



NOTES:

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2. EASEMENTS AND PUBLIC DOCUMENTS SHOWN OR NOTED HEREON WERE EXAMINED AS TO LOCATION AND PURPOSE AND WERE NOT EXAMINED AS TO RESERVATIONS, RESTRICTIONS, CONDITIONS, OBLIGATIONS, TERMS, OR AS TO THEIR RIGHT TO GRANT THE SAME.
3. UTILITIES ARE SHOWN PER APPARENT SURFACE EVIDENCE TOGETHER WITH RECORD INFORMATION, IF MORE ACCURATE LOCATIONS OF UNDERGROUND UTILITIES ARE REQUIRED, THE UTILITY WILL HAVE TO BE VERIFIED BY FIELD POT-HOLING, LANDMARK CONSULTANTS, INC. AND THE SURVEYOR OF RECORD SHALL NOT BE LIABLE FOR THE LOCATION OF OR THE FAILURE TO NOTE THE LOCATION OF NON-VISIBLE UTILITIES.
4. BASIS OF BEARINGS: THE W LINE OF THE NW1/4 SECTION 27, T6N, R64W, 6TH P.M., BEING MONUMENTED AS SHOWN HEREON AND BEARING N01°40'00"E BASED ON NAD83(2011) COLORADO NORTH ZONE COORDINATE SYSTEM.
5. ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND MONUMENT OR ACCESSORY, COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-64-506, C.R.S.
6. THIS SITE CONTAINS A CALCULATED AREA OF 27,131 SQUARE FEET OR 0.62 ACRES.
7. THE LAST FIELD INSPECTION OF THIS SITE WAS ON DECEMBER 13, 2019. AT THE TIME OF SURVEY SNOW COVERED THE GROUND, DUE TO SNOW CONDITIONS SOME IMPROVEMENTS AND FEATURES MAY HAVE BEEN OBSCURED AND MAY NOT BE SHOWN HEREON.
8. THERE ARE NO BUILDINGS ON THE SUBJECT PROPERTY.
9. THE SUBJECT PROPERTY IS LOCATED IN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS DETERMINED BY THE F.E.M.A. PERFORMANCE RATING MAP NUMBER 08107C0903D, WITH AN EFFECTIVE DATE OF FEBRUARY 4, 2005.
10. THE MEASURED DISTANCES SHOWN HEREON ARE IN U.S. SURVEY FEET.
11. ALL SYMBOLS ARE ONLY GRAPHICALLY REPRESENTED AND ARE NOT TO SCALE.

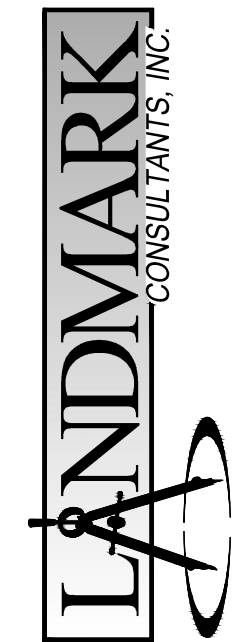
PROPERTY DESCRIPTION

A TRACT OF LAND SITUATED IN THE COUNTY OF ROUTT AND STATE OF COLORADO, AND BEING A TRACT OF LAND IN THE NW1/4 NW1/4 SW1/4 OF SECTION 27, TOWNSHIP 6 NORTH RANGE 84 WEST OF THE 6TH P.M., BOUNDED BY A LINE DESCRIBED AS FOLLOWS:

BEGINNING AT THE NW CORNER OF THE SW1/4 OF SAID SECTION 27, THENCE S0° 15'34" E
ALONG THE WEST LINE OF THE SW1/4 OF SAID SECTION 27 A DISTANCE OF 340.59 FEET;
THENCE N86° 20'46"E A DISTANCE OF 258.68 FEET TO THE TRUE POINT OF BEGINNING;
THENCE N86° 20'46"E A DISTANCE OF 108.60 FEET;
THENCE N03° 39'14"W A DISTANCE OF 290.00 FEET;
THENCE S86° 20'46"W A DISTANCE OF 91.40 FEET;
THENCE S00° 15'34" E A DISTANCE OF 290.51 FEET TO THE TRUE POINT OF BEGINNING.

LESS A TRACT OF LAND CONVEYED ON BOOK 422, PAGE 452, DESCRIBED AS FOLLOWS

BEGINNING AT THE NORTHERMOST NORTHWEST CORNER OF LOT 3, SUNRAY MEADOWS FILING NO. 1, AS SHOWN BY LOCATING MAP FILE WITH THE CLERK AND RECORDER OF THE COUNTY OF ROUTT, STATE OF COLORADO, FILE NO. 7279, THENCE S03°24'21"E, 71.63 FEET ALONG THE WESTERLY LINE OF SAID LOT 3, SAID LINE ALSO BEING THE EAST LINE OF A PARCEL OF LAND CONVEYED BY DEED RECORDED IN BOOK 390, PAGE 463, OF THE RECORDS OF THE CLERK AND RECORDER OF THE COUNTY OF ROUTT, STATE OF COLORADO; THENCE S86°20'46"W 46.0 FEET ALONG THE SOUTH LINE OF SAID PARCEL; THENCE N26°32'46"E 92.13 FEET MORE OR LESS TO A POINT ON THE EASTERLY LINE OF SAID PARCEL; THENCE S03°24'21"E 8.0 FEET ALONG SAID LINE TO THE POINT OF BEGINNING.



These drawings are instruments of service provided by Landmark Consultants, Inc. and are not to be used for any type of construction or contracting unless signed and sealed by a Professional Engineer in the employ of Landmark Consultants, Inc.

