

1901 CURVE PLAZA & 1950 CURVE COURT
STEAMBOAT SPRINGS, COLORADO 80487

OWNER

FV BASECAMP, LLC C/O MAY RIEGLER PROPERTIES
2201 WISCONSIN AVENUE NW SUITE 200
WASHINGTON, DC 20007

PO BOX 881330
STEAMBOAT SPRINGS, CO 80488



OWNER
MAY RIEGLER PROPERTIES
2201 WISCONSIN AVENUE NW SUITE 200
WASHINGTON, DC 20007

ARCHITECT

KASA
3318 N. COLUMBUS ST.
ARLINGTON, VA 22207

CIVIL ENGINEER

LANDMARK ENGINEERS & SURVEYORS
141 9TH STREET
PO BOX 774943
STEAMBOAT SPRINGS, CO 80477

PROJECT SUMMARY TABLE

TOTAL GROSS FLOOR AREA:	88,947 GSF
RES NET FLOOR AREA:	50,288 NSF
UNIT SIZE:	2,439 GSF AVERAGE
NUMBER OF UNITS:	28 (Townhomes)
ZONING:	CS
FRONTAGE:	CURVE CT: 190' / NEW ROAD: 576' / ELK RIVER RD: 165' / HWY 40: 616'

USE BREAKDOWN	DESCRIPTION	SQUARE FOOTAGE	# OF UNITS
PRINCIPAL USE	RESIDENTIAL	68,280 GSF	28
PRINCIPAL USE	COMMERCIAL	1,824 GSF	-
PRINCIPAL USE	OUTDOOR AMENITY	18,293 SF	-
ACCESSORY USE	STAGE PLATFORM	550 SF	-

STANDARDS	ZONE DISTRICT REQMTS	PROPOSED	VARIANCE? (Y/N)
LOT AREA	NO MAX/NO MIN	2.41 ACRES	N
LOT COVERAGE	NO MAX/NO MIN	26.4%	N
FLOOR AREA RATIO	NO MAX	0.67 FAR	N
OVERALL BLDG HT	63' MAX	46'-3"	N
AVERAGE PLATE HT	N/A		
FRONTAGE AREA HT	26' MIN	43'-8", 43'-2", 42'-7", 40'	N
FRONT SETBACK	5 FT MIN	COMPLIES	N
SIDE SETBACK	7.5 FT MIN	COMPLIES	N
UPPER STORY SETBACK	OVER 45' OR 3 STORIES	NONE	N
REAR SETBACK	7.5 FT MIN	COMPLIES	N
SECOND STORY INTENSITY	50% MIN	COMPLIES	
PARKING	87 SPACES MIN	89 SPACES	N
SNOW STORAGE	41,051 SF	41,531 SF	N

APPROVAL STAMPS:

[illegible]

3	3/28/2022	Development Plan Submittal #3
2	11/09/2021	Development Plan Submittal #2
1	8/06/2021	Development Plan Submittal
No.	Date	Description

SUBMISSIONS & REVISIONS

OWNER

May Riegler Properties
2201 Wisconsin Avenue NW Suite 200
Washington, DC 20007
PO Box 881330
Steamboat Springs, CO 80488

ARCHITECT



KEVIN & ASAKO SPERRY ARCHITECTURE
3318 N. Columbus Street
Arlington, VA 22207
T.312.636.3248 / 312.636.4252
www.kasa-arch.com

STRUCTURAL ENGINEER

M.E.P. & F.P. ENGINEERS

CIVIL ENGINEER

LANDMARK CONSULTANTS, INC.
141 9th Street
PO Box 774943
Steamboat Springs, Colorado 80477
T.970.871.9494

LANDSCAPE ARCHITECT

GENERAL CONTRACTOR

PROJECT LOCATION

**Steamboat Basecamp
Residential & Outdoor
Amenity Space**
1901 Curve Plaza
Steamboat Springs, CO

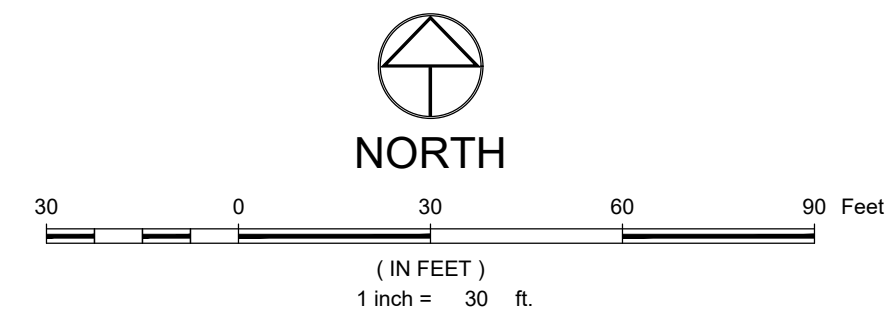
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COVER
SHEET

SEAL	DATE: 03/27/20
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	PROJECT NO:

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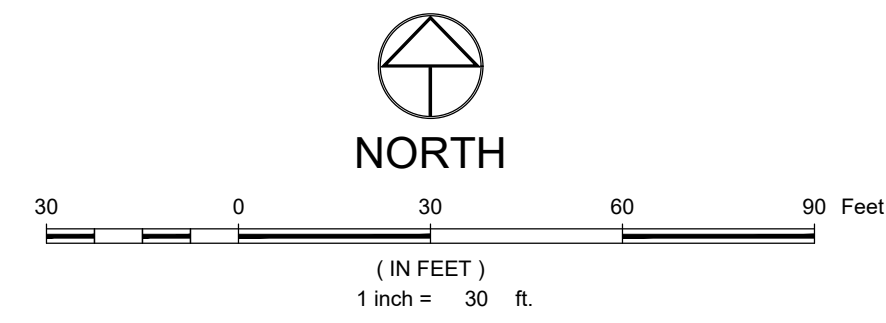
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LEGEND:

NOTES:

APPROVAL STAMPS:










LEGEND:

- PROPERTY BOUNDARY
- FINAL MAJOR ROAD CENTERLINE
- FINAL MINOR CONTOUR
- PR CURB & GUTTER
- STACKED BOULDER SLOPE (BY OTHERS)
- PR GV, FH & CS
- PR SANITARY SEWER MH & C.O.
- EXISTING SANITARY SEWER MH
- PR STORM SEWER METAL F.E.S. WITH RIPRAP
- PR ADS STORM STRUCTURES
- PR CDOT STORM STRUCTURES
- SIGN
- CABLE PEDESTAL
- TELEPHONE PEDESTAL AND MANHOLE/VAULT
- ELECTRIC PED, JUNCTION BOX AND METER
- LIGHT POLE AND LIGHT POLE W/ MAST
- UTILITY POLE AND GUY WIRE

NOTES:

1. THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK. BEFORE COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXISTENCE OF ALL KNOWN UTILITIES AND BE RESPONSIBLE FOR FOR ALL UNKNOWN UNDERGROUND UTILITIES.
2. ALL PROJECT DATA IS ON VERTICAL DATUM, NGVD 88. SEE NOTES SHEET FOR BENCHMARK REFERENCES.
3. ELEVATIONS FOR IMPROVEMENTS THAT ARE CONTROLLED BY ADJACENT EXISTING FACILITIES (SUCH AS PER PUTTERS ALONG EXISTING ASPHALT) MAY REQUIRE ADJUSTMENT BASED ON ACTUAL CONDITIONS. COORDINATE WITH ENGINEER TO ENSURE A CONSISTENT SECTION WITH SMOOTH TRANSITIONS WITHOUT NECESSITY.
4. SEE SOils REPORT FOR PAVEMENT, SUBGRADE AND MATERIAL PREPARATION, DESIGN AND RECOMMENDATIONS.
5. ALL CURB SPOTS SHOWN ARE FLOWLINE ELEVATIONS. UNLESS NOTED OTHERWISE, ALL OTHER SPOTS ARE FINISHED GRADE ELEVATIONS. LIMITS OF EXISTING FACILITIES OR MATERIALS SHOWN AS REMAINING MAY BE SUBSTANTIALLY BASED ON ACTUAL CONSTRUCTION, CHANGING DURING CONSTRUCTION OR OTHER DISCOVERIES. LIMITS OF WORK SHOULD THEREFORE NOT BE CONSIDERED ABSOLUTE OR STATIC AND ADDITIONAL IMPROVEMENTS SHOULD BE ANTICIPATED.
6. ALL WATER AND SEWER CONSTRUCTION SHALL BE PER CITY OF STEAMBOAT SPRINGS UTILITIES STANDARD SPECIFICATIONS, LATEST EDITION.

- | | |
|---|--|
|  | VERTICAL CURB AND GUTTER (CDOT TYPE 2, SECTION 1B) |
|  | SPILL CURB (CDOT TYPE 2, SECTION 1B) |
|  | SIDEWALK WITH ATTACHED CURB AND GUTTER |
|  | VALLEY PAN (CDOT TYPE 2 GUTTER) |
|  | SIDEWALK |
|  | CURB RAMP |
|  | PROPOSED OPEN SPACE |

BLANKET EASEMENT NOTE:

A PRIVATE BLANKET EASEMENT OUTSIDE OF BUILDING ENVELOPES (RE: PRELIMINARY PLAT) FOR INSTALLATION AND MAINTENANCE OF UTILITIES, SNOW REMOVAL AND STORAGE, DRAINAGE, PEDESTRIAN, LANDSCAPING, AS WELL AS PARKING AND CROSS PARKING ASSIGNMENTS, WILL BE CREATED BY SEPARATE INSTRUMENT AND RECORDED WITH THE SUBDIVISION FINAL PLAT.

THIS PRIVATE BLANKET EASEMENT IS IN ADDITION TO THE PUBLIC ACCESS, DRAINAGE, AND WATER/SEWER EASEMENTS TO BE DEDICATED TO THE CITY OF STEAMBOAT SPRINGS.

OPEN SPACE CALCULATIONS			
	GROSS SITE AREA	OPEN SPACE REQUIRED (15% OF GROSS SITE AREA)	OPEN SPACE PROVIDED
PHASE 1*	111,912 SF	16,787 SF	29,147 SF
PHASE 2*	111,100 SF	19,090 SF	27,874 SF

* PHASE 1 AND PHASE 2 GROSS SITE AREAS AND PROPOSED OPEN SPACE AREAS ARE CALCULATED BY DIVIDING THE PROJECT SITE INTO TWO HALVES ALONG THE CENTERLINE OF THE PROPOSED ACCESS ROAD

CALL UTILITY NOTIFICATION CENTER OF
COLORADO



Know what's below.
Call before you dig.

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU
DIG, GRADE, OR EXCAVATE FOR THE MARKING OF
UNDERGROUND MEMBER UTILITIES.

APPROVAL STAMPS:

[illegible]

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BOULDER, CO 80302

CIVIL ENGINEER

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PO BOX 774943
STEAMBOAT SPRINGS, CO 80477

LANDSCAPE ARCHITECT

GENERAL CONTRACTOR

PROJECT LOCATION

STEAMBOAT BASECAMP

1901 CURVE PLAZA
STEAMBOAT SPRINGS, CO 80487

CIVIL
SITE PLAN

SEAL

DATE:

3/31/22

DRAWN BY

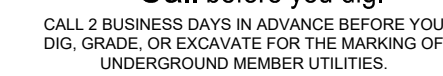
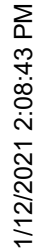
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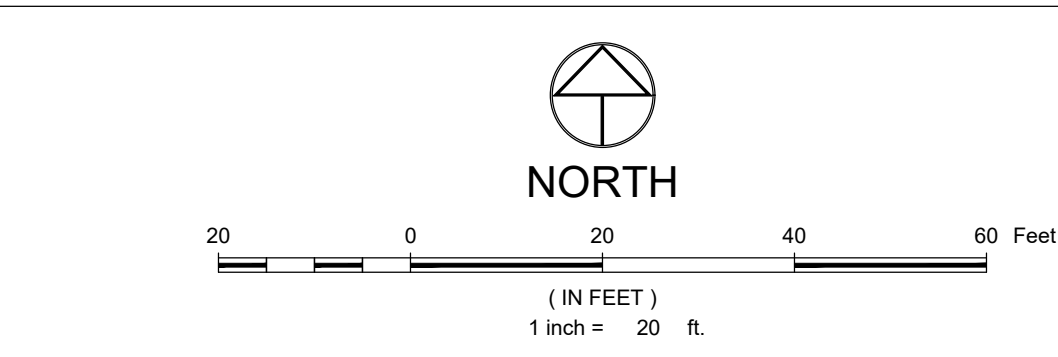
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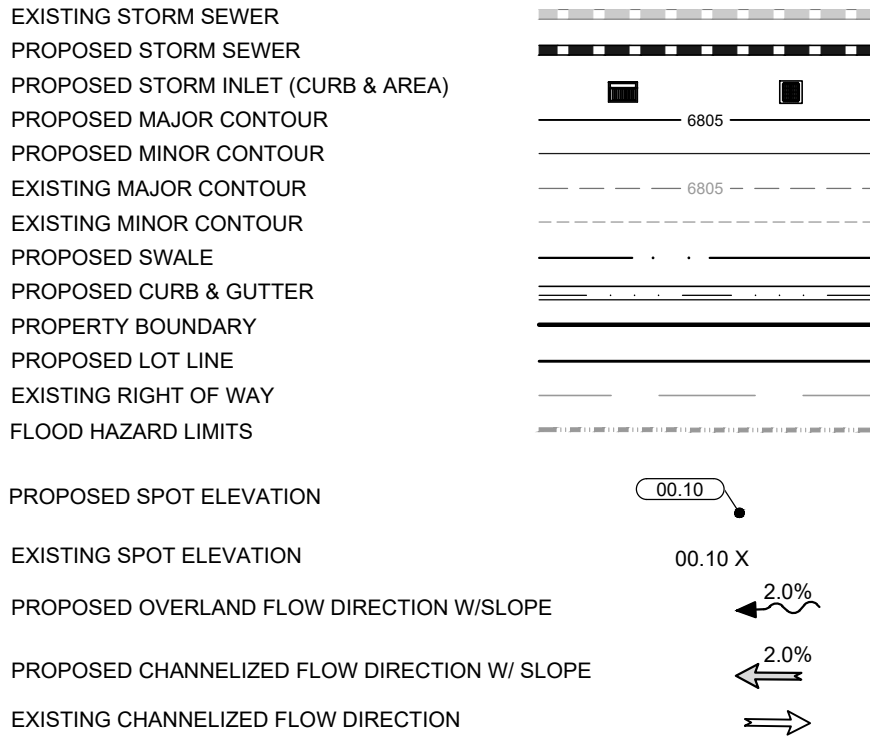
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C.200

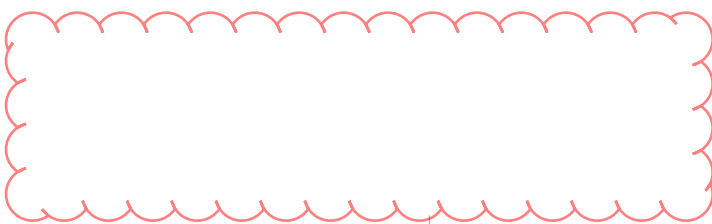


LEGEND:



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APPROVAL STAMPS:

