER AND HANDRAILS.
13. ACCESSIBLE POOL ANDRAGE SPA STAIRS WITH 1 1/2" DIAMETER S/S HANDRAILS.
14. CLEAR DECK SPACE SLOPE TO TRENCH ANDRAGE AND DRAINS 1/4" PER FOOT MAXIMUM. TYPICAL. 5/8" CLEAR AROUND POOL AND SPA. FINAL DESIGN OF POOL AND DECK MUST MEET ALL STATE AND IHG DESIGN STANDARDS AND REQUIREMENTS.
15. TACTILE PICTORIAL SIGN PER IBC 101.6 @ 6" FROM STAIRWELL DOOR AND EXIT DOOR.
16. WALL MOUNTED HD-TV TELEVISION. CONCEAL ALL POWER/CABLE CONNECTIONS.
17. TOWEL AND HAMPER CABINET LOCATION.
18. FRONT LOADED WASHER AND DRYER. ACCESSIBLE.
19. STAIRWELL SIGN MOUNTED @ 5'-0" A.F.F. AT EACH FLOOR NEXT TO DOOR AS SHOWN. SEE DETAIL 14.1 FOR INFORMATION. THE DESIGN SHALL BE APPROVED BY THE FIRE MARSHALL.
20. PROPOSED LOCATION OF FIRE ALARM CONTROL PANEL. VERIFY WITH FIRE MARSHALL. SYSTEM SHALL ACTIVATE UPON FIRE SMOKE/SPRINKLER WATER SIGNAL.
21. STACKABLE WASH/DRYER UNITS. TYPICAL OF (4).
22. PROVIDE HANDICAP ACCESSIBLE LIFT FOR POOL AND SPA. VERIFY INSTALLATION DETAILS WITH MANUFACTURER.
23. MAIN ENTRY CARD READER LOCATION WITH INTERCOM TO FRONT DESK.
24. EMPLOYEE LOCKERS (10), 2.5 CUBIC FOOT MINIMUM.
25. WATER COOLER LOCATION.
26. PLASTIC LAMINATE FOLDING COUNTER OVER ADA WASHER DRYERS AND ADJACENT TO EQUIPMENT AS SHOWN. ACCESSIBLE COUNTER SHALL BE 34" A.F.F. MAXIMUM.
27. REFRIG. FREEZE PLACE. DIRECT VENT. REFRIG. EQUIPMENT MUST BE WITH RUSTIC LINER, LCD THERMOSTATIC REMOTE. STANDARD BLOWER.
28. FIRE PROTECTION DRY STANDPIPE LOCATION WITH VALVES AT EACH LANDING. VERIFY WITH FIRE DEPARTMENT.
29. PROVIDE OCCUPANT LOAD RISERS IN POOL, LOBBY AND BREAKFAST AREA. DESIGN AND LOCATION SHALL BE APPROVED BY THE FIRE MARSHALL.
30. PROVIDE DOOR SIGN (FIRE SMOKE/ALARM CONTROL ROOM) ON DOOR. PROVIDE A FIRE FLOW STOP ABOVE DOOR AS DIRECTED BY THE FIRE MARSHALL.
31. EMPLOYEE KITCHEN AREA WITH 4 BURNER RANGE.
32. EMPLOYEE STACKABLE WASH/DRYER UNITS.
33. RECESSED WALK-OFF MAT WITH FLOOR DRAIN.
34. WALK-IN FREEZER WITH INSULATED FLOOR AND ENTRY RAMP. REMOTE CONDENSER SHALL BE LOCATED OUTSIDE.
35. (2)-4" CONDUITS TO FUTURE HOTEL NETWORK/SERVER ROOM.

GENERAL NOTES:

- A. FINISHED FLOOR ELEVATION IS INDICATED AS 100'-0" FOR REFERENCE ONLY. SEE CIVIL DRAWINGS FOR ACTUAL ELEVATION OF FINISHED FLOOR.
- B. ALL DIMENSIONS ARE TO CENTERLINE OF STUDS AND COLUMNS OR FACE OF FINISHED WALLS U.N.O. (FACE OF SHEATHING AT EXTERIOR FACE OF EXTERIOR WALLS).
- C. T.G. INDICATES TEMPERED GLASS LOCATIONS.
- D. ALUMINUM WINDOWS TO BE THEMATICALLY BROKEN INSULATED WINDOWS.
- E. FIRE RATED FIRE ALARM HORNS AND STROBES IN ALL WHEEL CHAIR & HEARING LOSS ACCESSIBLE ROOMS, INCLUDING TOILET ROOMS.
- F. SEE A3# SHEETS FOR ENLARGED GUEST ROOM AND COMMON AREA PLANS.
- G. SEE A5# SHEETS FOR TYPICAL GUEST ROOM INTERIOR ELEVATIONS.
- H. SEE APPROVED INTERIOR DESIGN DRAWINGS FOR ALL FINISHES.
- I. POOL DRAWING SHALL BE SUBMITTED TO FRANCHISE FOR APPROVAL. POOLS MUST UTILIZE ANTI-VORTIC DRAIN COVERS COMPLIANT WITH ASME A112.19.8-2007. DRAWINGS SHALL INCLUDE ALL DECK AND SUB-SURFACE DRAINAGE DETAILS (2 DRAINS MINIMUM IN POOL AND SPAs), SAFETY EQUIPMENT, SIGNAGE, UNDERWATER LIGHTING, DEPTH MARKINGS, NO DIVING SYMBOLS, ADEQUATE FENCE, ETC. LIQUID LOCK COVER, HEAT-SHIELD IS REQUIRED.
- J. CONTRACTOR IS REQUIRED TO FOLLOW ALL ITEMS NOTED IN THE LATEST BRAND STANDARDS MANUAL WHETHER NOTED IN THE CONSTRUCTION DRAWINGS OR NOT. THIS INCLUDES ALL TECHNICAL REQUIREMENTS.
- K. SEE SHEET A6-0 FOR MINIMUM PERFORMANCE SPECIFICATIONS AND REQUIREMENTS.