PROJECT	NO.	DATE	BY:	DESCRIPTION:
	1	3/17/21	DRT	Comments
	2	10/26/21	RS	DRT
CONTACT: Ryan Spaulst				
EMAIL: ryans@landmark-co.com				

Village Drive Townhomes

Existing Conditions Plan



NOTES:

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3. UTILITIES ARE SHOWN PER APPARENT SURFACE EVIDENCE TOGETHER WITH RECORD INFORMATION. IF MORE ACCURATE LOCATIONS OF UNDERGROUND UTILITIES ARE REQUIRED, THE UTILITY WILL HAVE TO BE VERIFIED BY FIELD POT-HOLING. LANDMARK CONSULTANTS, INC. AND THE SURVEYOR OF RECORD SHALL NOT BE LIABLE FOR THE LOCATION OF OR THE FAILURE TO NOTE THE LOCATION OF NON-VISIBLE UTILITIES.
4. BASIS OF BEARINGS: THE W LINE OF THE NW1/4 SECTION 27, T6N, R84W, 6TH P.M., 1/4 SEC. 27 MONUMENTED AS MONUMENTED AND BEARING N01°00'00"E BASED ON NAD83(2011) COLORADO NORTH ZONE COORDINATE SYSTEM.
5. ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND MONUMENT OR ACCESSORY, COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-6-508, C.R.S.
6. THIS SITE CONTAINS A CALCULATED AREA OF 27,131 SQUARE FEET OR 0.62 ACRES.
7. THE LAST FIELD INSPECTION OF THIS SITE WAS ON DECEMBER 13, 2019. AT THE TIME OF SURVEY, SNOW COVERED THE GROUND. DUE TO SNOW CONDITIONS SOME IMPROVEMENTS AND FEATURES MAY HAVE BEEN OBSCURED AND MAY NOT BE SHOWN HEREON.
8. THERE ARE NO BUILDINGS ON THE SUBJECT PROPERTY.
9. THE SUBJECT PROPERTY IS LOCATED IN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS DETERMINED BY THE F E MA, FLOOD INSURANCE RATE MAP NUMBER 08107C0883D, WITH AN EFFECTIVE DATE OF FEBRUARY 4, 2005.
10. THE MEASURED DISTANCES SHOWN HEREON ARE IN U.S. SURVEY FEET.
11. ALL SYMBOLS ARE ONLY GRAPHICALLY REPRESENTED AND ARE NOT TO SCALE.

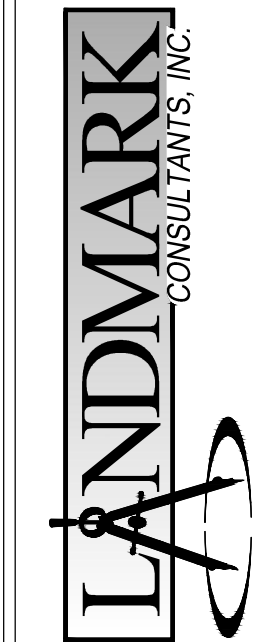
PROPERTY DESCRIPTION:

A TRACT OF LAND SITUATED IN THE COUNTY OF ROUTT AND STATE OF COLORADO, AND BEING A TRACT OF LAND IN THE NW1/4 NW1/4 SW1/4 OF SECTION 27, TOWNSHIP 6 NORTH RANGE 84 WEST OF THE 6TH P.M., BOUNDED BY A LINE DESCRIBED AS FOLLOWS:

BEGINNING AT THE NW CORNER OF THE SW1/4 OF SAID SECTION 27, THENCE S0° 15'34"E ALONG THE WEST LINE OF THE SW1/4 OF SAID SECTION 27 A DISTANCE OF 340.59 FEET; THENCE N86° 20'46"E A DISTANCE OF 258.68 FEET TO THE TRUE POINT OF BEGINNING; THENCE N86° 20'46"E A DISTANCE OF 108.60 FEET; THENCE N03° 39'14"W A DISTANCE OF 290.00 FEET; THENCE S86° 20'46"W A DISTANCE OF 91.40 FEET; THENCE S00° 15'34"E A DISTANCE OF 290.51 FEET TO THE TRUE POINT OF BEGINNING.

LESS A TRACT OF LAND CONVEYED ON BOOK 422, PAGE 452, DESCRIBED AS FOLLOWS:

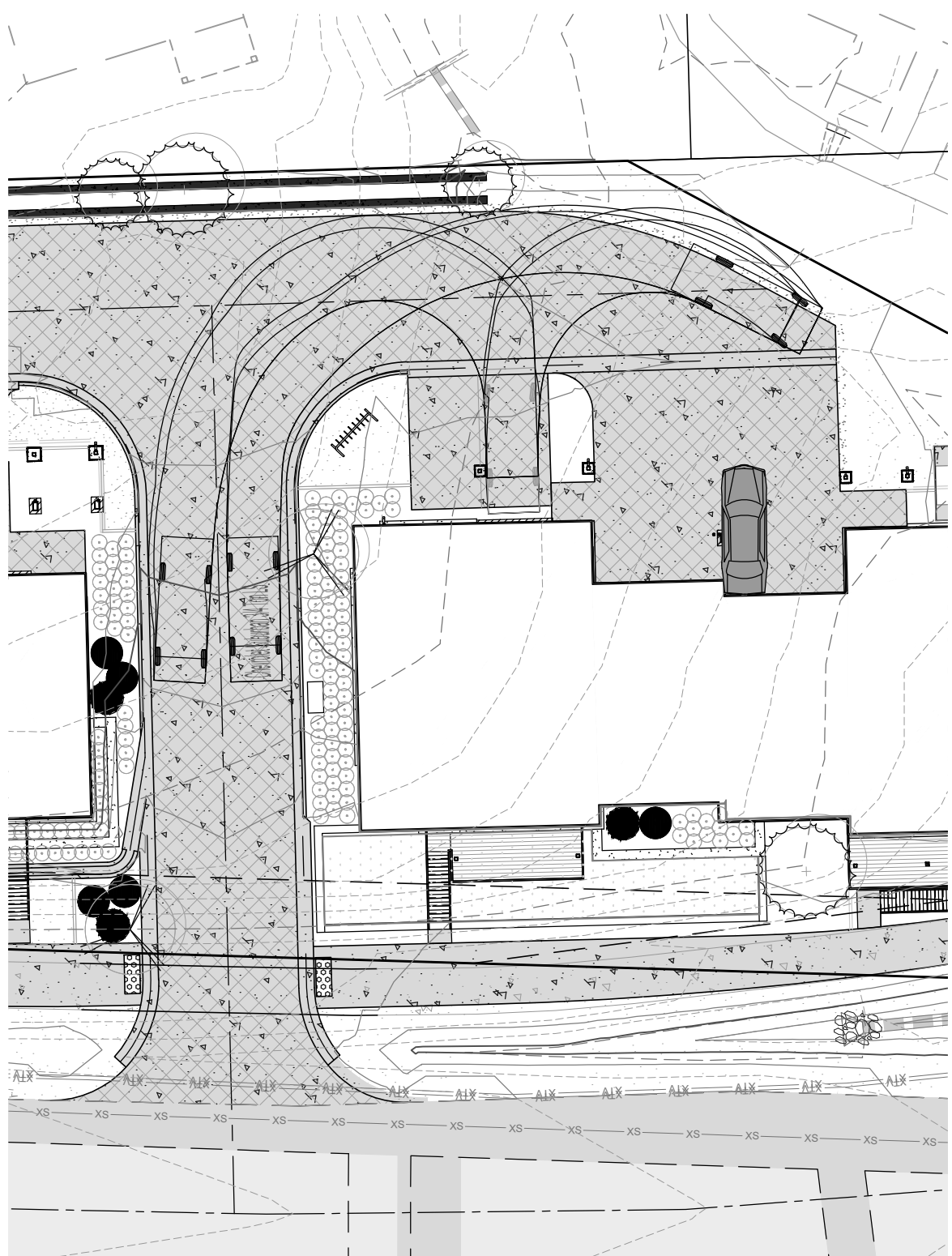
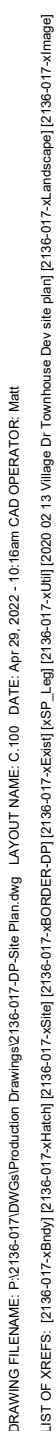
BEGINNING AT THE NORTHERMOST NORTHWEST CORNER OF LOT 3, SUNRAY MEADOWS FILING NO. 1, AS SHOWN BY LOCATING MAP FILE WITH THE CLERK AND RECORDER OF THE COUNTY OF ROUTT, STATE OF COLORADO, FILE NO. 7279, THENCE S00°24'21"E, 71.63 FEET TO THE POINT OF BEGINNING, THENCE S00°24'21"E, 10.0 FEET TO THE POINT OF BEGINNING OF A PARCEL OF LAND CONVEYED BY DEED RECORDED IN BOOK 390, PAGE 483, OF THE RECORDS OF THE CLERK AND RECORDER OF THE COUNTY OF ROUTT, STATE OF COLORADO, THENCE S88°20'48"W 46.0 FEET ALONG THE SOUTH LINE OF SAID PARCEL, THENCE N26°32'40"E, 92.13 FEET MORE OR LESS TO A POINT ON THE EASTERLY LINE OF SAID PARCEL, THENCE S00°24'21"E 8.0 FEET ALONG SAID POINT TO THE POINT OF BEGINNING.