No.	Date	Addressed DRT Comments
1	4-1-22	

SUBMISSIONS & REVISIONS

OWNER

MAY REIGLER PROPERTIES
2201 WISCONSIN AVE NW
SUITE 200
WASHINGTON DC 20007

ARCHITECT

K A S A
KEVIN & ASAKO SPERRY ARCHITECTURE
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BOULDER, CO 80302

CIVIL ENGINEER

LANDMARK ENGINEERING
141 9TH STREET
PO BOX 174943
STEAMBOAT SPRINGS, CO 80477

LANDSCAPE ARCHITECT

GENERAL CONTRACTOR

PROJECT LOCATION

STEAMBOAT BASECAMP
1901 CURVE PLAZA
STEAMBOAT SPRINGS, CO 80487

DRAWING TITLE

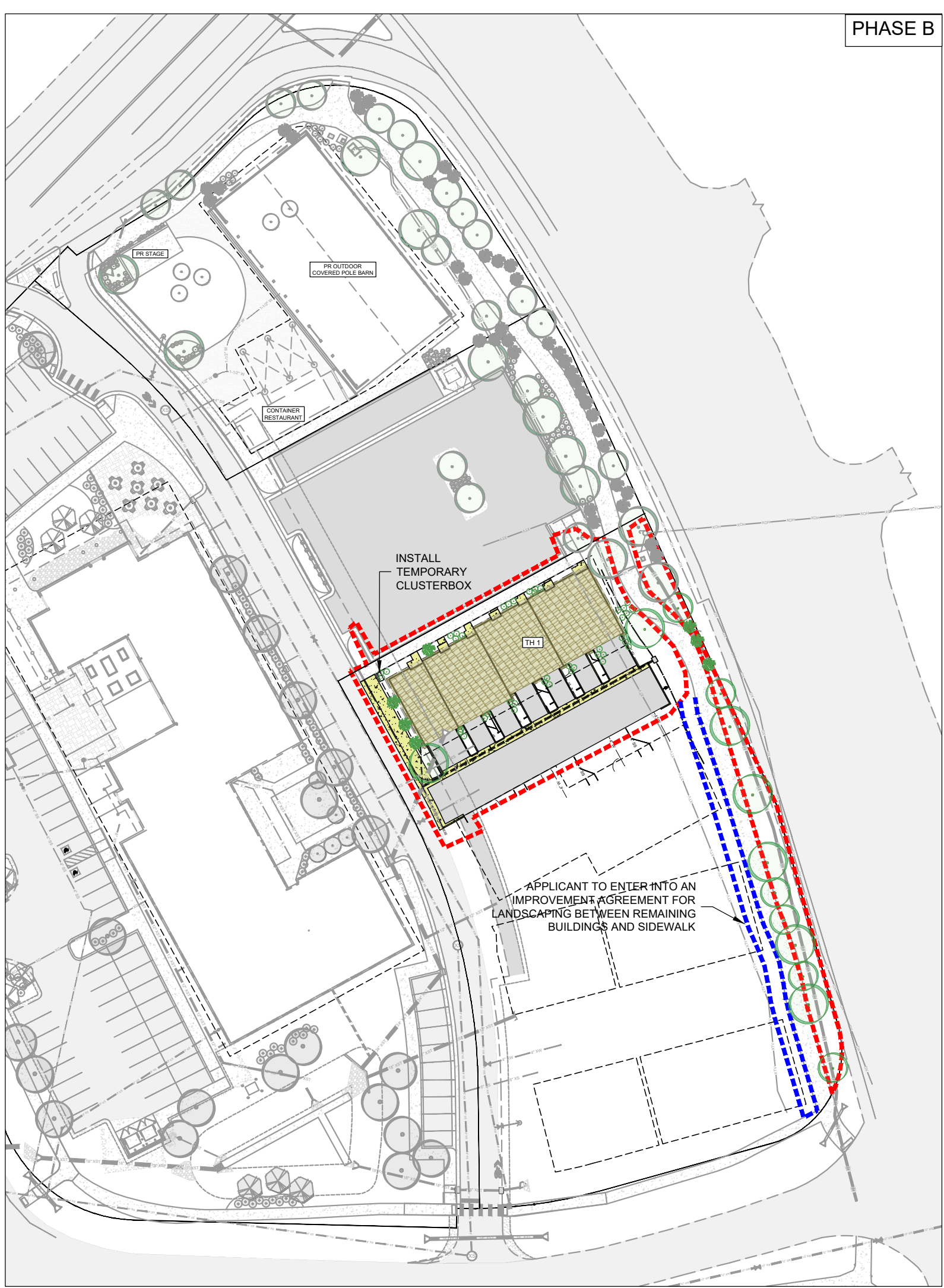
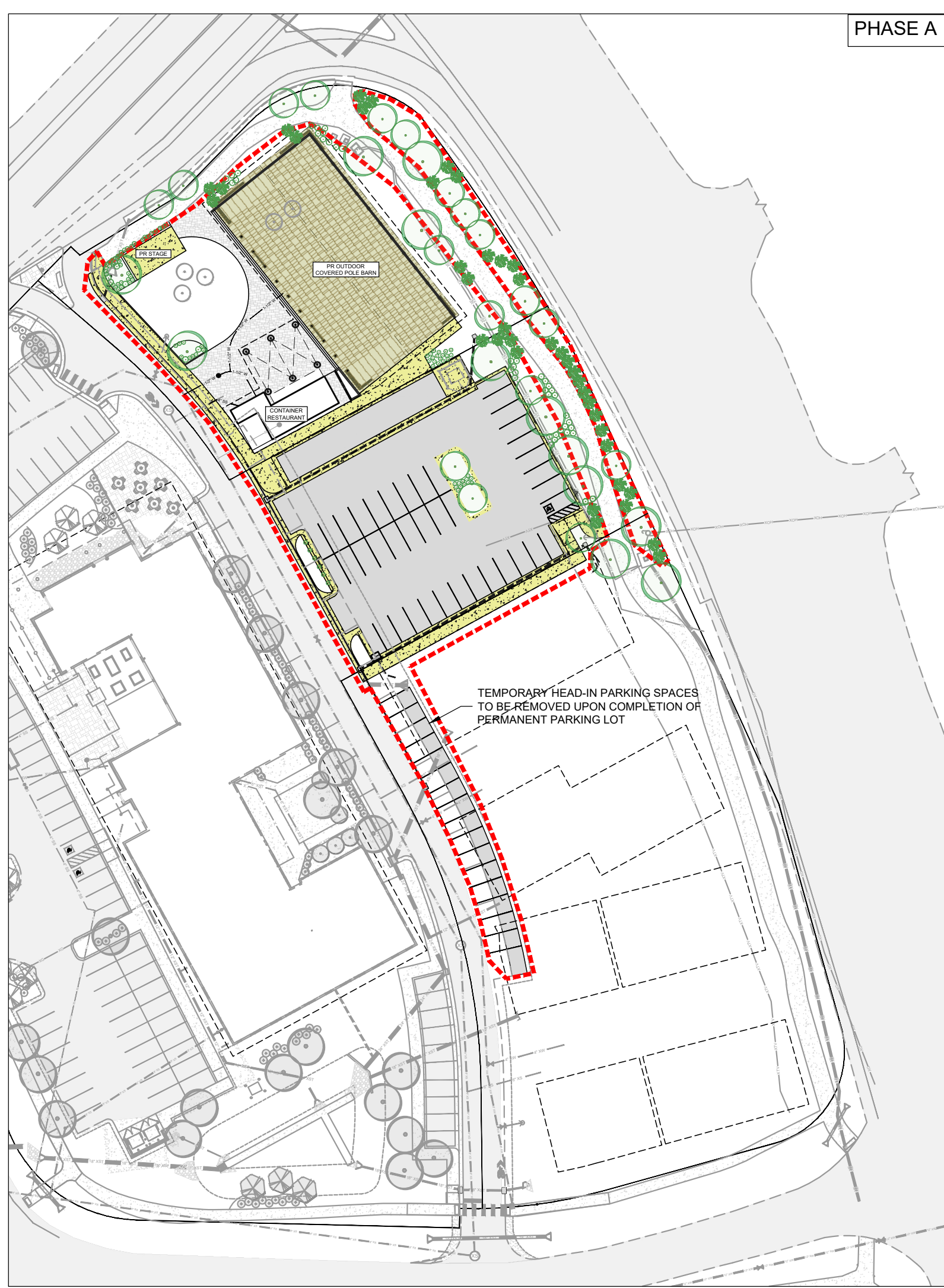
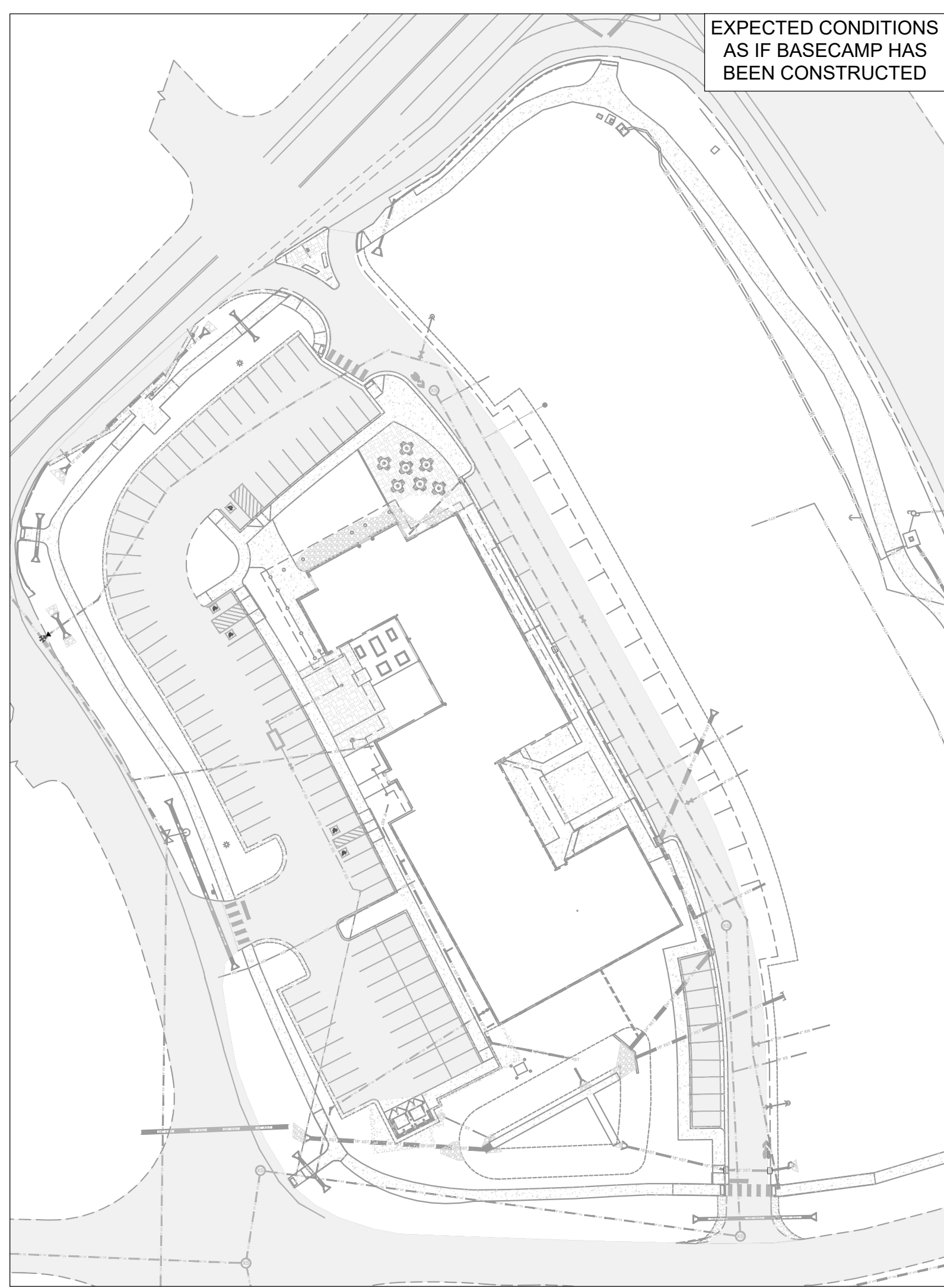
DETAILED CIVIL GRADING & DRAINAGE PLAN

SEAL	DATE:
	3/31/22
	DRAWN BY:
	PN
	CHECKED BY:
	EG
	PROJECT NO:
	2387-004

DRAWING NO:

C.320

APPROVAL STAMPS:



LEGEND:

EX. SANITARY SEWER LINE MARKER
MANHOLE AND CLEANOUT

PR. #\"

WATER LINE MARKER, FIRE HYDRANT
GATE VALVE, CURB STOP & BLOWOFF

PROPOSED #\"

PROPOSED GV, FH & CS

GAS LINE MARKER, VALVE,
MANHILE/VAULT AND METER

CABLE LINE MARKER, VAULT AND PEDESTAL

FIBER LINE MARKER, VAULT & PEDESTAL

TELEPHONE LINE MARKER, VAULT,
PEDESTAL AND MANHOLE

ELECTRIC LINE MARKER, TRANSFORMER,
METER AND SECONDARY PEDESTAL

LIGHT POLE AND LIGHT POLE W/ MAST

EXIST #\"

PROPOSED STORMCULVERT, INLET, MH,
END SECTION WITH RIPRAP

EX. ASPHALT

PR. ASPHALT

EX. CONCRETE

PR. CONCRETE

PR. PAVERS

EX. LANDSCAPING

PR. LANDSCAPING

APPROX. PHASING LIMITS

APPROX. IMPROVEMENT AGREEMENT LIMITS

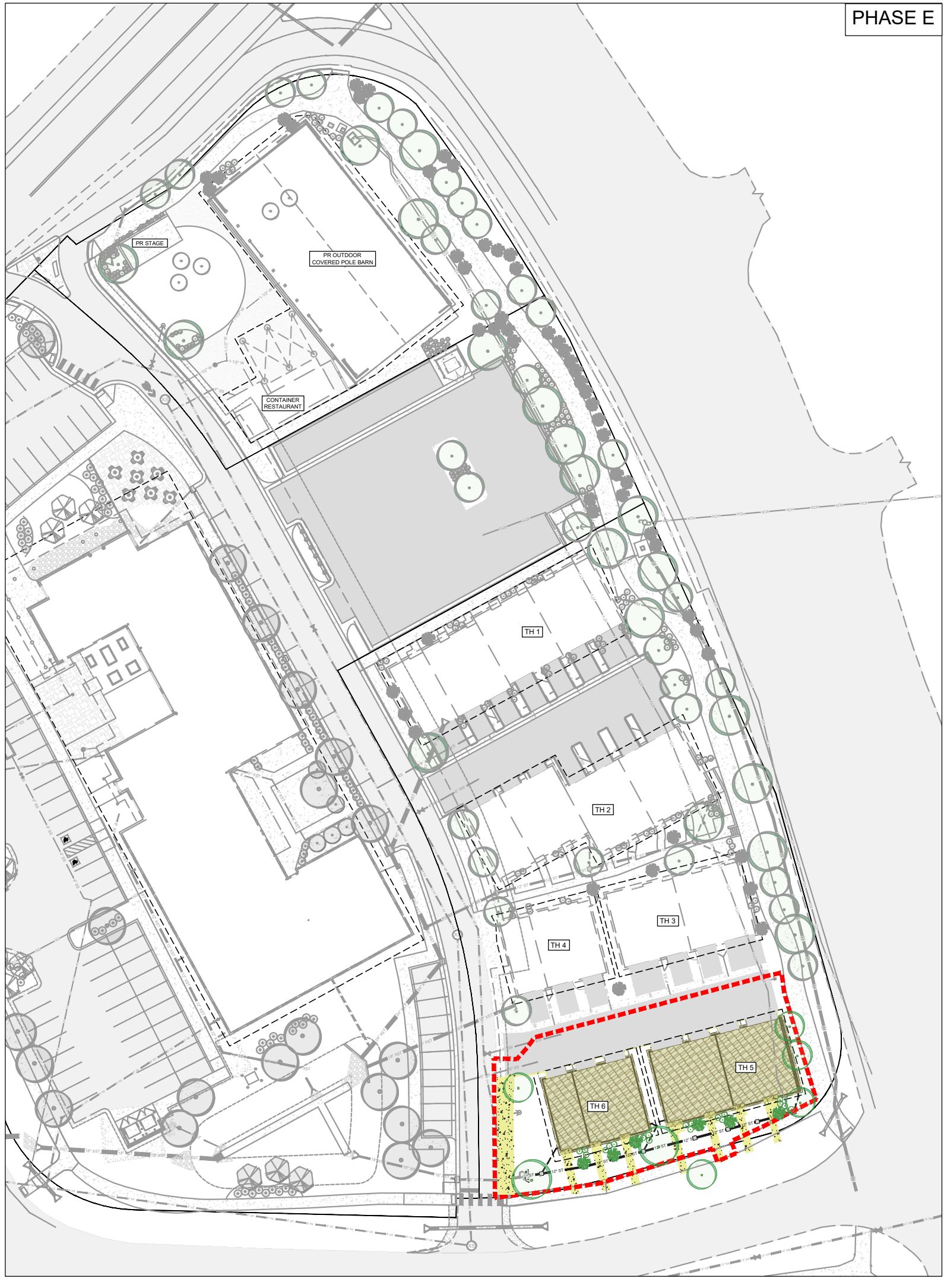
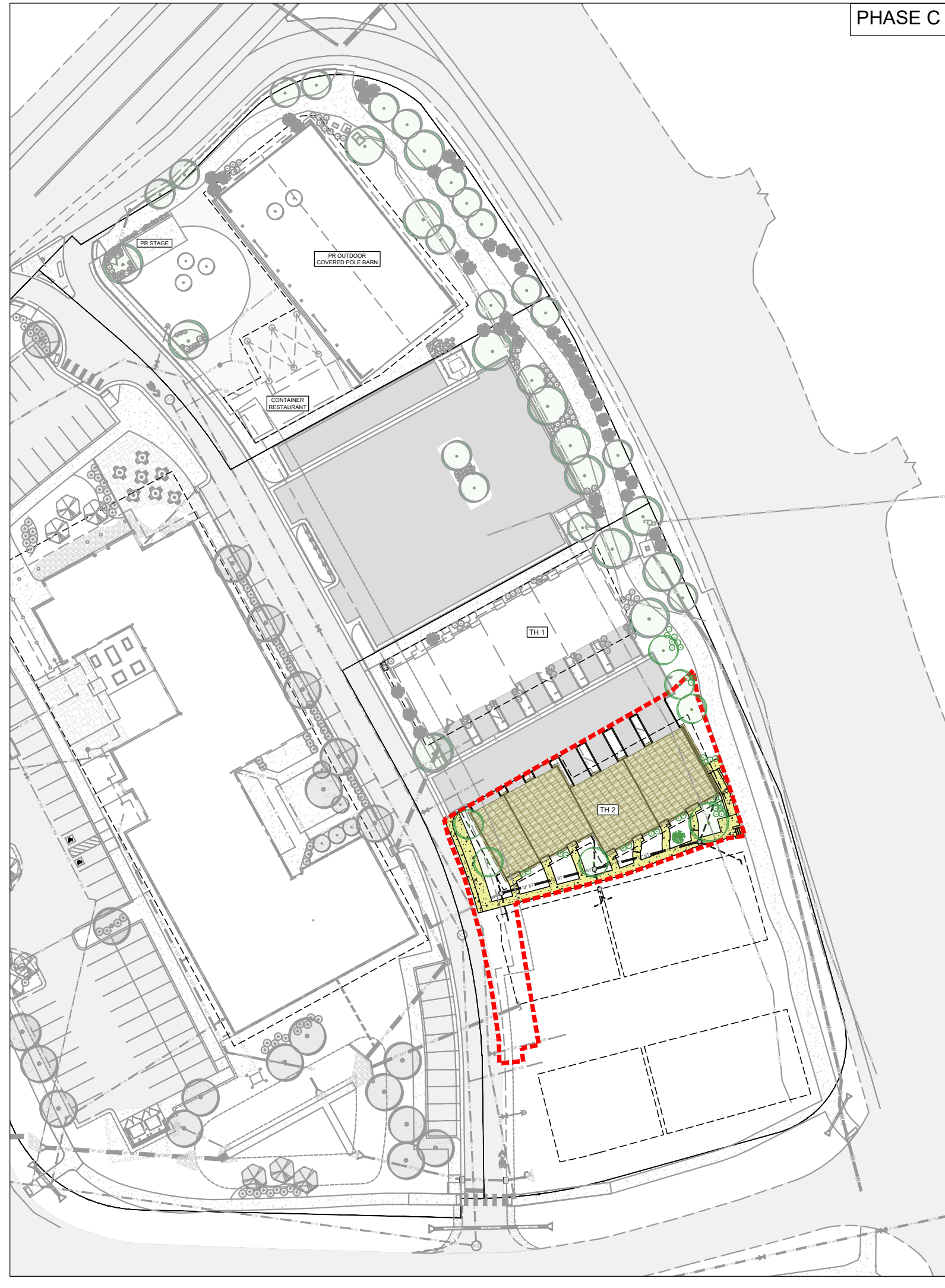
NOTES:

- PHASE LINES SHOWN ARE INTENDED TO GENERALLY DELINEATE THE AREAS AND IMPROVEMENTS WITHIN A PHASE. DEPENDING ON CONSTRUCTION SEQUENCING, INSTALLATION OF INFRASTRUCTURE OUTSIDE THE LIMITS OF THE PHASE MAY BE REQUIRED.
- DEPENDING ON CONSTRUCTION SEQUENCING, PREVIOUSLY CONSTRUCTED ROADWAYS MAY REQUIRE SAWCUTS, MILLING AND/OR PATCHING OF THE ASPHALT. FINAL LIMITS WILL BE DETERMINED IN THE FIELD. ALL PATCHING AND STREET REPAIRS SHALL BE IN ACCORDANCE WITH THE APPLICABLE JURISDICTION.
- THE PHASING DESIGNATIONS SHOWN ARE FOR REFERENCE ONLY AND ARE INTENDED TO BE MINIMUMS. ADDITIONAL SITE IMPROVEMENTS MAY OCCUR BEYOND THE INDICATED PHASING.
- EACH PHASE MUST 'STAND-ALONE' AND BE FULLY SELF-SUFFICIENT.
- LANDSCAPING IMPROVEMENTS REFLECTS PLAN PREPARED BY MGC DESIGNS. THE PROPOSED LANDSCAPING INDICATED HEREON SHOW THE ANTICIPATED TREES AND SHRUBS PER BUILDING FOR TRACKING IMPROVEMENTS AGREEMENTS. THIS SHEET IS NOT INTENDED TO BE USED FOR LANDSCAPING DESIGN OR INSTALLATION. REFER TO PLANS BY OTHERS.

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No.	Date	Description
1	3-31-22	Addressed DRT Comments

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LANDSCAPE ARCHITECT

GENERAL CONTRACTOR

PROJECT LOCATION

**STEAMBOAT
BASECAMP**

1901 CURVE PLAZA
STEAMBOAT SPRINGS, CO 80487

DRAWING TITLE

**PHASING EXHIBIT
(NORTH TO SOUTH)**

SEAL

DATE:
3/31/22

DRAWN BY:
PN

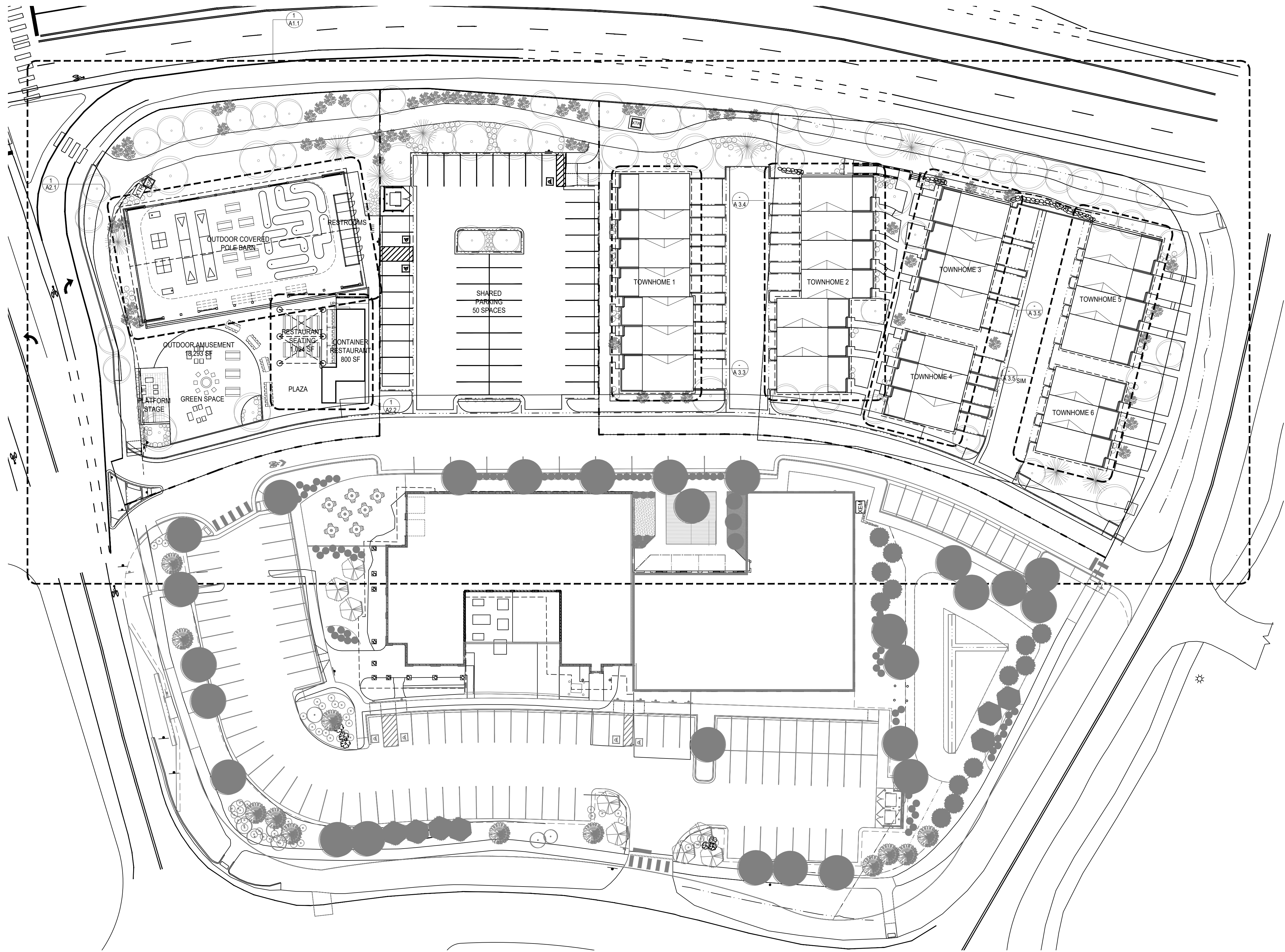
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PROJECT NO:
2387-004

DRAWING NO:

C.710

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1 SITE PLAN
SCALE: 1:30

APPROVAL STAMPS:

3	3/28/2022	Development Plan Submittal #3
2	11/09/2021	Development Plan Submittal #2
1	8/06/2021	Development Plan Submittal #1

No. Date Description

SUBMISSIONS & REVISIONS

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LANDSCAPE ARCHITECT

GENERAL CONTRACTOR

PROJECT LOCATION
Steamboat Basecamp
Residential & Outdoor
Amenity Space
1901 Curve Plaza
Steamboat Springs, CO

DRAWING TITLE

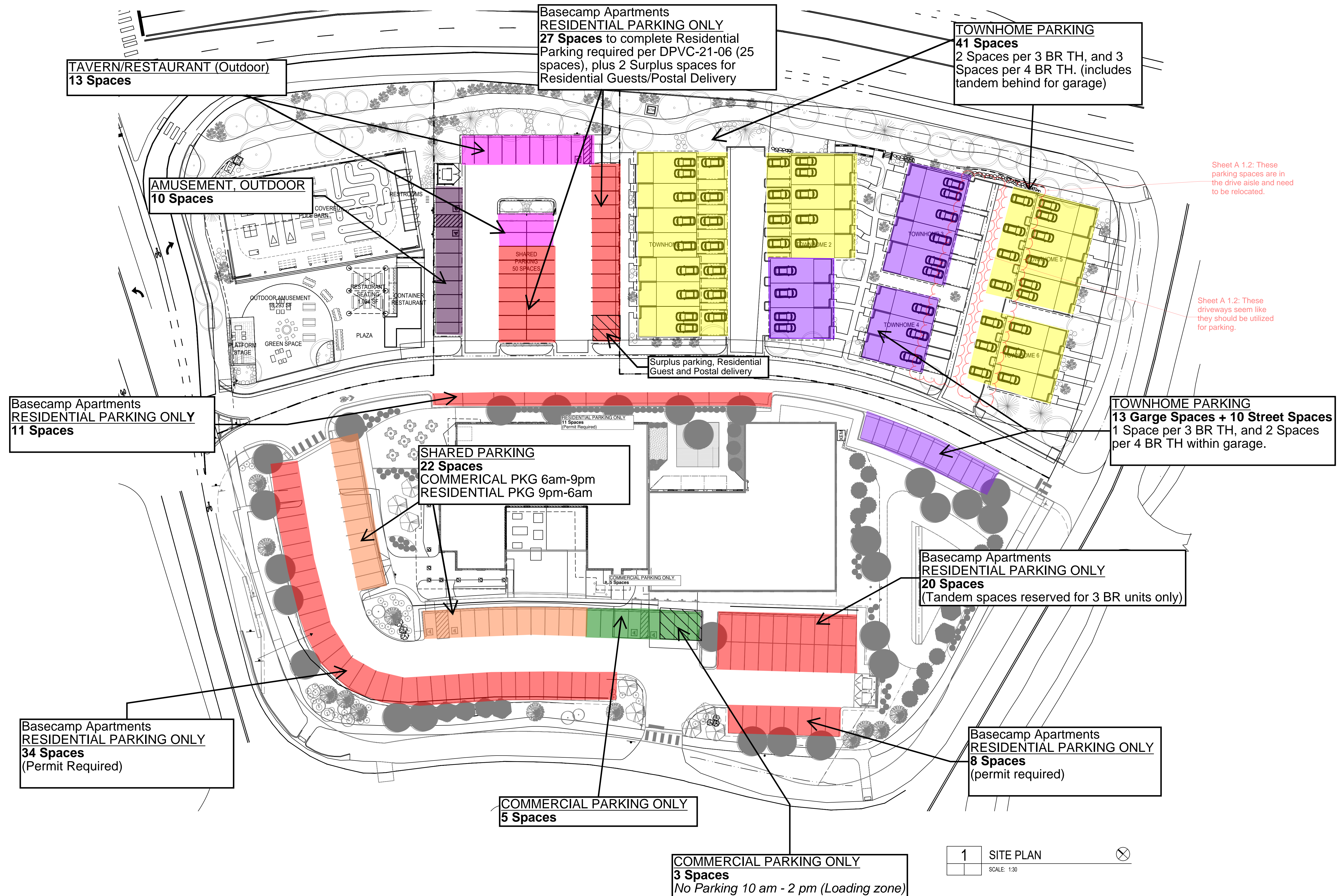
SITE PLAN

SEAL	DATE: 08/03/21
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	CHECKED BY:
	PROJECT NO:

DRAWING NO:

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APPROVAL STAMPS:

OWNER

M.E.P. & F.P. ENGINEERS

GENERAL CONTRACTOR

PARKING MANAGEMENT PLAN

3/03/21

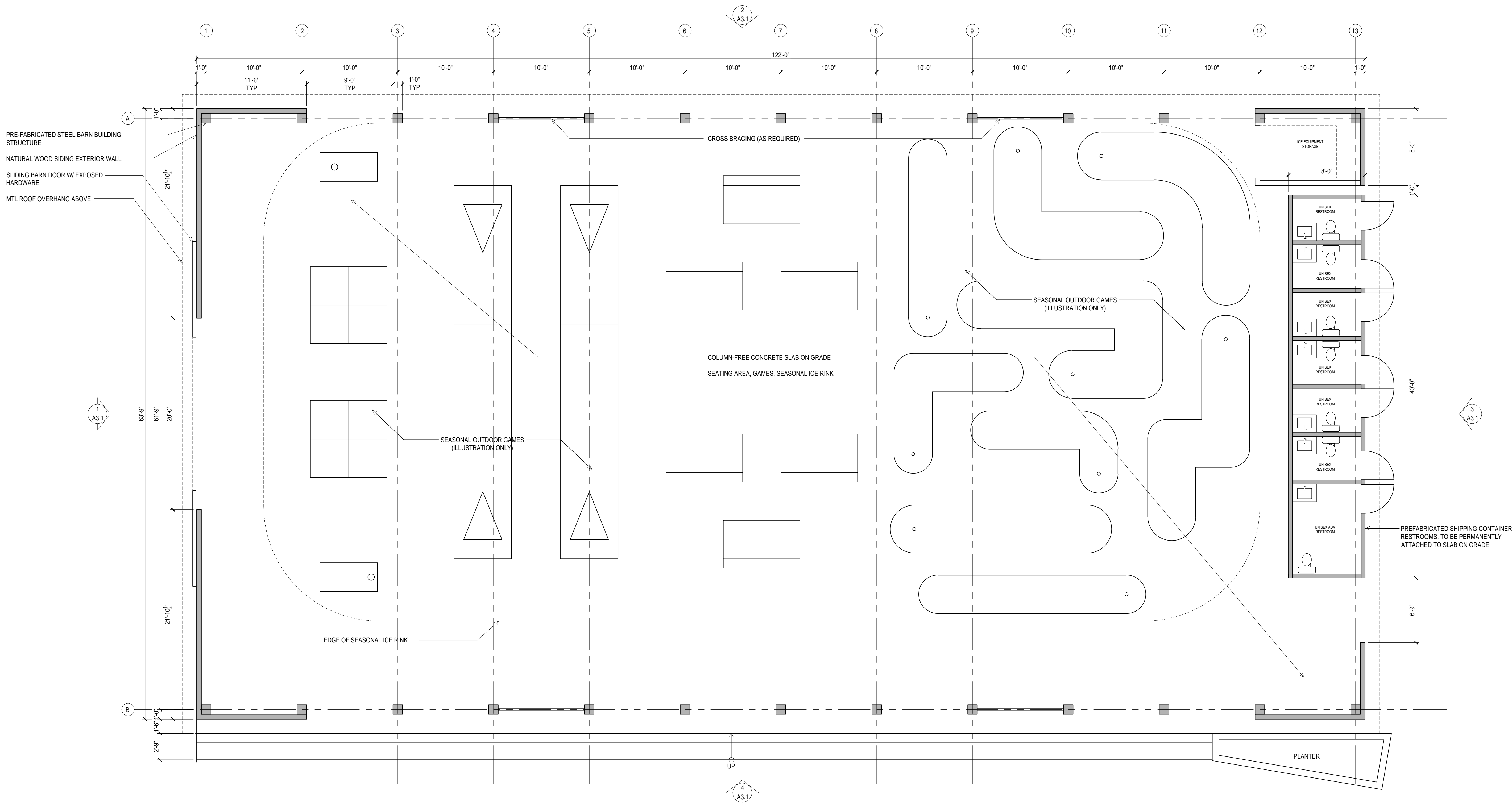
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CHECKED BY:

PROJECT NO:

DRAWING NO:

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1 FLOOR PLAN
SCALE: 3/16" = 1'-0"

APPROVAL STAMPS:

No.	Date	Description
3	3/28/2022	Development Plan Submittal #3
2	11/09/2021	Development Plan Submittal #2
1	8/06/2021	Development Plan Submittal

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LANDSCAPE ARCHITECT

GENERAL CONTRACTOR

PROJECT LOCATION
**Steamboat Basecamp
Residential & Outdoor
Amenity Space**
1901 Curve Plaza
Steamboat Springs, CO