WALL FIRE RATING LEGEND

- [X] WALL TYPE, SEE SHEET A0.2

NOTE: PROVIDE WALL MARKING AS PER 9/A0.2 ABOVE ACCESSIBLE CEILINGS FOR ALL FIRE PARTITIONS AND FIRE BARRIERS. SEE DESIGN DATA "CHAPTER 7" AND FLOOR PLANS FOR MORE INFORMATION ON WALL TYPES

=====	INCIDENTAL USE SEPARATION WALL "SMOKE RESISTANT" PER IBC 509.4.2. (COMMERCIAL LAUNDRY)
-----	1 HOUR RATED FIRE PARTITION "RESIDENTIAL CORRIDORS, ELEVATOR LOBBY, GUEST ROOM SEPARATION WALLS".
=====	1 HOUR FIRE BARRIER (LINEN CHUTE ACCESS ROOMS, 3-STORY MECHANICAL SHAFTS).
-----	2 HOUR FIRE BARRIER (STAIRWELLS, ELEVATOR SHAFT, 4-STORY MECHANICAL SHAFTS, LINEN CHUTE, LINEN CHUTE DISCHARGE ROOM).



WHEEL CHAIR ACCESSIBLE (MOBILITY FEATURES) 76 TO 100 TOTAL GUEST ROOMS
= 5 ROOMS (4 TRANSFER TUBS + 1 ROLL-IN SHOWER REQUIRED).



HEARING LOSS ACCESSIBLE (COMMUNICATION FEATURES) 76 TO 100 TOTAL GUEST ROOMS = 9 ROOMS REQUIRED (ONLY 1 ROOM THAT IS ALSO A WHEEL CHAIR ACCESSIBLE ROOM MAY COUNT TOWARDS THE TOTAL REQUIRED NUMBER PER 2010 ADAAG SECTION 224.5. 1 KING ROOM (#224), 5 KING/KING ROOMS (#200, 209, 300, 309, 400), 1 KING SUITE (#320) AND 1 KING/KING SUITE (#412) ALONG WITH ALL OF THE MOBILITY ROOMS ARE PROVIDED WITH COMMUNICATION FEATURES.



DESIGN 2> FUNCTION, LLC
P.O. BOX 93368
ALBUQUERQUE
NEW MEXICO 87199-3368
info@design2functionllc.com
505-823-6481
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**Holiday Inn Express & Suites
Site Development Package**
Location: 9022700, Inn Code SBSSG
3400 S. LINCOLN AVE
STEAMBOAT SPRINGS, CO 80487

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DRAWING ISSUE DATES:
4/4/22 Site Development Package
6/23/22 Site Development Revisions

DRAWING REVISION DATES

PROJECT MANAGER.
NICK PIRKL

DRAWN BY:
NAP

SHEET TITLE:
**3RD FLOOR
PLAN**

A1.3

SHEET: 19 OF



4TH FLOOR PLAN
SCALE: 1/8"=1'-0"

PROJECT DATA			
Chapter 3 - Use and Occupancy Classification	Type	Sq. Ft.	
	A-2	1,250	Breakfast area, meeting room
	A-3	2,750	Lobby, Market, Elev. Lobby, Pool
	B	7,930	Offices, Laundry, work room, Fitness, Game Room, etc.
	R-1	2,870	Guest Rooms and residential corridors
1st floor total		14,800	
2nd - 4th floors	R-1	14,383	Each Floor
Chapter 5 - General Building Heights and Areas	Height	63' max	55'-9" Actual Height
	Stories	4	
	Area	57,949	Total Building Area
Chapter 6 - Types of Construction		V-A	Wood construction
Chapter 9 - Fire Protection Systems		Sec. 903	Building will be fully sprinklered per NFPA 13
	Appendix B105.1(2)		Base fire flow = 4,250 GPM. Reduce to 25% per table B105.2 = 1063 GPM @ 2hr duration required. 1 hydrant required per C102.1.
Information above based on the 2018 International Building Code			