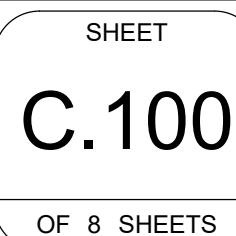
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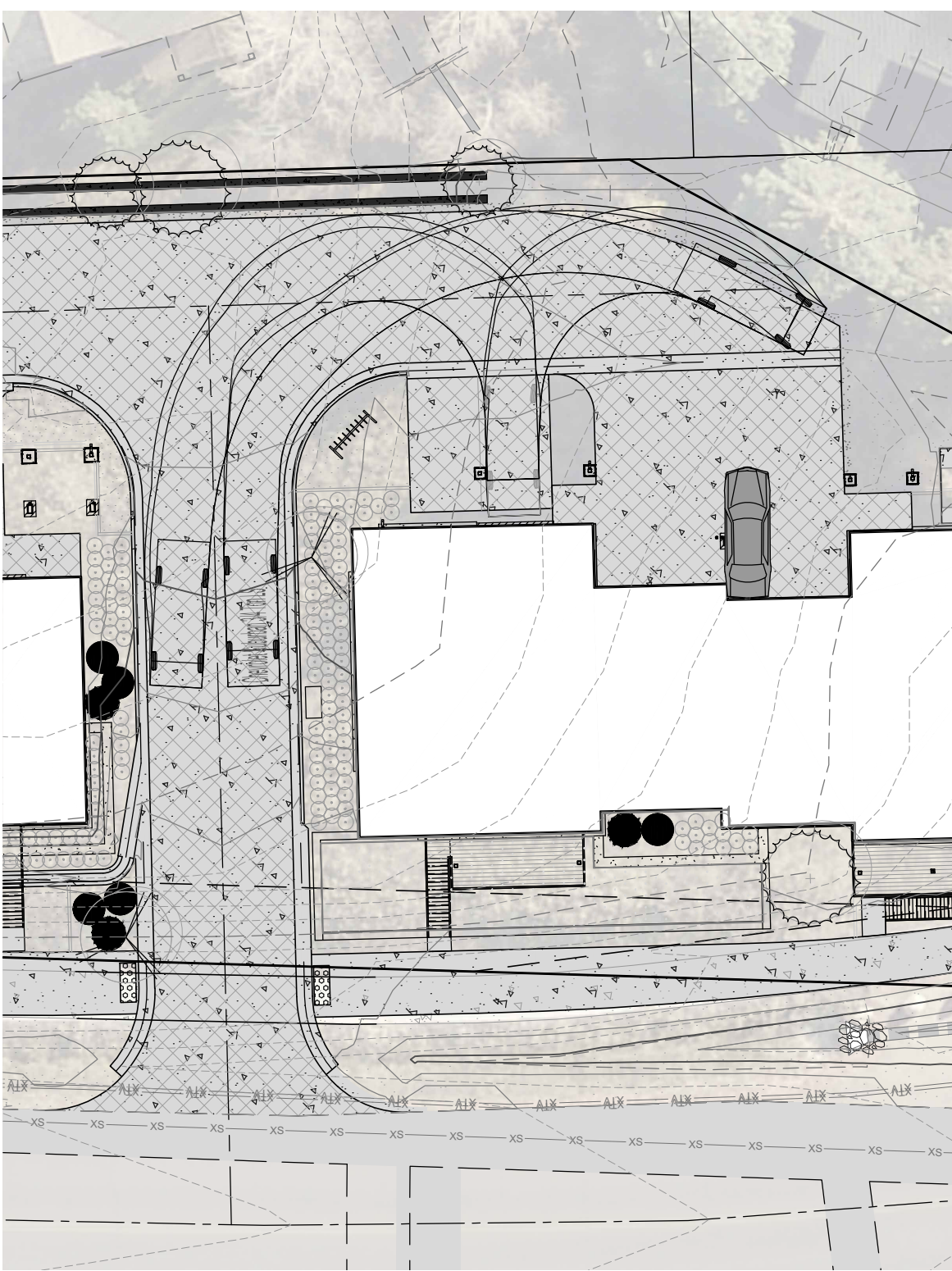
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Village Drive Townhomes

