

INDIAN MEADOWS FILING NO. 4
A REPLAT OF LOT 1,
INDIAN MEADOWS, FILING NO. 3
LOCATED IN THE SE $\frac{1}{4}$ OF SECTION 28, TOWNSHIP 6
NORTH, RANGE 84 WEST OF THE 6TH P.M., CITY OF
STEAMBOAT SPRINGS, COUNTY OF ROUTT, STATE
OF COLORADO

CERTIFICATE OF DEDICATION AND OWNERSHIP

KNOWN ALL MEN BY THESE PRESENTS: THAT GRAY STONE, LLC, A COLORADO LIMITED LIABILITY COMPANY, BEING THE OWNER OF THE LAND DESCRIBED AS FOLLOWS: LOT 1 OF INDIAN MEADOWS FILING NO. 3, CONTAINING 3.875 ACRES ACCORDING TO THE PLAT RECORDED SEPTEMBER 14, 2022 AT FILE NO. 14302 AND RECEPTION NO. 783204, COUNTY OF ROUTT, STATE OF COLORADO, UNDER THE NAME AND STYLE OF INDIAN MEADOWS FILING NO. 4, HAS LAID OUT, PLATTED AND SUBDIVIDED SAME AS SHOWN ON THIS PLAT AND DOES HEREBY IRREVOCABLY DEDICATE TO THE PERPETUAL USE OF THE PUBLIC THE FOLLOWING EASEMENTS: (I) AND THE OTHER EASEMENTS AS SHOWN HEREON FOR UTILITIES, EMERGENCY SERVICE VEHICLE ACCESS, LANDSCAPE, DRAINAGE BUFFER, SIGNS, ACCESS AND SNOW REMOVAL (IX) THE TEMPORARY ACCESS EASEMENT.

FURTHER, THE UNDERSIGNED OWNER(S) DO HEREBY DEDICATE TO THE MOUNT WERNER WATER AND SANITATION DISTRICT, A COLORADO SPECIAL DISTRICT, PERPETUAL AND NON-EXCLUSIVE EASEMENTS FOR THE INSTALLATION, MAINTENANCE, REPAIR, AND REPLACEMENT OF WATER AND SEWAGE COLLECTION MAINS AND APPURTENANCES, AND FOR ACCESS OF PERSONS, VEHICLES, AND EQUIPMENT THERETO FOR SUCH PURPOSES, ON, OVER, ACROSS, AND UNDER (I) ALL LAND AREAS LABELED THAT INCLUDE THE WORDS "UTILITY EASEMENT" AS SHOWN HEREON, (II) ALL LAND AREA WITHIN THE STONE LANE PUBLIC RIGHT OF WAY DEDICATED BY THIS PLAT, (III) ALL LAND AREA SHOWN AS "30' ACCESS AND PUBLIC UTILITY EASEMENT", (IV) ALL LAND AREA DESIGNATED AS 50' LANDSCAPE, DRAINAGE BUFFER AND PUBLIC UTILITY EASEMENT, (V) THE LAND AREA DESIGNATED AS "30' WIDE ACCESS, PUBLIC UTILITY AND MWWSD ROAD EASEMENT", (VI) ALL PUBLIC UTILITY EASEMENTS SIMULTANEOUSLY DEDICATED TO MOUNT WERNER WATER AND SANITATION DISTRICT AS SET FORTH BELOW.

IN WITNESS WHEREOF, THE SAID GRAY STONE, LLC, A COLORADO LIMITED LIABILITY COMPANY, HAS CAUSED ITS NAME TO BE HEREUNTO SUBSCRIBED THIS _____ DAY OF _____, 2012

BY _____ AS MANAGER OF GRAY STONE, LLC, A COLORADO LIMITED LIABILITY COMPANY

STATE OF _____}

COUNTY OF _____}

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2022, BY _____ AS MANAGER OF GRAY STONE, LLC, A COLORADO LIMITED LIABILITY COMPANY

MY COMMISSION EXPIRES: _____

WITNESS MY HAND AND OFFICIAL SEAL.