DRAWING TITLE
**POLE BARN
FLOOR PLAN**

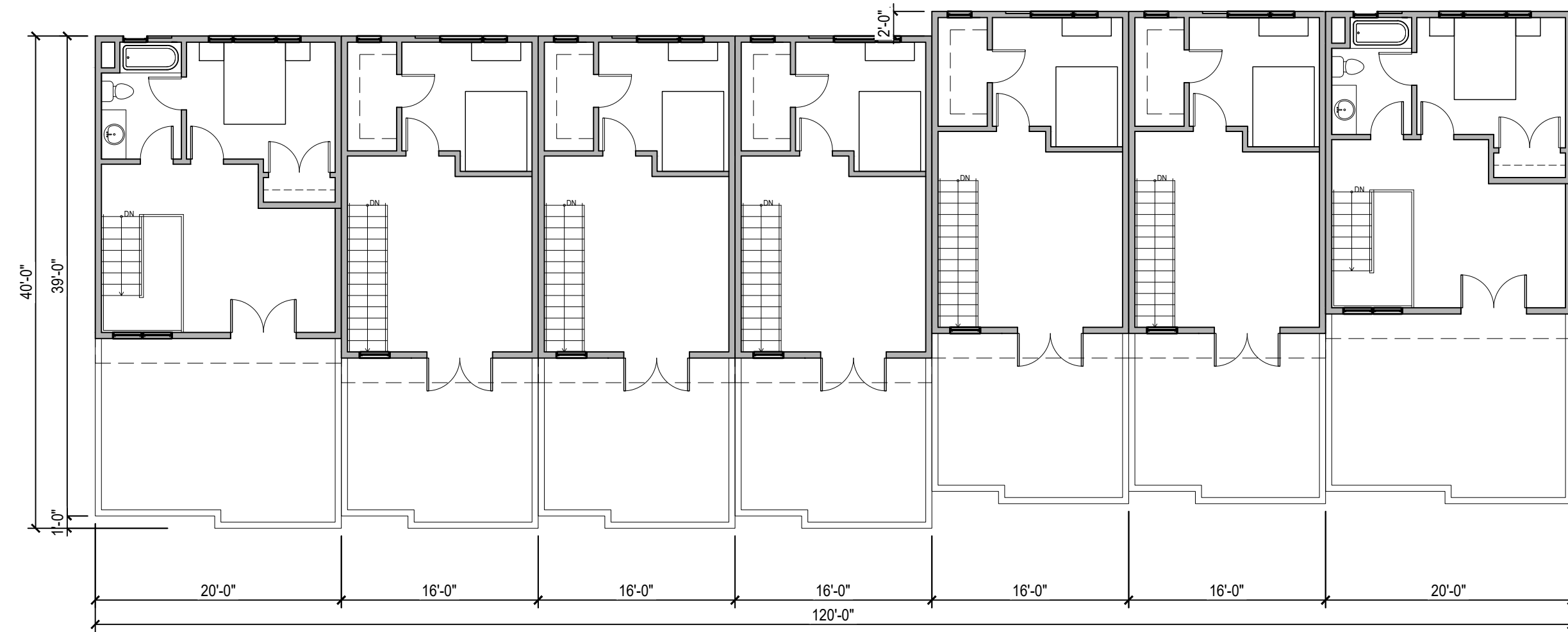
SEAL	DATE: 08/03/21 DRAWN BY:
	CHECKED BY:
	PROJECT NO:

DRAWING NO:
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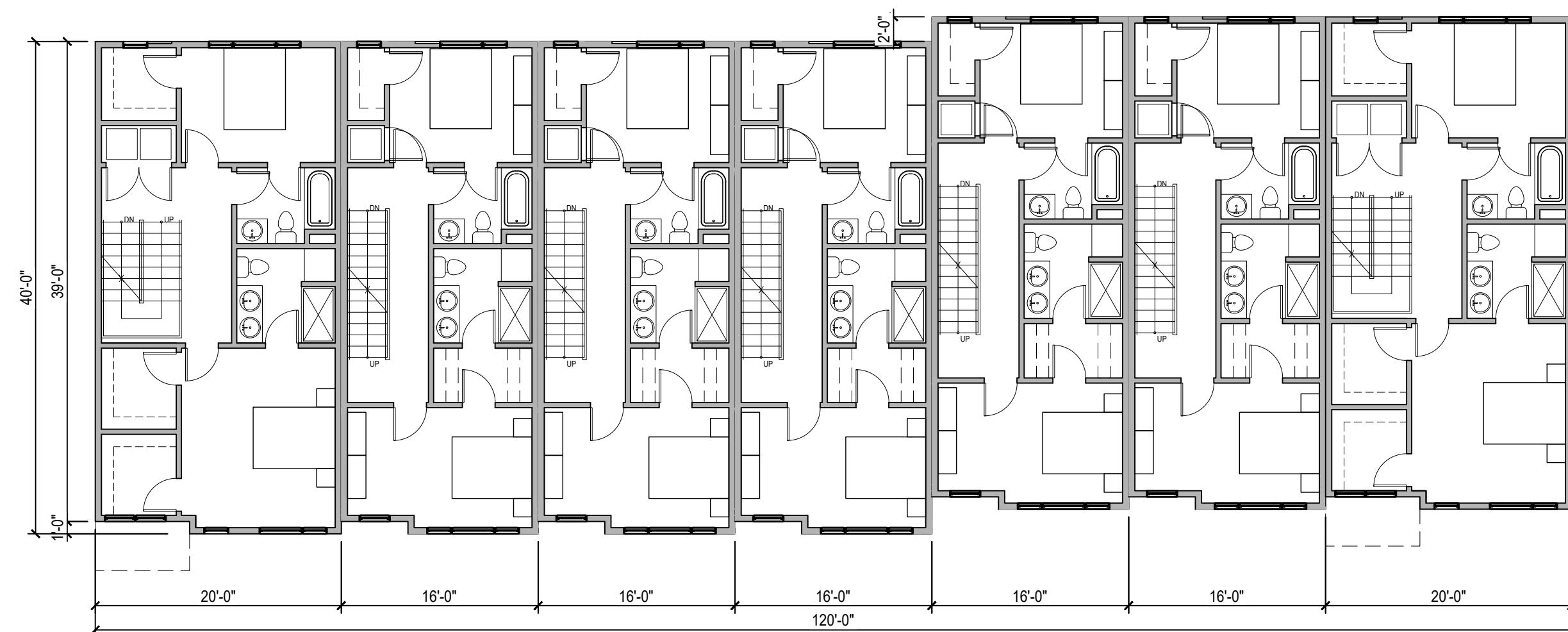
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7 TOTAL UNITS
(2) 20'-W UNITS
(5) 16'-W UNITS

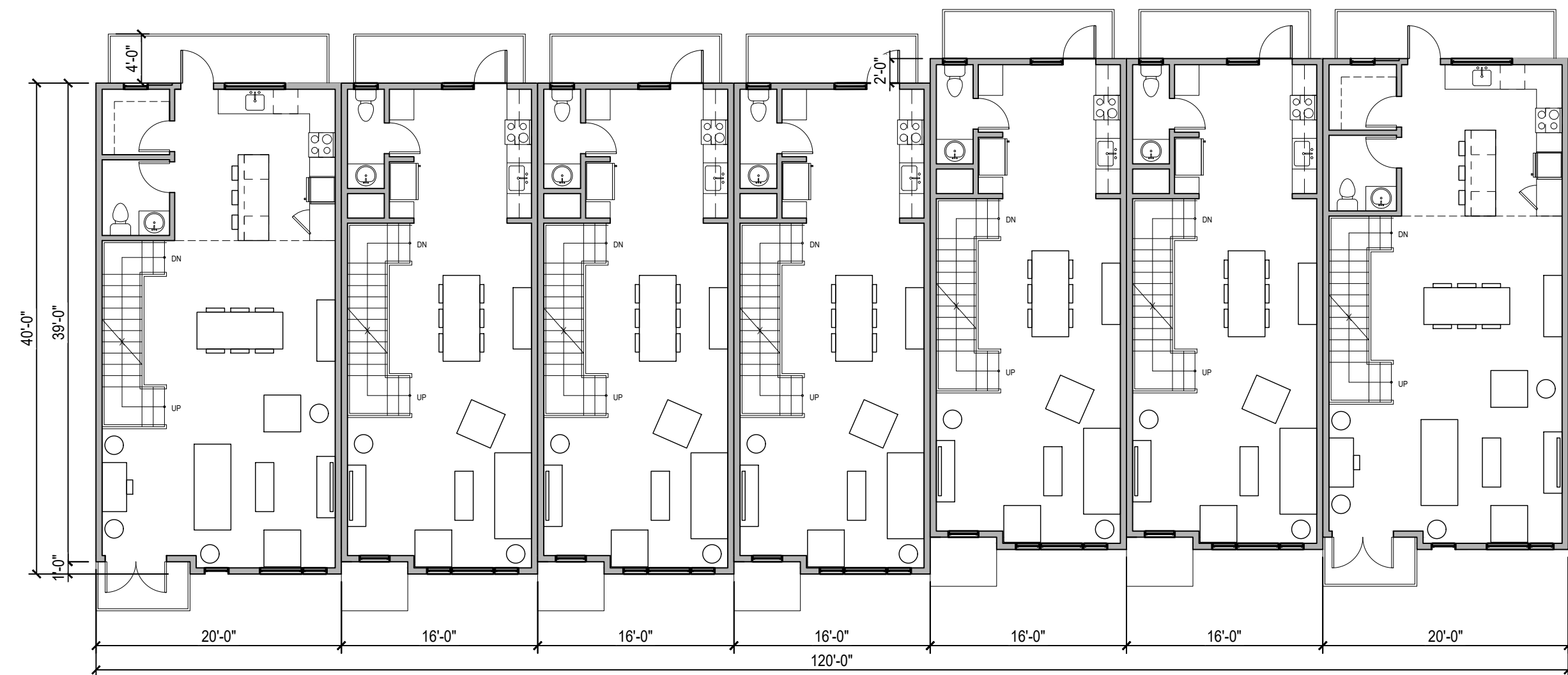


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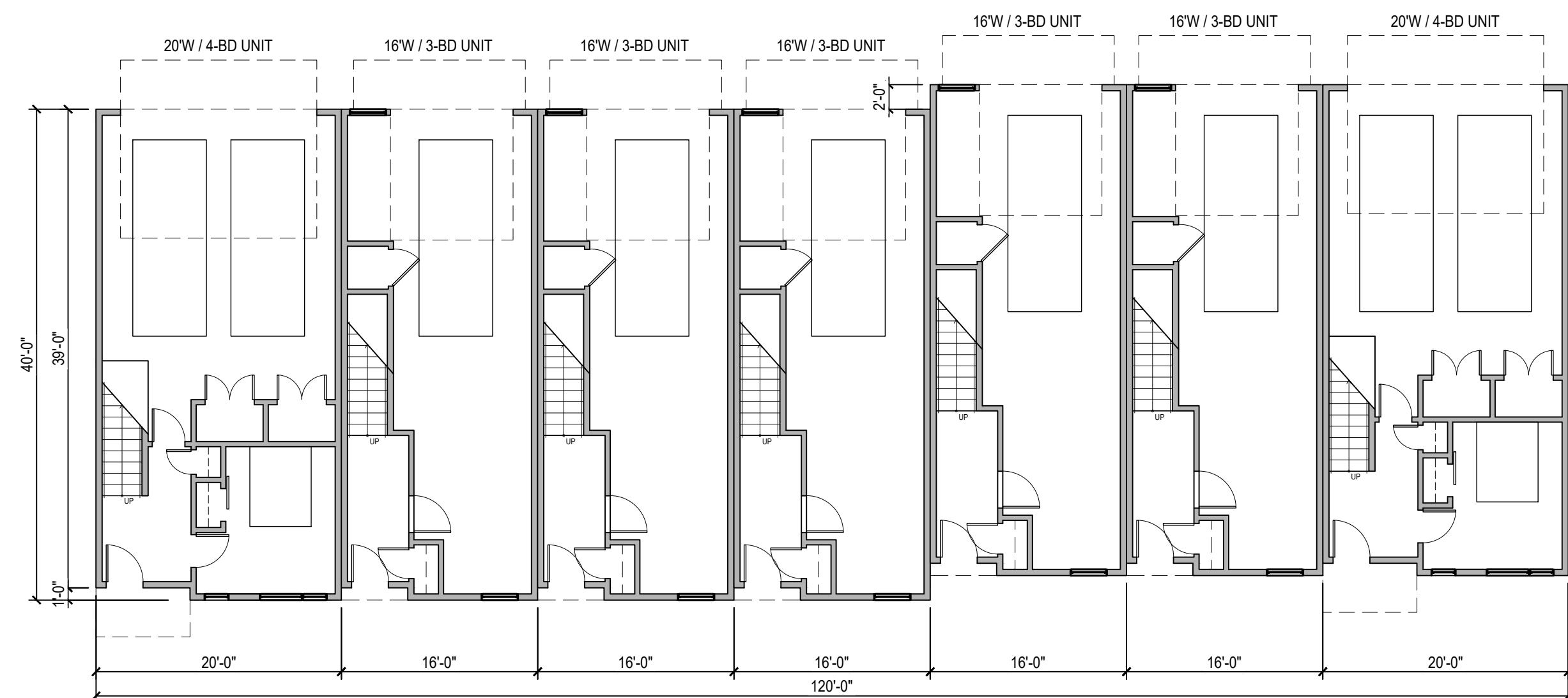
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SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"

3/12/2020 11:00:28 AM

APPROVAL STAMPS:

[illegible]

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No.	Date	Description

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ARCHITECT

K	A	S	A
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LANDSCAPE ARCHITECT

GENERAL CONTRACTOR

PROJECT LOCATION

Steamboat Basecamp Residential & Outdoor Amenity Space

1901 Curve Plaza
Steamboat Springs, CO

DRAWING TITLE

TOWNHOME BUILDING #1 PLANS

SEAL

DATE: _____

3/09/22

RAWN BY:

HECKED BY:

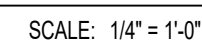
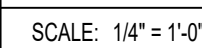
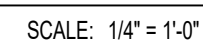
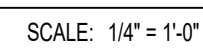
PROJECT NO:

DRAWING NO:

A 2.3

NOVEMBER 2014

(5) 16'-W UNITS



APPROVAL STAMPS:

[illegible]

1	3/28/2022	Development Plan Submittal #
No.	Date	Description

SUBMISSIONS & REVISIONS

OWNER

May Riegler Properties
2201 Wisconsin Avenue NW Suite 200
Washington, DC 20007
PO Box 881330
Steamboat Springs, CO 80488

ARCHITECT

K A S A
KEVIN & ASAKO SPERRY ARCHITECTURE
3318 N. Columbus Street
Arlington, VA 22207
T.312.636.3248 / 312.636.4252
www.kasa-arch.com

STRUCTURAL ENGINEER

M.E.P. & F.P. ENGINEERS

CIVIL ENGINEER

LANDMARK CONSULTANTS, INC.
141 9th Street
PO Box 774943
Steamboat Springs, Colorado 80477
T.970.871.9494

LANDSCAPE ARCHITECT

GENERAL CONTRACTOR

PROJECT LOCATION
**Steamboat Basecamp
Residential & Outdoor
Amenity Space**
1901 Curve Plaza
Steamboat Springs, CO

DRAWING TITLE

TOWNHOME BUILDING #2 PLANS

SEAR

DATE:

03/09/22

	CHECKED BY
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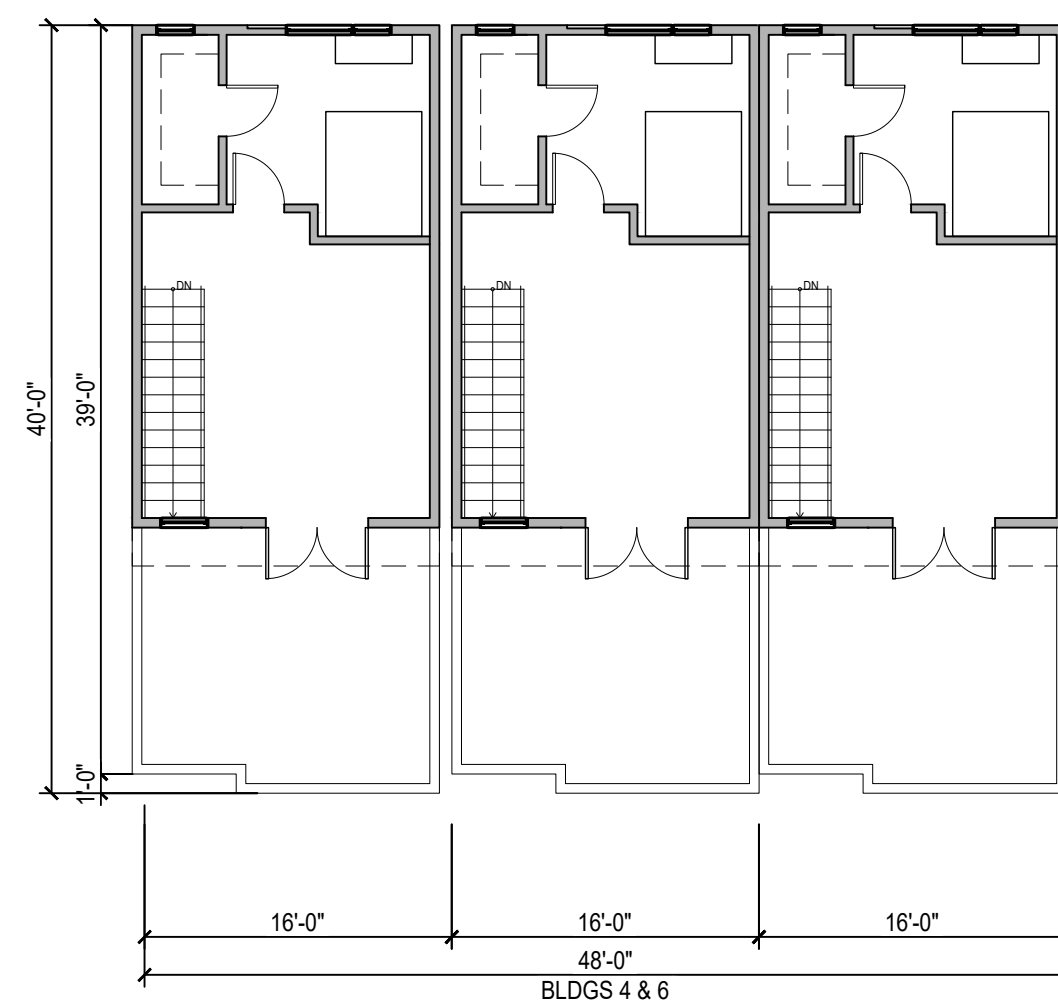
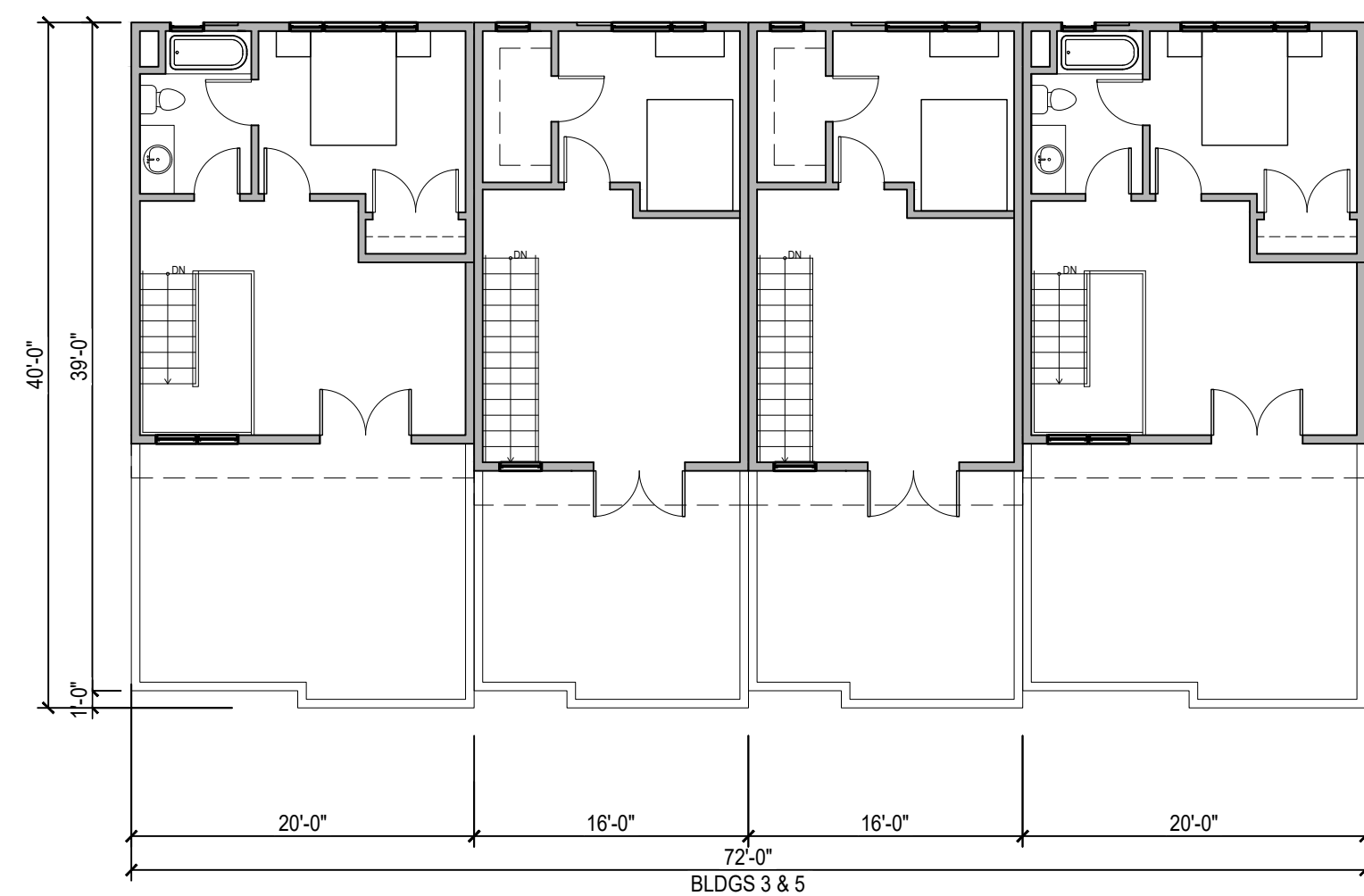
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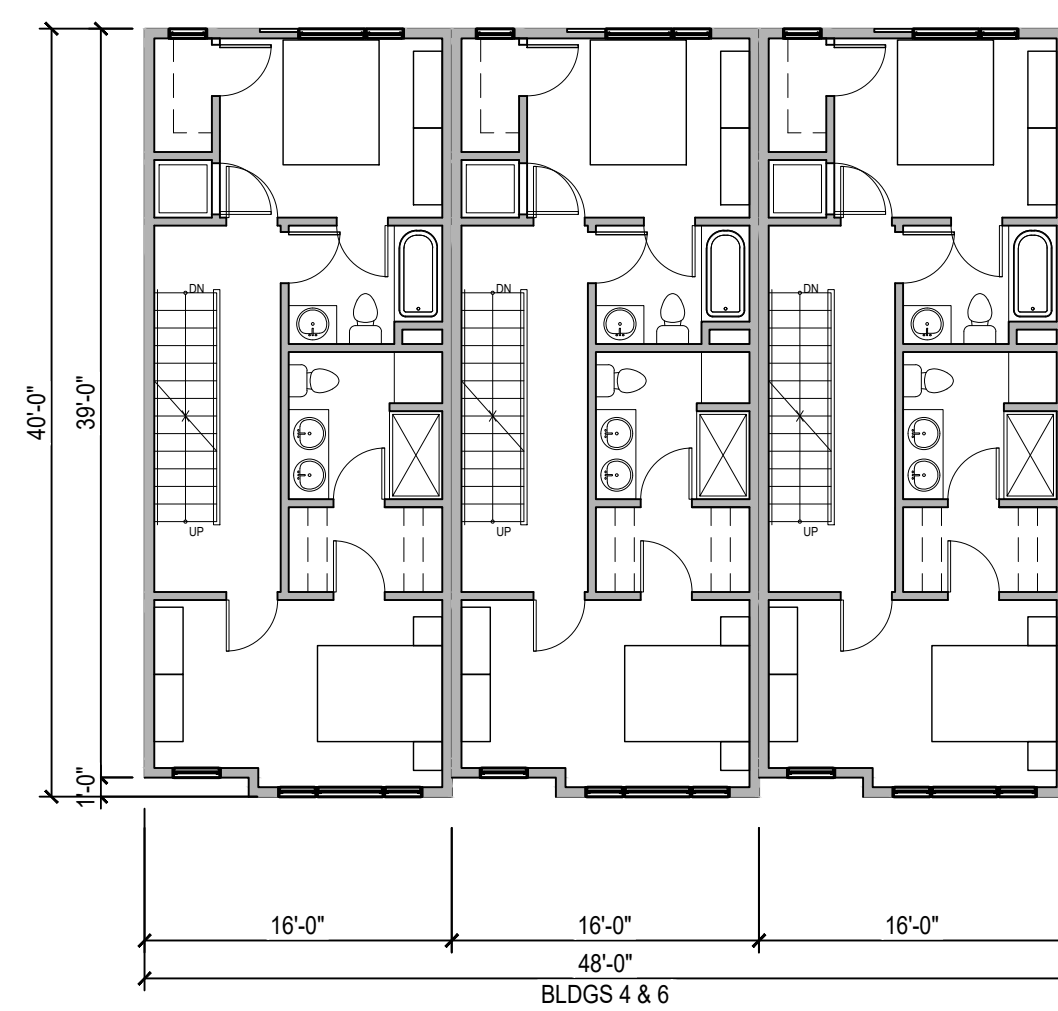
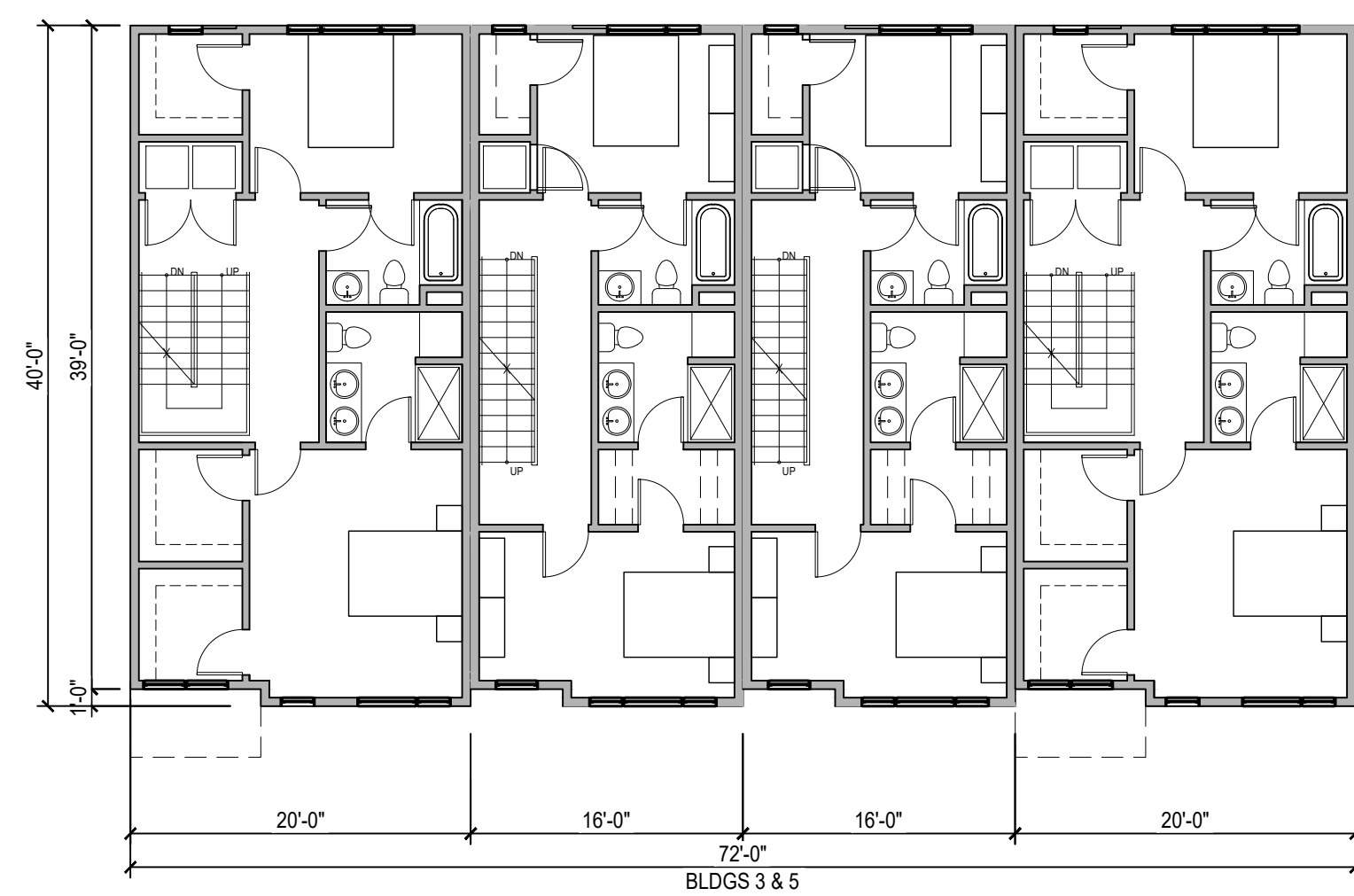
A 2.4

4 TOTAL UNITS
(2) 20'-W UNITS
(2) 16'-W UNITS

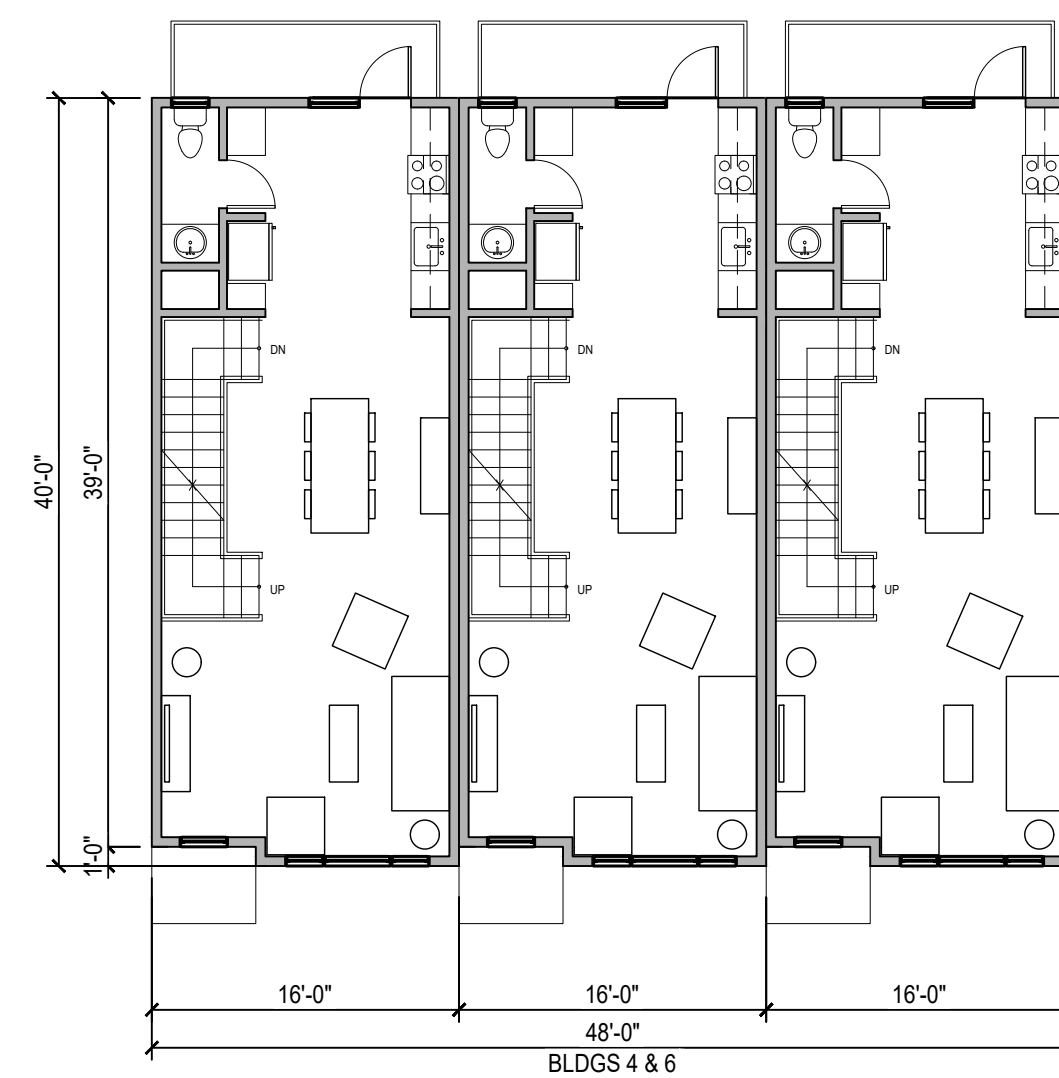
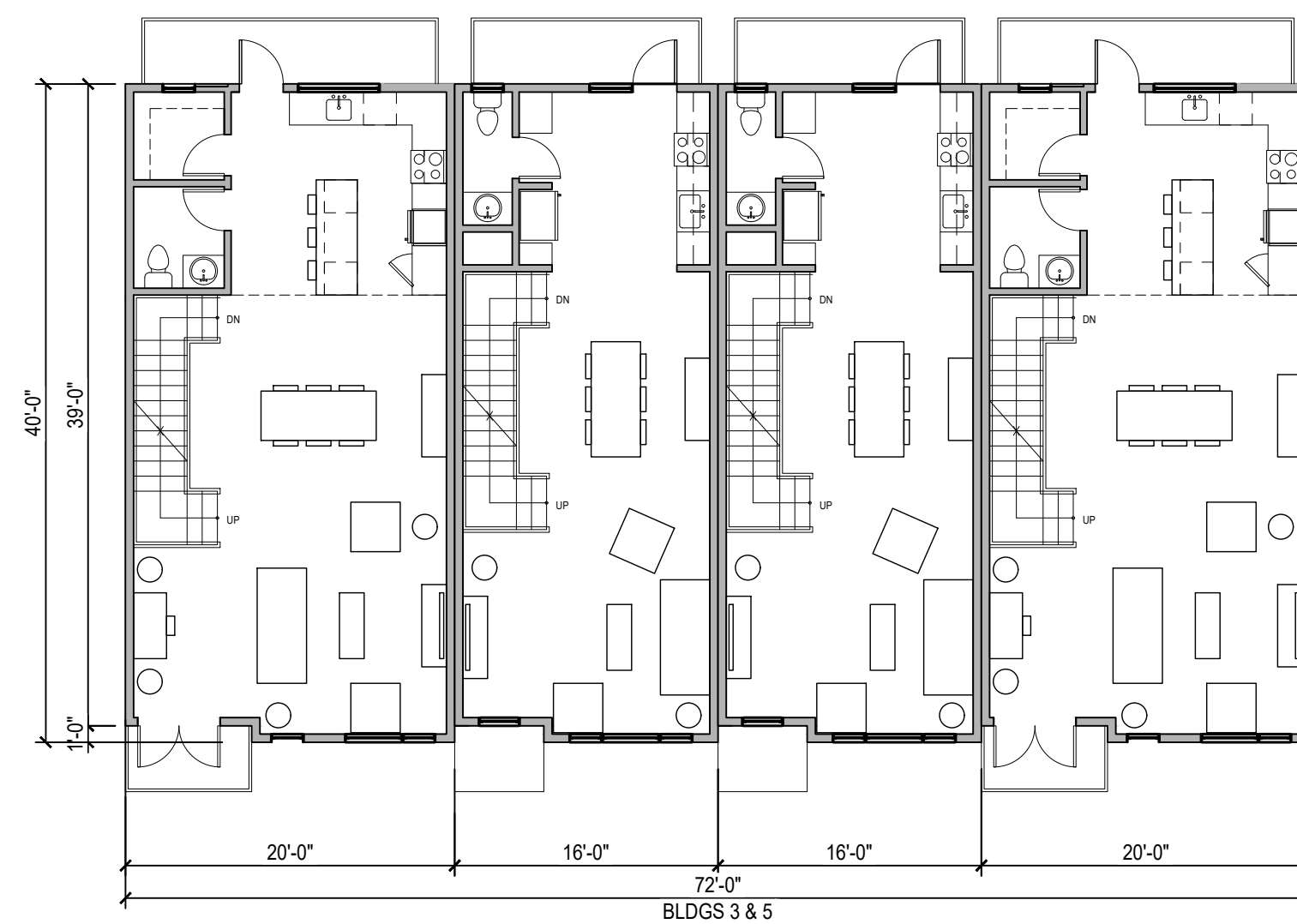
3 TOTAL UNITS
(3) 16'-W UNITS