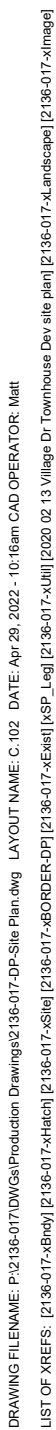


TURNING MOVEMENT 4: SOUTH GUEST PARKING
BACK IN ONLY





SHEET
C.101
OF 8 SHEETS



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5. THIS SITE CONTAINS A CALCULATED AREA OF 27,131 SQUARE FEET OR 0.62 ACRES.
6. THE LAST FIELD INSPECTION OF THIS SITE WAS ON DECEMBER 13, 2019
7. THE LAST FIELD INSPECTION OF THE SITE WAS ON NOVEMBER 13, 2019. AT TIME OF SURVEY, SNOW COVERED THE GROUND. DUE TO SNOW CONDITIONS, SOME IMPROVEMENTS AND FEATURES MAY HAVE BEEN OBSERVED AND MAY NOT BE SHOWN HEREON.
8. THE SUBJECT PROPERTY IS LOCATED IN ZONE X. AREAS DETERMINED TO BE COVERED BY THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS DETERMINED BY THE F.E.M.A. FLOOD INSURANCE RATE MAP NUMBER 9810700883D, WITH AN EFFECTIVE DATE OF FEBRUARY 4, 2005.
9. THE MEASURED DISTANCES SHOWN HEREON ARE IN U.S. SURVEY FEET.
10. ALL DRIVEWAYS SHALL BE CONCRETE SLOVED.
11. PROJECT SHALL USE ROLL OUT CURB SIDE TRASH SERVICES.

Diagram illustrating the dimensions of a car (likely a station wagon) used for the example:

- Total length: 18.533
- Distance from front wheel to start of cargo area: 8.109
- Distance from start of cargo area to end of cargo area: 10.833

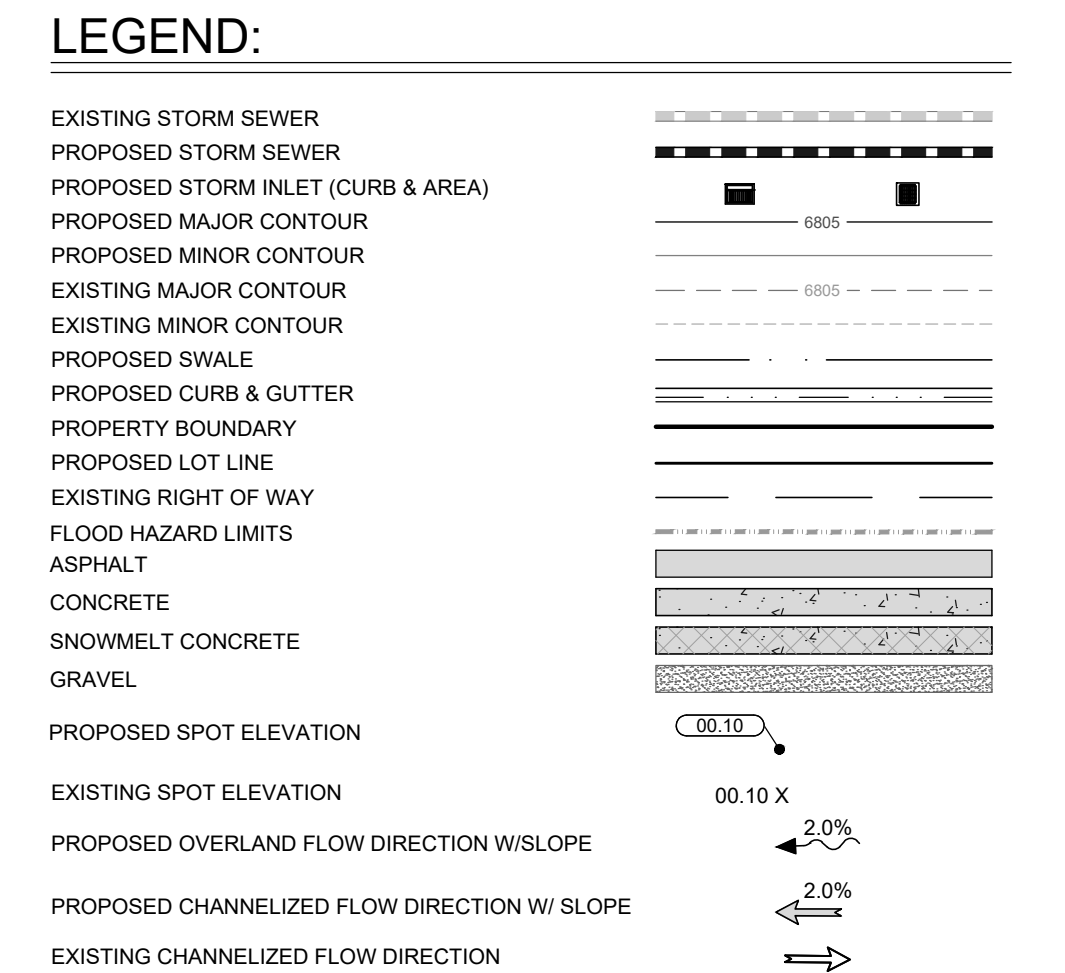
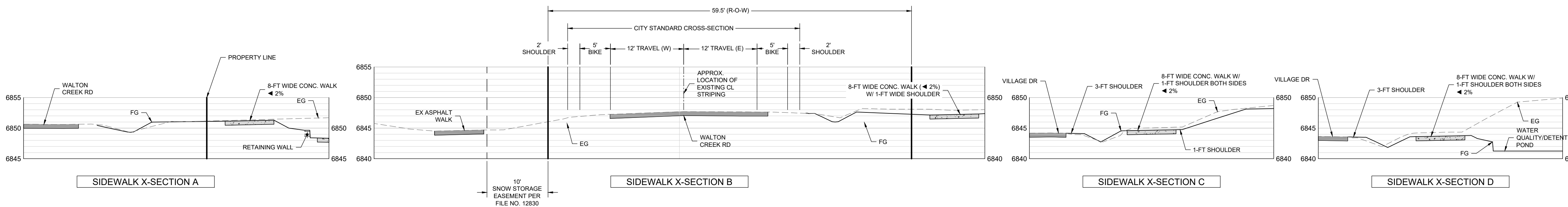
DESIGN VEHICLE