- FLOOR PLAN KEYED NOTES:**
- KAWNEER VG 451 FRONT PLANE GLAZING SYSTEM, TYPICAL AT ALL EXTERIOR STOREFRONT AND WINDOW LOCATIONS. PROVIDE TEMPERED GLASS AS SHOWN ON ELEVATIONS.
 - 1 1/2" DIAMETER PAINTED STEEL HANDRAIL AND GUARDRAILS.
 - VALIANT 24" DIAMETER FACTORY FABRICATED LINEN CHUTE WITH 90 MINUTE RATED 24"x30" LINEN DISCHARGE DOOR AT GROUND LEVEL AND 90 MINUTE RATED 18"x18" LINEN CHUTE ACCESS DOORS @ 2ND - 4TH FLOORS. DOORS SHALL BE SELF-CLOSING AND SELF-LATCHING. PROVIDE SPRINKLER HEADS IN CHUTE.
 - PROVIDE KNOX BOX AS DIRECTED BY THE FIRE MARSHALL.
 - CORRIDOR FIRE DOORS ON MAGNETIC HOLD-OPEN DEVICES.
 - PROVIDE A CARBON MONOXIDE DETECTOR AT LOCATIONS SHOWN, MINIMUM.
 - ELEVATORS TO HAVE 42" WIDE DOORS AND SHALL BE SCHINDLER MRL TRACTION TYPE WITH 150 FPM RATED SPEED. ELEVATOR #1 SHALL BE 3000 FRONT OPENING SIZED FOR AMBULANCE STRETCHER ACCESS AND IDENTIFIED BY THE INTERNATIONAL SYMBOL FOR EMERGENCY MEDICAL SERVICES "STAR OF LIFE" PER IBC 3002.4. ELEVATOR #2 SHALL BE 3000 FRONT OPENING. VERIFY ALL REQUIREMENTS WITH SUPPLIER PRIOR TO CONSTRUCTION. PROVIDE HANDRAIL ON REAR WALL AT 32" A.F.F. MINIMUM. PROVIDE SIGN "DO NOT USE IN CASE OF FIRE". PROVIDE 2-WAY COR COMMUNICATION AS PER THE IFC ON 2ND - 4TH FLOORS ADJACENT TO ELEVATOR DOORS. SYSTEM AND LOCATION SHALL BE APPROVED BY THE FIRE AUTHORITY. PROVIDE PICTORIAL SIGN "IN FIRE EMERGENCY, DO NOT USE ELEVATOR, USE EXIT STAIRS" COMPLYING WITH IBC 3002.3. FINAL DESIGN SHALL BE APPROVED BY THE FIRE AUTHORITY.
 - FINAL FITNESS ROOM LAYOUT SHALL COMPLY WITH IHG FITNESS STANDARDS. ALL FINISHES SHALL COMPLY WITH STANDARDS.
 - PROPOSED LOCATION OF WALL MOUNTED HOUSE PHONE MOUNTED @ 48" A.F.F. TYPICAL. PHONE SHALL RING @ FRONT DESK.
 - POOL LADDER AND HANDRAILS.
 - ACCESSIBLE POOL AND/OR SPA STAIRS WITH 1 1/2" DIAMETER S/S HANDRAILS.
 - CLEAR DECK SPACE SLOPE TO TRENCH AND/OR AREA DRAINS 1/4" PER FOOT MAXIMUM, TYPICAL. 5'-0" CLEAR AROUND POOL AND SPA. FINAL DESIGN OF POOL AND DECK MUST MEET ALL STATE AND IHG DESIGN STANDARDS AND REQUIREMENTS.
 - TACTILE EXIT SIGN PER IBC 1011.3 @ EACH STAIRWELL DOOR AND EXIT DOOR.
 - WALL MOUNTED HDTV TELEVISION. CONCEAL ALL POWER/CABLE CONNECTIONS.
 - TOWEL AND HAMPER CABINET LOCATION.
 - FRONT LOADED WASHER AND DRYER, ADA ACCESSIBLE.
 - STAIRWELL SIGN MOUNTED @ 5'-0" A.F.F. AT EACH FLOOR NEXT TO DOOR AS SHOWN. SEE DETAIL (A) 1 FOR INFORMATION. FINAL DESIGN SHALL BE APPROVED BY THE FIRE MARSHALL.
 - PROPOSED LOCATION OF FIRE ALARM CONTROL PANEL. VERIFY WITH FIRE MARSHALL. SYSTEM SHALL ACTIVATE UPON FIRE SPRINKLER WATER FLOW.
 - STACKABLE WASHER/DRYER UNITS, TYPICAL OF (4).
 - PROVIDE HANDICAP ACCESSIBLE LIFT FOR POOL AND SPA, VERIFY INSTALLATION DETAILS WITH MANUFACTURER.
 - MAIN ENTRY CARD READER LOCATION WITH INTERCOM TO FRONT DESK.
 - EMPLOYEE LOCKERS (10), 2.5 CUBIC FOOT MINIMUM.
 - WATER COOLER LOCATION.
 - PLASTIC LAMINATE FOLDING COUNTER OVER ADA WASHER DRYERS AND ADJACENT TO EQUIPMENT AS SHOWN. ACCESSIBLE COUNTER SHALL BE 34" A.F.F. MAXIMUM.
 - GAS FIRE PLACE, DIRECT VENT SUPERIOR MODEL HRT35PF WITH RUSTIC LINER, LCD THERMOSTATIC REMOTE, STANDARD BLOWER.
 - FIRE PROTECTION DRY STANDPIPE LOCATION WITH VALVES AT EACH LANDING, VERIFY WITH FIRE DEPARTMENT.
 - PROVIDE OCCUPANT LOAD SIGNS IN POOL, LOBBY AND BREAKFAST AREA. DESIGN AND LOCATION SHALL BE APPROVED BY THE FIRE MARSHALL.
 - PROVIDE DOOR SIGN (FIRE RISER/MECHANICAL ROOM) ON DOOR. PROVIDE A FIRE FLOW STROBE ABOVE DOOR AS DIRECTED BY THE FIRE MARSHALL.
 - EMPLOYEE KITCHEN AREA WITH 4 BURNER RANGE.
 - EMPLOYEE STACKABLE WASHER/DRYER UNITS.
 - RECESSED WALK-OFF MAT WITH FLOOR DRAIN.
 - WALK-IN FREEZER WITH INSULATED FLOOR AND ENTRY RAMP. REMOTE CONDENSER SHALL BE LOCATED OUTSIDE.
 - (2)-4" CONDUITS TO FUTURE HOTEL NETWORK/SERVER ROOM.