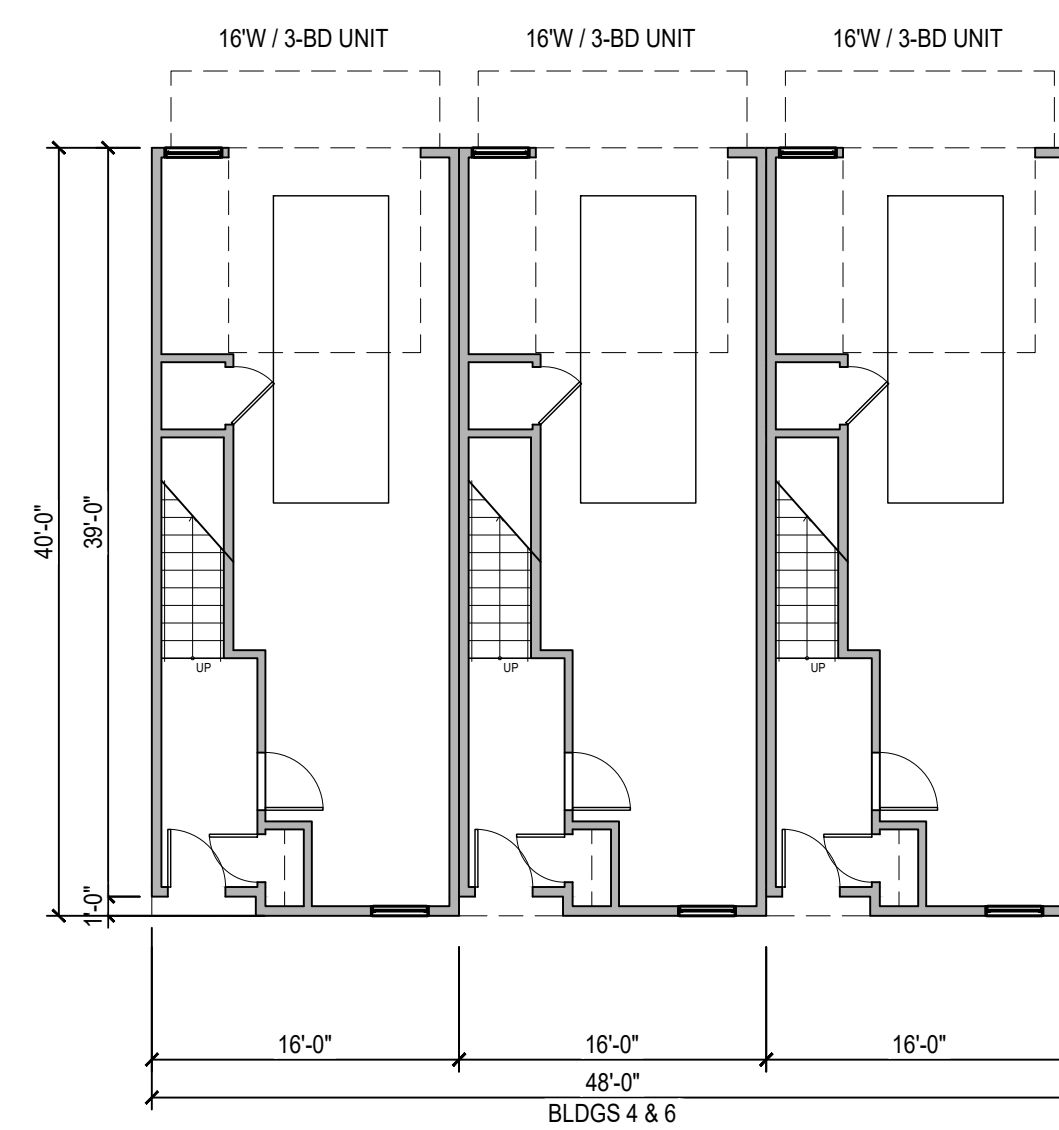
4	ROOF PLAN
	SCALE: 1/4" = 1'-0"



3	THIRD FLOOR PLAN
	SCALE: 1/4" = 1'-0"



2	SECOND FLOOR PLAN
	SCALE: 1/4" = 1'-0"



1	GROUND FLOOR PLAN
	SCALE: 1/4" = 1'-0"

3/12/2020 11:00:28 AM

APPROVAL STAMPS:

[illegible]

1	3/28/2022	Development Plan Submittal #3
No.	Date	Description

SUBMISSIONS & REVISIONS

OWNER

May Riegler Properties
2201 Wisconsin Avenue NW Suite 200
Washington, DC 20007
PO Box 881330
Steamboat Springs, CO 80488

ARCHITECT

K A S A
KEVIN & ASAKO SPERRY ARCHITECTURE
3318 N. Columbus Street
Arlington, VA 22207
T.312.636.3248 / 312.636.4252
www.kasa-arch.com

STRUCTURAL ENGINEER

M.E.P. & F.P. ENGINEERS

CIVIL ENGINEER

LANDMARK CONSULTANTS, INC.
141 9th Street
PO Box 774943
Steamboat Springs, Colorado 80477
T.970.871.9494

LANDSCAPE ARCHITECT

GENERAL CONTRACTOR

PROJECT LOCATION
**Steamboat Basecamp
Residential & Outdoor
Amenity Space**
1901 Curve Plaza
Steamboat Springs, CO

TOWNHOME BUILDINGS #3-6 PLANS

SEAL

DATE:

03/09/22

DRAWN BY:

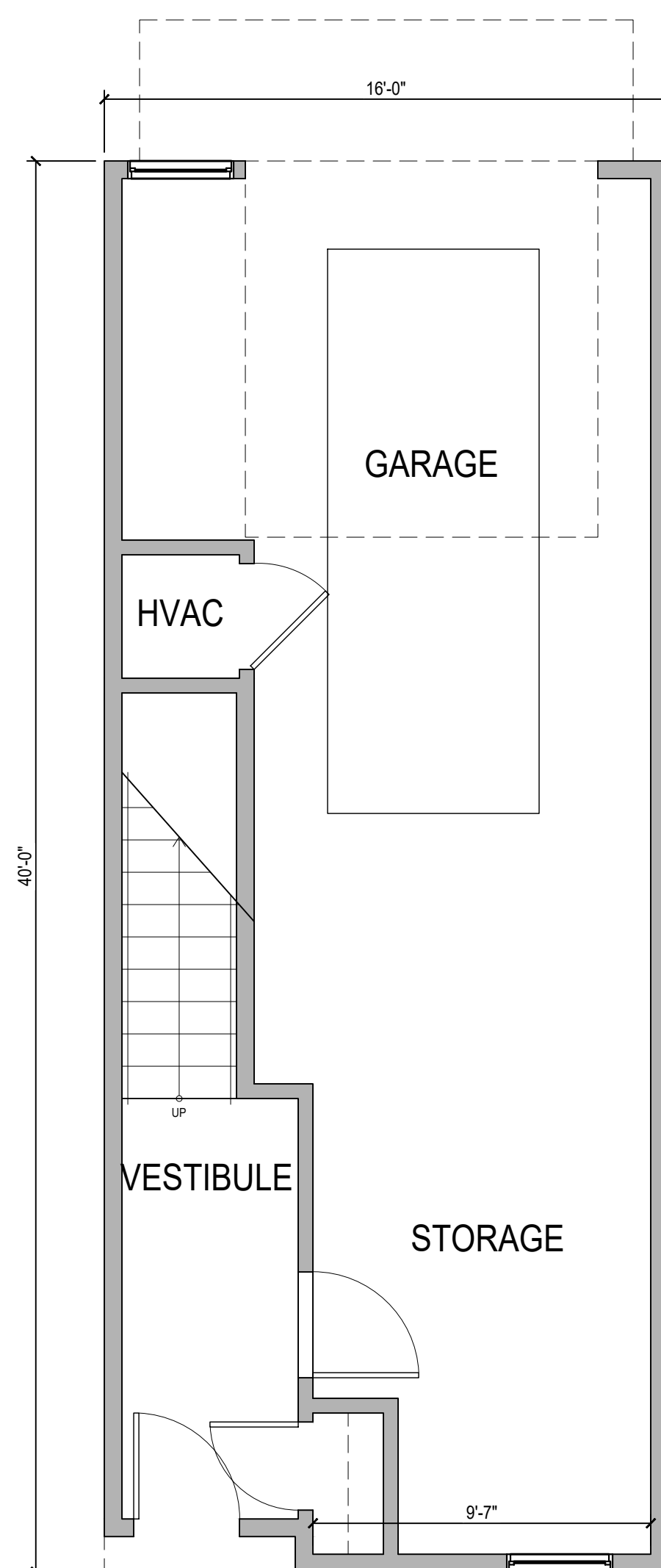
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PROJECT NO:

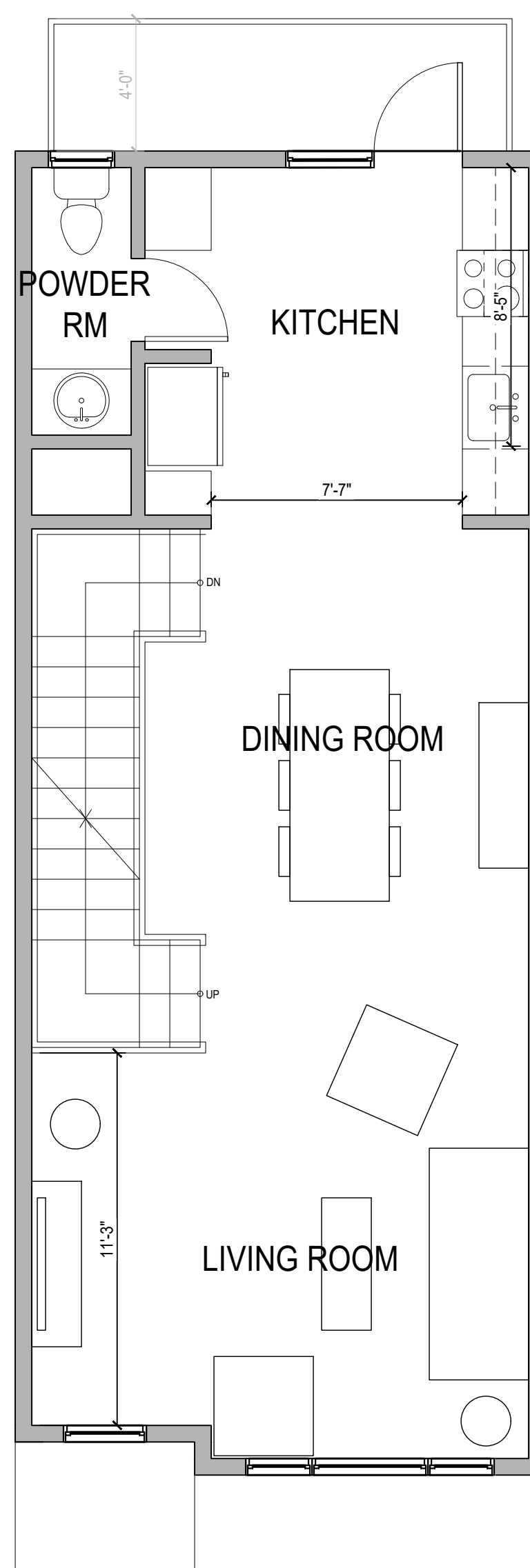
DRAWING NO:

A 2.5

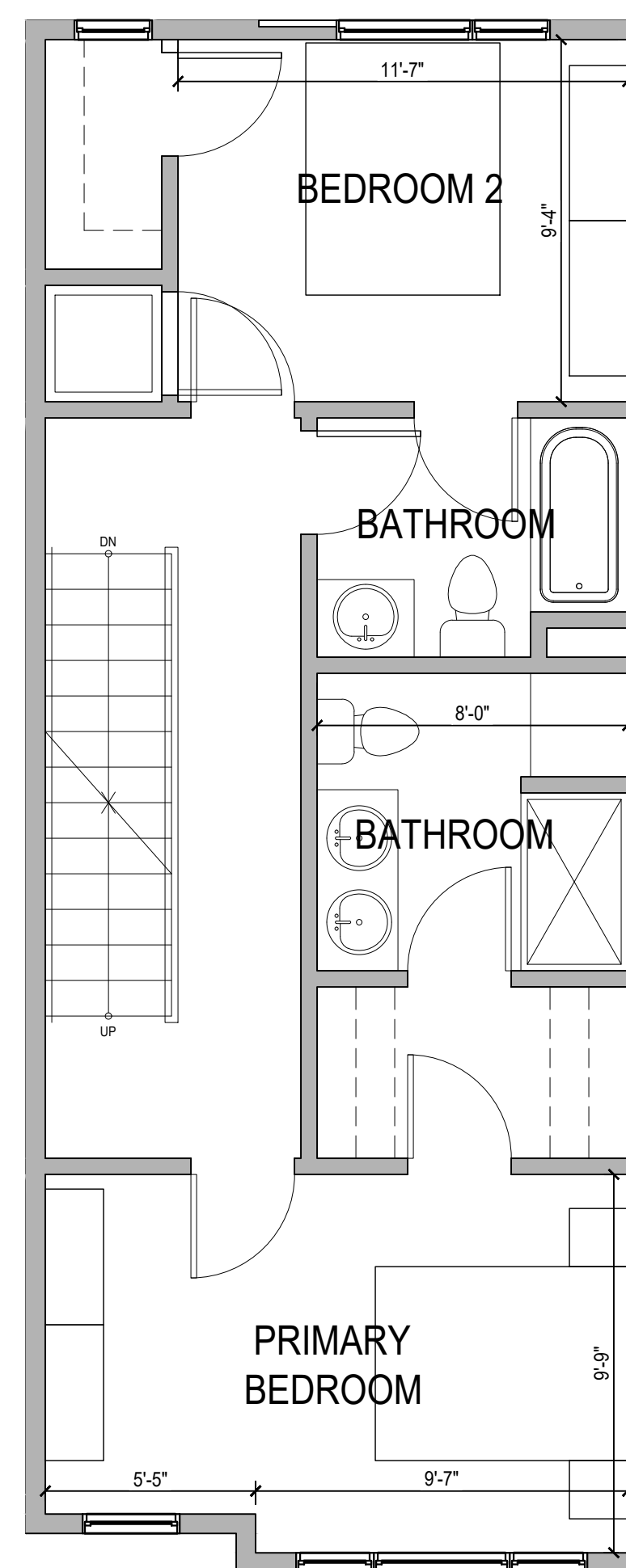
FINISHED AREA BREAKDOWN:
GROUND FLOOR: 125 FINISHED SF
SECOND FLOOR: 635 FINISHED SF
THIRD FLOOR: 635 FINISHED SF
FOURTH FLOOR: 419 FINISHED SF
TOTAL FINISHED AREA: 1,814 SF