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NO.	DATE:	BY:	DESCRIPTION:
1	3/17/21	RS	DRT Comments
2	10/26/21	RS	DRT Comments

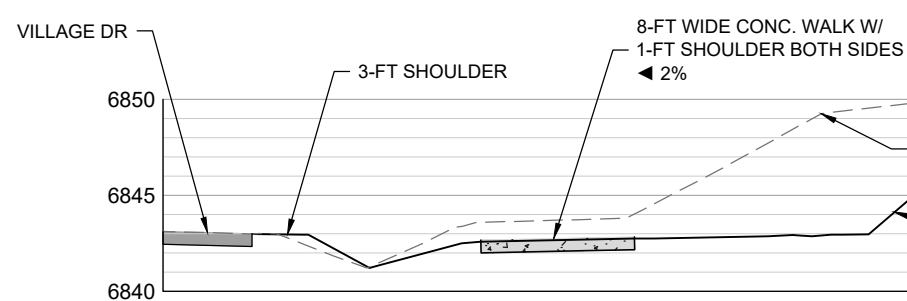
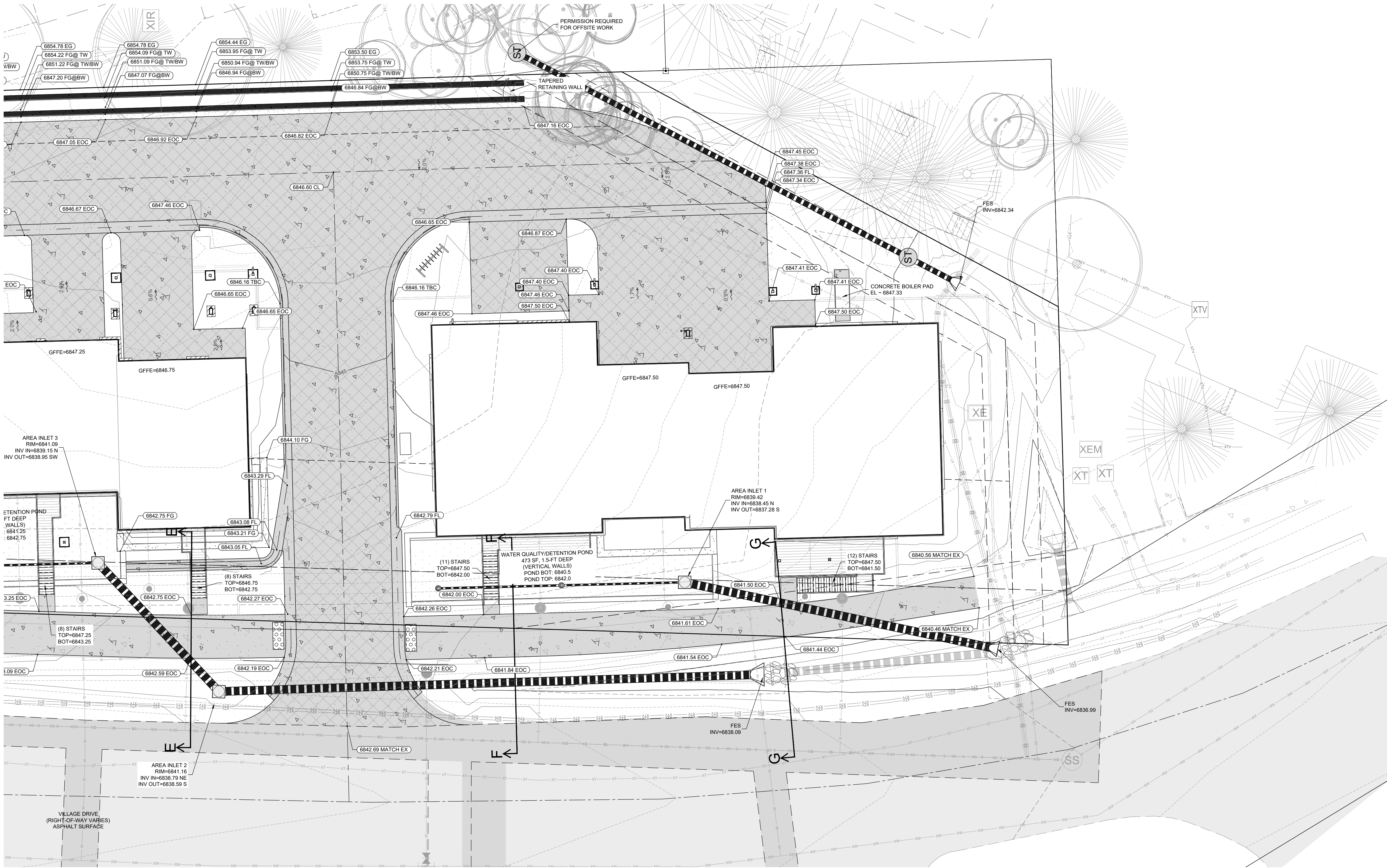
PROJECT:	2138-017
DATE:	5/18/20
CONTACT:	Ryan Spaustat
EMAIL:	ryansg@landmark-co.com