- GENERAL NOTES:**
- FINISHED FLOOR ELEVATION IS INDICATED AS 100'-0" FOR REFERENCE ONLY. SEE CIVIL DRAWINGS FOR ACTUAL ELEVATION OF FINISHED FLOOR.
 - ALL DIMENSIONS ARE TO CENTERLINE OF STUDS AND COLUMNS OR FACE OF FINISHED WALLS U.N.O. (FACE OF SHEATHING AT EXTERIOR FACE OF EXTERIOR WALLS).
 - T.G. INDICATES TEMPERED GLASS LOCATIONS.
 - ALUMINUM WINDOWS TO BE THERMALLY BROKEN INSULATED WINDOWS.
 - PROVIDE FIRE ALARM HORNS AND STROBES IN ALL WHEEL CHAIR & HEARING LOSS ACCESSIBLE ROOMS, INCLUDING TOILET ROOMS.
 - SEE A3.8 SHEETS FOR ENLARGED GUEST ROOM AND COMMON AREA PLANS.
 - SEE A5.8 SHEETS FOR TYPICAL GUEST ROOM INTERIOR ELEVATIONS.
 - SEE APPROVED INTERIOR DESIGN DRAWINGS FOR ALL FINISHES.
 - POOL DRAWING SHALL BE SUBMITTED TO FRANCHISE FOR APPROVAL. POOLS MUST UTILIZE ANTI-VORTEX DRAIN COVERS COMPLIANT WITH ASME A112.19.8-2007. DRAWINGS SHALL INCLUDE ALL DECK AND SUB-SURFACE DRAINAGE DETAILS (2 DRAINS MINIMUM IN POOL AND SPA), SAFETY EQUIPMENT, SIGNAGE, UNDERWATER LIGHTING, DEPTH MARKINGS, "NO DIVING" SYMBOLS, ADA LIFTS, FURNITURE, ETC. A LIQUID POOL COVER, HEATSAVR OR EQUAL, IS REQUIRED.
 - CONTRACTOR IS REQUIRED TO FOLLOW ALL ITEMS NOTED IN THE LATEST BRAND STANDARDS MANUAL WHETHER NOTED IN THE CONSTRUCTION DRAWINGS OR NOT. THIS INCLUDES ALL TECHNICAL REQUIREMENTS.
 - SEE SHEET A0-6.0 FOR MINIMUM PERFORMANCE SPECIFICATIONS AND REQUIREMENTS.

- WALL FIRE RATING LEGEND**
- [X] — WALL TYPE, SEE SHEET A0.2
- NOTE: PROVIDE WALL MARKING AS PER 9A0.2 ABOVE ACCESSIBLE CEILINGS FOR ALL FIRE PARTITIONS AND FIRE BARRIERS. SEE DESIGN DATA "CHAPTER 1" AND FLOOR PLANS FOR MORE INFORMATION ON WALL TYPES
- — INCIDENTAL USE SEPARATION WALL "SMOKE RESISTANT" PER IBC 509.4.2. (COMMERCIAL LAUNDRY) SEPARATION WALLS
- — 1 HOUR RATED FIRE PARTITION (RESIDENTIAL CORRIDORS, ELEVATOR LOBBY, GUEST ROOM)
- — 1 HOUR FIRE BARRIER (LINEN CHUTE ACCESS ROOMS, 3-STORY MECHANICAL SHAFTS).
- — 2 HOUR FIRE BARRIER (STAIRWELLS, ELEVATOR SHAFT, 4-STORY MECHANICAL SHAFTS, LINEN CHUTE, LINEN CHUTE DISCHARGE ROOM).

ROOM TYPE MATRIX									
FLOOR	KING	KING/ KING	KING/ SUITE	KING/ SUITE	KING ACC. ROLL-IN #214	KING/ KING ADA #225, #325	KING SUITE ADA #303	KING/ KING SUITE ADA #425	FLOOR TOTAL
1ST		4		2					6
2ND	3	15	4	3	1	1			27
3RD	3	16	3	3		1	1		27
4TH	3	16	4	3				1	27
TOTAL	9	51	11	11	1	2	1	1	87

- WHEEL CHAIR ACCESSIBLE (MOBILITY FEATURES) 76 TO 100 TOTAL GUEST ROOMS = 5 ROOMS (4 TRANSFER TUBS + 1 ROLL-IN SHOWER REQUIRED).
- HEARING LOSS ACCESSIBLE (COMMUNICATION FEATURES) 76 TO 100 TOTAL GUEST ROOMS = 9 ROOMS REQUIRED (ONLY 1 ROOM THAT IS ALSO A WHEEL CHAIR ACCESSIBLE ROOM MAY COUNT TOWARDS THE TOTAL REQUIRED NUMBER PER 2010 ADAAG SECTION 224.5. 1 KING ROOM (#224), 5 KING-KING ROOMS (#200, 209, 300, 309, 400), 1 KING SUITE (#320) AND 1 KING-KING SUITE (#412) ALONG WITH ALL OF THE MOBILITY ROOMS ARE PROVIDED WITH COMMUNICATION FEATURES.

