PROJECT DATA

PROJECT DESCRIPTION
PROPOSED RELOCATION OF EXISTING LOWER TERMINAL
AND MID-STATION FOR CHRISTIE PEAK EXPRESS CHAIR LIFT

ZONING DISTRICT:
OR (OPEN SPACE AND RECREATION)

CLIMATE ZONE:
7

APPLICABLE CODES:

2018 IBC
2018 IEBC
2018 IECC
2018 IMC
2018 IPC
2018 IFGC
NEC 2020
CITY OF STEAMBOAT CDC
ICC/ANSI A117.1 (2009)
ADAAG 2010

PROJECT TEAM

OWNER:

STEAMBOAT SKI & RESORT CORPORATION
2305 MT WERNER CIRCLE
STEAMBOAT SPRINGS, CO 80487
PHONE: (970) 871-5381
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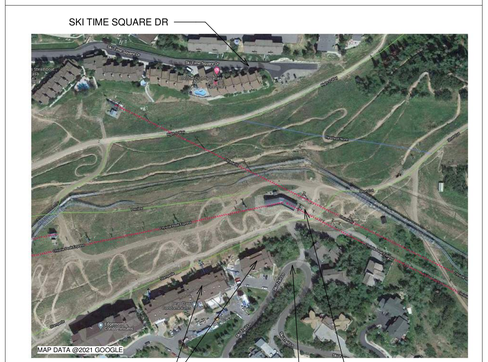
ARCHITECT:

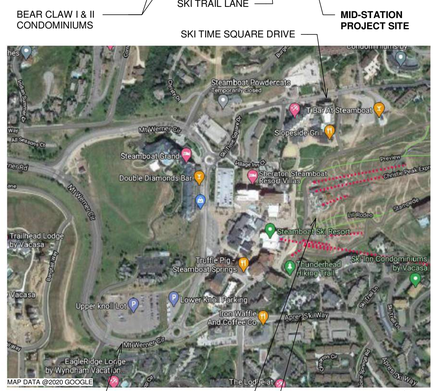
ERIC SMITH ASSOCIATES, P.C.
1919 7TH STREET
BOULDER, CO 80302
PHONE: (303) 442-5458
CONTACT: KATE LEGGETT
KATE@ESAPC.COM

CIVIL ENGINEER:

LANDMARK CONSULTANTS, INC
141 9TH STREET
PO BOX 774943
STEAMBOAT SPRINGS, CO 80477
PHONE: (970) 871-9494
CONTACT: ERIK GRIEPENTROG
EMAIL: ERIKG@LANDMARK-CO.COM

VICINITY MAPS





MINOR MODIFICATION SUBMITTAL

FOR:

LEGAL DESCRIPTION:

LOT 2 SKI HILL SUBDIVISION REPLAT OF PARCEL D
28.18 ACRES

ALSO KNOWN AS:

CHRISTIE PEAK EXPRESS LOWER TERMINAL

AND

LEGAL DESCRIPTION:

LOT 1, GREEN HORN RANCH
173.88 ACRES

ALSO KNOWN AS:

CHRISTIE PEAK EXPRESS MID-STATION TERMINAL

LOWER TERMINAL

MID-STATION TERMINAL

SHEET INDEX

SHEET NO.	SHEET NAME
DP-1	MINOR MODIFICATION COVER SHEET
C.003	EXISTING CONDITIONS EXHIBIT - OVERALL
C.004	EXISTING CONDITION EXHIBIT - OVERALL WITH AERIAL
C.005	DETAILED EXISTING CONDITIONS EXHIBIT - LOWER TERMINAL
C.006	DETAILED EXISTING CONDITIONS EXHIBIT - MID-STATION TERMINAL
C.007	PROPERTY EASEMENT EXHIBIT - 1 OF 3
C.008	PROPERTY EASEMENT EXHIBIT - 2 OF 3
C.009	PROPERTY EASEMENT EXHIBIT - 3 OF 3
C.100	OVERAL CIVIL SITE PLAN
C.110	DETAILED CIVIL SITE PLAN - LOWER TERMINAL
C.310	DETAILED GRADING & DRAINAGE PLAN - LOWER TERMINAL
C.311	DETAILED GRADING & DRAINAGE PLAN - LOWER TERMINAL
DP-2.1	ARCHITECTURAL SITE PLAN
DP-3.1	LOWER TERMINAL PHOTOGRAPHS
DP-3.2	LOWER TERMINAL DECK, OPERATOR CABIN
DP-3.3	MID-STATION PHOTOGRAPHS

ZONE DISTRICT REQUIREMENTS

PROJECT SUMMARY TABLE - CPX LOWER TERMINAL			
GROSS FLOOR AREA	STORAGE SHED = 80 SF OTHER ITEMS BEING PROVIDED (TERMINAL, OP CABIN, ETC.) ARE BEING RELOCATED BY LIFT PROVIDER UNDER JURISDICTION OF COLORADO TRAMWAY BOARD.		
UNIT SIZE	NA		
NUMBER OF UNITS	NA		
ZONING (EXIST & PROPOSED)	OR - OPEN SPACE AND RECREATION		
FRONTAGE			
USE BREAKDOWN	**DESCRIPTION**	**SQUARE FOOTAGE**	**# OF UNITS**
PRINCIPAL USE	AMUSEMENT, OUTDOOR SKI AREA	80 SF	NA
ACCESSORY USE			
STANDARDS	**ZONE DISTRICT REQUIREMENTS**	**PROPOSED**	**VARIANCE? (YES/NO)**
LOT AREA	2,500 SF MIN. NO MAX	28.18 ACRES	NO
LOT COVERAGE	NO MAX		
FLOOR AREA RATIO	NO MAX		
OVERALL BUILDING HEIGHT	34' MAX.		NO
AVERAGE PLATE HEIGHT	22' MAX.		NO
FRONT SETBACK PRINCIPAL ACCESSORY	 25' MIN 25' MIN		 NO NO
SIDE SETBACK PRINCIPAL ACCESSORY	 25' MIN 15' MIN		 NO NO
REAR SETBACK PRINCIPAL ACCESSORY	 20' MIN 15' MIN		 NO NO

ZONE DISTRICT REQUIREMENTS

PROJECT SUMMARY TABLE - CPX MID-STATION TERMINAL			
GROSS FLOOR AREA	EXISTING TERMINAL WILL HAVE MINIOR REVISION BY LIFT PROVIDER UNDER JURISDICTION OF COLORADO TRAMWAY BOARD		
UNIT SIZE	NA		
NUMBER OF UNITS	NA		
ZONING (EXIST & PROPOSED)	OR - OPEN SPACE AND RECREATION		
FRONTAGE			
USE BREAKDOWN	**DESCRIPTION**	**SQUARE FOOTAGE**	**# OF UNITS**
PRINCIPAL USE	AMUSEMENT, OUTDOOR SKI AREA	NA	NA
ACCESSORY USE			
STANDARDS	**ZONE DISTRICT REQUIREMENTS**	**PROPOSED**	**VARIANCE? (YES/NO)**
LOT AREA	2,500 SF MIN. NO MAX	173.88 ACRES	NO
LOT COVERAGE	NO MAX		
FLOOR AREA RATIO	NO MAX		
OVERALL BUILDING HEIGHT	34' MAX.		NO NO
AVERAGE PLATE HEIGHT	22' MAX.		NO NO
FRONT SETBACK PRINCIPAL ACCESSORY	 25' MIN 25' MIN		 NO NO
SIDE SETBACK PRINCIPAL ACCESSORY	 25' MIN 15' MIN		 NO NO
REAR SETBACK PRINCIPAL ACCESSORY	 20' MIN 15' MIN		 NO NO

MINOR MODIFICATION SUBMITTAL 12/23/2021

NOTICE: DUTY OF COOPERATION

Release of these plans contemplates further cooperation among the owner, his contractor and the architect. Design and construction are complex. Although the architect and his consultants have performed their services with due care and diligence, they cannot guarantee perfection. Communication is imperfect and every contingency cannot be anticipated. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the architect. Failure to notify the architect compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to the architect shall relieve the architect from responsibility for the consequences. Changes made from the plans without consent of the architect are unauthorized and shall relieve the architect of responsibility for all consequences arriving out of such changes.

