

LEGEND:

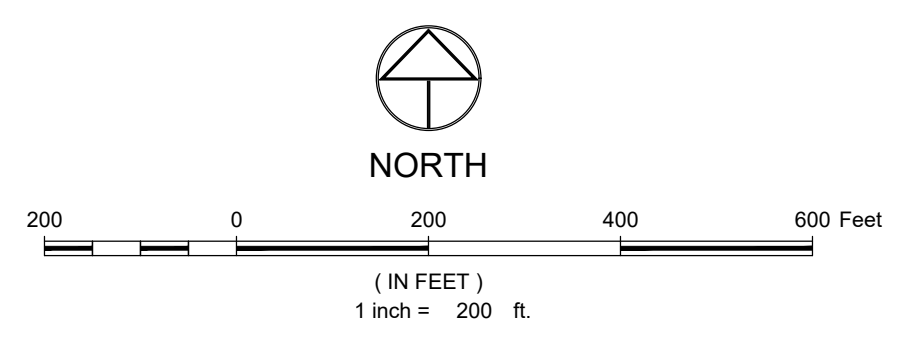
PROPERTY BOUNDARY	---
ADJACENT PROPERTY BOUNDARY	---
EASEMENT	---
SECTION LINE	---
CENTERLINE	---
FOUND MONUMENT	○
FOUND SECTION CORNER	⊕
BUILDING	▭
DECK	▭
WALL	▭
FENCE	▭
MAJOR CONTOUR	---
MINOR CONTOUR	---
ASPHALT	▭
CONCRETE	▭
GRAVEL	▭
SIGN	▭
SANITARY SEWER	---
SANITARY SEWER MANHOLE AND CLEANOUT	○
WATER LINE	---
FIRE HYDRANT, GATE VALVE & CURB STOP	○
GAS	---
GAS METER AND MANHOLE/VAULT	○
CABLE	---
CABLE PEDESTAL	○
FIBER OPTIC	---
TELEPHONE	---
TELEPHONE PEDESTAL AND MANHOLE/VAULT	○
ELECTRIC	---
ELECTRIC PED, JUNCTION BOX AND METER	○
LIGHT POLE AND LIGHT POLE W/ MAST	○
OVERHEAD	---
UTILITY POLE AND GUY WIRE	---
DITCH/SWALE	---
CULVERT W/ END SECTIONS	---
INLET AND STORM MANHOLE	○
FLOW ARROW	→
CONIFEROUS AND DECIDUOUS TREE	○

NOTES:

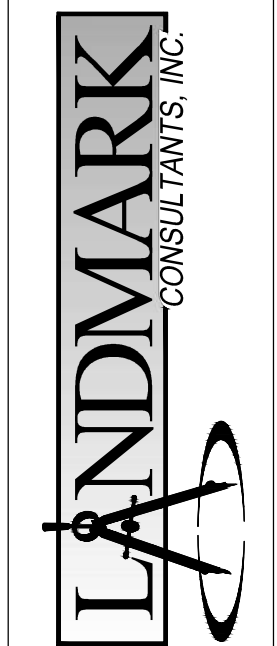
- ALL REFERENCES HEREON TO BOOKS, PAGES, FILES, RECEPTION NUMBERS AND FILE NUMBERS ARE TO PUBLIC DOCUMENTS FILED IN THE RECORDS OF ROUTT COUNTY, COLORADO.
- EASEMENTS AND PUBLIC DOCUMENTS SHOWN OR NOTED HEREON WERE EXAMINED AS TO LOCATION AND PURPOSE AND WERE NOT EXAMINED AS TO RESERVATIONS, RESTRICTIONS, CONDITIONS, OBLIGATIONS, TERMS, OR AS TO THE RIGHT TO GRANT THE SAME.
- UTILITIES ARE SHOWN PER APPARENT SURFACE EVIDENCE TOGETHER WITH RECORD INFORMATION. IF MORE ACCURATE LOCATIONS OF UNDERGROUND UTILITIES ARE REQUIRED, THE UTILITY WILL HAVE TO BE VERIFIED BY FIELD POT-HOLING. LANDMARK CONSULTANTS, INC. AND THE SURVEYOR OF RECORD SHALL NOT BE LIABLE FOR THE LOCATION OF OR THE FAILURE TO NOTE THE LOCATION OF NON-VISIBLE UTILITIES.
- BASIS OF BEARINGS: THE NORTH LINE OF SECTION 27, T6N, R84W, 6TH P.M., BEING MONUMENTED AS SHOWN HEREON AND BEING ASSUMED TO BEAR N86°54'01"E. BEARINGS SHOWN HEREON HAVE BEEN ROTATED FROM RECORD BEARINGS.
- ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND MONUMENT OR ACCESSORY, COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508, C.R.S.
- THIS SITE CONTAINS A CALCULATED AREA OF 201.9 ACRES.
- A PORTION OF THE SITE IS LOCATED WITHIN SPECIAL FLOOD HAZARD AREA ZONE A OF THE UNNAMED TRIBUTARY TO BURGESS CREEK AS DETERMINED BY FEMA FLOOD INSURANCE RATE MAP NUMBER 08107C0883D, WITH AN EFFECTIVE DATE OF FEBRUARY 4, 2005 AND LOMR 18-08-0922P.
- THE MEASURED DISTANCES SHOWN HEREON ARE IN U.S. SURVEY FEET.
- ALL SYMBOLS ARE ONLY GRAPHICALLY REPRESENTED AND ARE NOT TO SCALE.
- CONTRACTOR IS ENCOURAGED TO PERFORM DEMOLITION IN A MANNER THAT MAXIMIZES SALVAGE, RE-USE, AND RECYCLING OF MATERIALS. THIS INCLUDES APPROPRIATE SORTING AND STORING. IN PARTICULAR, DEMOLISHED CONCRETE, ASPHALT, AND BASE COURSE SHOULD BE RECYCLED IF POSSIBLE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND CONFIRMING DEMOLITION, REMOVAL, REPLACEMENT, AND DISPOSAL OF ALL FACILITIES AND MATERIALS.

PROPERTY DESCRIPTION:

- LOT 2, PARCEL D, SKI HILL SUBDIVISION PER FILE #14469 IN ROUTT COUNTY RECORDS AND LOT 1, GREEN HORN RANCH PER FILE #14524 IN ROUTT COUNTY RECORDS, CITY OF STEAMBOAT SPRINGS, ROUTT COUNTY, COLORADO.