D2F
DESIGN 2 FUNCTION, LLC
P.O. BOX 93369
ALBUQUERQUE
NEW MEXICO 87199-3368
info@design2functionllc.com
505-823-6481
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Holiday Inn Express & Suites
Site Development Package
Location: 9022700, Inn Code SBSSG
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4/4/22 Site Development Package
6/23/22 Site Development Revisions

DRAWING REVISION DATES:

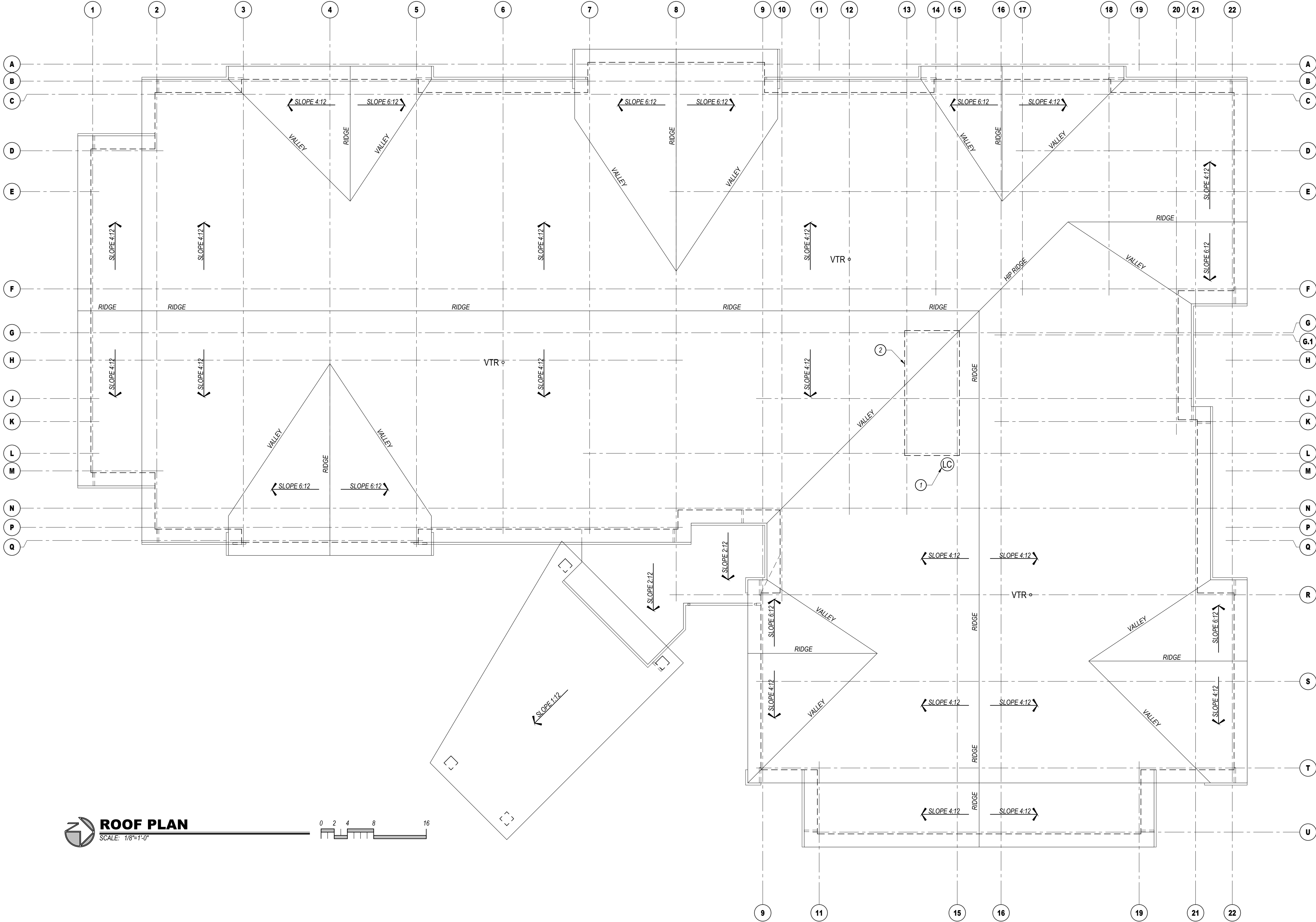
PROJECT MANAGER:
NICK PIRKL

DRAWN BY:
NAP

SHEET TITLE:
4TH FLOOR
PLAN

A1.4

SHEET: 20 OF



ROOF PLAN KEYED NOTES:

1. LINEN CHUTE VENT LOCATION, PROVIDE WITH FACTORY RAIN CAP. CHUTE MUST EXTEND 36" MINIMUM ABOVE ROOF SURFACE.
2. ROOF TRUSSES OVER ELEVATOR SHAFTS SHALL BE DESIGNED TO ACCOMMODATE THE HEIGHT OF THE SHAFT.

GENERAL NOTES:

- A. PITCHED ROOFING SHALL BE GAF TIMBERLINE HDZ ARCHITECTURAL ASPHALT SHINGLE AND SHALL INCLUDE STARTER STRIP SHINGLES AND RIDGE CAP SHINGLES. SEE ELEVATIONS FOR COLOR.
- B. PROVIDE ICE PROTECTION, GAF STORMGUARD OR EQUAL, ACROSS ENTIRE ROOF SURFACE INCLUDING ALL VALLEYS, RIDGES, HIPS, ETC.
- C. PROVIDE GAF COBRA SNOWCOUNTRY RIDGE ATTIC VENTING (240 L.F. MINIMUM), EQUALLY DISPERSE VENTS BETWEEN EAVE VENTS (30 S.F. NET FREE AREA REQUIRED) AND RIDGE VENTS (30 S.F. NET FREE AREA REQUIRED) AND AROUND THE PERIMETER OF ROOF AREA. MAINTAIN 2" MINIMUM SPACE BETWEEN UNDERSIDE OF ROOF SHEATHING AND INSULATION.
- D. PORTE COCHERE ROOFING SHALL BE METAL STANDING SEAM RATED FOR 1:12 SLOPE.
- E. INSTALLATION OF ALL ROOFING MATERIALS AND COMPONENTS SHALL BE AS PER EACH INDIVIDUAL MANUFACTURER'S RECOMMENDATIONS.
- F. PROVIDE PERIMETER SNOW MELT SYSTEM ALL ALL ROOF EAVES AND ALONG ENTIRE PORTE COCHERE AND ENTRY ROOFS AT 2:12 SLOPE OR LESS. SNOW MELT SHALL EXTEND INTO GUTTERS AND DOWNSPOUTS AS PER MANUFACTURER'S RECOMMENDATIONS.
- G. COORDINATE SIZE AND LOCATION AND INSTALLATION REQUIREMENT OF SATELLITE DISH PROVIDED BY AV CONTRACTOR.
- H. ATTIC INSULATION SHALL BE INSTALLED SO AS NOT TO INTERRUPT AIR FLOW THROUGH ROOF ASSEMBLY.
- I. PROVIDE PRE-FINISHED GUTTERS AND DOWNSPOUTS AROUND THE ENTIRE ROOF PERIMETER, INCLUDING PORTE COCHERE AND ENTRANCE CANOPIES. DOWNSPOUTS SHALL DRAIN AWAY FROM FOUNDATION.
- J. PAINT ALL ROOF PENETRATING ITEMS TO MATCH ROOF COLOR (PLUMBING VENTS, LINEN CHUTE VENT, ETC).

D2F

DESIGN 2 FUNCTION, LLC
P.O. BOX 37356
ALBUQUERQUE
NEW MEXICO 87199-3368
info@design2functionllc.com
505-823-6481
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Holiday Inn Express & Suites

Site Development Package

Location: 9022700, Inn Code SBSSG

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6/23/22 Site Development Revisions

DRAWING REVISION DATES:

PROJECT MANAGER:
NICK PIRKL

DRAWN BY:
NAP

SHEET TITLE:
ROOF
PLAN

A1.5

SHEET: 21 OF

COLOR LEGEND

	EIFS: Medium sand texture. Color match to Sherwin Williams: SW 7547 Sandbar
	STONE VENEER: Coronado Stone "Sierra Ledge - Cathedral Grey". Install over continuous insulation as per NCMA ASTM C1780 installation guide, figure 4b or equal.
	METAL PANEL PROFILE #1: Centria CS-260, Vertical Orientation, Color match to Sherwin Williams: SW 6636 Gingerly
	METAL PANEL PROFILE #2: Centria CS-620, Horizontal Orientation, Color match to Sherwin Williams: SW 6636 Gingerly
	WINDOW TRIM: Color match to Sherwin Williams: SW 7591 Red Barn
	ACCENT: Fascia, Soffits, gutters and downspouts. Color match to Sherwin Williams: SW 2808 Rockwood Dark Brown
	ROOFING: Asphalt Shingle, GAF Timberline HDZ, Color "Mission Brown"

GENERAL NOTES:

- See door and window schedules for door and window types. Doors, windows and louvers to be prefinished. All windows to be bronze aluminum with thermally broken frames.
- Provide blocking and power for all exterior signage. All signage shall be as per hotel standards (size, color, etc.). Signage shall be aluminum channels, internally lit (L.E.D.), with colored acrylic faces. Final sign package shall be submitted under separate sign permit for approval. Coordinate installation of exterior signage prior to closing up the walls.
- Stucco system to be EIFS typical. Provide "V" joints as shown. Install as per manufacturers' requirements and details. Colors shall match paint colors noted.
- Moisture resistant barrier (MRB) shall be liquid applied, typical throughout. Install as per manufacturers' requirements based on the finishes to be used. Utilize sheathing tape, flashing membrane, drain edge tape, and other accessories as necessary for a complete single source system.
- Install stone as per manufacturers' recommendations. Provide a 30# felt slip barrier between stone base coat and MRB if required by MRB manufacturer.
- Metal gutters and downspouts shall be pre-finished and shall match fascia color, typical. Pitch outlets away from building foundation.
- Building lighting is primarily via wall mounted surface L.E.D. lights.

TRANSPARENCY CALCULATIONS

NOTE: STORY HEIGHT MEASUREMENTS TAKEN FROM FINISH FLOOR TO BOTTOM OF FLOOR/CEILING OR ROOF CEILING ASSEMBLY ABOVE.

GROUND FLOOR FRONT FACADE (US 40) = 40% REQUIRED
TOTAL SURFACE AREA = 173.9' X 12.17' (STORY HEIGHT) = 2,116 SQ. FT.
TOTAL TRANSPARENT AREA PROVIDED = 847 SQ. FT. (40.0 %)