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REVISIONS

No.	Description	Date
1	ADDENDUM #1	4/15/2022

SSRC CHRISTIE PEAK
EXPRESS CHAIR LIFT
LOWER TERMINAL & MID-STATION
STEAMBOAT SPRINGS, CO

ERIC SMITH ASSOCIATES, P.C.
1919 SEVENTH STREET
BOULDER, COLORADO, 80302
(303) 442-5458, (303) 442-4745 FAX

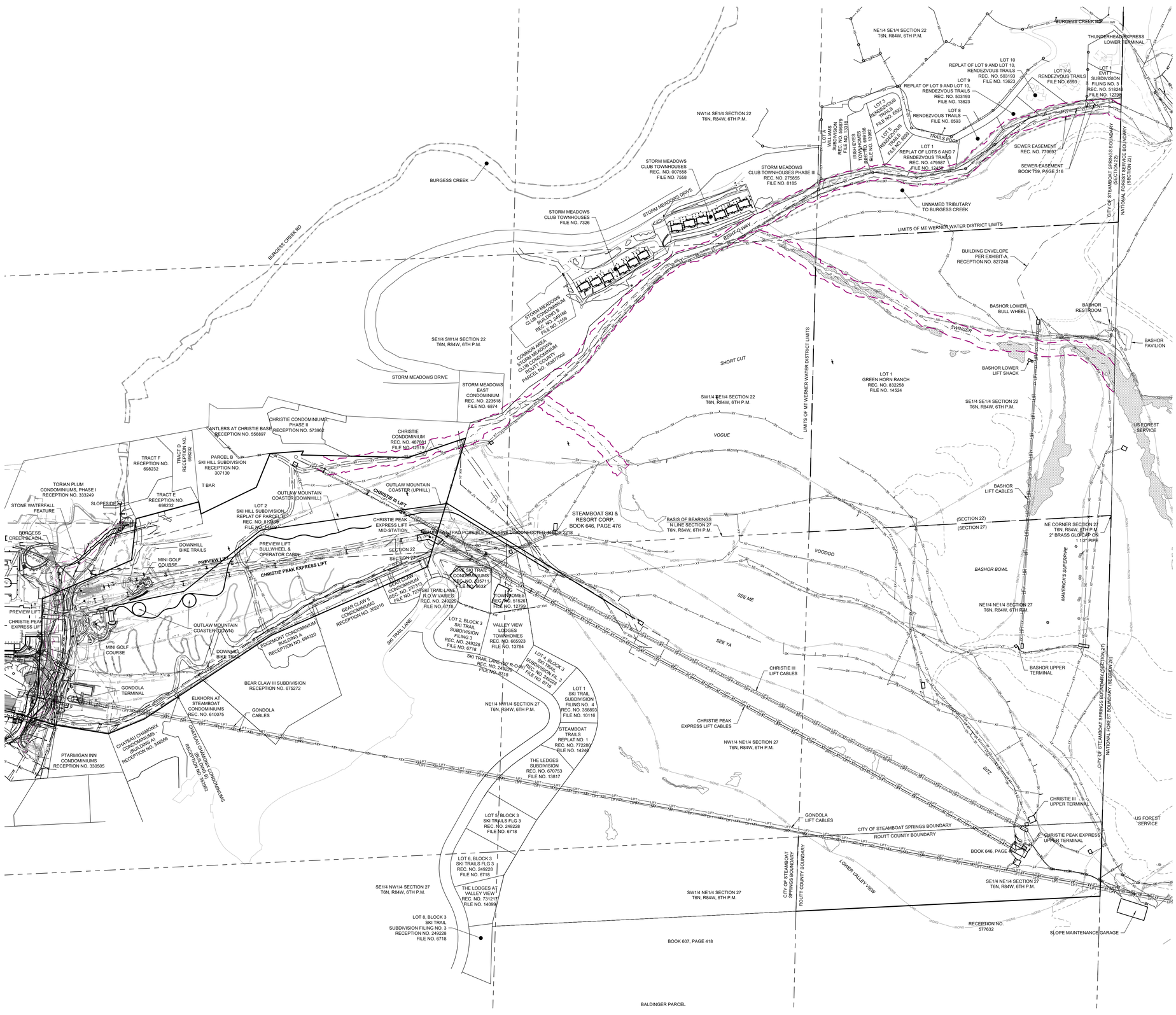
Job Number:	20057.00
Date:	3/1/2022
Drawn By:	Author
Checked By:	Checker

Project Phase
CONSTRUCTION DOCUMENTS

Sheet Title
MINOR MODIFICATION COVER SHEET

Sheet Number
DP-1

4/18/2022 10:02:06 AM FILE: 20037.00 CPX SHEET MODEL v20.rvt



NORTH

200 0 200 400 600 Feet

(IN FEET)
1 inch = 200 ft.

LEGEND:

- PROPERTY BOUNDARY
- ADJACENT PROPERTY BOUNDARY
- EASEMENT
- SECTION LINE
- CENTERLINE
- FOUND MONUMENT
- FOUND SECTION CORNER
- BUILDING
- ROOF LINE/OVERHANG
- DECK
- WALL
- FENCE
- MAJOR CONTOUR (6800)
- MINOR CONTOUR
- ASPHALT
- CONCRETE
- GRAVEL
- SIGN
- SANITARY SEWER
- SANITARY SEWER MANHOLE AND CLEANOUT
- WATER LINE
- FIRE HYDRANT, GATE VALVE & CURB STOP
- GAS
- GAS METER AND MANHOLE/VAULT
- CABLE
- CABLE PEDESTAL
- FIBER OPTIC
- TELEPHONE
- TELEPHONE PEDESTAL AND MANHOLE/VAULT
- ELECTRIC
- ELECTRIC PED, JUNCTION BOX AND METER
- LIGHT POLE AND LIGHT POLE W/ MAST
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- UTILITY POLE AND GUY WIRE
- DITCH/SWALE
- CULVERT W/ END SECTIONS
- INLET AND STORM MANHOLE
- FLOW ARROW
- CONIFEROUS AND DECIDUOUS TREE

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PROPERTY DESCRIPTION:

12. LOT 2, PARCEL D, SKI HILL SUBDIVISION PER FILE #14469 IN ROUTT COUNTY RECORDS AND LOT 1, GREEN HORN RANCH PER FILE #14524 IN ROUTT COUNTY RECORDS, CITY OF STEAMBOAT SPRINGS, ROUTT COUNTY, COLORADO.

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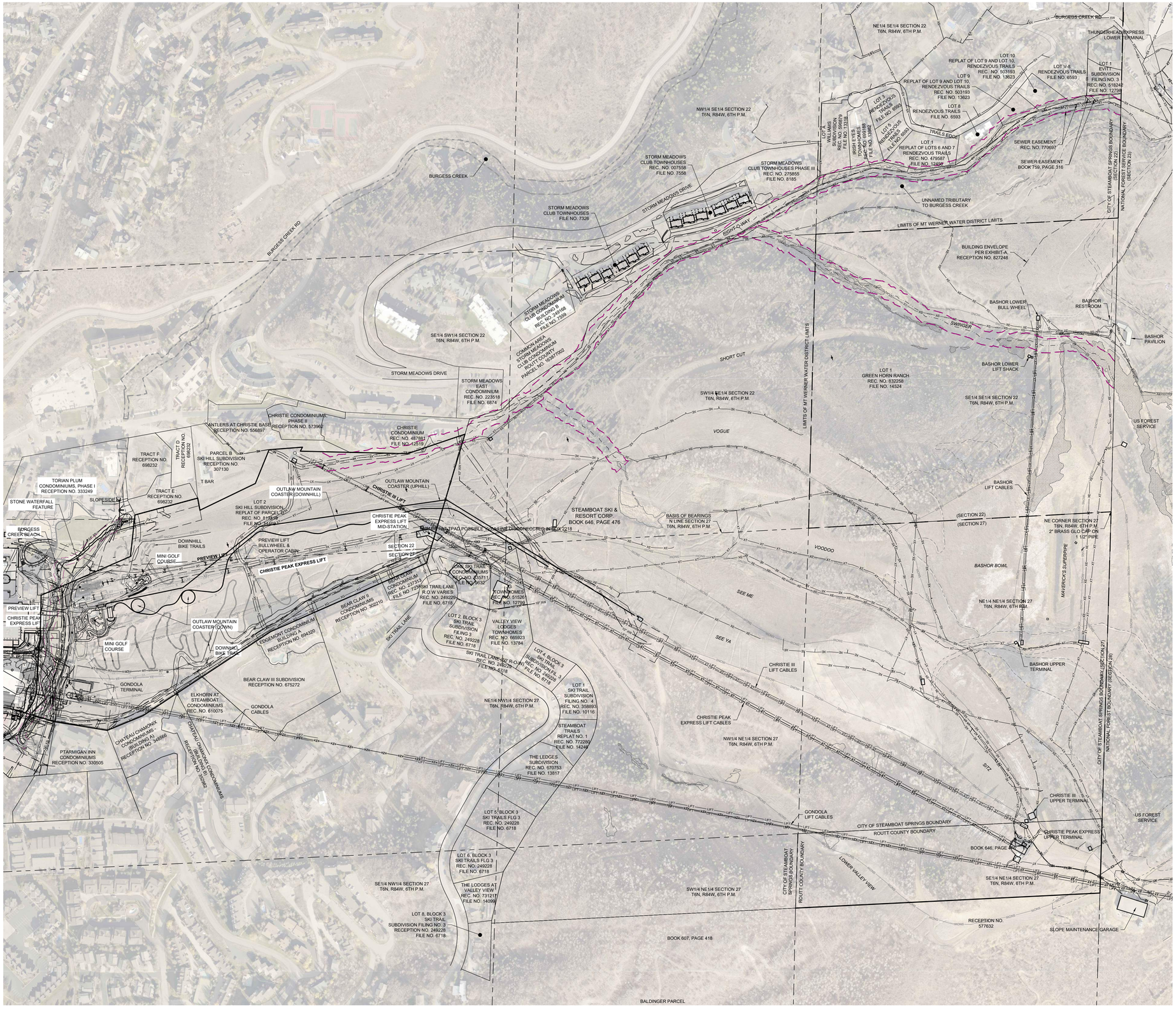
NO.	DATE:	BY:	DESCRIPTION:
1	2/24/22	Grip	Revisions per DRT Comments
2	4/15/22		

REVIEW SET
NOT FOR CONSTRUCTION

PROJECT: 1012-002
DATE: 4/15/22
CONTACT: Erik Grieperntrog
EMAIL: erik@landmark-co.com

Christie Peak Express Relocation
Existing Conditions Exhibit
Overall

SHEET
C.003



NORTH

200 0 200 400 600 Feet

(IN FEET)
1 inch = 200 ft.

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NO.	DATE:	BY:	DESCRIPTION:
1	2/24/22	Grip	Revisions per DRT Comments
2	4/15/22		

REVIEW SET
NOT FOR CONSTRUCTION

PROJECT: 1012-002
DATE: 4/15/22
CONTACT: Erik Grieperntrog
EMAIL: erik@landmark-co.com

Christie Peak Express Relocation
Existing Conditions Exhibit
Overall - with Aerial

SHEET
C.004

NORTH

20 0 20 40 60 Feet

(IN FEET)
1 inch = 20 ft.

LEGEND:

PROPERTY BOUNDARY
ADJACENT PROPERTY BOUNDARY
EASEMENT
SECTION LINE
CENTERLINE
FOUND MONUMENT
FOUND SECTION CORNER
BUILDING
ROOF LINE/OVERHANG
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FENCE
MAJOR CONTOUR
MINOR CONTOUR
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12. THE DEMOLITION OF THE MINI-GOLF AND MOUNTAIN COASTER ARE NOT A PART BUT ARE PERMITTED SEPARATELY UNDER PERMIT SPRDE220354.