CIVIL ENGINEERS | SURVEYORS
 141 9th Street - P.O. Box 774843
 Steamboat Springs, Colorado 80477
 (970) 871-9494
 www.LANDMARK-CO.com



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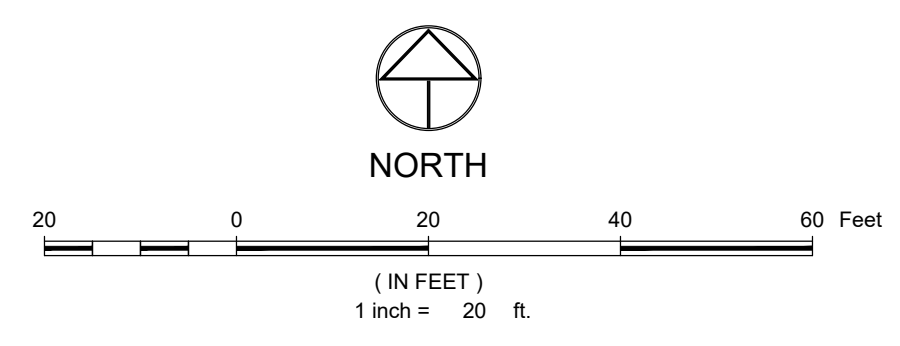
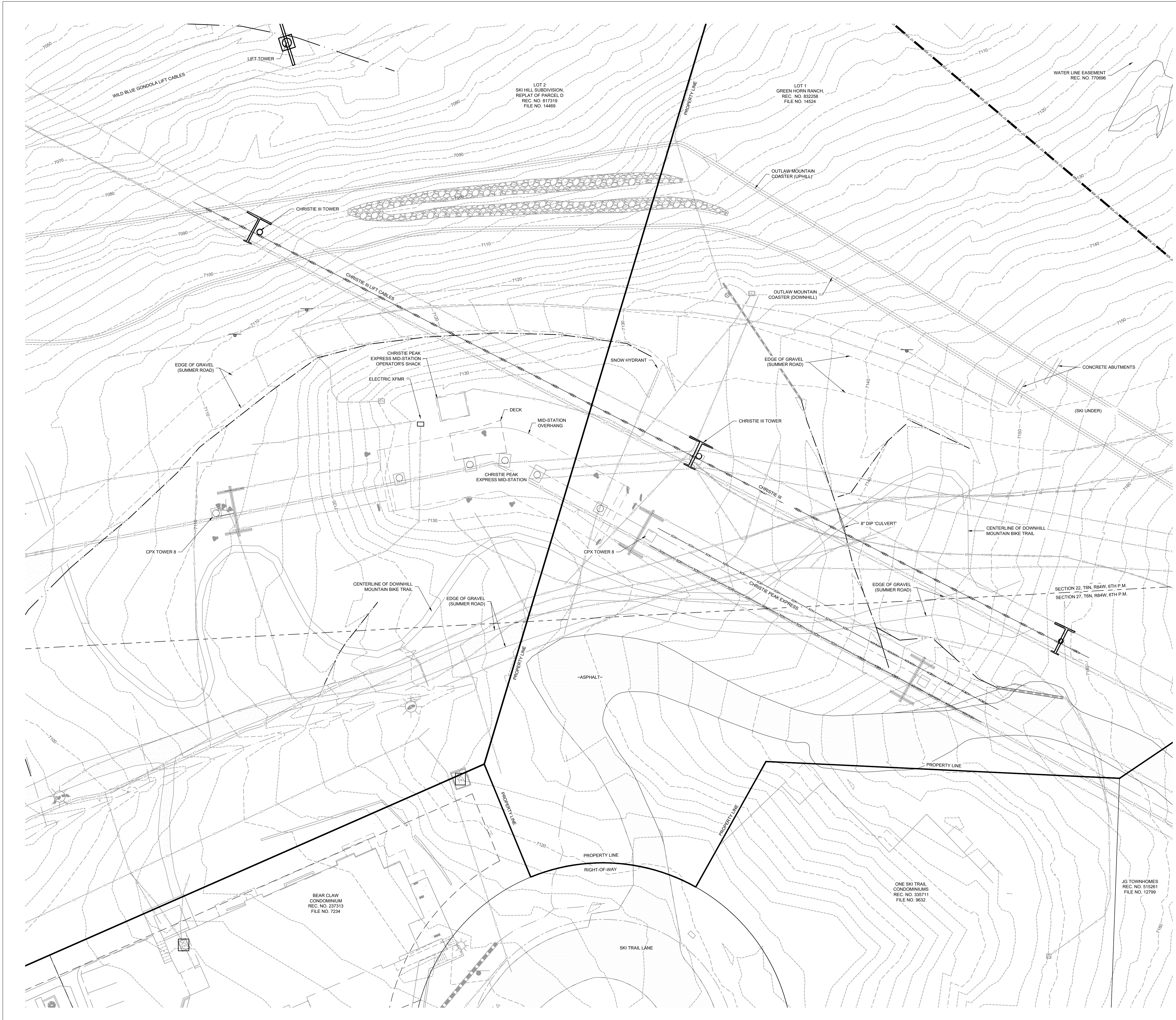
REVIEW SET
 NOT FOR CONSTRUCTION

PROJECT:	0152-052
DATE:	4/18/22
BY:	Erik Griepentanz
EMAIL:	erik@landmark-co.com

Christie Peak Express Relocation
 Existing Conditions Exhibit
 Overall - with Aerial

SHEET
C.004

DRAWING FILENAME: P:\10252\DWG\Production\Drawings\Submittal\Modifications\10252-052-004-C004-000.dwg; Created By: LAYOUT; DATE: Apr 15, 2022, 15:23:00; CADD OPERATOR: EGA
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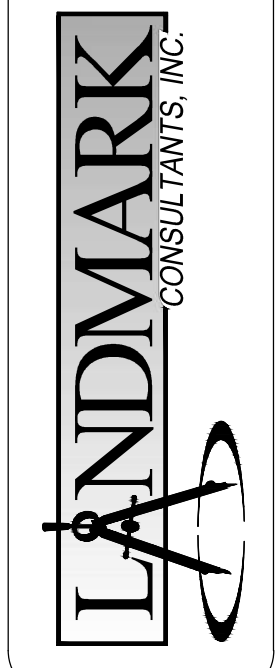
LEGEND:

PROPERTY BOUNDARY	
ADJACENT PROPERTY BOUNDARY	
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SECTION LINE	
CENTERLINE	
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ROOF LINE/OVERHANG	
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ELECTRIC	
ELECTRIC PED, JUNCTION BOX AND METER	
LIGHT POLE AND LIGHT POLE W/ MAST	
OVERHEAD	
UTILITY POLE AND GUY WIRE	
DITCH/SWALE	
CULVERT W/ END SECTIONS	
INLET AND STORM MANHOLE	
FLOW ARROW	
CONIFEROUS AND DECIDUOUS TREE	

NOTES:

- ALL REFERENCES HEREON TO BOOKS, PAGES, FILES, RECEPTION NUMBERS AND FILE NUMBERS ARE TO PUBLIC DOCUMENTS SHOWN IN THE RECORDS OF ROUTT COUNTY, COLORADO.
 - EASEMENTS AND PUBLIC DOCUMENTS SHOWN OR NOTED HEREON WERE EXAMINED AS TO LOCATION AND PURPOSE AND WERE NOT EXAMINED AS TO RESERVATIONS, RESTRICTIONS, CONDITIONS, OBLIGATIONS, TERMS, OR AS TO THE RIGHT TO GRANT THE SAME.
 - UTILITIES ARE SHOWN PER APPARENT SURFACE EVIDENCE TOGETHER WITH RECORD INFORMATION. IF MORE ACCURATE LOCATIONS OF UNDERGROUND UTILITIES ARE REQUIRED, THE UTILITY WILL HAVE TO BE VERIFIED BY FIELD POT-HOLING. LANDMARK CONSULTANTS, INC. AND THE SURVEYOR OF RECORD SHALL NOT BE LIABLE FOR THE LOCATION OF OR THE FAILURE TO NOTE THE LOCATION OF NON-VISIBLE UTILITIES.
 - BASIS OF BEARINGS: THE NORTH LINE OF SECTION 27, T6N, R84W, 6TH P.M., BEING MONUMENTED AS SHOWN HEREON AND BEING ASSUMED TO BEAR N86°54'01"E. BEARINGS SHOWN HEREON HAVE BEEN ROTATED FROM RECORD BEARINGS.
 - ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND MONUMENT OR ACCESSORY, COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508, C.R.S.
 - THIS SITE CONTAINS A CALCULATED AREA OF 201.9 ACRES.
 - A PORTION OF THE SITE IS LOCATED WITHIN SPECIAL FLOOD HAZARD AREA ZONE A OF THE UNNAMED TRIBUTARY TO BURGESS CREEK AS DETERMINED BY FEMA FLOOD INSURANCE RATE MAP NUMBER 0810700883D, WITH AN EFFECTIVE DATE OF FEBRUARY 4, 2005 AND LOMR 18-08-0922P.
 - THE MEASURED DISTANCES SHOWN HEREON ARE IN U.S. SURVEY FEET.
 - ALL SYMBOLS ARE ONLY GRAPHICALLY REPRESENTED AND ARE NOT TO SCALE.
 - CONTRACTOR IS ENCOURAGED TO PERFORM DEMOLITION IN A MANNER THAT MAXIMIZES SALVAGE, RE-USE, AND RECYCLING OF MATERIALS. THIS INCLUDES APPROPRIATE SORTING AND STORING. IN PARTICULAR, DEMOLISHED CONCRETE, ASPHALT, AND BASE COURSE SHOULD BE RECYCLED IF POSSIBLE.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND CONFIRMING DEMOLITION, REMOVAL, REPLACEMENT, AND DISPOSAL OF ALL FACILITIES AND MATERIALS.
 - THE DEMOLITION OF THE MINI-GOLF AND MOUNTAIN COASTER ARE NOT A PART BUT ARE PERMITTED SEPARATELY UNDER PERMIT SPRDE220354.
- PROPERTY DESCRIPTION:**
- LOT 2, PARCEL D, SKI HILL SUBDIVISION PER FILE #14469 IN ROUTT COUNTY RECORDS AND LOT 1, GREEN HORN RANCH PER FILE #14524 IN ROUTT COUNTY RECORDS, CITY OF STEAMBOAT SPRINGS, ROUTT COUNTY, COLORADO.

CIVIL ENGINEERS | SURVEYORS
 141 9th Street - P.O. Box 774843
 Steamboat Springs, Colorado 80477
 (970) 871-9494
 www.LANDMARK-CO.com



THIS SET OF PLANS, SPECIFICATIONS, CONTRACTS AND CONDITIONS OF SERVICE provided by Landmark Consultants, Inc. and are not to be used for any other project without the written consent of Landmark Consultants, Inc. unless signed and sealed by a professional engineer or surveyor in the employ of Landmark Consultants, Inc.

REVIEW SET
 NOT FOR CONSTRUCTION

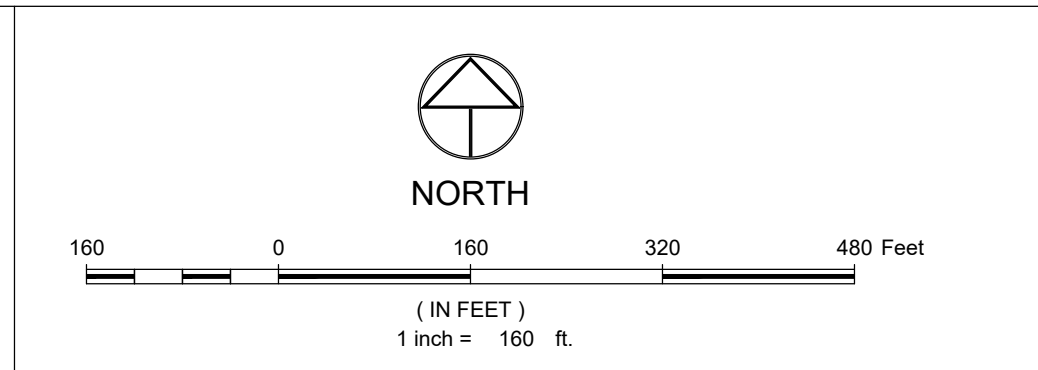
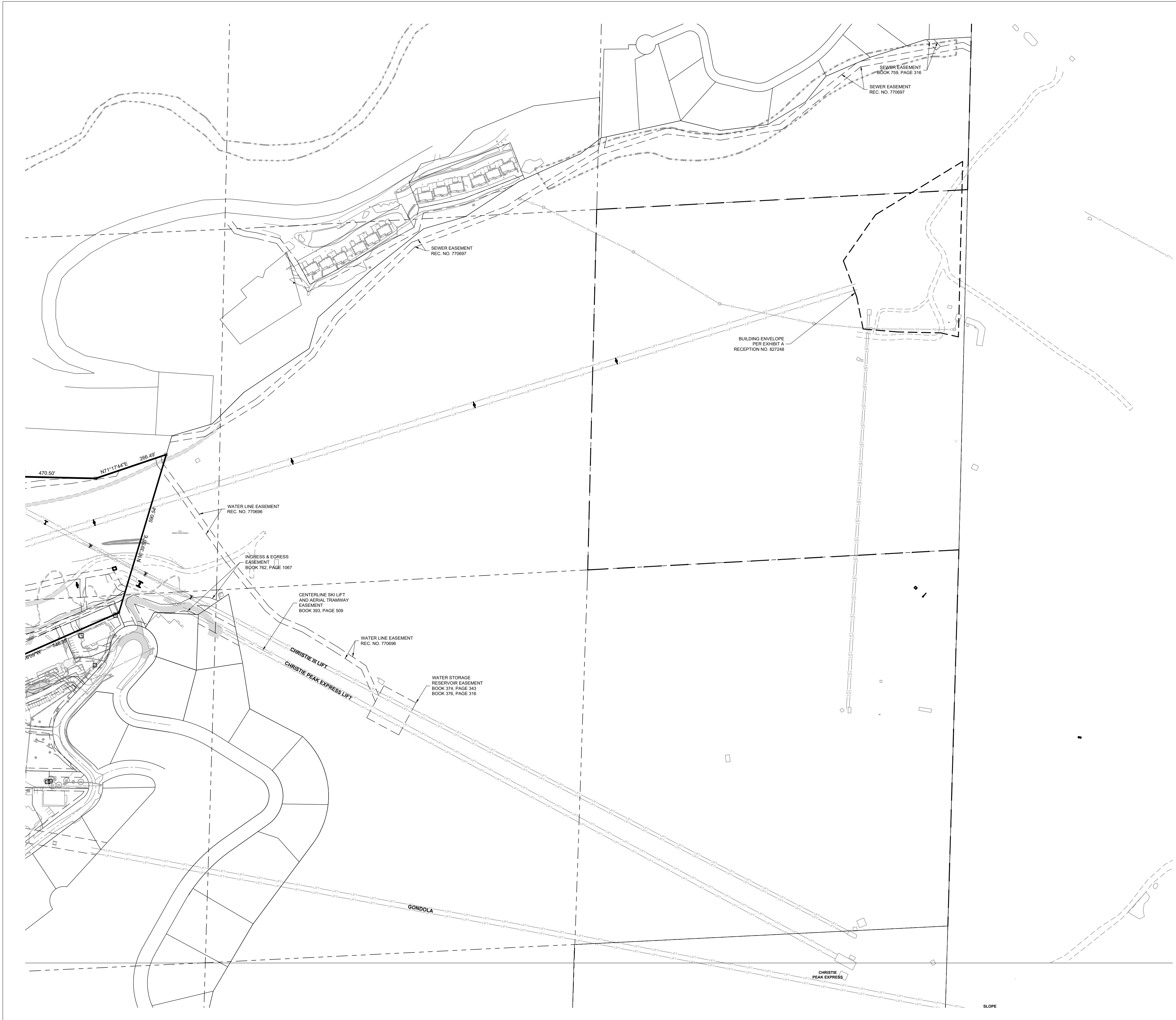
NO.	DATE	BY	DESCRIPTION
1	2/24/22	Grip	Revisions per DRL Comments
2	4/18/22		