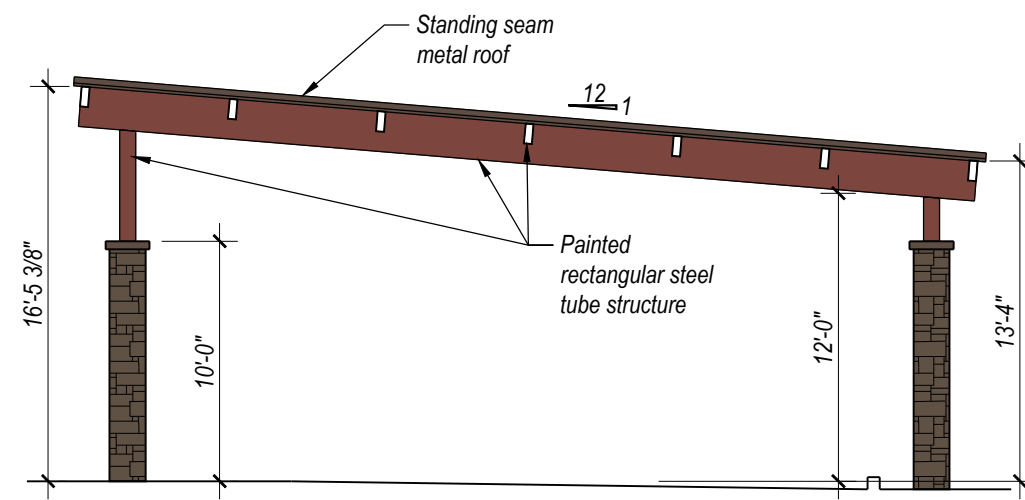
GROUND FLOOR OTHER FACADES = 30% REQUIRED
TOTAL SURFACE AREA = 408.5' X 12.17' (STORY HEIGHT) = 4,971 SQ. FT.
TOTAL TRANSPARENT AREA PROVIDED = 1,555 SQ. FT. (31.5 %)

UPPER FLOOR FACADES (ALL SIDES, 2ND STORY CALCULATIONS) = 25% REQUIRED
TOTAL SURFACE AREA = 582.4' X 9' (STORY HEIGHT) = 5,242 SQ. FT.
TOTAL TRANSPARENT AREA PROVIDED = 1,446 SQ. FT. (27.6 %)



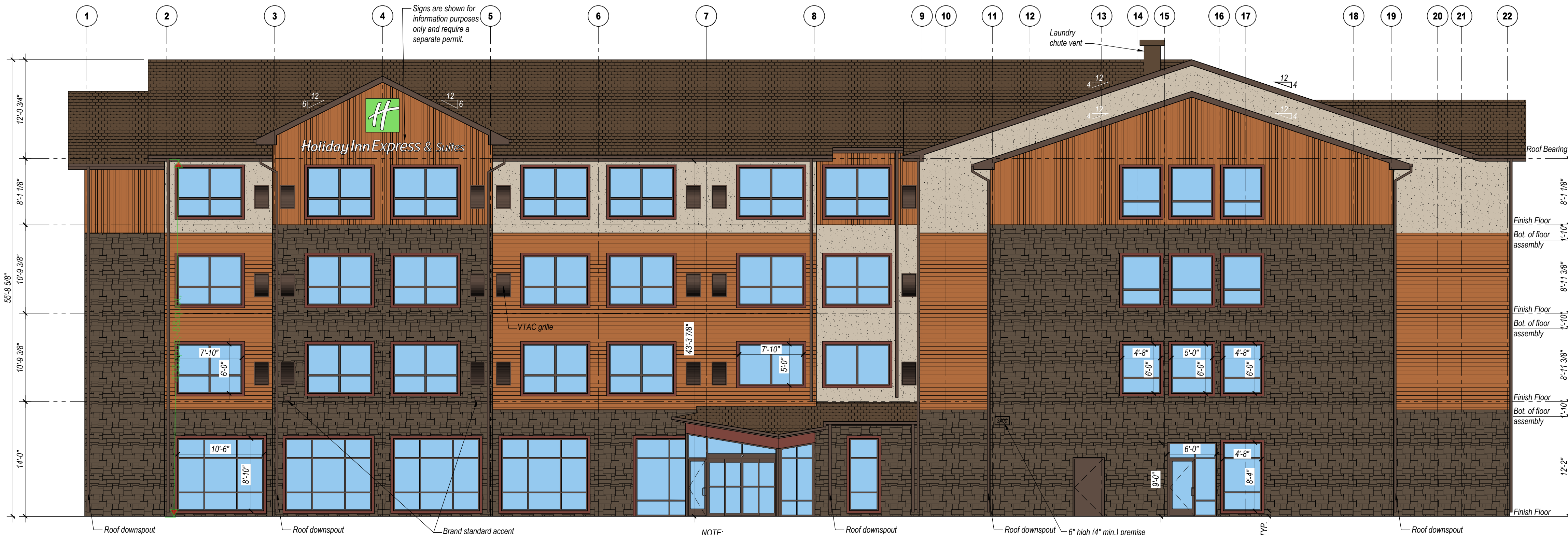
SOUTH ELEVATION

SCALE: 1/8"=1'-0"



PORTE COCHERE

SCALE: 1/8"=1'-0"



EAST ELEVATION

SCALE: 1/8"=1'-0"

COLOR LEGEND

	EIFS: Medium sand texture. Color match to Sherwin Williams: SW 7547 Sandbar
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- Moisture resistant barrier (MRB) shall be liquid applied, typical throughout. Install as per manufacturers' requirements based on the finishes to be used. Utilize sheathing tape, flashing membrane, drain edge tape, and other accessories as necessary for a complete single source system.
- Install stone as per manufacturers' recommendations. Provide a 30# felt slip barrier between stone base coat and MRB if required by MRB manufacturer.
- Metal gutters and downspouts shall be pre-finished and shall match fascia color, typical. Pitch outlets away from building foundation.
- Building lighting is primarily via wall mounted surface L.E.D. lights.

TRANSPARENCY CALCULATIONS

NOTE: STORY HEIGHT MEASUREMENTS TAKEN FROM FINISH FLOOR TO BOTTOM OF FLOOR/CEILING OR ROOF CEILING ASSEMBLY ABOVE.