SIGNATURE (NOTARY PUBLIC)
(SEAL)

ATTORNEY'S OPINION

I, JILL A. BRABEC, BEING AN ATTORNEY AT LAW, DULY LICENSED TO PRACTICE BEFORE COURTS OF RECORD IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT I HAVE EXAMINED THE TITLE TO ALL LANDS HEREIN DEDICATED AND SHOWN UPON THIS PLAT BY REVIEW OF THE _____ COMPANY TITLE REPORT ISSUED BY THE _____ NO. _____ EFFECTIVE DATE _____ AND BASED SOLELY UPON SUCH REVIEW, THAT TITLE TO SUCH LANDS IS VESTED IN GRAY STONE, LLC FREE AND CLEAR OF ALL LIENS, TAXES AND ENCUMBRANCES, EXCEPT FOR THE LIEN OF GENERAL REAL PROPERTY TAXES AND EXCEPT FOR PATENT RESERVATIONS, THE TRAVERSE AND RIGHT-OF-WAY OF CERTAIN DITCHES, PONDS AND SPRINGS, RIGHTS-OF-WAY, EASEMENTS AND ENCROACHMENTS OF RECORD AND APPARENT RESTRICTIONS, RESERVATIONS, AGREEMENTS, AND COVENANTS AND THOSE SPECIFIC SCHEDULE B EXCEPTIONS LISTED ON SAID TITLE REPORT.

JILL A. BRABEC, ATTORNEY-AT-LAW

EFFECTIVE THE _____ DAY OF _____, 2022

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C4	88.55	540.00	9°23'44"	N84° 32' 57"E	88.45
C5	90.53	460.00	11°16'32"	N85° 29' 21"E	90.38
C16	50.92	215.00	13°34'08"	N9° 12' 58"E	50.80
C17	43.81	185.00	13°34'08"	N9° 12' 58"E	43.71
C18	88.56	450.00	11°16'32"	S85° 29' 21"W	88.41
C19	57.87	550.00	6°01'45"	S82° 51' 58"W	57.85
C20	67.54	43.00	90°00'00"	S43° 54' 25"W	60.81
C21	64.03	43.00	85°19'00"	N48° 26' 05"W	58.28

Line Table		
Line #	Length	Direction
L1	70.00	S88° 52' 23"E
L2	111.50	S88° 52' 23"E
L3	20.58	S88° 52' 23"E
L4	15.00	S88° 52' 43"E
L5	35.00	S88° 52' 44"E
L6	11.50	S88° 52' 44"E
L7	34.99	S88° 52' 44"E
L8	15.01	S88° 52' 44"E
L11	30.05	N2° 25' 53"E
L20	9.86	N0° 57' 00"E
L21	91.52	N88° 47' 09"W
L22	43.59	S77° 51' 12"W
L23	182.54	N0° 56' 57"E
L24	7.00	N88° 52' 17"W
L25	27.69	N0° 57' 00"E
L26	12.35	N0° 57' 00"E
L27	20.00	S0° 57' 00"W
L28	7.00	N88° 40' 04"W
L29	170.06	N0° 53' 28"E
L30	292.68	N89° 10' 11"W
L31	293.20	N89° 10' 11"W
L32	62.65	N89° 03' 03"W
L33	12.00	N89° 03' 03"W
L35	54.34	N0° 56' 57"E
L36	30.13	N89° 23' 21"W

Line Table		
Line #	Length	Direction
L1	70.00	N45° 55' 27"E
L38	162.79	S89° 14' 24"E
L39	41.96	N2° 10' 49"E
L40	54.42	N67° 41' 31"E
L41	20.00	S88° 52' 23"E
L42	20.00	N0° 57' 00"E
L43	20.00	N88° 52' 23"W
L44	20.00	S0° 57' 00"W
L45	10.32	N87° 58' 50"W
L46	31.72	N0° 50' 53"E
L47	141.00	N89° 14' 24"W
L48	75.79	S0° 52' 58"W
L49	44.36	N2° 12' 59"E
L50	54.45	N2° 35' 06"E
L51	11.91	N89° 52' 12"E
L52	27.84	S0° 41' 28"W
L53	8.99	S1° 52' 29"W
L54	34.43	N89° 15' 52"W
L55	5.29	S1° 05' 35"E
L56	13.20	N79° 51' 05"E
L57	10.00	S88° 54' 25"W
L58	36.56	N2° 25' 53"E
L59	13.42	N2° 25' 53"E
L60	21.48	N2° 25' 53"E
L61	15.00	N88° 58' 47"W