Village Drive Townhomes Easement Exhibit Site Plan

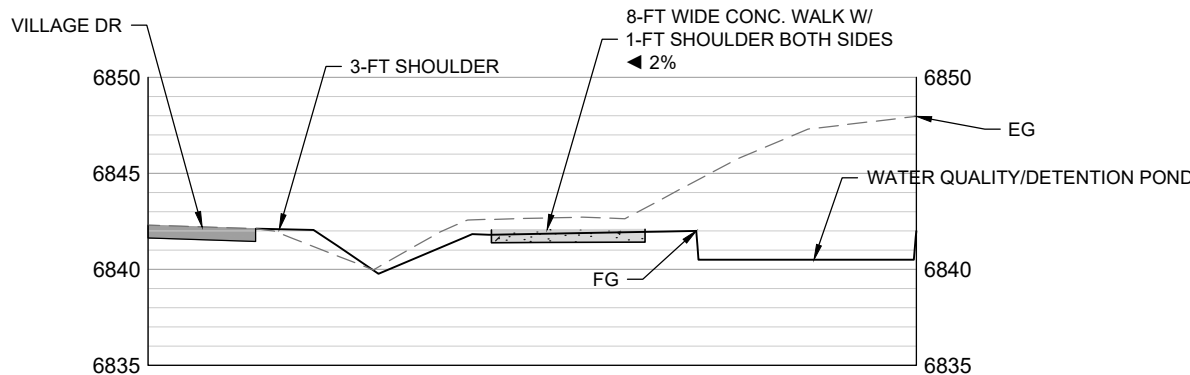


- # NOTES:
-
1. THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO VERIFY THE EXISTENCE OF ALL KNOWN AND UNKNOWN UTILITIES IN THE AREA OF THE WORK. BEFORE COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR FOR ALL UNKNOWN UNDERGROUND UTILITIES.
 2. ALL PROJECT DATA IS IN ORIGINAL DATUM, NGVD 88. SEE NOTES SHEET FOR BENCHMARK REFERENCES.
 3. ELEVATIONS FOR IMPROVEMENTS THAT ARE CONTROLLED BY ADJACENT EXISTING FACILITIES (SUCH AS PROPOSED GUTTERS ALONG EXISTING ASPHALT) MAY REQUIRE ADJUSTMENT BASED ON ACTUAL CONDITIONS. COORDINATE WITH ENGINEER TO ENSURE A CONSISTENT SECTION WITH SMOOTH TRANSITIONS WHERE NECESSARY.
 4. SEE SOILS REPORT FOR PAVEMENT, SUBGRADE AND MATERIAL PREPARATION, DESIGN AND RECOMMENDATIONS.
 4. ALL CURB SPOTS SHOWN ARE FLOWLINE ELEVATIONS, UNLESS NOTED OTHERWISE. ALL OTHER SPOTS ARE FINISHED GRADE ELEVATIONS.

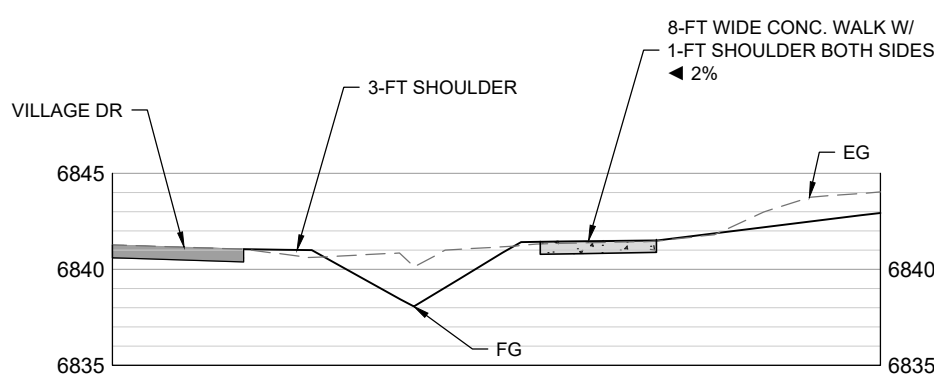
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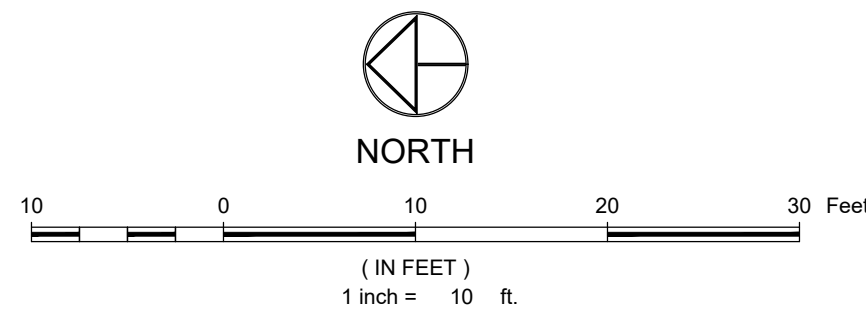
SIDEWALK X-SECTION E



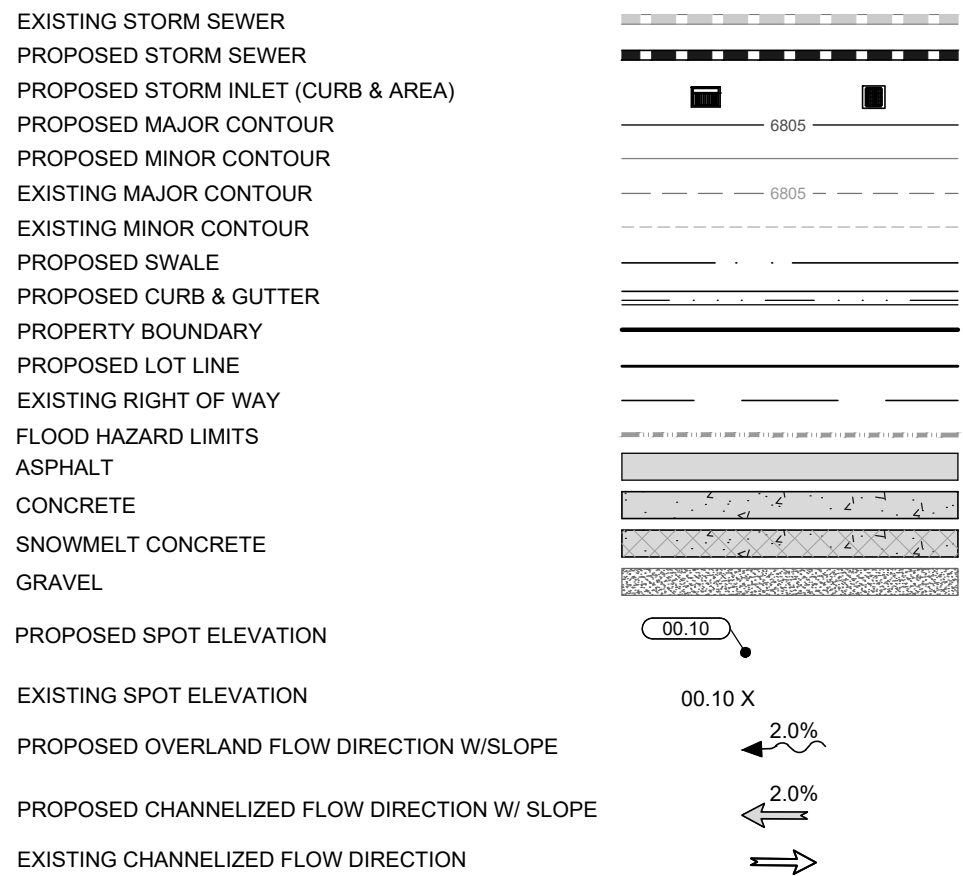
SIDEWALK X-SECTION F



SIDEWALK X-SECTION G



LEGEND:



NOTES:

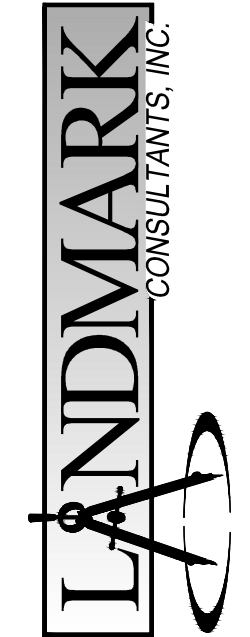
- THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK. BEFORE COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UNKNOWN UNDERGROUND UTILITIES.
- ALL PROJECT DATA IS ON VERTICAL DATUM; NGVD 88. SEE NOTES SHEET FOR BENCHMARK REFERENCES.
- ELEVATIONS FOR IMPROVEMENTS THAT ARE CONTROLLED BY ADJACENT EXISTING FACILITIES (SUCH AS PROPOSED GUTTERS ALONG EXISTING ASPHALT) MAY REQUIRE ADJUSTMENT BASED ON ACTUAL CONDITIONS. COORDINATE WITH ENGINEER TO ENSURE A CONSISTENT SECTION WITH SMOOTH TRANSITIONS WHERE NECESSARY.
- SEE SOILS REPORT FOR PAVEMENT, SUBGRADE AND MATERIAL PREPARATION, DESIGN AND RECOMMENDATIONS.
- ALL CURB SPOTS SHOWN ARE FLOWLINE ELEVATIONS, UNLESS NOTED OTHERWISE. ALL OTHER SPOTS ARE FINISHED GRADE ELEVATIONS.

Village Drive Townhomes

Detailed Grading Plan

SHEET
C.302
OF 8 SHEETS

CIVIL ENGINEERS | SURVEYORS
141 9th Street - P.O. Box 774943
Steamboat, Colorado 80477
(970) 871-9393
www.LANDMARK-co.com



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NO.	DATE	BY	RS	DESCRIPTION	
				DRT Comments	DRT Comments
1	3/17/21	RS	RS		
2	10/26/21	RS	RS		

NOT FOR CONSTRUCTION

PROJECT:	2138-017
DATE:	5/18/20
CONTACT:	Ryan Spalstet
EMAIL:	ryan@landmark-co.com



PROPOSED SANITARY SEWER W/ MH & C.O.
EXISTING SANITARY SEWER W/ MH & C.O.

PROPOSED WATER

PROPOSED GV, FH & CS

EXISTING WATER

EXISTING
ASPHALT

ASPHALT
RESURFACING

CONCRETE

SNOWMELT CONCRETE

GRAVEL

NOTES:

1. THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UNKNOWN UNDERGROUND UTILITIES.
2. EXISTING UNDERGROUND AND OVERHEAD PUBLIC AND PRIVATE UTILITIES AS SHOWN ARE INDICATED ACCORDING TO THE BEST INFORMATION MADE AVAILABLE TO THE ENGINEER. THE ENGINEER DOES NOT GUARANTEE NOR IS RESPONSIBLE FOR THE ACCURACY OF SUCH INFORMATION. EXISTING UTILITY MAINS AND SERVICES MAY NOT BE STRAIGHT LINES OR AS INDICATED ON THESE DRAWINGS. CONTRACTOR TO VERIFY EXISTING HORIZONTAL AND VERTICAL LOCATIONS PRIOR TO CONSTRUCTION.
3. ALL SEWER CONSTRUCTION SHALL BE PER MOUNT WERNER WATER STANDARD SPECIFICATIONS, LATEST EDITION.
4. MAINTAIN 10' HORIZONTAL AND 18" VERTICAL MINIMUM SEPARATION BETWEEN ALL SANITARY SEWER MAINS, WATER MAINS & SERVICES.
5. MANHOLES LOCATED OUTSIDE OF THE ROADWAY SHALL PROTRUDE 1' ABOVE EXISTING GRADE TO RESIDE INFILTRATION. GRADE SURFACE TO DRAIN AROUND/AWAY FROM MANHOLE RIMS.
6. ALL MANHOLES LOCATED IN THE ROADWAY SHALL HAVE RIM ELEVATIONS ADJUSTED TO 1/2" BELOW FINISHED GRADE. IF NECESSARY, ONE SECTIONS SHALL BE ROTATED TO PREVENT LIDS BEING LOCATED WITHIN VEHICLE OR BICYCLE WHEEL PATHS.
7. SEWER SERVICE SHALL HAVE A MINIMUM OF 4-FT OF COVER.
8. WATER SERVICE SHALL HAVE A MINIMUM OF 7-FT OF COVER.
9. ALL WATER PIPE SHALL BE INSTALLED WITH A #10 SOLID COPPER WIRE COATED WITH 45 MIL POLYETHYLENE FOR LOCATING PURPOSES. "GLENTEC TEST STATIONS" BY VALVCO, INC TRACER WIRE TEST STATIONS SHALL BE INSTALLED ADJACENT TO ALL FIRE HYDRANTS. ADDITIONAL LOCATIONS MAY BE REQUIRED.
10. ALL MATERIALS USED FOR BACKFILL SHALL BE FREE FROM REFUSE ORGANIC MATERIAL, COBBLES, BOULDERS, LARGE ROCKS OR STONES OR FROZEN SOILS GREATER THAN 6-INCHES IN DIAMETER.
11. ALL TRENCHES SHALL BE COMPACTED TO 95% AS DETERMINED BY ASTM D698 (STANDARD PROCTOR) OR AS SPECIFIED BY GEOTECHNICAL ENGINEER.