PROPERTY DESCRIPTION:

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NO.	DATE:	BY:	DESCRIPTION:
1	2/24/22	Grp	Revisions per DRT Comments
2	4/15/22		

REVIEW SET
NOT FOR CONSTRUCTION

PROJECT: 1612.002
DATE: 4/15/22
CONTACT: Erik Greppentrog
EMAIL: erikg@landmark-co.com

Christie Peak Express Relocation
Detailed Existing Conditions Exhibit
Lower Terminal

SHEET
C.005

DRAWING FILENAME: P:\1612-002\DWG\Production Drawings\Minor Modification\1612-002-MA-C.005-Detailed Existing Conditions.dwg LAYOUT NAME: C.005 DATE: Apr 15, 2022 - 8:42pm CAD OPERATOR: Erik
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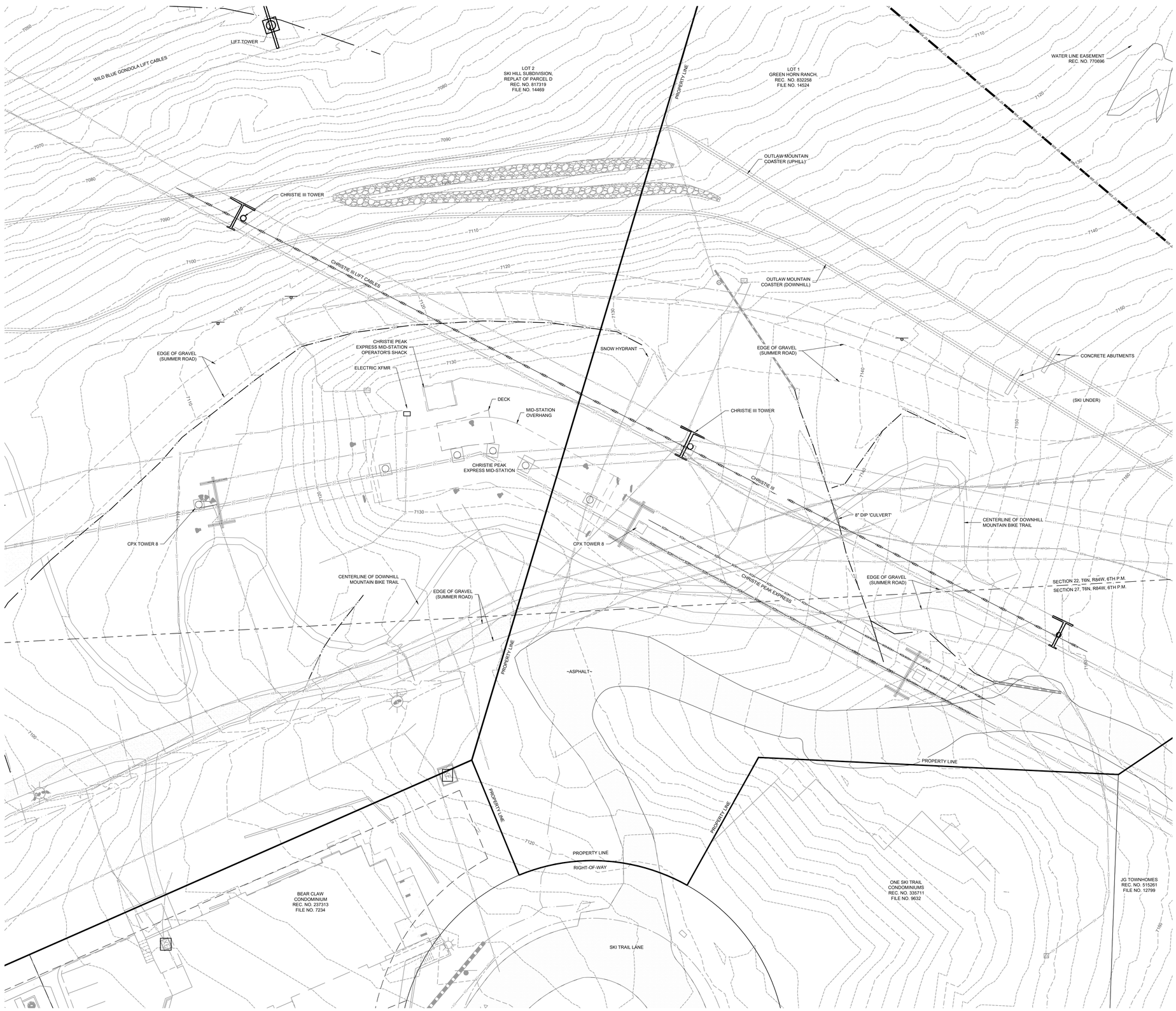

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8. THE MEASURED DISTANCES SHOWN HEREON ARE IN U.S. SURVEY FEET.
9. ALL SYMBOLS ARE ONLY GRAPHICALLY REPRESENTED AND ARE NOT TO SCALE.
10. CONTRACTOR IS ENCOURAGED TO PERFORM DEMOLITION IN A MANNER THAT MAXIMIZES SALVAGE, RE-USE, AND RECYCLING OF MATERIALS. THIS INCLUDES APPROPRIATE SORTING AND STORING. IN PARTICULAR, DEMOLISHED CONCRETE, ASPHALT, AND BASE COURSE SHOULD BE RECYCLED IF POSSIBLE.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND CONFIRMING DEMOLITION, REMOVAL, REPLACEMENT, AND DISPOSAL OF ALL FACILITIES AND MATERIALS.
12. THE DEMOLITION OF THE MINI-GOLF AND MOUNTAIN COASTER ARE NOT A PART BUT ARE PERMITTED SEPARATELY UNDER PERMIT SPRDE220354.

PROPERTY DESCRIPTION:

13. LOT 2, PARCEL D, SKI HILL SUBDIVISION PER FILE #14469 IN ROUTT COUNTY RECORDS AND LOT 1, GREEN HORN RANCH PER FILE #14524 IN ROUTT COUNTY RECORDS, CITY OF STEAMBOAT SPRINGS, ROUTT COUNTY, COLORADO.

CIVIL ENGINEERS | SURVEYORS
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(970) 871-9494
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NO.	DATE:	BY:	DESCRIPTION:
1	2/24/22	Grp	Revisions per DRT Comments
2	4/15/22		

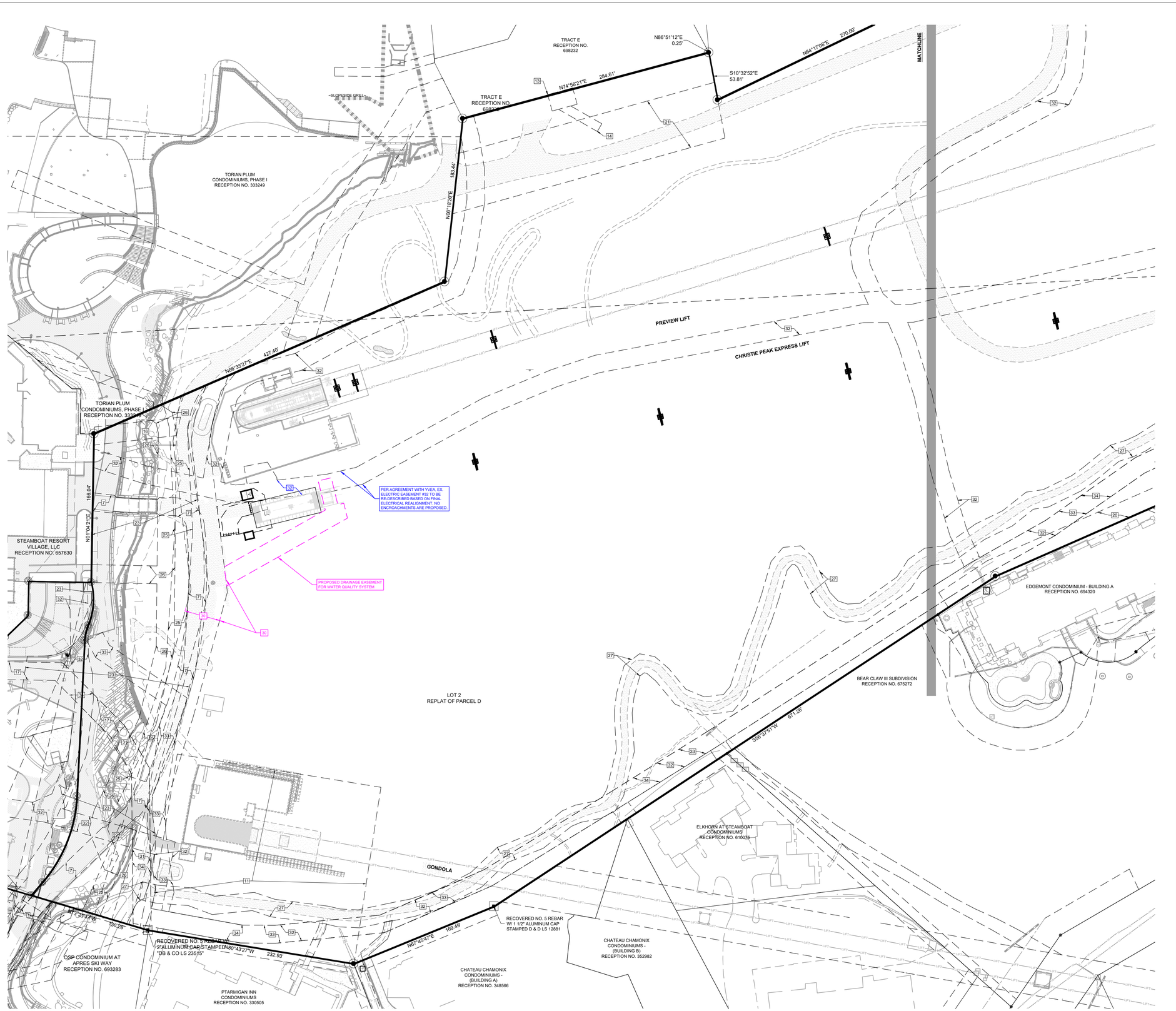
REVIEW SET
NOT FOR CONSTRUCTION

PROJECT: 1012.082
DATE: 4/15/22
CONTACT: Erik Greppentrog
EMAIL: erikg@landmark-co.com

Christie Peak Express Relocation
Detailed Existing Conditions Exhibit
Mid-Station Terminal

SHEET
C.006

DRAWING FILENAME: P:\1012-082\DWG\Production Drawings\Base Modification\1012-082-MA-C-005-Detailed Existing Conditions.dwg LAYOUT NAME: C.006 DATE: Apr 15, 2022 - 8:41pm CAD OPERATOR: Erik
LIST OF XREFS: [1012-082-xEsta]:[xBORDER]:[xBORDER_Large]:[1012-082-xEsmt:Utilities]:[1012-082-xBldg]:[1012-082-xHatch]



NORTH

50 0 50 100 150 Feet

(IN FEET)
1 inch = 50 ft.