Line Table		
Line #	Length	Direction
L37	44.66	N45° 55' 27"E
L62	54.99	N2° 25' 53"E
L63	15.00	S87° 34' 07"E
L64	156.40	N2° 25' 53"E
L65	101.38	N16° 00' 02"E
L66	95.08	N16° 00' 02"E
L67	70.47	N1° 06' 47"E
L68	16.36	N16° 00' 02"E
L69	11.42	N2° 25' 53"E
L70	7.30	N2° 49' 19"E
L71	20.01	N2° 49' 19"E
L74	292.68	N89° 10' 11"W
L75	213.39	S89° 03' 03"E
L76	10.63	S89° 03' 03"E
L77	15.01	S0° 56' 57"W
L78	14.99	S0° 56' 57"W
L79	92.47	S88° 52' 44"E
L80	30.01	S88° 52' 44"E
L81	15.00	S88° 52' 44"E
L82	21.45	S2° 25' 53"W
L83	55.36	S2° 25' 53"W
L84	128.81	S2° 25' 53"W
L85	15.01	N89° 02' 57"W

VICINITY MAP

DRAWING INDEX

SHEET 1 TITLE PAGE
SHEET 2 FINAL PLAT

SCALE: 1" = 300'



MOUNT WERNER WATER AND SANITATION DISTRICT ACCEPTANCE OF DEDICATION

THE MOUNT WERNER WATER AND SANITATION DISTRICT DOES HEREBY ACCEPT THE DEDICATION OF THE EASEMENTS, (INCLUDING THE 30' WIDE ACCESS, PUBLIC UTILITY, AND 20' WIDE SEWER EASEMENT _____) AS GRANTED BY THE OWNER OF THE PROPERTY SUBDIVIDED HEREBY, FOR THE PURPOSES MADE, PROVIDED THAT THE DISTRICT SHALL HAVE NO OBLIGATION OR LIABILITY TO CONSTRUCT, REPAIR, MAINTAIN, IMPROVE, OR RECONSTRUCT ANY WATER OR SEWER LINE OR APPURTENANCE WITHIN ANY SUCH EASEMENT UNTIL AND UNLESS SUCH LINE OR APPURTENANCE HAS FIRST BEEN CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS AND RULES OF THE DISTRICT AND THE DISTRICT HAS FINALLY ACCEPTED SUCH LINE OR APPURTENANCE BY A RESOLUTION OF ITS BOARD OF DIRECTORS. THESE DEDICATIONS PRECLUDE THE CONSTRUCTION OF IMPROVEMENTS, OR THE DEPOSIT OF MATERIALS, IN THE EASEMENT AREAS WHICH COULD IMPAIR THEIR USE AS PROVIDED IN THIS DEDICATION.

MOUNT WERNER WATER AND SANITATION DISTRICT

DATE: _____ 2022 BY: _____
FRANK ALFONE, GENERAL MANAGER

CITY COUNCIL APPROVAL

THE WITHIN PLAT OF INDIAN MEADOWS FILING NO. 4 IS APPROVED FOR FILING THIS _____ DAY OF _____, 2022 AND THE DEDICATION OF THE RIGHT OF WAY, PUBLIC ACCESS AND UTILITY EASEMENTS, TEMPORARY ACCESS EASEMENT, SNOW REMOVAL AND UTILITY EASEMENTS, AS SHOWN HEREON ARE HEREBY ACCEPTED FOR THE PURPOSES NOTED.