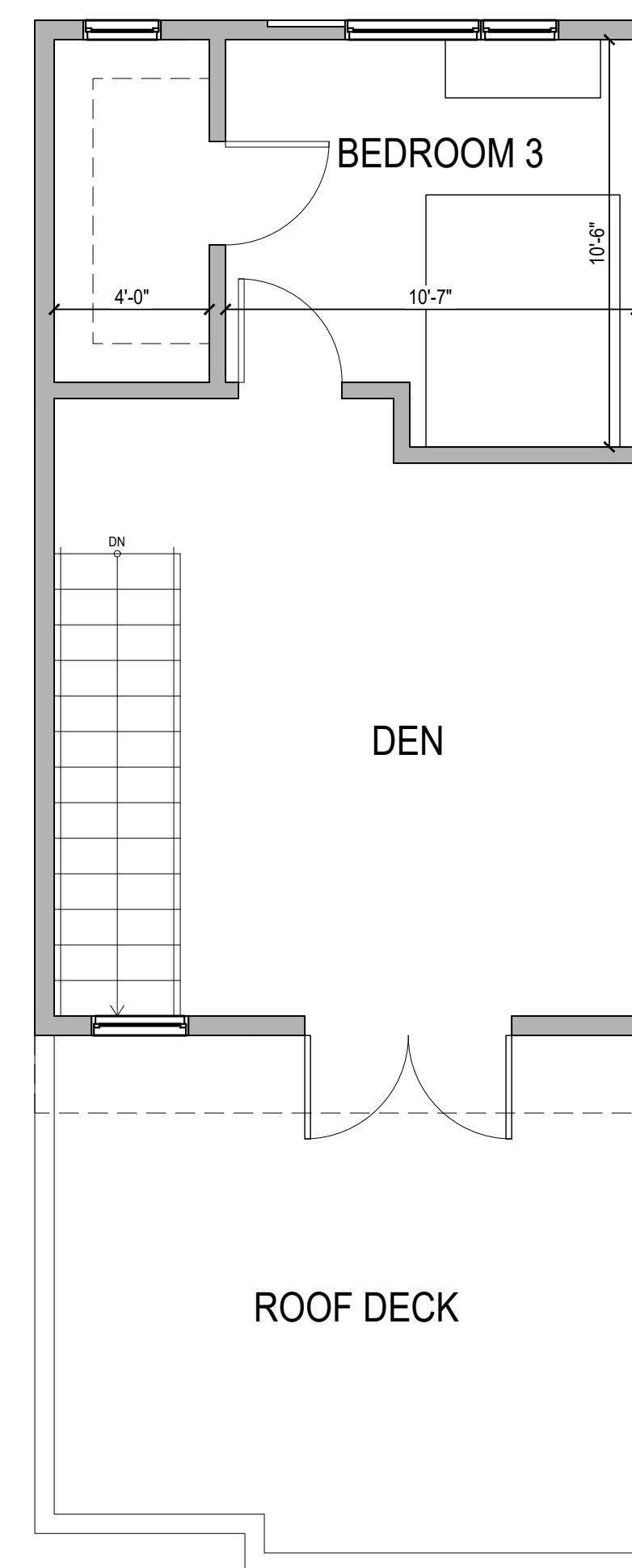
1	GROUND FLOOR PLAN
	SCALE: 1/4" = 1'-0"



2	SECOND FLOOR PLAN
	SCALE: 1/4" = 1'-0"



3	THIRD FLOOR PLAN
	SCALE: 1/4" = 1'-0"



4	ROOF PLAN
	SCALE: 1/4" = 1'-0"

3/12/2020 11:00:28 AM

[illegible]

1	3/28/2022	Development Plan Submittal #3
No.	Date	Description

SUBMISSIONS & REVISIONS

OWNER

May Riegler Properties
2201 Wisconsin Avenue NW Suite 200
Washington, DC 20007
PO Box 881330
Steamboat Springs, CO 80488

ARCHITECT

K A S A

KEVIN & ASAKO SPERRY ARCHITECTURE

3318 N. Columbus Street
Arlington, VA 22207
T.312.636.3248 / 312.636.4252
www.kasa-arch.com

STRUCTURAL ENGINEER

M.E.P. & F.P. ENGINEERS

CIVIL ENGINEER

LANDMARK CONSULTANTS, INC.
141 9th Street
PO Box 774943
Steamboat Springs, Colorado 80477
T.970.871.9494

LANDSCAPE ARCHITECT

GENERAL CONTRACTOR

PROJECT LOCATION
**Steamboat Basecamp
Residential & Outdoor
Amenity Space**
1901 Curve Plaza
Steamboat Springs, CO

DRAWING TITLE

ENLARGED 16'W
TOWNHOME PLANS

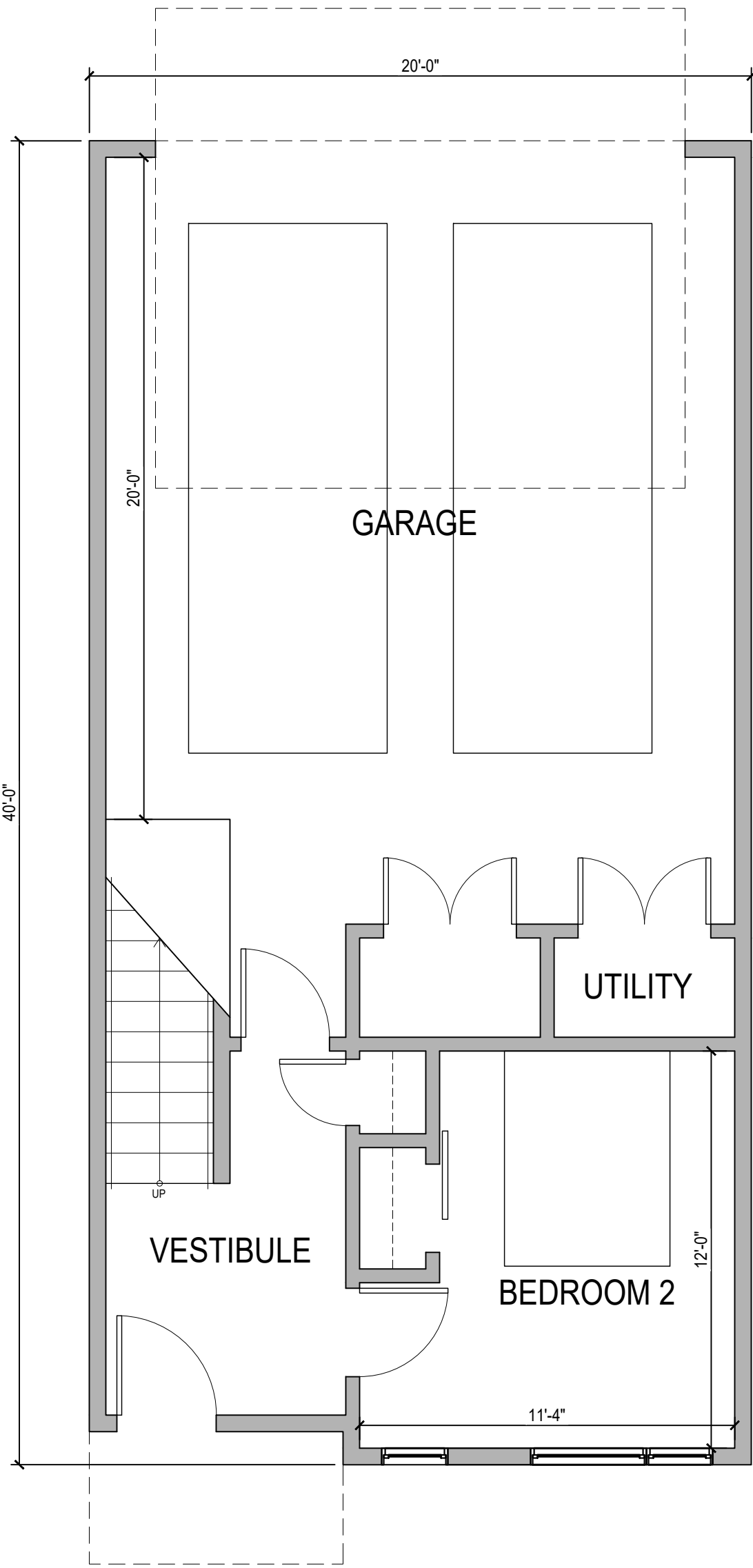
SEAL	DATE: 03/09/22
	DRAWN BY:
	CHECKED BY:
	PROJECT NO:

DRAWING NO:

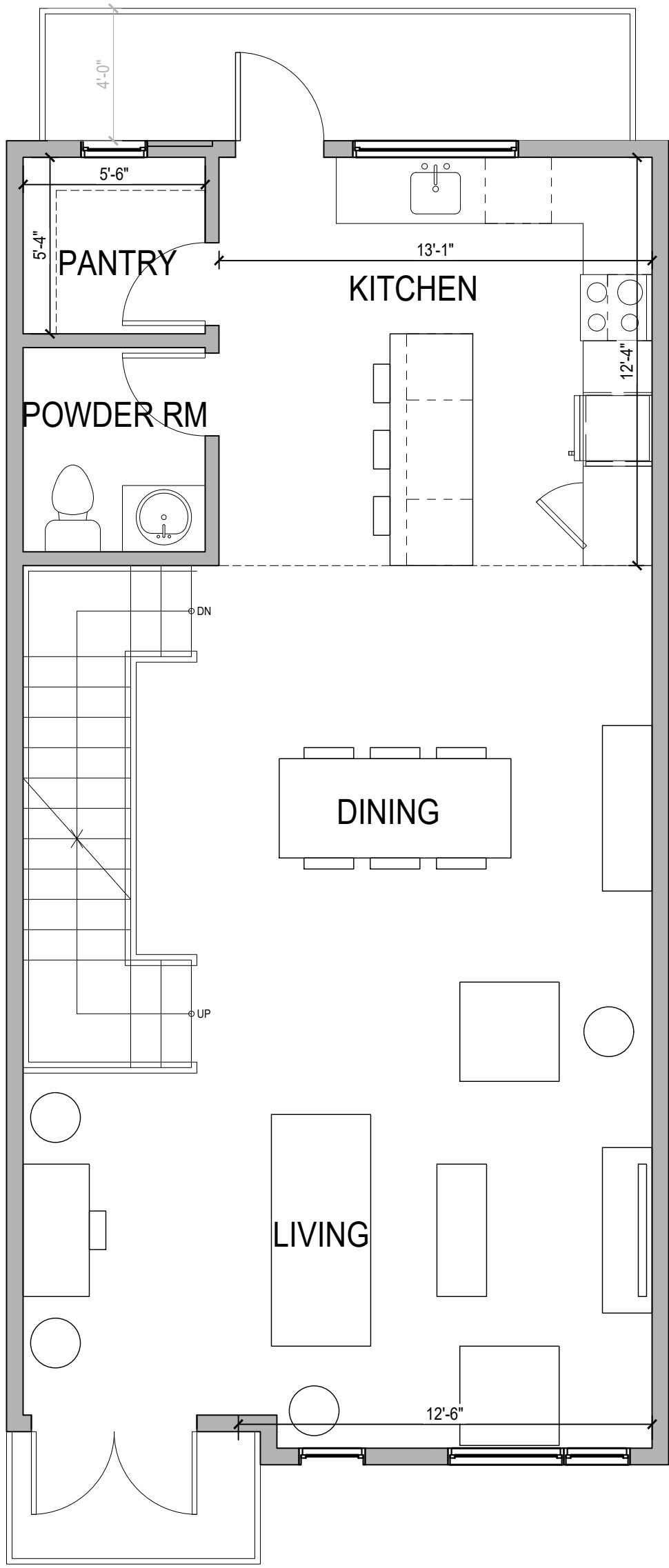
A 2.6

20'-W UNIT
4 BEDROOMS
2,725 FINISH SQUARE FEET TOTAL
472 SF GARAGE
369 SQUARE FEET DECKS

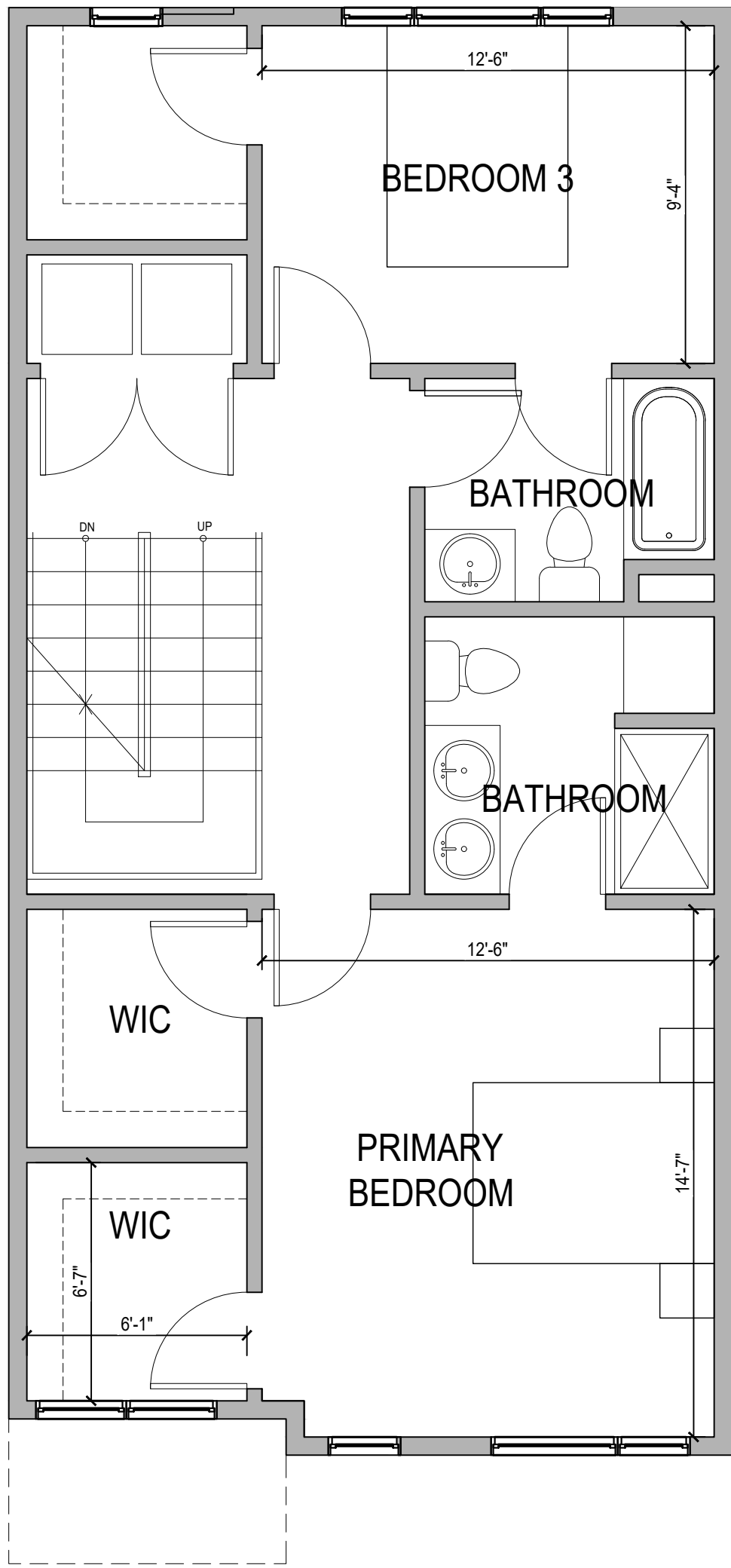
FINISHED AREA BREAKDOWN:
GROUND FLOOR: 280 FINISHED SF
SECOND FLOOR: 794 FINISHED SF
THIRD FLOOR: 794 FINISHED SF
FOURTH FLOOR: 492 FINISHED SF
TOTAL FINISHED AREA: 2,253 SF