EASEMENT LEGEND:

1	RECEPTION NO. 693016: 20' ACCESS EASEMENT EAST HOTEL ACROSS OSP
2	BOOK 729, PAGE 339, RECEPTION NO. 746875: BUDDY'S RUN DECK ENCROACHMENT EASEMENT
3	RECEPTION NO. 693287: INTERFACE EASEMENT
4	RECEPTION NO. 693287: INTERFACE EASEMENT, REVOCABLE PORTION
5	BOOK 532, PAGE 820: 10' SANITARY SEWER EASEMENT
6	RECEPTION NO. 693286: PARKING, ACCESS & MAINTENANCE EASEMENT
7	BOOK 729, PAGE 338, RECEPTION NO. 687253, RECEPTION NO. 705974: EAST HOTEL ACCESS EASEMENT AS AMENDED BY RECEPTION NO. _____
10	BOOK 374, PAGE 345, BOOK 376, PAGE 318, RECEPTION NO. 770696 : 20' WATER LINE EASEMENT
11	BOOK 337, PAGE 337: PERPETUAL VISUAL EASEMENT
12	BOOK 762, PAGE 1067 RELOCATED ROAD EASEMENT BOOK 393, PAGE 509, BOOK 395, PAGE 376 RE-RECORDED: INGRESS & EGRESS EASEMENT
13	BOOK 412, PAGE 341: ENTRYWAY EASEMENT
14	BOOK 412, PAGE 343: ACCESS EASEMENT
15	BOOK 580, PAGE 70, RECEPTION NO. 727257, RECEPTION NO. 727903: LANDSCAPING AND ACCESS EASEMENT (BEAR CLAW II)
16	BOOK 745, PAGE 286: 20' SEWER EASEMENT
17	RECEPTION NO. 673610, RECEPTION NO. 705975, RECEPTION NO. 789275: SEWER EASEMENT
18	RECEPTION NO.s 673610 & 705975: SEWER EASEMENT RELOCATION AREA
19	RECEPTION NO. 789275: SEWER ENCROACHMENT AREA
20	RECEPTION NO. 678035: FIRE SEPARATION EASEMENT
21	RECEPTION NO. 692162: SKI EASEMENT
22	RECEPTION NO. 693153: WATER MAINS EASEMENT
23	RECEPTION NO. 699297, RECEPTION NO. 749729, RECEPTION NO. 702319, RECEPTION NO. 713742: PUBLIC IMPROVEMENTS EASEMENT (HATCHED)
24	RECEPTION NO. 699297, RECEPTION NO. 713742: PUBLIC IMPROVEMENTS EASEMENT (BOILER HOUSE)
25	RECEPTION NO. 699720: SEWER MAINS EASEMENT
26	RECEPTION NO. 699721: WATER MAINS EASEMENT
27	RECEPTION NO. 718939, RECEPTION NO. 733617: PUBLIC IMPROVEMENTS EASEMENT (LITTLE P EASEMENT)
28	RECEPTION NO. 728342: ACCESS AND LANDSCAPE EASEMENT
29	BOOK 583, PAGE 238 & RECEPTION NO. 693278: ACCESS EASEMENT (1ST AMENDMENT EAST HOTEL ACCESS)
30	RECEPTION NO. 699296: STORM SEWER & ACCESS AND MAINTENANCE EASEMENT
31	RECEPTION NO. 693152: SANITARY SEWER EASEMENT
32	RECEPTION NO. 817314: ELECTRIC EASEMENT
33	RECEPTION NO. 817317: GAS EASEMENT
34	BOOK 532, PAGE 756: TELEPHONE EASEMENT
36	RECEPTION NO. 789276: DECK EASEMENT AGREEMENT
37	BOOK 629, PAGE 832: PEDESTRIAN ACCESS EASEMENT
38	BOOK 532, PAGE 820, BOOK 532, PAGE 774: 10' SANITARY SEWER EASEMENT
39	BOOK 760, PAGE 976: BUILDING ENCROACHMENT EASEMENT
40	RECEPTION NO. 513746 (FILE NO. 12770); RECEPTION NO. 307130 (FILE NO. 8823): STORM SEWER EASEMENT
41	BOOK 532, PAGE 758: 16' TELEPHONE EASEMENT
42	BOOK 596, PAGE 1611: EXCLUSIVE PARKING SPACES; ENTRANCE FROM ACCESS ROUTE NO. 1; ENTRANCE FROM ACCESS ROUTE NO.2: VEHICULAR AND PEDESTRIAN INGRESS AND EGRESS ACCESS EASEMENT (ACCESS ROUTE 2); STORAGE, CLOSET, ELEVATOR & STAIRWAY
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46	BOOK 559, PAGE 98: TRUCK TURNAROUND LICENSE AGREEMENT
47	RECEPTION NO. 693288: INTERFACE EASEMENT
48	RECEPTION NO. 693289: NO BUILD EASEMENT
49	BOOK 596, PAGE 1487, EX A: BUILDING IMPROVEMENT EASEMENT
50	RECEPTION NO. 600980: AERIAL TRAMWAY EASEMENT
51	RECEPTION NO. 680175: SHORING EASEMENT AGREEMENT
52	RECEPTION NO. 596269: GONDOLA EXPANSION EASEMENT (MULTIPLE EXHIBITS), GONDOLA SQUARE ACCESS EASEMENT, WEST SIDE DRAINAGE EASEMENT, ETC.
53	RECEPTION NO. 693263: PEDESTRIAN ACCESS EASEMENT OSP
54	BOOK 532, PAGE 802: 10' WATERLINE EASEMENT
55	RECEPTION NO. 693285: PATIO EASEMENT, DOORWAY EASEMENT, ENTRY EASEMENTS
56	RECEPTION NO. 693280: SANITARY SEWER EASEMENT
57	RECEPTION NO. 693283: EMERGENCY ACCESS EASEMENT OSP
58	RECEPTION NO. 693290: SKI AREA EASEMENT, STORM SEWER & DRAINAGE EASEMENT, RECIPROCAL UTILITY EASEMENT, GONDOLA SQUARE ACCESS EASEMENT
59	RECEPTION NO. 693016, BOOK 729, PAGE 338: AGREEMENT (ACCESS TO EASTERN SIDE OF HOTEL
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65	RECEPTION NO. 661066: OSP EASEMENT AREA
66	RECEPTION NO. 693018: RIGHT OF WAY EASEMENT (ELECTRIC)
67	RECEPTION NO. 693279: SNOWMAKING LINE EASEMENT
68	BOOK 583, PAGE 238: 30' ACCESS EASEMENT
69	BOOK 519, PAGE 577: 10' TELEPHONE EASEMENT
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NO.	DATE:	BY:	DESCRIPTION:
1	2/24/22	Grip	Revisions per DRT Comments
2	4/15/22	Grip	Revisions per DRT Comments

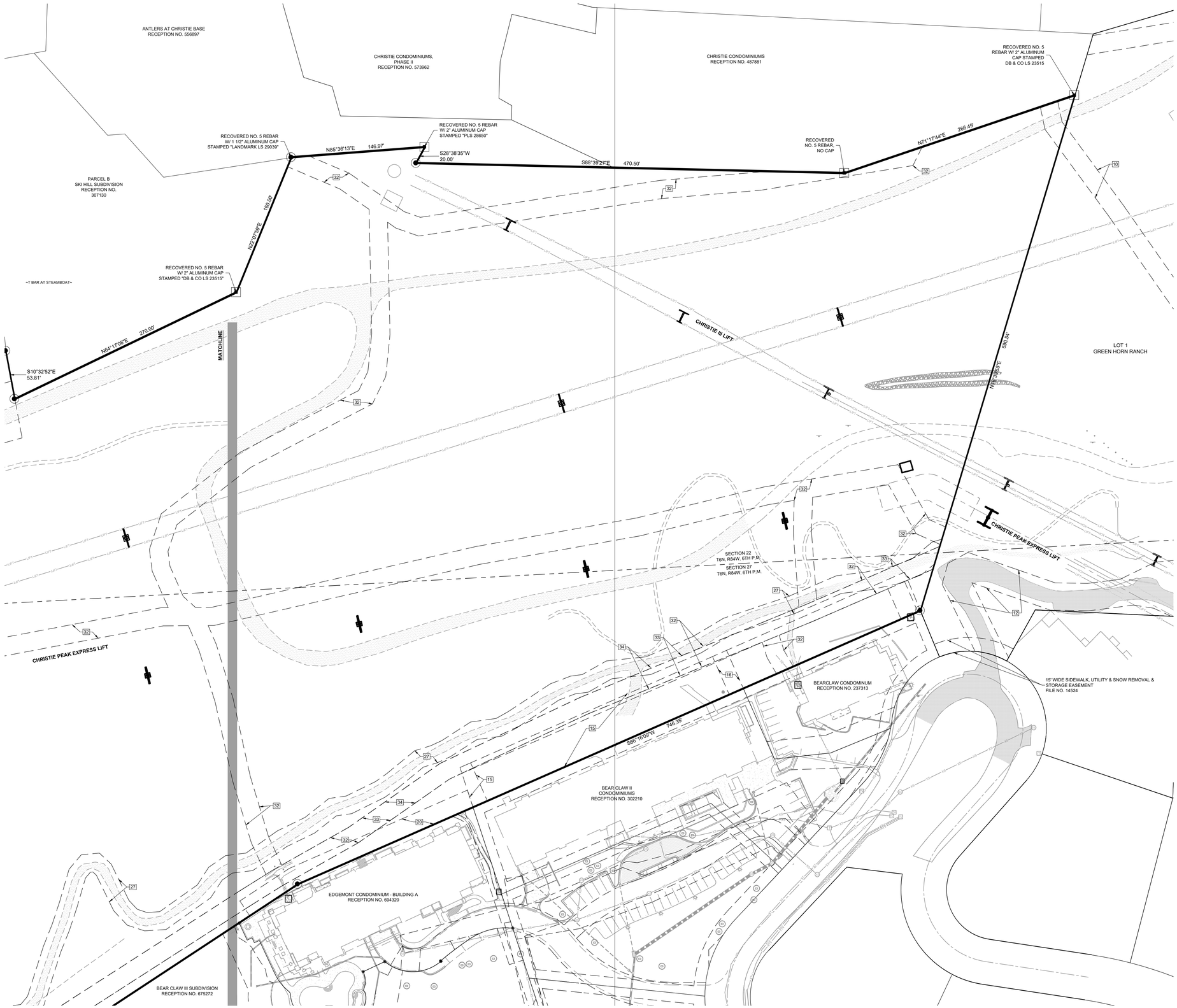
REVIEW SET
NOT FOR CONSTRUCTION

PROJECT: 10/12-002
DATE: 4/15/22
CONTACT: Erik Gleponttog
EMAIL: erikg@landmark-co.com

Christie Peak Express Relocation Property Easement Exhibit
1 of 3

SHEET
C.007

DRAWING FILENAME: P:\10-002\DWG\Production Drawings\Boot Modification\10-002-MA-C-007-Existing Conditions - Easements.dwg LAYOUT NAME: C.007 DATE: Apr 15, 2022 - 6:14am CAD OPERATOR: Erik
LIST OF XREFS: [10-002-xref-xbrawlers] [10-002-xbgonzola] [10-002-xbgonzola] [JOB-SITE_Lake_Easements] [JOB-SITE] [10-002-xbfrdb] [10-002-xbfrdb] [10-002-xbfrdb] [10-002-xbfrdb]



NORTH

50 0 50 100 150 Feet

(IN FEET)
1 inch = 50 ft.