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TOTAL SURFACE AREA = 173.9' x 12.17' (STORY HEIGHT) = 2,116 SQ. FT.
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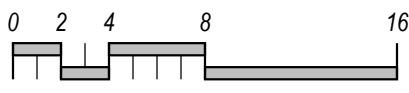
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TOTAL SURFACE AREA = 582.4' x 9' (STORY HEIGHT) = 5,242 SQ. FT.
TOTAL TRANSPARENT AREA PROVIDED = 1,446 SQ. FT. (27.6 %)

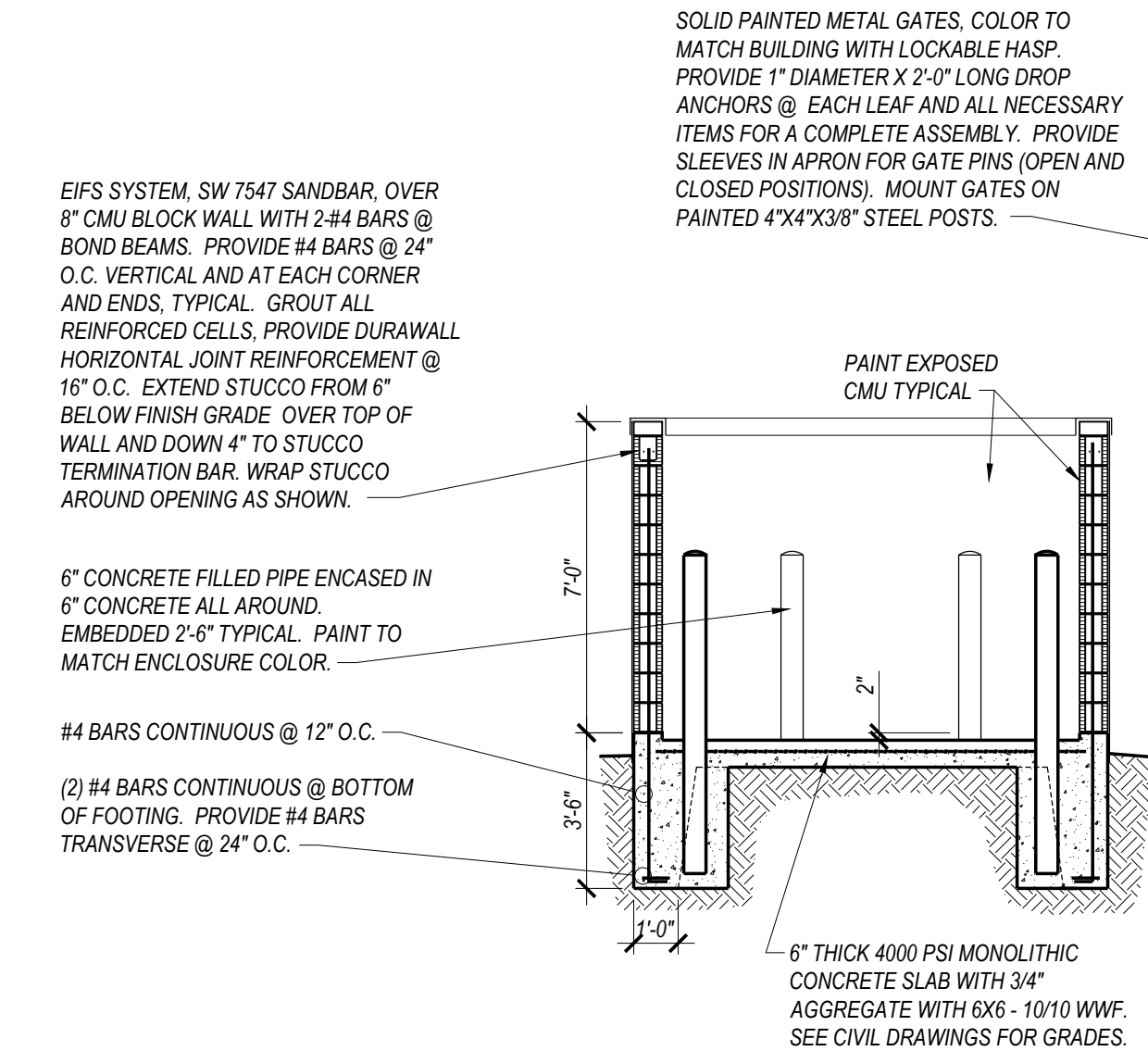


NORTH ELEVATION

SCALE: 1/8"=1'-0"



A2.2: Signage is not approved with this development plan, a separate sign permit will need to be applied for and reviewed for compliance with city standards.



1 REFUSE ENCLOSURE

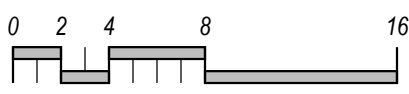
SCALE: 1/4"=1'-0"

PLAN, SECTION, AND ELEVATION



WEST ELEVATION

SCALE: 1/8"=1'-0"





AERIAL VIEW
SCALE: NOT TO SCALE



STREET VIEW
SCALE: NOT TO SCALE

**Holiday Inn Express & Suites
Site Development Package**
Location: 9022700, Inn Code SBSSG
3400 S. LINCOLN AVE
STEAMBOAT SPRINGS, CO 80487

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* Due to variation in printing techniques, only printed dimension shall be used. Contractors shall verify all heights, dimensions and other related information prior to bidding or construction.

DRAWING ISSUE DATES:
4/4/22 Site Development Package
6/23/22 Site Development Revisions

DRAWING REVISION DATES:

PROJECT MANAGER:
NICK PIKRL

DRAWN BY:
NAP

SHEET TITLE:
RENDERINGS