PROJECT:	1012-052
DATE:	4/18/22
CONTACT:	Erik Griepentring
EMAIL:	enr@landmark-co.com

Christie Peak Express Relocation
 Detailed Existing Conditions Exhibit
 Mid-Station Terminal

SHEET
C.006

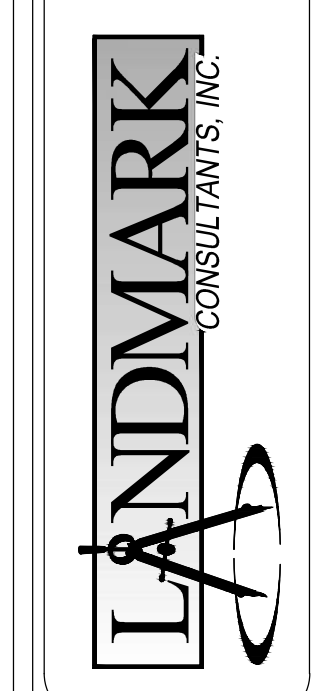
DRAWING FILENAME: P:\1012-052\DWG\Proposed\Drawings\1012-052-006-MAC-CAD-006-Detailed Existing Conditions.dwg, LAYOUT NAME: C006, DATE: Apr 18, 2022, 4:45 PM, CAD OPERATOR: ERB
 LIST OF SHEETS: 1012-052-006-MAC-CAD-006-Detailed Existing Conditions.dwg (1012-052-006-001) (1012-052-006-002) (1012-052-006-003) (1012-052-006-004) (1012-052-006-005) (1012-052-006-006) (1012-052-006-007) (1012-052-006-008) (1012-052-006-009) (1012-052-006-010) (1012-052-006-011) (1012-052-006-012) (1012-052-006-013) (1012-052-006-014) (1012-052-006-015) (1012-052-006-016) (1012-052-006-017) (1012-052-006-018) (1012-052-006-019) (1012-052-006-020) (1012-052-006-021) (1012-052-006-022) (1012-052-006-023) (1012-052-006-024) (1012-052-006-025) (1012-052-006-026) (1012-052-006-027) (1012-052-006-028) (1012-052-006-029) (1012-052-006-030) (1012-052-006-031) (1012-052-006-032) (1012-052-006-033) (1012-052-006-034) (1012-052-006-035) (1012-052-006-036) (1012-052-006-037) (1012-052-006-038) (1012-052-006-039) (1012-052-006-040) (1012-052-006-041) (1012-052-006-042) (1012-052-006-043) (1012-052-006-044) (1012-052-006-045) (1012-052-006-046) (1012-052-006-047) (1012-052-006-048) 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EASEMENT LEGEND:

- 1. RECEPTION NO. 693016: 20' ACCESS EASEMENT EAST HOTEL ACROSS OSP
- 2. BOOK 729, PAGE 339, RECEPTION NO. 748875: BUDDY'S RUN DECK ENCROACHMENT EASEMENT
- 3. RECEPTION NO. 693287: INTERFACE EASEMENT
- 4. RECEPTION NO. 693287: INTERFACE EASEMENT, REVOCABLE PORTION
- 5. BOOK 532, PAGE 620: 10' SANITARY SEWER EASEMENT
- 6. RECEPTION NO. 693286: PARKING, ACCESS & MAINTENANCE EASEMENT
- 7. BOOK 729, PAGE 338, RECEPTION NO. 687253, RECEPTION NO. 705974: EAST HOTEL ACCESS EASEMENT AS AMENDED BY RECEPTION NO.
- 8. BOOK 374, PAGE 345, BOOK 376, PAGE 316, RECEPTION NO. 770696: 20' WATER LINE EASEMENT
- 9. BOOK 337, PAGE 337: PERPETUAL VISUAL EASEMENT
- 10. BOOK 762, PAGE 1067 RELOCATED ROAD EASEMENT BOOK 393, PAGE 509, BOOK 395, PAGE 376 RELOCATED INGRESS & EGRESS EASEMENT
- 11. BOOK 412, PAGE 341: ENTRYWAY EASEMENT
- 12. BOOK 412, PAGE 343: ACCESS EASEMENT
- 13. BOOK 580, PAGE 76, RECEPTION NO. 727257, RECEPTION NO. 727903: LANDSCAPING AND ACCESS EASEMENT (BEAR CLAY II)
- 14. BOOK 745, PAGE 286: 20' SEWER EASEMENT
- 15. RECEPTION NO. 673810 & 705975: SEWER EASEMENT, RECEPTION NO. 789276: SEWER EASEMENT
- 16. RECEPTION NO. 678275: SEWER ENCROACHMENT AREA
- 17. RECEPTION NO. 789275: SEWER ENCROACHMENT AREA
- 18. RECEPTION NO. 692162: SKI EASEMENT
- 19. RECEPTION NO. 693153: WATER MAINS EASEMENT
- 20. RECEPTION NO. 692097, RECEPTION NO. 749229, RECEPTION NO. 702319, RECEPTION NO. 713742: PUBLIC IMPROVEMENTS EASEMENT (WATCHDOG)
- 21. RECEPTION NO. 692097, RECEPTION NO. 713742: PUBLIC IMPROVEMENTS EASEMENT (BOILER HOUSE)
- 22. RECEPTION NO. 699720: SEWER MAINS EASEMENT
- 23. RECEPTION NO. 699721: WATER MAINS EASEMENT
- 24. RECEPTION NO. 718939, RECEPTION NO. 733617: PUBLIC IMPROVEMENTS EASEMENT (LITTLE P EASEMENT)
- 25. RECEPTION NO. 738342: ACCESS AND LANDSCAPE EASEMENT
- 26. BOOK 583, PAGE 238 & RECEPTION NO. 693278: ACCESS EASEMENT (1ST AMENDMENT EAST HOTEL ACCESS)
- 27. RECEPTION NO. 692096: STORM SEWER & ACCESS AND MAINTENANCE EASEMENT
- 28. RECEPTION NO. 693152: SANITARY SEWER EASEMENT
- 29. RECEPTION NO. 817314: ELECTRIC EASEMENT
- 30. RECEPTION NO. 817317: GAS EASEMENT
- 31. BOOK 532, PAGE 756: TELEPHONE EASEMENT
- 32. RECEPTION NO. 789276: DECK EASEMENT AGREEMENT
- 33. BOOK 629, PAGE 832: PEDESTRIAN ACCESS EASEMENT
- 34. BOOK 532, PAGE 620, BOOK 532, PAGE 774: 10' SANITARY SEWER EASEMENT
- 35. BOOK 780, PAGE 976: BUILDING ENCROACHMENT EASEMENT
- 36. RECEPTION NO. 513746 (FILE NO. 12770), RECEPTION NO. 307130 (FILE NO. 8823): STORM SEWER EASEMENT
- 37. BOOK 532, PAGE 758: 16' TELEPHONE EASEMENT
- 38. BOOK 596, PAGE 1481: EXCLUSIVE PARKING SPACES, ENTRANCE FROM ACCESS ROUTE NO. 1, ENTRANCE FROM ACCESS ROUTE NO. 2, VEHICULAR AND PEDESTRIAN INGRESS AND EGRESS ACCESS EASEMENT (ACCESS ROUTE 2); STORAGE, CLOSET, ELEVATOR & STAIRWAY
- 39. BOOK 532, PAGE 774: 10' ELECTRIC EASEMENT
- 40. BOOK 729, PAGE 342: HOTEL ACCESS EASEMENT
- 41. RECEPTION NO. 307130: ACCESS EASEMENT SKI HILL SUBDIVISION
- 42. BOOK 559, PAGE 98: TRUCK TURNAROUND LICENSE AGREEMENT
- 43. RECEPTION NO. 693288: INTERFACE EASEMENT
- 44. RECEPTION NO. 693289: NO BUILD EASEMENT
- 45. BOOK 596, PAGE 1487, EX A: BUILDING IMPROVEMENT EASEMENT
- 46. RECEPTION NO. 600980: AERIAL TRAMWAY EASEMENT
- 47. RECEPTION NO. 680175: SHORING EASEMENT AGREEMENT
- 48. RECEPTION NO. 592099: GONDOLA EXPANSION EASEMENT (MULTIPLE EXHIBITS), GONDOLA SQUARE ACCESS EASEMENT, WEST SIDE DRAINAGE EASEMENT, ETC.
- 49. RECEPTION NO. 693283: PEDESTRIAN ACCESS EASEMENT OSP
- 50. BOOK 532, PAGE 602: 10' WATERLINE EASEMENT
- 51. RECEPTION NO. 693285: PATIO EASEMENT, DOORWAY EASEMENT, ENTRY EASEMENTS
- 52. RECEPTION NO. 693280: SANITARY SEWER EASEMENT
- 53. RECEPTION NO. 693283: EMERGENCY ACCESS EASEMENT OSP
- 54. RECEPTION NO. 693290: SKI AREA EASEMENT, STORM SEWER & DRAINAGE EASEMENT, RECIPROCAL UTILITY EASEMENT, GONDOLA SQUARE ACCESS EASEMENT
- 55. RECEPTION NO. 693016, BOOK 729, PAGE 338: AGREEMENT (ACCESS TO EASTERN SIDE OF HOTEL)
- 56. RECEPTION NO. 693278: DECLARATION OF EASEMENT
- 57. RECEPTION NO. 600979: ACCESS EASEMENT
- 58. BOOK 596, PAGE 1487, EX C-7: WALKWAY EASEMENT
- 59. RECEPTION NO. 596269, BOOK 596, PAGE 1487, EX C-8 AND C-9: STORM SEWER LINE EASEMENT AND STORM LINE EASEMENT
- 60. BOOK 358, PAGE 473: PRIVATE RIGHT-OF-WAY
- 61. RECEPTION NO. 661066: OSP EASEMENT AREA
- 62. RECEPTION NO. 693018: RIGHT OF WAY EASEMENT (ELECTRIC)
- 63. RECEPTION NO. 693279: SNOWMAKING LINE EASEMENT
- 64. BOOK 583, PAGE 238: 30' ACCESS EASEMENT
- 65. BOOK 519, PAGE 577: 10' TELEPHONE EASEMENT
- 66. BOOK 729, PAGE 343: HOTEL BRIDGE ACCESS, PEDESTRIAN AND EMERGENCY AND MAINTENANCE VEHICLE ACCESS
- 67. BOOK 532, PAGE 782: ELECTRIC EASEMENT

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NO.	DATE	BY	DESCRIPTION
1	2/24/22	Crip	Revisions per DTL Comments
2	4/18/22		

PROJECT:	1012-002
DATE:	4/18/22
CONTACT:	Erik Griepentring
EMAIL:	erikg@landmark-co.com

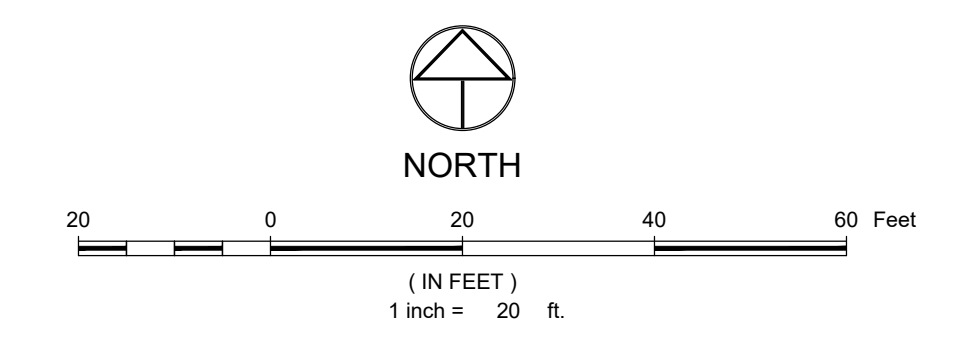
Christie Peak Express Relocation
 Property Easement Exhibit
 3 of 3

SHEET
C.009

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 LIST OF REVISIONS: 1012-002-004-001-001.dwg (1012-002-004-001-001.dwg) 1012-002-004-001-001.dwg (1012-002-004-001-001.dwg)



NOTE: RE-ESTABLISHMENT OF BIKING AND HIKING TRAILS ARE NOT SHOWN AS LOCATIONS WILL BE FIELD FIT. ALSO NOT SHOWN ARE ASSOCIATED SECONDARY SWALES, WATER BARS AND SHORT CULVERTS THAT WILL CONNECT WITH PRIMARY SWALES.