EASEMENT LEGEND:

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REVIEW SET
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NO.	DATE:	BY:	DESCRIPTION:
1	2/24/22	Grp	Revisions per DRT Comments
2	4/15/22		

PROJECT:	1012.062
DATE:	4/15/22
CONTACT:	Erik Grieperntrog
EMAIL:	erik@landmark-co.com

Christie Peak Express Relocation
Property Easement Exhibit
2 of 3

SHEET
C.008

DRAWING FILENAME: P:\1012-062\DWG\Production Drawings\Minor Modifications\1012-062-MK-C-007-Existing Conditions - Easements.dwg LAYOUT NAME: C.008 DATE: Apr 15, 2022 - 6:14pm CAD OPERATOR: Erik
LIST OF XREFS: [1012-062-xrbase] [1012-062-xrbase2] [1012-062-xrBuildings] [XPORER] [1012-062-area] [1012-062-dtm] [1012-062-xrLot] [1012-062-xrSite]

NORTH

160 0 160 320 480 Feet

(IN FEET)
1 inch = 160 ft.

EASEMENT LEGEND:

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NO.	DATE:	BY:	DESCRIPTION:
1	2/24/22	Grp	Revisions per DRT Comments
2	4/15/22		

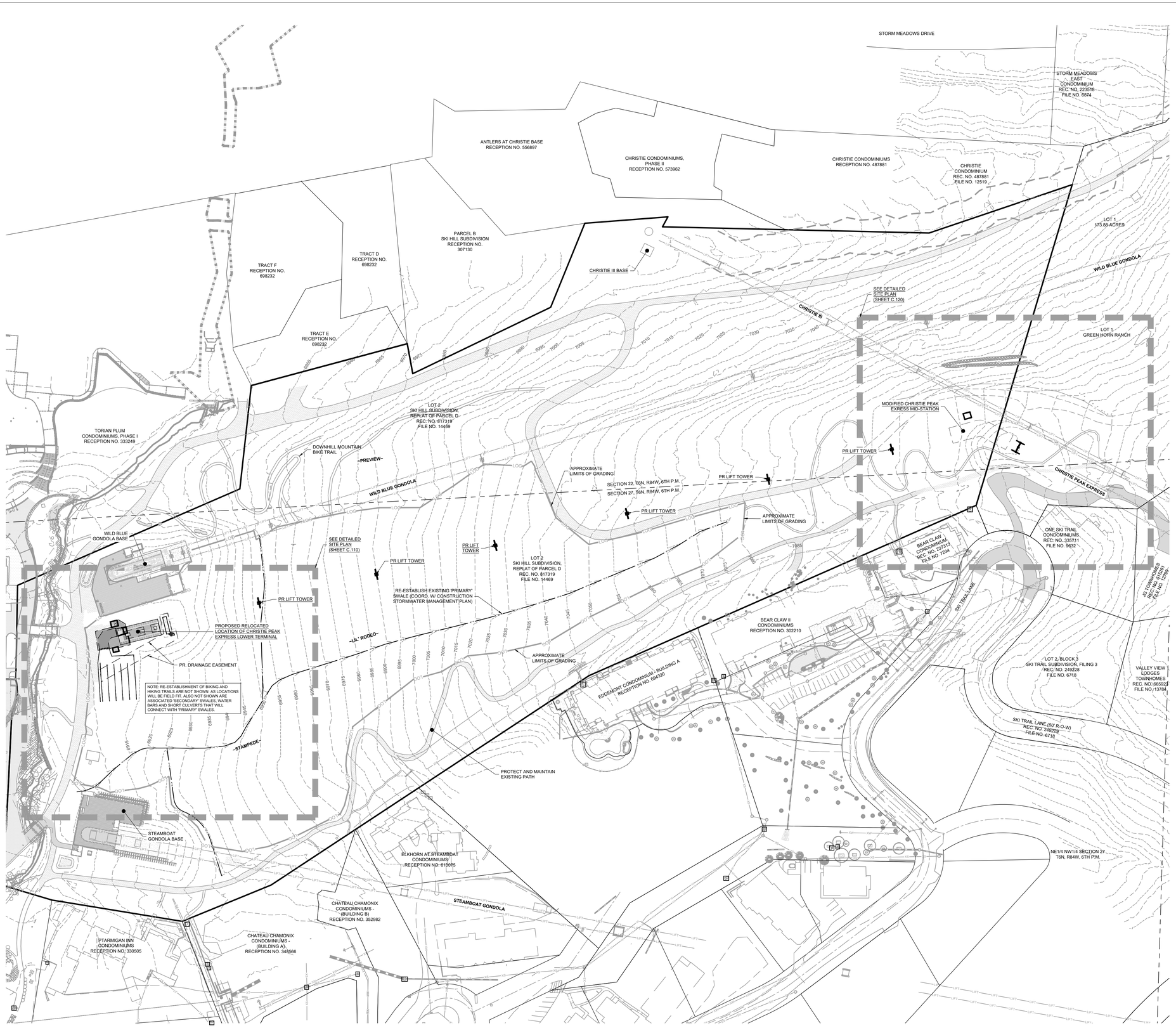
REVIEW SET
NOT FOR CONSTRUCTION

PROJECT: 1012.002
DATE: 4/15/22
CONTACT: Erik Gregentring
EMAIL: erikg@landmark-co.com

Christie Peak Express Relocation Property Easement Exhibit 3 of 3

SHEET
C.009

DRAWING FILENAME: P:\1012-002\DWG\Production Drawings\Minor Modifications\1012-002-MKC-001-Existing Conditions - Easements.dwg LAYOUT NAME: C.009 DATE: Apr 15, 2022 - 8:14pm CAD OPERATOR: Erik
LIST OF XREFS: [10] C-001-xrfbase[1] [1012-002-xrfgeneral] [xFLOOR_Leg-Easements] [XBORDER] [1012-002-xrfsite] [1012-002-xrfbldg] [1012-002-xrfcivil] [1012-002-xrfsite]



NORTH

80 0 80 160 240 Feet

(IN FEET)
1 inch = 80 ft.

LEGEND:

- PROPERTY BOUNDARY
- ADJACENT PROPERTY BOUNDARY
- EASEMENT
- SECTION LINE
- CENTERLINE
- FOUND MONUMENT
- FOUND SECTION CORNER
- BUILDING
- ROOF LINE/OVERHANG
- DECK
- WALL
- FENCE
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- ASPHALT
- CONCRETE
- GRAVEL
- SIGN
- PROPOSED SANITARY SEWER W/ MH
- EXISTING SANITARY SEWER W/ MH
- PROPOSED WATER
- PROPOSED GV, FH & CS
- EXISTING WATER
- GAS
- GAS METER AND MANHOLE/VAULT
- CABLE
- CABLE PEDESTAL
- FIBER OPTIC
- TELEPHONE
- TELEPHONE PEDESTAL AND MANHOLE/VAULT
- ELECTRIC
- ELECTRIC PED, JUNCTION BOX AND METER
- LIGHT POLE AND LIGHT POLE W/ MAST
- OVERHEAD ELECTRIC
- UTILITY POLE AND GUY WIRE
- DITCH/SWALE
- EXISTING STORM SEWER W/ FES
- PROPOSED STORM SEWER W/ FES
- INLET AND STORM MANHOLE
- OVERLAND AND CHANNEL FLOW ARROWS
- CONIFEROUS AND DECIDUOUS TREE

NOTES:

1. ALL REFERENCES HEREON TO BOOKS, PAGES, FILES, RECEPTION NUMBERS AND FILE NUMBERS ARE TO PUBLIC DOCUMENTS FILED IN THE RECORDS OF ROUTT COUNTY, COLORADO.
2. EASEMENTS AND PUBLIC DOCUMENTS SHOWN OR NOTED HEREON WERE EXAMINED AS TO LOCATION AND PURPOSE AND WERE NOT EXAMINED AS TO RESERVATIONS, RESTRICTIONS, CONDITIONS, OBLIGATIONS, TERMS, OR AS TO THE RIGHT TO GRANT THE SAME.
3. UTILITIES ARE SHOWN PER APPARENT SURFACE EVIDENCE TOGETHER WITH RECORD INFORMATION. IF MORE ACCURATE LOCATIONS OF UNDERGROUND UTILITIES ARE REQUIRED, THE UTILITY WILL HAVE TO BE VERIFIED BY FIELD POTHOLING. LANDMARK CONSULTANTS, INC. AND THE SURVEYOR OF RECORD SHALL NOT BE LIABLE FOR THE LOCATION OF OR THE FAILURE TO NOTE THE LOCATION OF NON-VISIBLE UTILITIES.
4. ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND MONUMENT OR ACCESSORY, COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508, C.R.S.
5. THIS SITE CONTAINS A CALCULATED AREA OF 201.9 ACRES.
6. A PORTION OF THE SITE IS LOCATED WITHIN SPECIAL FLOOD HAZARD AREA ZONE A OF THE UNNAMED TRIBUTARY TO BURGESS CREEK AS DETERMINED BY FEMA FLOOD INSURANCE RATE MAP NUMBER 08107C0883D, WITH AN EFFECTIVE DATE OF FEBRUARY 4, 2005 AND LOMR 18-08-0922P.
7. THE MEASURED DISTANCES SHOWN HEREON ARE IN U.S. SURVEY FEET.
8. DOMESTIC WATER & FIRE PROTECTION SYSTEM DESIGNED BY WRIGHT WATER ENGINEERS SHALL BE REVIEWED AND APPROVED BY MOUNT WERNER WATER AND STEAMBOAT SPRINGS FIRE DEPARTMENT.
9. ITEMS INTENDED FOR DEMOLITION ARE NOT SHOWN FOR ILLUSTRATIVE PURPOSES. THE MINI-GOLF AND MOUNTAIN COASTER REMOVAL IS NOT-A-PART AND IS PERMITTED UNDER SPRDE220354.