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NO.	DATE.	BY:	DESCRIPTION:
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2	10/26/21	RS	DRT Comments
NOT FOR CONSTRUCTION			

EMAIL: ryans@landmark-co.com

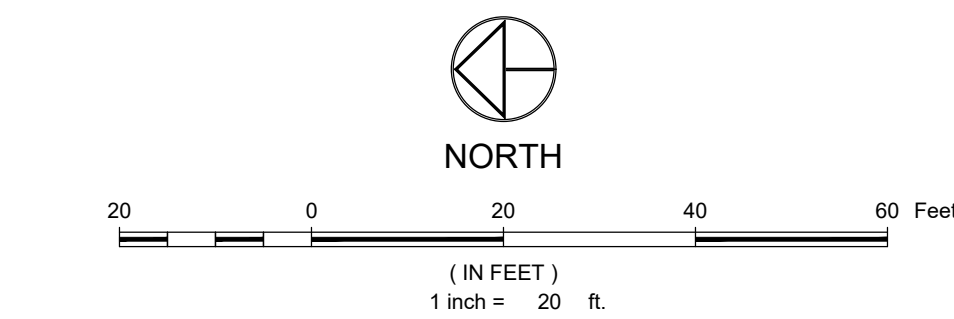
Village Drive Townhomes

Utility Plan

SHEET

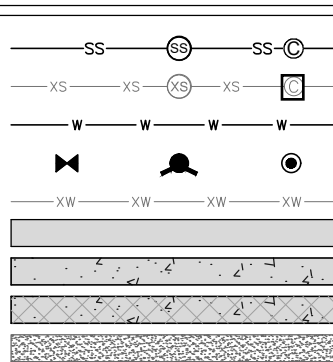
C.310

OF 8 SHEETS



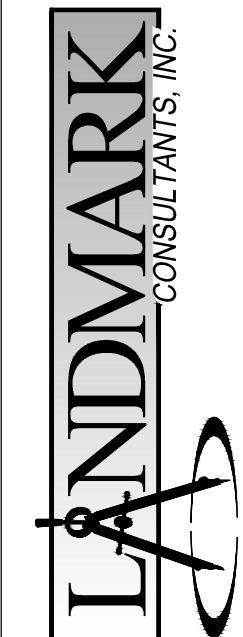
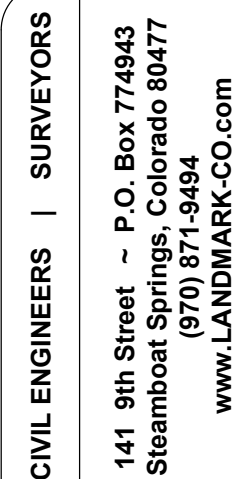
LEGEND:

PROPOSED SANITARY SEWER W/ MH & C.O.
EXISTING SANITARY SEWER W/ MH & C.O.
PROPOSED WATER
PROPOSED GV, FH & CS
EXISTING WATER
ASPHALT
CONCRETE
SNOWMELT CONCRETE
GRAVEL



NOTES:

1. THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE DETERMINED WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES LOCATED AT THE WORK. BEFORE COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UNKNOWN UNDERGROUND UTILITIES.
2. EXISTING UNDERGROUND AND OVERHEAD PUBLIC AND PRIVATE UTILITIES AS SHOWN ARE INDICATED ACCORDING TO THE BEST INFORMATION MADE AVAILABLE TO THE ENGINEER. THE ENGINEER DOES NOT GUARANTEE NOR IS RESPONSIBLE FOR THE ACCURACY OF SUCH INFORMATION. EXISTING UTILITY MAINS AND SERVICES MAY NOT BE STRAIGHT LINES OR AS INDICATED ON THESE DRAWINGS. CONTRACTOR TO VERIFY EXISTING HORIZONTAL AND VERTICAL LOCATIONS PRIOR TO CONSTRUCTION.
3. ALL SEWER CONSTRUCTION SHALL BE PER MOUNT WERNER WATER STANDARD SPECIFICATIONS, LATEST EDITION.
4. MAINTAIN 10' HORIZONTAL AND 18" VERTICAL MINIMUM SEPARATION BETWEEN ALL SANITARY SEWER MAINS, WATER MAINS & SERVICES.
5. MANHOLES LOCATED OUTSIDE OF THE ROADWAY SHALL PROTRUDE 1' ABOVE EXISTING GRADE TO REDUCE INFILTRATION. GRADE SURFACE TO DRAIN AROUND/AWAY FROM MANHOLE RIMS.
6. ALL MANHOLES LOCATED IN THE ROADWAY SHALL HAVE RIM ELEVATIONS ADJUSTED TO 1/2" BELOW FINISHED GRADE. IF NECESSARY, CONE SECTIONS SHALL BE ROTATED TO PREVENT LIDS BEING LOCATED WITHIN VEHICLE OR BICYCLE WHEEL PATHS.
7. SEWER SERVICE SHALL HAVE A MINIMUM OF 4-FT OF COVER.
8. WATER SERVICE SHALL HAVE A MINIMUM OF 7-FT OF COVER.
9. ALL WATER PIPE SHALL BE INSTALLED WITH A #10 SOLID COPPER WIRE COATED WITH 45 MIL POLYETHYLENE FOR LOCATING PURPOSES. "GLENN TEST STATIONS" BY VALVCO, INC TRACER WIRE TEST STATIONS SHALL BE INSTALLED ADJACENT TO ALL FIRE HYDRANTS. ADDITIONAL LOCATIONS MAY BE REQUIRED.
10. ALL MATERIALS USED FOR BACKFILL SHALL BE FREE FROM REFUSE ORGANIC MATERIAL, COBBLES, BOULDERS, LARGE ROCKS OR STONES OR FROZEN SOLIDS GREATER THAN 6-INCHES IN DIAMETER.
11. ALL TRENCHES SHALL BE COMPACTED TO 95% AS DETERMINED BY ASTM D698 (STANDARD PROCTOR) OR AS SPECIFIED BY GEOTECHNICAL ENGINEER.



These drawings are instruments of service provided by Landmark Consultants, Inc. and are not to be used for any type of construction or contracting unless signed and sealed by a Professional Engineer in the employ of Landmark.

NO.	DATE:	BY:	DESCRIPTION
1	3/17/21	RS	DRT Comments
2	10/26/21	RS	DRT Comments
NOT FOR CONSTRUCTION			

NOT FOR COMPLETION

PROJECT:	2136-017
DATE:	5/18/20
CONTACT:	Ryan Spaustat
EMAIL:	ryans@landmark-co.com

Village Drive Townhomes

Utility Plan

SHEET
C.311
OF 8 SHEETS