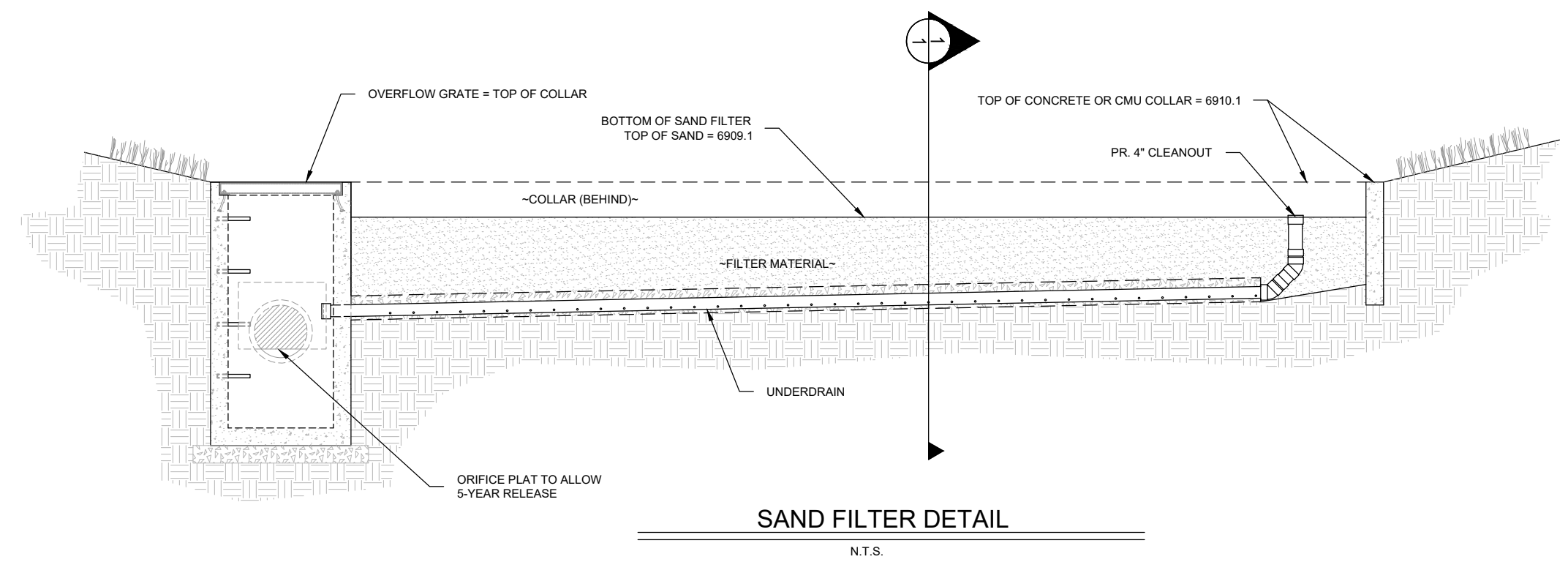
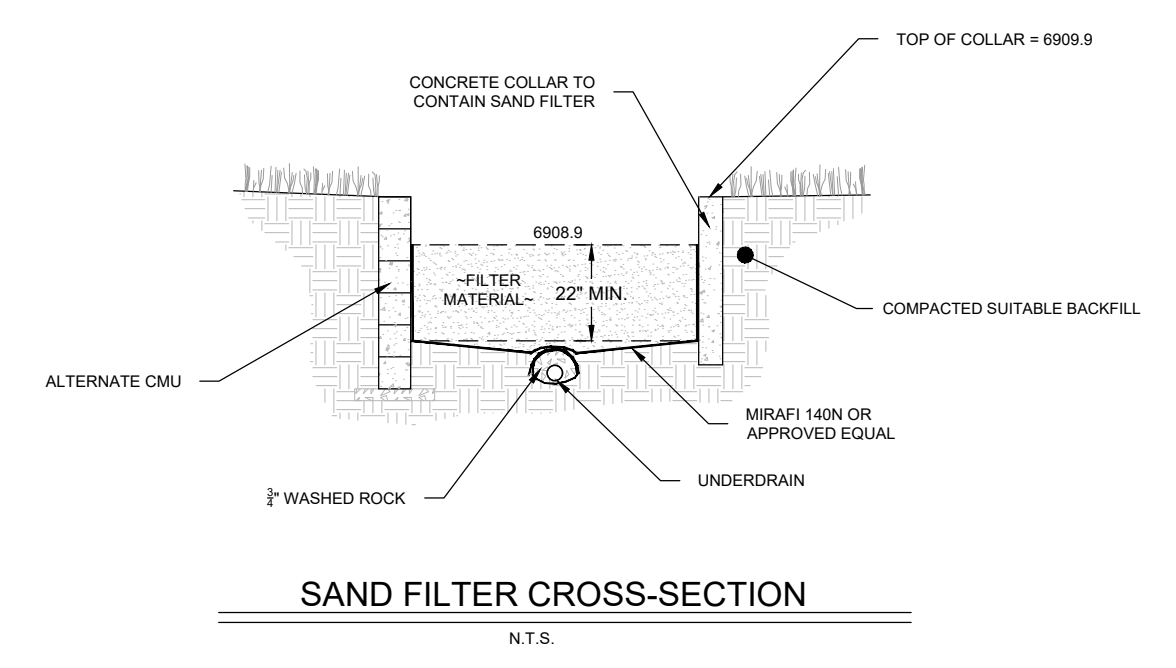


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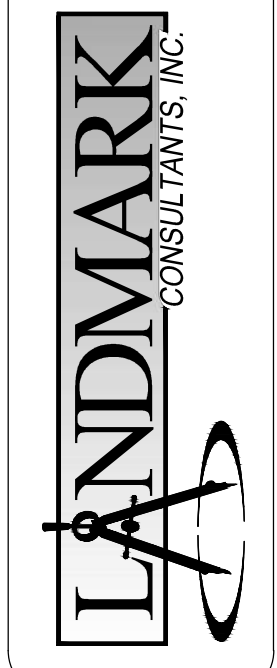
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- PROPOSED MINOR CONTOUR ----- (6905) -----
- EXISTING MAJOR CONTOUR ----- (6905) -----
- EXISTING MINOR CONTOUR ----- (6905) -----
- SWALE DITCH FLOWLINE ----- LOG -----
- APPROX. LIMITS OF GRADING MODIFICATION ----- LOG -----
- PROPOSED SPOT ELEVATION (69.10)
- PROPOSED OVERLAND FLOW DIRECTION ↑
- PROPOSED CHANNELIZED FLOW DIRECTION ↑
- GRAVEL SURFACING [Hatched Box]