PROPERTY DESCRIPTION:

10. LOT 2, PARCEL D, SKI HILL SUBDIVISION PER FILE #14469 IN ROUTT COUNTY RECORDS AND LOT 1, GREEN HORN RANCH PER FILE #14524 IN ROUTT COUNTY RECORDS, CITY OF STEAMBOAT SPRINGS, ROUTT COUNTY, COLORADO.

CIVIL ENGINEERS | SURVEYORS
141 9th Street ~ P.O. Box 774943
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(970) 871-9494
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REVIEW SET
NOT FOR CONSTRUCTION

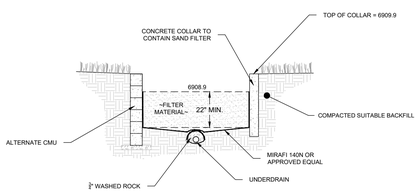
NO.	DATE:	BY:	DESCRIPTION:
1	2/24/22	Crip	Revisions per DRT Comments
2	4/15/22		

PROJECT: 1012-002
DATE: 4/15/22
CONTACT: Erik Grieponting
EMAIL: erikg@landmark-co.com

Christie Peak Express Relocation
Overall Civil Site Plan

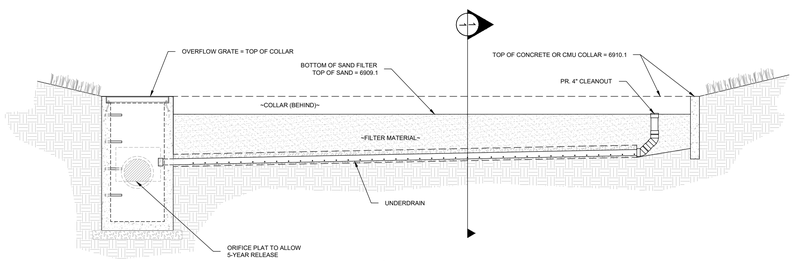
SHEET
C.100

DRAWING FILENAME: P:\1012-002\Work\Production Drawings\Minor Modification\1012-002-MAJC-100-Overall Site Plan.dwg LAYOUT NAME: C.100 DATE: Apr 15, 2022 - 5:10pm CAD OPERATOR: Erik
LIST OF XREFS: [1012-002-xref0] [1012-002-xref1] [BUILDER] [BUILDER] [XP_Leg] [1012-002-xref2] [1012-002-xref3] [1012-002-Adjustment]



SAND FILTER CROSS-SECTION

N.T.S.



SAND FILTER DETAIL

N.T.S.

NORTH

20 0 20 40 60 Feet

(IN FEET)
1 inch = 20 ft.

LEGEND:

PROPOSED MAJOR CONTOUR	6805
PROPOSED MINOR CONTOUR	
EXISTING MAJOR CONTOUR	(6805)
EXISTING MINOR CONTOUR	
SWALE DITCH FLOWLINE	
APPROX. LIMITS OF GRADING MODIFICATION	LOG
PROPOSED SPOT ELEVATION	00.10
PROPOSED OVERLAND FLOW DIRECTION	
PROPOSED CHANNELIZED FLOW DIRECTION	
GRAVEL SURFACING	

NOTES:

1. THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK. BEFORE COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR FOR ALL UNKNOWN UNDERGROUND UTILITIES.
2. ALL PROJECT DATA IS ON VERTICAL DATUM; NAVD 88. SEE NOTES SHEET FOR BENCHMARK REFERENCES.
3. ELEVATIONS FOR IMPROVEMENTS THAT ARE CONTROLLED BY ADJACENT EXISTING FACILITIES (SUCH AS PROPOSED GUTTERS ALONG EXISTING ASPHALT) MAY REQUIRE ADJUSTMENT BASED ON ACTUAL CONDITIONS. COORDINATE WITH ENGINEER TO ENSURE A CONSISTENT SECTION WITH SMOOTH TRANSITIONS WHERE NECESSARY.
4. SEE SOILS REPORT FOR PAVEMENT, SUBGRADE AND MATERIAL PREPARATION, DESIGN AND RECOMMENDATIONS.
5. ALL CURB SPOTS SHOWN ARE FLOWLINE ELEVATIONS, UNLESS NOTED OTHERWISE. ALL OTHER SPOTS ARE FINISHED GRADE ELEVATIONS.
6. RETAINING WALLS TO BE DESIGNED BY OTHERS.
7. SKI INFRASTRUCTURE AND DESIGN PARAMETERS BY OTHERS.
8. ITEMS INTENDED FOR DEMOLITION ARE NOT SHOWN FOR ILLUSTRATIVE PURPOSES. DEMOLITION OF THE MINI-GOLF AND MOUNTAIN COASTER ARE "NOT A PART" AND ARE PERMITTED UNDER SPRDE220354.

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NO.	DATE:	BY:	DESCRIPTION:
1	2/24/22	Grp	Revisions per DRT Comments
2	4/15/22		

REVIEW SET
NOT FOR CONSTRUCTION

PROJECT: 1012-002
DATE: 4/15/22
CONTACT: Erik Grepentrog
EMAIL: erik@landmark-co.com

Christie Peak Express Relocation
Detailed Civil Site Plan
Lower Terminal

SHEET
C.110

DRAWING FILENAME: P:\1012-002\DWG\Production Drawings\Minor Modification\1012-002-MAC-1.110-Steamboat Site Plan - Lower.dwg LAYOUT NAME: C.110 DATE: Apr 15, 2022 - 4:46pm CAD OPERATOR: Erik
LIST OF XREFS: [1012-002-xref] [1012-002-xref] [1012-002-xref] [1012-002-xref] [1012-002-xref] [1012-002-xref] [1012-002-xref] [1012-002-xref]

LEGEND:

PROPOSED MAJOR CONTOUR	6805
PROPOSED MINOR CONTOUR	
EXISTING MAJOR CONTOUR	(6805)
EXISTING MINOR CONTOUR	
SWALE DITCH FLOWLINE	
APPROX. LIMITS OF GRADING MODIFICATION	LOG
PROPOSED SPOT ELEVATION	00.10
PROPOSED OVERLAND FLOW DIRECTION	
PROPOSED CHANNELIZED FLOW DIRECTION	
GRAVEL SURFACING	

NOTES:

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2. ALL PROJECT DATA IS ON VERTICAL DATUM; NAVD 88. SEE NOTES SHEET FOR BENCHMARK REFERENCES.
3. ELEVATIONS FOR IMPROVEMENTS THAT ARE CONTROLLED BY ADJACENT EXISTING FACILITIES (SUCH AS PROPOSED GUTTERS ALONG EXISTING ASPHALT) MAY REQUIRE ADJUSTMENT BASED ON ACTUAL CONDITIONS. COORDINATE WITH ENGINEER TO ENSURE A CONSISTENT SECTION WITH SMOOTH TRANSITIONS WHERE NECESSARY.
4. SEE SOILS REPORT FOR PAVEMENT, SUBGRADE AND MATERIAL PREPARATION, DESIGN AND RECOMMENDATIONS.
5. ALL CURB SPOTS SHOWN ARE FLOWLINE ELEVATIONS, UNLESS NOTED OTHERWISE. ALL OTHER SPOTS ARE FINISHED GRADE ELEVATIONS.
6. RETAINING WALLS TO BE DESIGNED BY OTHERS.
7. SKI INFRASTRUCTURE AND DESIGN PARAMETERS BY OTHERS.
8. ITEMS INTENDED FOR DEMOLITION ARE NOT SHOWN FOR ILLUSTRATIVE PURPOSES. DEMOLITION OF THE MINI-GOLF AND MOUNTAIN COASTER ARE 'NOT A PART' AND ARE PERMITTED UNDER SPRDE220354.

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REVIEW SET
NOT FOR CONSTRUCTION

NO.	DATE:	BY:	DESCRIPTION:
1	2/24/22	Grip	Revisions per DRT Comments
2	4/15/22	Grip	Addendum #1

PROJECT:	1012-052
DATE:	4/15/22
CONTACT:	Erik Griepentrog
EMAIL:	erikg@landmark-co.com

Christie Peak Express Relocation
Detailed Grading & Drainage Plan
Lower Terminal

SHEET
C.310

DRAWING FILENAME: P:\1012-052\DWGs\Production Drawings\Minor Modification\1012-052-MA-C.310-Detailed Grading Plan - Lower.dwg LAYOUT NAME: C.310 DATE: Apr 15, 2022 - 6:51pm CAD OPERATOR: Erik
LIST OF XREFS: [1012-052-xUtil] [1012-052-xExist] [1012-052-xExist-Utilities] [1012-052-xSite] [xBORDER] [xGRAD_Leg] [1012-052-xHatch] [1012-052-xBndy] [1012-052-xOSP] [1012-052-xEdgemont]

NORTH

20 0 20 40 60 Feet

(IN FEET)
1 inch = 20 ft.