BY: _____
ROBIN CROSSAN, CITY COUNCIL PRO-TEM

ATTEST: _____
JULIE FRANKLIN, CITY CLERK

Document mark-up-
Plat P1: President

PLANNING AND COMMUNITY DEVELOPMENT APPROVAL CERTIFICATE

THE DIRECTOR OF PLANNING AND COMMUNITY DEVELOPMENT OF THE CITY OF STEAMBOAT SPRINGS, COLORADO, DOES HEREBY AUTHORIZE AND APPROVE THIS PLAT OF INDIAN MEADOWS FILING NO. 4 THIS _____ DAY OF _____, A.D. 2022.

TYLER GIBBS, AIA, DIRECTOR OF PLANNING AND COMMUNITY DEVELOPMENT

document mark up- plat
p1: update name

SURVEYOR'S CERTIFICATE

I, WALTER N. MAGILL, PLS NO. 38024, A DULY REGISTERED LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS MAP AND SURVEY OF INDIAN MEADOWS FILING NO. 4, (I) WAS PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; (II) HAS BEEN PREPARED IN COMPLIANCE WITH ALL APPLICABLE LAWS OF THE STATE OF COLORADO AT THE TIME OF THIS SURVEY (III) IS ACCURATE TO THE BEST OF MY KNOWLEDGE AND (IV) CONTAINS ALL OF THE INFORMATION REQUIRED BY C.R.S. 38-51-101.

BY: _____
WALTER N. MAGILL, PLS 38024

NOTES

1) BASIS OF BEARING: S00°57'00"W, ALONG THE EASTERLY LINE OF THE U.S. 40 RIGHT OF WAY, COMMON AS THE WEST LINE OF INDIAN MEADOWS FILING NO. 3 BETWEEN FOUND MONUMENTS AS SHOWN.

2) ALL REFERENCES HEREON TO BOOKS, PAGES, FILES AND RECEPTION NUMBERS ARE PUBLIC DOCUMENTS FILED IN THE RECORDS OF ROUTT COUNTY, COLORADO.

ROUTT COUNTY CLERK AND RECORDER'S ACCEPTANCE

THIS MAP WAS ACCEPTED FOR FILING IN THE OFFICE OF THE CLERK AND RECORDED OF ROUTT COUNTY, COLORADO THIS _____ DAY OF _____ A.D., 2022 AT RECEPTION NUMBER _____ TIME: _____ .M. AND FILE NO. _____

JENNY L. THOMAS, ROUTT COUNTY CLERK AND RECORDER

ROUTT COUNTY SURVEYOR CERTIFICATE

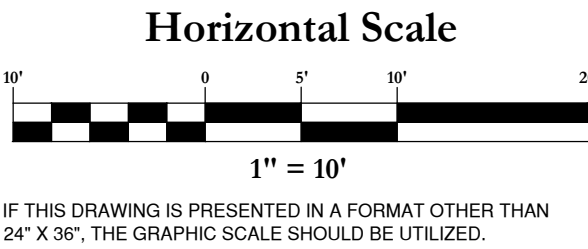
THIS MAP WAS FILED AND INDEXED AS FILE NO. SP _____ ON _____ DAY OF _____, 2022, AT _____ M. IN THE LAND SURVEY PLAT RECORDS FILE AND INDEX SYSTEM MAINTAINED IN THE OFFICE OF ROUTT COUNTY CLERK AND RECORDER PURSUANT TO C.R.S. 38-50-101.

ROUTT COUNTY SURVEYOR

BY: _____
THOMAS H. EFFINGER, JR PLS 17651

GRAY STONE, LLC

FINAL PLAT
INDIAN MEADOWS
FILING NO. 4



NO.	DATE	REVISIONS	INT

DATE: 6-2-2022 DESIGN: JNM
JOB NO. 1448-005 DRAFTED: _____
DWG. NAME: _____ REVIEW: _____

Four Points
Surveying and Engineering

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Steamboat Springs, CO 80487
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wnmpepls@gmail.com



SHEET NO.
1
OF
2