NOTES:

1. THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK. BEFORE COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UNKNOWN UNDERGROUND UTILITIES.
2. ALL PROJECT DATA IS ON VERTICAL DATUM, NAVD 88. SEE NOTES SHEET FOR BENCHMARK REFERENCES.
3. ELEVATIONS FOR IMPROVEMENTS THAT ARE CONTROLLED BY ADJACENT EXISTING FACILITIES (SUCH AS PROPOSED GUTTERS ALONG EXISTING ASPHALT) MAY REQUIRE ADJUSTMENT BASED ON ACTUAL CONDITIONS. COORDINATE WITH ENGINEER TO ENSURE A CONSISTENT SECTION WITH SMOOTH TRANSITIONS WHERE NECESSARY.
4. SEE SOILS REPORT FOR PAVEMENT, SUBGRADE AND MATERIAL PREPARATION, DESIGN AND RECOMMENDATIONS.
5. ALL CURB SPOTS SHOWN ARE FLOWLINE ELEVATIONS, UNLESS NOTED OTHERWISE. ALL OTHER SPOTS ARE FINISHED GRADE ELEVATIONS.
6. RETAINING WALLS TO BE DESIGNED BY OTHERS.
7. SKI INFRASTRUCTURE AND DESIGN PARAMETERS BY OTHERS.
8. ITEMS INTENDED FOR DEMOLITION ARE NOT SHOWN FOR ILLUSTRATIVE PURPOSES. DEMOLITION OF THE MINI-GOLF AND MOUNTAIN COASTER ARE NOT A PART AND ARE PERMITTED UNDER SPRDE20354.



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NO.	DATE	BY	DESCRIPTION
1	2/24/22	Crip	Revisions per DTL Comments
2	4/18/22		

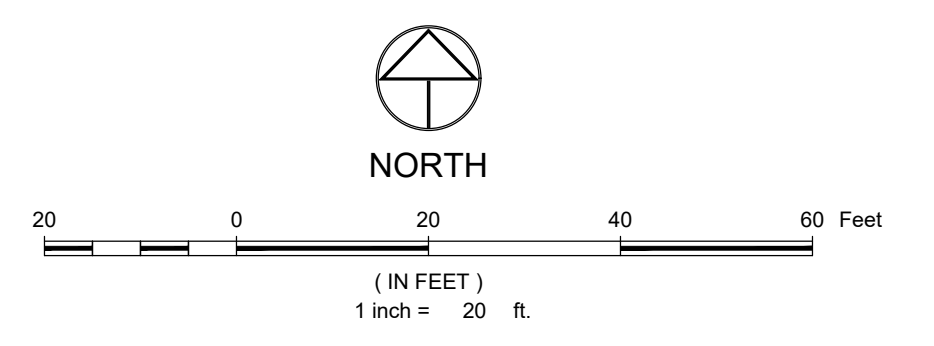
REVIEW SET
NOT FOR CONSTRUCTION

PROJECT:	1012-052
DATE:	4/18/22
CONTACT:	Erik Griepentring
EMAIL:	erik@landmark-co.com

Christie Peak Express Relocation
 Detailed Civil Site Plan
 Lower Terminal

DRAWING FILENAME: P:\1012-052\Drawings\Production Drawings\1012-052-MAC-110-Detailed Site Plan - Lower Terminal.dwg; PLOT DATE: 4/18/22; PLOT TIME: 10:12:00 AM; PLOT BY: erik.griepentring@landmark-co.com; PLOT DEVICE: HP DesignJet T1100; PLOT SCALE: 1:1; PLOT SHEET: 1 OF 2 SHEETS; LIST OF SHEETS: 1012-052-MAC-110-Detailed Site Plan - Lower Terminal.dwg; 1012-052-MAC-110-Detailed Site Plan - Upper Terminal.dwg; 1012-052-MAC-110-Detailed Site Plan - Lower Terminal.dwg

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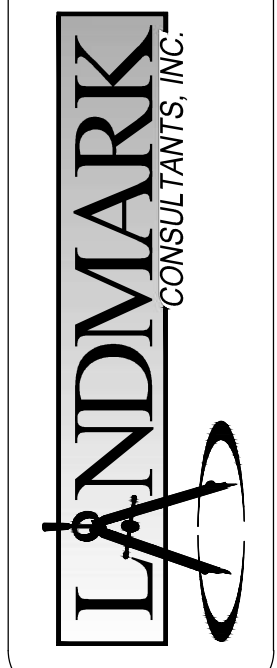


LEGEND:

- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- SWALE DITCH FLOWLINE
- APPROX. LIMITS OF GRADING MODIFICATION
- PROPOSED SPOT ELEVATION
- PROPOSED OVERLAND FLOW DIRECTION
- PROPOSED CHANNELIZED FLOW DIRECTION
- GRAVEL SURFACING

- NOTES:**
- THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK. BEFORE COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UNKNOWN UNDERGROUND UTILITIES.
 - ALL PROJECT DATA IS ON VERTICAL DATUM, NAVD 88. SEE NOTES SHEET FOR BENCHMARK REFERENCES.
 - ELEVATIONS FOR IMPROVEMENTS THAT ARE CONTROLLED BY ADJACENT EXISTING FACILITIES (SUCH AS PROPOSED GUTTERS ALONG EXISTING ASPHALT) MAY REQUIRE ADJUSTMENT BASED ON ACTUAL CONDITIONS. COORDINATE WITH ENGINEER TO ENSURE A CONSISTENT SECTION WITH SMOOTH TRANSITIONS WHERE NECESSARY.
 - SEE SOILS REPORT FOR PAVEMENT, SUBGRADE AND MATERIAL PREPARATION, DESIGN AND RECOMMENDATIONS.
 - ALL CURB SPOTS SHOWN ARE FLOWLINE ELEVATIONS, UNLESS NOTED OTHERWISE. ALL OTHER SPOTS ARE FINISHED GRADE ELEVATIONS.
 - RETAINING WALLS TO BE DESIGNED BY OTHERS.
 - SKI INFRASTRUCTURE AND DESIGN PARAMETERS BY OTHERS.
 - ITEMS INTENDED FOR DEMOLITION ARE NOT SHOWN FOR ILLUSTRATIVE PURPOSES. DEMOLITION OF THE MINI-GOLF AND MOUNTAIN COASTER ARE NOT A PART AND ARE PERMITTED UNDER SPRDE20354.