LEGEND:

PROPOSED MAJOR CONTOUR	6805
PROPOSED MINOR CONTOUR	
EXISTING MAJOR CONTOUR	(6805)
EXISTING MINOR CONTOUR	
SWALE DITCH FLOWLINE	
APPROX. LIMITS OF GRADING MODIFICATION	LOG
PROPOSED SPOT ELEVATION	00.10
PROPOSED OVERLAND FLOW DIRECTION	
PROPOSED CHANNELIZED FLOW DIRECTION	
GRAVEL SURFACING	

NOTES:

1. THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK. BEFORE COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR FOR ALL UNKNOWN UNDERGROUND UTILITIES.
2. ALL PROJECT DATA IS ON VERTICAL DATUM; NAVD 88. SEE NOTES SHEET FOR BENCHMARK REFERENCES.
3. ELEVATIONS FOR IMPROVEMENTS THAT ARE CONTROLLED BY ADJACENT EXISTING FACILITIES (SUCH AS PROPOSED GUTTERS ALONG EXISTING ASPHALT) MAY REQUIRE ADJUSTMENT BASED ON ACTUAL CONDITIONS. COORDINATE WITH ENGINEER TO ENSURE A CONSISTENT SECTION WITH SMOOTH TRANSITIONS WHERE NECESSARY.
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DESCRIPTION:

NO.	DATE:	BY:	
1	2/24/22	Grp	Revisions per DRT Comments
2	4/15/22		

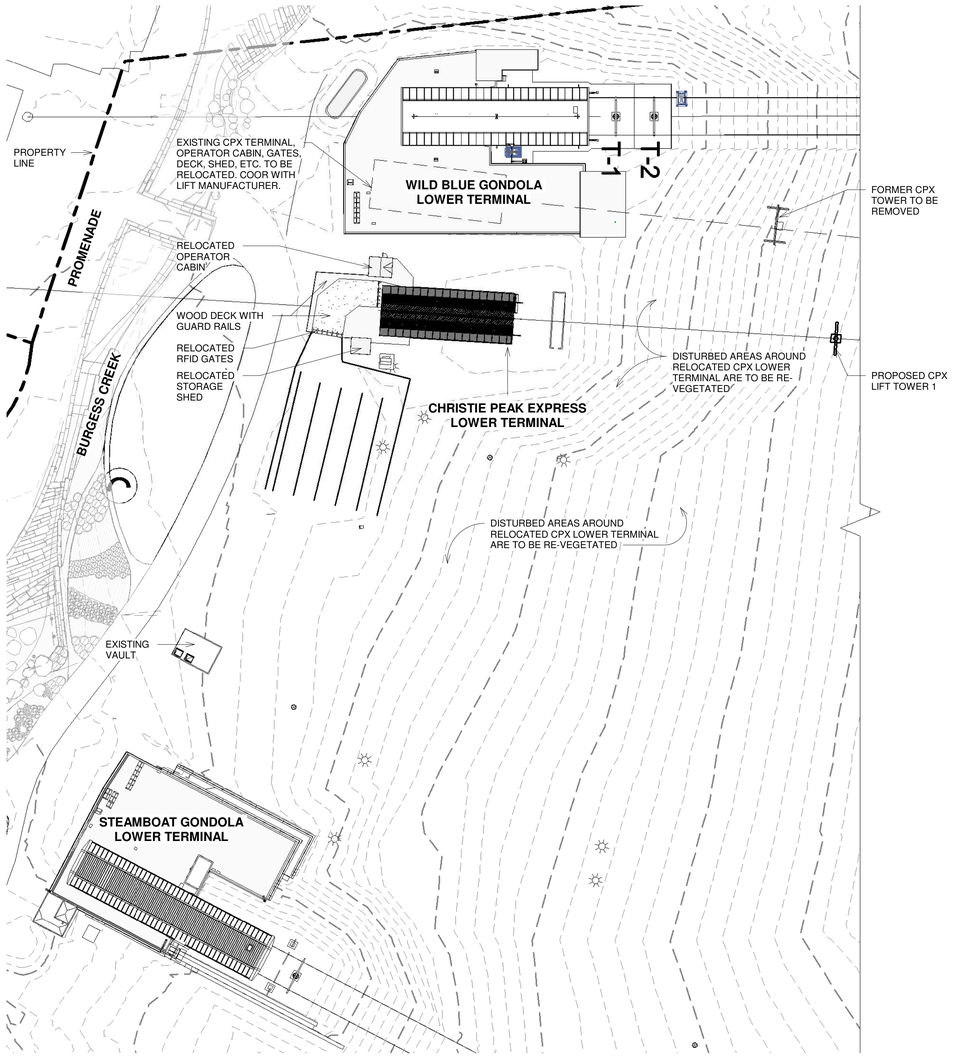
REVIEW SET
NOT FOR CONSTRUCTION

PROJECT: 1012.002
DATE: 4/15/22
CONTACT: Erik Greperstrog
EMAIL: erikg@landmark-co.com

Christie Peak Express Relocation
Detailed Grading & Drainage Plan
Lower Terminal

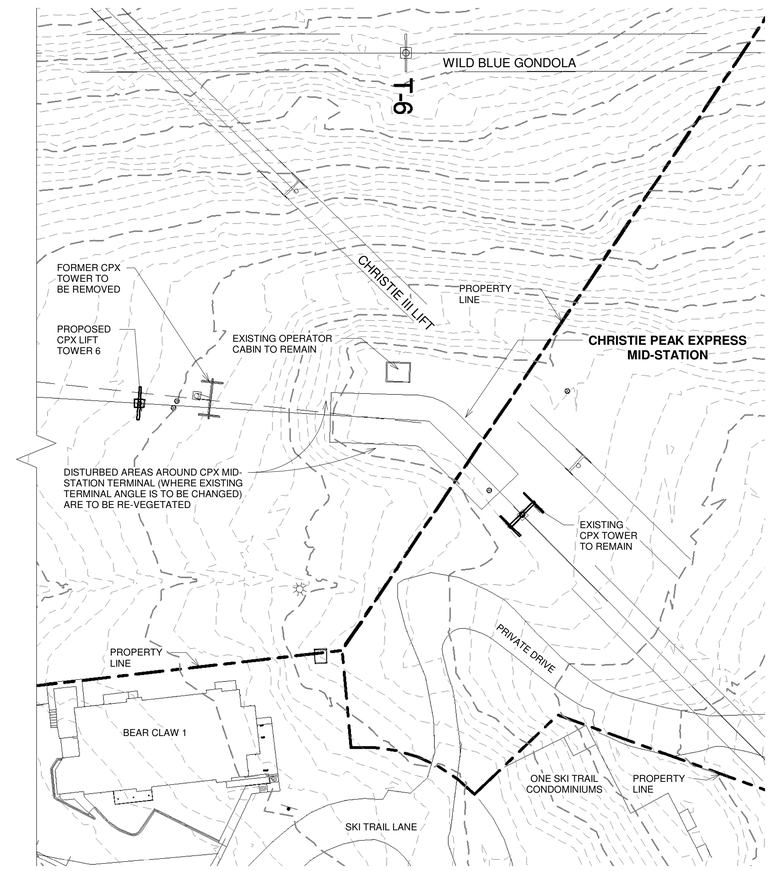
SHEET
C.311

DRAWING FILENAME: P:\1012-002\CIVIL\Production Drawings\Mine Modifications\1012-002-MAC-310-Detailed Grading Plan - Lower.dwg LAYOUT NAME: C.311 DATE: Apr 15, 2022 - 6:17pm CAD OPERATOR: Erik
LIST OF XREFS: [10] C-000-LMB[1012-002-xref-Lines] [1012-002-xref-Points] [1012-002-xref-Surface] [1012-002-xref-Alignment] [1012-002-xref-Parcels] [1012-002-xref-Boundary] [1012-002-xref-Topo] [1012-002-xref-Buildings]



2 DP-2.1 CPX LOWER TERMINAL ARCHITECTURAL SITE PLAN-DP

1" = 40'-0"



1 DP-2.1 CPX MID-STATION TERMINAL ARCHITECTURAL SITE PLAN-DP

1" = 40'-0"

PROJECT TRUE

0' 20' 40' 80'

MINOR MODIFICATION SUBMITTAL 12/23/2021

NOTICE: DUTY OF COOPERATION

Release of these plans contemplates further cooperation among the owner, his contractor and the architect. Design and construction are complex. Although the architect and his consultants have performed their services with due care and diligence, they cannot guarantee perfection. Communication is imperfect and every contingency cannot be anticipated. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the architect. Failure to notify the architect compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to the architect shall relieve the architect from responsibility for the consequences. Changes made from the plans without consent of the architect are unauthorized and shall relieve the architect of responsibility for all consequences arriving out of such changes.