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REVIEW SET
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NO.	DATE	BY	DESCRIPTION
1	2/24/22	Grip	Revisions per DDC Comments
2	4/15/22		

PROJECT: 101020-502
 DATE: 4/15/22
 CONTACT: Erik Giering
 EMAIL: erik@landmark-co.com

Christie Peak Express Relocation
 Detailed Grading & Drainage Plan
 Lower Terminal

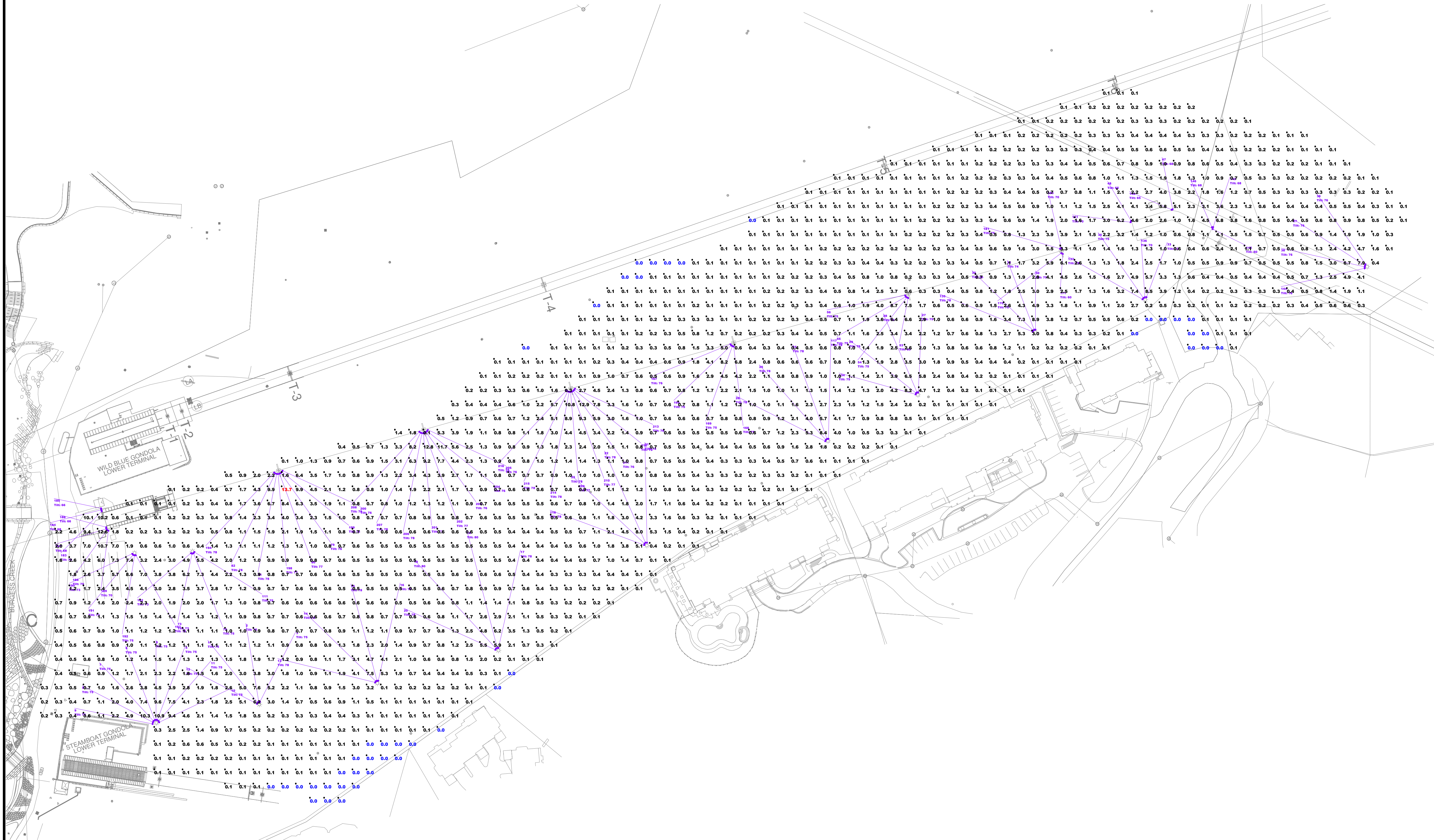
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C.310

NOTES:
 - SITE WAS CONSIDERED FLAT, NO SLOPE WAS CONSTRUCTED
 - ALL LUMINAIRES ARE MOUNTED 30FT AFF

Luminaire Schedule						Filename	
Symbol	Qty	Label	Arrangement	Luminaire Lumens	LLF	Description	Filename
⊕	102	SN	Single	17663	0.900	Snow Bright SNBT-FL-300WB2-300W-NF-65K PTB	SNBT-FL-300WB2-NF-65K PTB.IES

Calculation Summary										
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description	PtSpcLr	PtSpcTb
SLOPE	Illuminance	Fc	1.22	13.7	0.0	N.A.	N.A.	readings taken at grade	20	20

NOTES:
 1) EXACT MOUNTING DETAILS TO BE DETERMINED AT JOBSITE BY OTHERS.
 2) CALCULATIONS DO NOT SHOW THE EFFECT OF SHADOWING CAUSED BY OBJECTS WITHIN THE AREA.
 3) READINGS SHOWN ARE MAINTAINED HORIZONTAL FOOTCANDLES TAKEN AS SHOWN IN NUMERIC SUMMARY
 4) FIXTURE ORIENTATION IS SUCH THAT 0 IS TO THE RIGHT OF THE DRAWING AND 90 IS TO THE TOP OF THE DRAWING AS SHOWN.
 5) TILT ANGLE IS THE RAISING AND LOWERING OF THE FIXTURE HEAD.
 6) THE LAYOUT DRAWING MUST BE COORDINATED WITH THE SITE LOCATION FOR CORRECT FIXTURE ORIENTATION.
 7) CHECK GRAPHIC SCALE. DOCUMENTS PRINTED OR PLOTTED FROM ELECTRONIC FILES MAY OCCUR AT OTHER THAN THE DESIRED OR ASSUMED GRAPHIC SCALES. IT IS THE RESPONSIBILITY OF THE RECIPIENT TO VERIFY THAT THE PRINTED OR PLOTTED-TO-SCALE DRAWING IS PRINTED TO SCALE.
 8) LUMINAIRE LUMENS = LUMENS LEAVING LUMINAIRE WITH EFFICIENCY CONSIDERED.
 9) IMAGE USED FOR SITE PLAN. BECAUSE OF IMAGE QUALITY SCALE MUST BE CONFIRMED ON-SITE. REFER TO DIMENSION SHOWN ON IMAGE FOR VERIFICATION.



TITLE
STEAMBOAT SKI RESORT STEAMBOAT SRPINGS, CO
REVISED LIGHTING LAYOUT FOR SLOPES
USING GIVEN LUMINAIRE LOCATIONS

DESIGNED BY:
J. DURAN
 SCALE AS SHOWN
 REFERENCE UTI068G.AGI
 AGI.328 Version 20.6.2



DATE 4/15/2022

Page 1 of 1

View 1: PLAN
 Scale: 1 inch= 70 Ft.