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REVISIONS

No.	Description	Date
1	ADDENDUM #1	4/15/2022

SSRC CHRISTIE PEAK EXPRESS CHAIR LIFT

LOWER TERMINAL & MID-STATION STEAMBOAT SPRINGS, CO

ERIC SMITH ASSOCIATES, P.C.
1919 SEVENTH STREET
BOULDER, COLORADO, 80302
(303) 442-5458, (303) 442-4745 FAX

Job Number:	20037.00
Date:	5/1/2022
Drawn By:	Author
Checked By:	Checker

Project Phase
CONSTRUCTION DOCUMENTS

Sheet Title
ARCHITECTURAL SITE PLAN

Sheet Number
DP-2.1

4/18/2022 10:02:12 AM FILE: 20037.00 CPX SHEET MODEL v20.rvt

CPX LOWER TERMINAL - NORTH ELEVATION

CPX LOWER TERMINAL - EAST ELEVATION

CPX LOWER TERMINAL - SOUTH ELEVATION

CPX LOWER TERMINAL - WEST ELEVATION

MINOR MODIFICATION SUBMITTAL 12/23/2021

4/18/2022 10:02:12 AM FILE: 20037.00 CPX SHEET MODEL v20.rvt

NOTICE: DUTY OF COOPERATION

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REVISIONS

No.	Description	Date

SSRC CHRISTIE PEAK EXPRESS CHAIR LIFT

LOWER TERMINAL & MID-STATION
STEAMBOAT SPRINGS, CO

ERIC SMITH ASSOCIATES, P.C.
1919 SEVENTH STREET
BOULDER, COLORADO, 80302
(303) 442-5456, (303) 442-4745 FAX

Job Number:	20037.00
Date:	3/1/2022
Drawn By:	Author
Checked By:	Checker

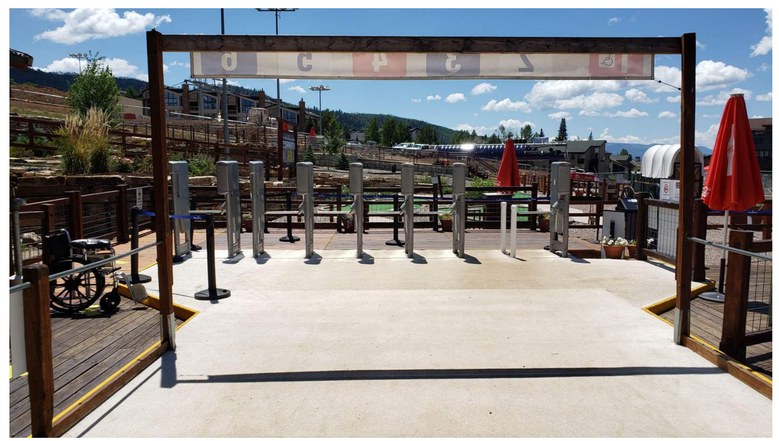
Project Phase
CONSTRUCTION DOCUMENTS

Sheet Title
LOWER TERMINAL PHOTOGRAPHS

Sheet Number
DP-3.1

CPX LOWER TERMINAL - DECK AND RFID GATES

CPX LOWER TERMINAL - DECK AND RFID GATES



CPX LOWER TERMINAL - DECK AND RFID GATES

CPX LOWER TERMINAL - OPERATOR CABIN

CPX LOWER TERMINAL - OPERATOR CABIN

CPX LOWER TERMINAL - STORAGE SHED

MINOR MODIFICATION SUBMITTAL 12/23/2021

NOTICE: DUTY OF COOPERATION

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REVISIONS

No.	Description	Date

SSRC CHRISTIE PEAK EXPRESS CHAIR LIFT

LOWER TERMINAL & MID-STATION

STEAMBOAT SPRINGS, CO

ERIC SMITH ASSOCIATES, P.C.
1919 SEVENTH STREET
BOULDER, COLORADO, 80302
(303) 442-5456, (303) 442-4745 FAX

Job Number:	20037.00
Date:	3/1/2022
Drawn By:	Author
Checked By:	Checker

Project Phase
CONSTRUCTION DOCUMENTS

Sheet Title
LOWER TERMINAL DECK, OPERATOR CABIN

Sheet Number
DP-3.2

4/18/2022 10:02:14 AM FILE: 20037.00 CPX SHEET MODEL v20.rvt

CPX MID-STATION - NORTH ELEVATION

CPX MID-STATION - EAST ELEVATION

CPX MID-STATION - SOUTH ELEVATION

CPX MID-STATION - WEST ELEVATION

MINOR MODIFICATION SUBMITTAL 12/23/2021

4/18/2022 10:02:14 AM FILE: 20037.00 CPX SHEET MODEL v20.rvt

NOTICE: DUTY OF COOPERATION

Release of these plans contemplates further cooperation among the owner, his contractor and the architect. Design and construction are complex. Although the architect and his consultants have performed their services with due care and diligence, they cannot guarantee perfection. Communication is imperfect and every contingency cannot be anticipated. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the architect. Failure to notify the architect compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to the architect shall relieve the architect from responsibility for the consequences. Changes made from the plans without consent of the architect are unauthorized and shall relieve the architect of responsibility for all consequences arriving out of such changes.

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REVISIONS

No.	Description	Date

SSRC CHRISTIE PEAK EXPRESS CHAIR LIFT

LOWER TERMINAL & MID-STATION
STEAMBOAT SPRINGS, CO

ERIC SMITH ASSOCIATES, P.C.
1919 SEVENTH STREET
BOULDER, COLORADO, 80302
(303) 442-5456, (303) 442-4745 FAX

Job Number:	20037.00
Date:	3/1/2022
Drawn By:	Author
Checked By:	Checker

Project Phase
CONSTRUCTION DOCUMENTS

Sheet Title
MID-STATION PHOTOGRAPHS

Sheet Number
DP-3.3

NOTES:
- SITE WAS CONSIDERED FLAT, NO SLOPE WAS CONSTRUCTED
- ALL LUMINAIRES ARE MOUNTED 30FT AFF

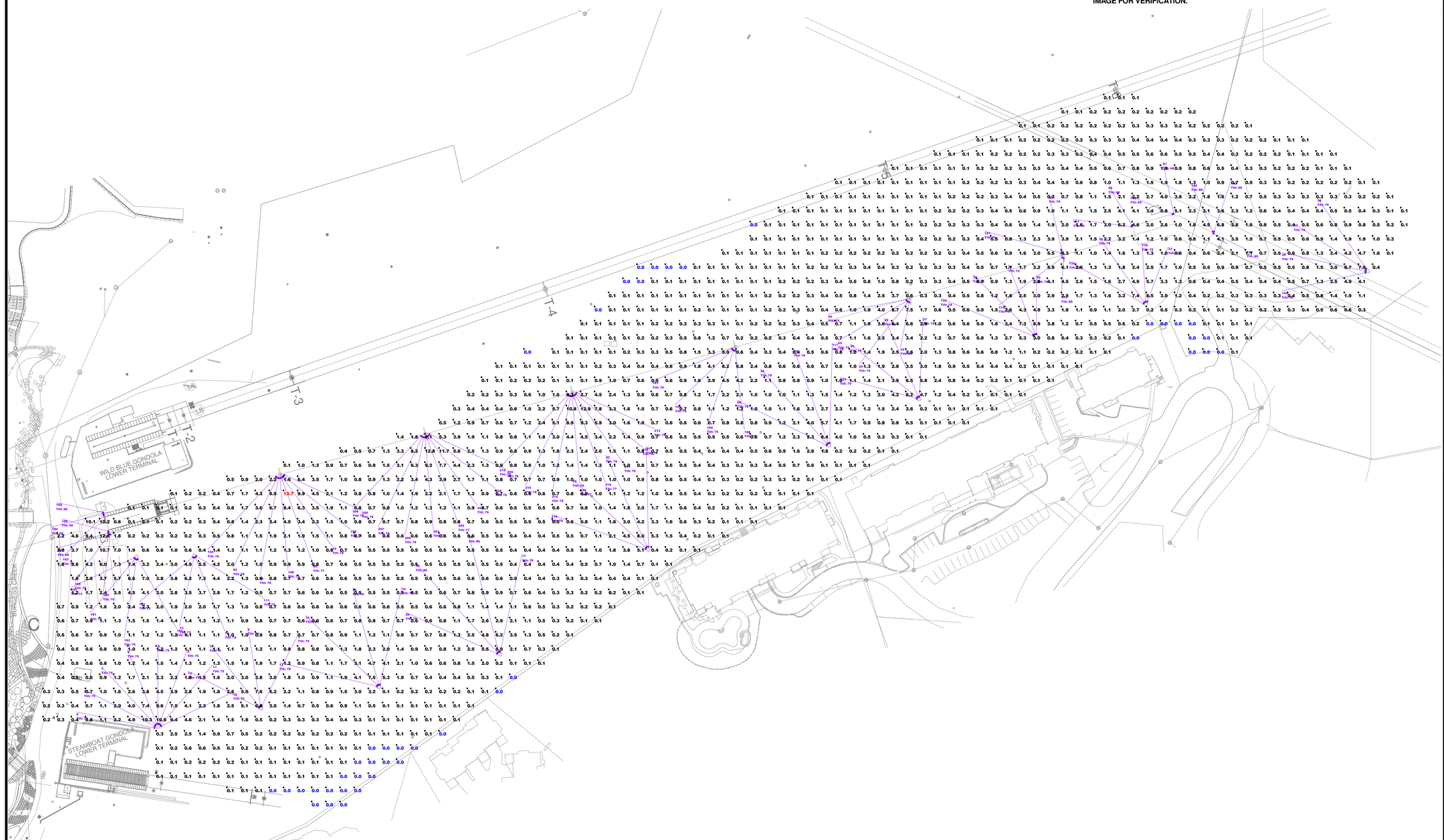
Luminaire Schedule

Symbol	Qty	Label	Arrangement	Luminaire Lumens	LLF	Description	Filename
	102	SN	Single	17663	0.900	Snow Bright SNBT-FL-300WB2-300W-NF-65K PTB	SNBT-FL-300WB2-NF-65K PTB.IES

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description	PtSpcLr	PtSpcTb
SLOPE	Illuminance	Fc	1.22	13.7	0.0	N.A.	N.A.	readings taken at grade	20	20

NOTES:
1) EXACT MOUNTING DETAILS TO BE DETERMINED AT JOBSITE BY OTHERS.
2) CALCULATIONS DO NOT SHOW THE EFFECT OF SHADOWING CAUSED BY OBJECTS WITHIN THE AREA.
3) READINGS SHOWN ARE MAINTAINED HORIZONTAL FOOTCANDLES TAKEN AS SHOWN IN NUMERIC SUMMARY
4) FIXTURE ORIENTATION IS SUCH THAT 0 IS TO THE RIGHT OF THE DRAWING AND 90 IS TO THE TOP OF THE DRAWING AS SHOWN.
5) TILT ANGLE IS THE RAISING AND LOWERING OF THE FIXTURE HEAD.
6) THE LAYOUT DRAWING MUST BE COORDINATED WITH THE SITE LOCATION FOR CORRECT FIXTURE ORIENTATION.
7) CHECK GRAPHIC SCALE. DOCUMENTS PRINTED OR PLOTTED FROM ELECTRONIC FILES MAY OCCUR AT OTHER THAN THE DESIRED OR ASSUMED GRAPHIC SCALES. IT IS THE RESPONSIBILITY OF THE RECIPIENT TO VERIFY THAT THE PRINTED OR PLOTTED-TO-SCALE DRAWING IS PRINTED TO SCALE.
8) LUMINAIRE LUMENS = LUMENS LEAVING LUMINAIRE WITH EFFICIENCY CONSIDERED.
9) IMAGE USED FOR SITE PLAN. BECAUSE OF IMAGE QUALITY SCALE MUST BE CONFIRMED ON-SITE. REFER TO DIMENSION SHOWN ON IMAGE FOR VERIFICATION.



View_1:PLAN
Scale: 1 inch= 70 Ft.

TITLE
STEAMBOAT SKI RESORT STEAMBOAT SRPINGS, CO
REVISED LIGHTING LAYOUT FOR SLOPES
USING GIVEN LUMINAIRE LOCATIONS

DESIGNED BY: J. DURAN
SCALE AS SHOWN
REFERENCE UTL068G.AGI
AGi32© Version 20.6.2
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