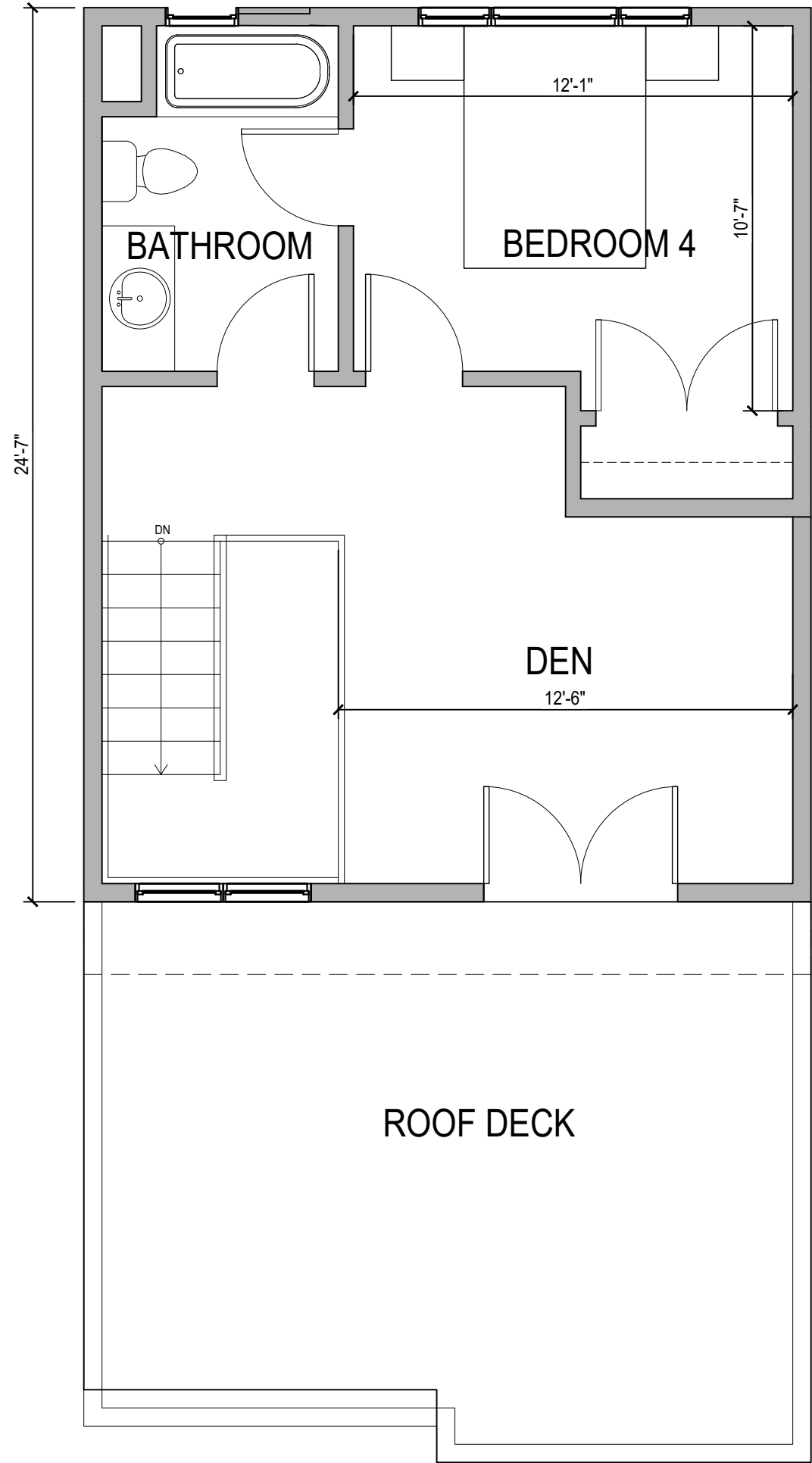
1 GROUND FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



3 THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"



4 ROOF PLAN
SCALE: 1/4" = 1'-0"

APPROVAL STAMPS:

No.	Date	Description
1	3/28/2022	Development Plan Submittal #3

SUBMISSIONS & REVISIONS

OWNER

May Riegler Properties
2201 Wisconsin Avenue NW Suite 200
Washington, DC 20007
PO Box 881330
Steamboat Springs, CO 80488

ARCHITECT

K A S A
KEVIN & ASAKO SPERRY ARCHITECTURE
3318 N. Columbus Street
Arlington, VA 22207
T.312.636.3248 / 312.636.4252
www.kasa-arch.com

STRUCTURAL ENGINEER

M.E.P. & F.P. ENGINEERS

CIVIL ENGINEER

LANDMARK CONSULTANTS, INC.
141 9th Street
PO Box 774943
Steamboat Springs, Colorado 80477
T.970.871.9494

LANDSCAPE ARCHITECT

GENERAL CONTRACTOR

PROJECT LOCATION
Steamboat Basecamp
Residential & Outdoor
Amenity Space
1901 Curve Plaza
Steamboat Springs, CO

DRAWING TITLE

ENLARGED 20'W
TOWNHOME PLANS

SEAL

DATE:

03/09/22

DRAWN BY:

CHECKED BY:

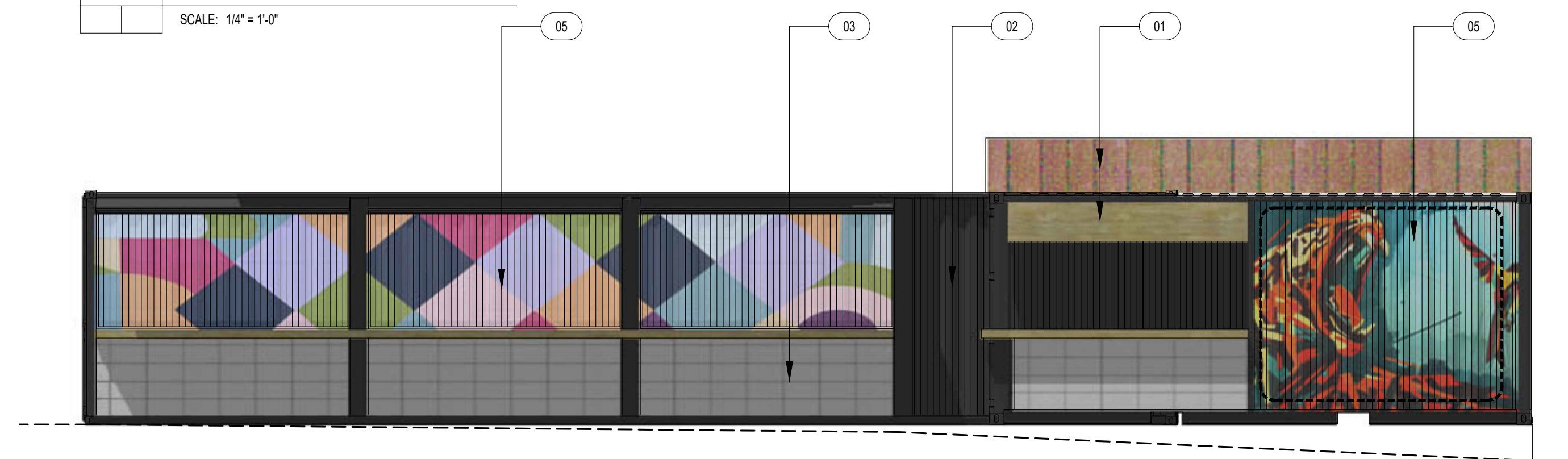
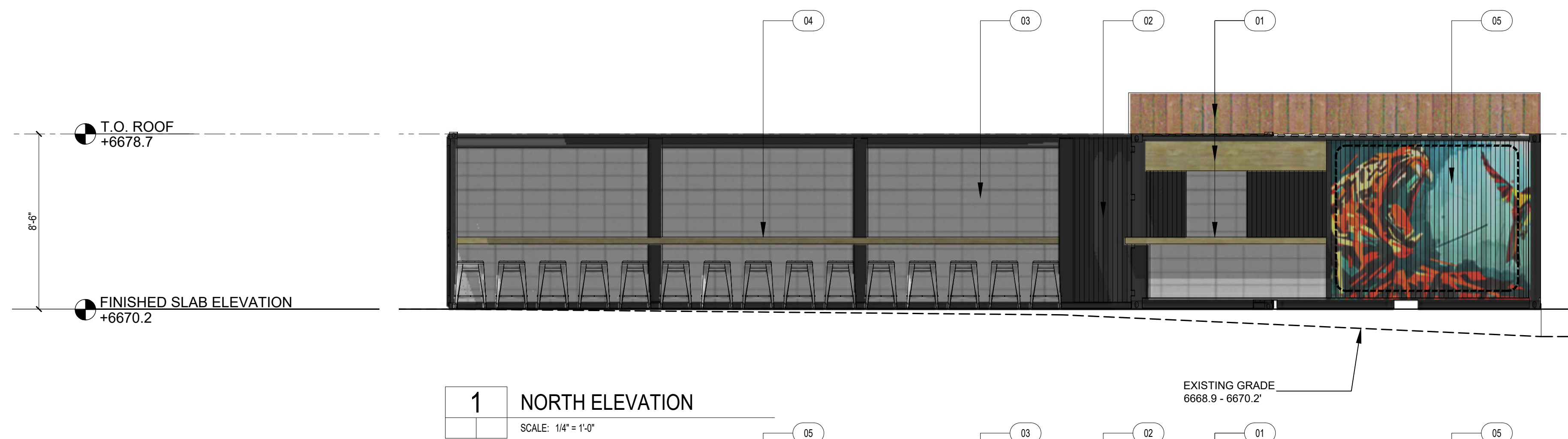
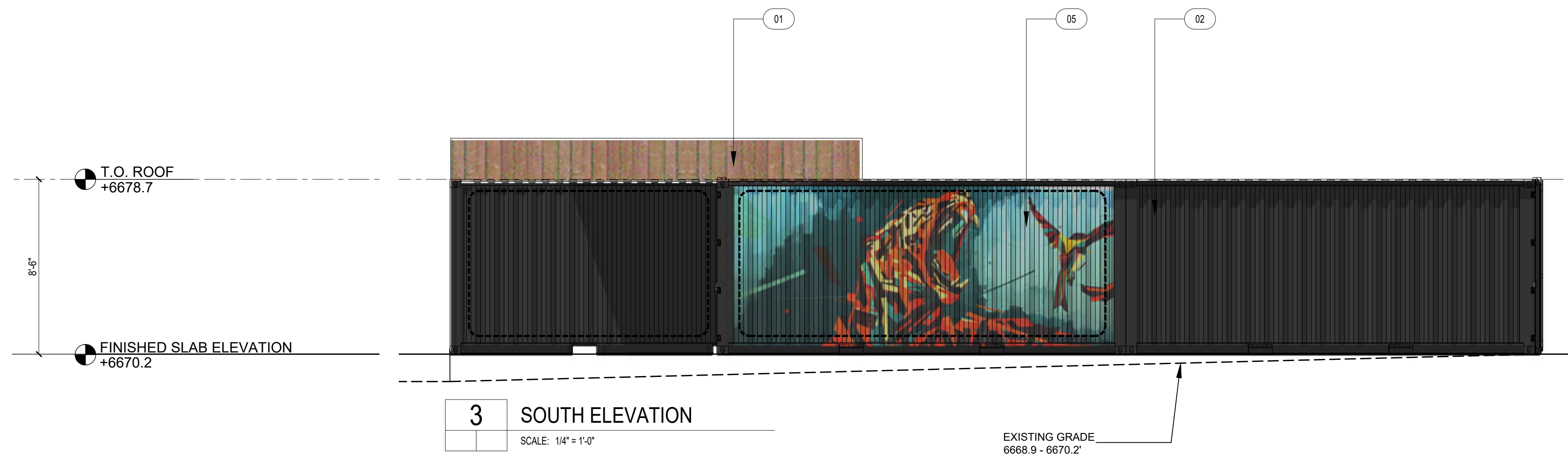
PROJECT NO:

DRAWING NO:

A 2.7

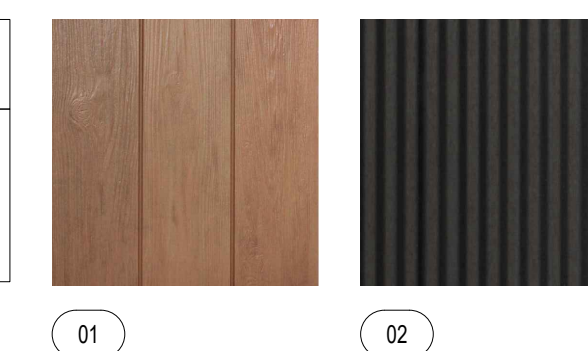


A3.1



TRANSPARENCY CALCULATIONS	
NORTH FACADE:	32.7%
SOUTH FACADE:	0.0%
EAST FACADE:	30.7%
WEST FACADE:	0.0%

MATERIAL LEGEND	
01	NATURAL FINISH, SEALED, NATURAL WOOD SIDING
02	CORRUGATED METAL WALL PANEL (TO MATCH RES. BLDG)
03	GROUND FACE CMU. COLOR: DESATURATED BEIGE
04	SEALED NATURAL WOOD BAR TOP
05	FUTURE WALL MURAL (ILLUSTRATIVE PURPOSES ONLY)

[illegible]

OWNER

May Riegler Properties
2201 Wisconsin Avenue NW Suite 200
Washington, DC 20007
PO Box 881330
Steamboat Springs, CO 80488

ARCHITECT



KEVIN & ASAKO SPERRY ARCHITECTURE
3318 N. Columbus Street
Arlington, VA 22207
T.312.636.3248 / 312.636.4252
www.kasa-arch.com

STRUCTURAL ENGINEER

M.E.P. & F.P. ENGINEERS

CIVIL ENGINEER

LANDMARK CONSULTANTS, INC.
141 9th Street
PO Box 774943
Steamboat Springs, Colorado 80477
T.970.871.9494

LANDSCAPE ARCHITECT

MGC DESIGN, INC.
PO Box 773522
Steamboat Springs, Colorado 80477
T.970.879.7740

GENERAL CONTRACTOR

PROJECT LOCATION

Steamboat Basecamp

1901 Curve Plaza
Steamboat Springs, CO

DRAWING TITLE

PROPOSED CONTAINER RETAIL ELEVATIONS

SEARCH

DATE:

8/02/21

DRAWN BY:

<p>CHECKED BY:</p>	<p>DATE:</p>
--------------------	--------------

PROJECT NO:

DRAWING NO:

A3.2



4 WEST ELEVATION
SCALE: 1/8" = 1'-0"



3 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

ASPHALT SHINGLE ROOF W/ 3:12 SLOPE

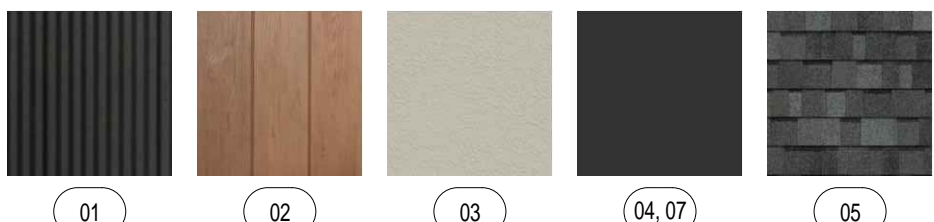


2 EAST ELEVATION
SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION
SCALE: SOUTH ELEVATION

- MATERIAL LEGEND**
- 01 7/8" CORRUGATED MTL. SIDING
 - 02 WOOD TEXTURED FIBER BOARD PLANKS W/ NAT FINISH
 - 03 PTD EXTERIOR INSULATION SYSTEM
 - 04 PAINTED METAL TRIM
 - 05 ASPHALT SHINGLE ROOF - BLACK
 - 06 ANDERSEN 100 SERIES FIBERGLASS WINDOWS
 - 07 PAINTED STEEL RAIL



TRANSPARENCY CALCULATIONS
NORTH FACADE: 31.7%
SOUTH FACADE: 20.6%
EAST FACADE: 12.9%
WEST FACADE: 16.2%

APPROVAL STAMPS:

3	3/28/2022	Development Plan Submittal #3
2	1/09/2021	Development Plan Submittal #2
1	8/06/2021	Development Plan Submittal
No.	Date	Description

SUBMISSIONS & REVISIONS

OWNER

May Riegler Properties
2201 Wisconsin Avenue NW Suite 200
Washington, DC 20007
PO Box 881330
Steamboat Springs, CO 80488

ARCHITECT

K A S A
KEVIN & ASAKO SPERRY ARCHITECTURE
3319 N. Columbus Street
Arlington, VA 22207
T.312.636.3248 / 312.636.4252
www.kasa-arch.com

STRUCTURAL ENGINEER

M.E.P. & F.P. ENGINEERS

CIVIL ENGINEER

LANDMARK CONSULTANTS, INC.
141 9th Street
PO Box 774943
Steamboat Springs, Colorado 80477
T.970.871.9494

LANDSCAPE ARCHITECT

GENERAL CONTRACTOR

PROJECT LOCATION
**Steamboat Basecamp
Residential & Outdoor
Amenity Space**
1901 Curve Plaza
Steamboat Springs, CO

DRAWING TITLE

**TOWNHOUSE #1
ELEVATIONS**

SEAL

DATE:

DRAWN BY:

CHECKED BY:

PROJECT NO:

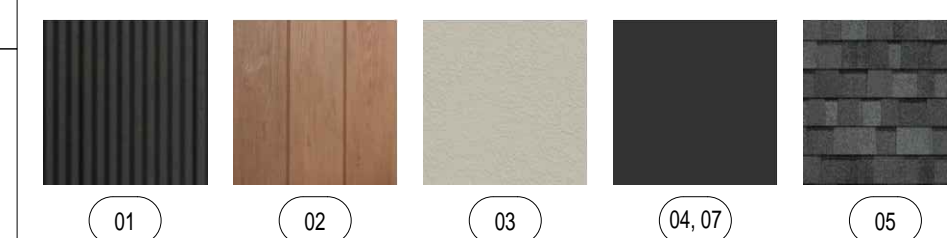
DRAWING NO:

A 3.3



MATERIAL LEGEND

01	7/8" CORRUGATED MTL. SIDING
02	WOOD TEXTURED FIBER BOARD PLANKS W/ NAT FINISH
03	PTD EXTERIOR INSULATION SYSTEM
04	PAINTED METAL TRIM
05	ASPHALT SHINGLE ROOF - BLACK
06	ANDERSEN 100 SERIES FIBERGLASS WINDOWS
07	PAINTED STEEL RAIL



TRANSPARENCY CALCULATIONS

TRANSPARENCY CALCULATION
NORTH FACADE: 20.6%
SOUTH FACADE: 31.7%
EAST FACADE: 13.8%
WEST FACADE: 12.9%

APPROVAL STAMPS:[illegible]

3	3/28/2022	Development Plan Submittal #3
2	11/09/2021	Development Plan Submittal #2
1	8/06/2021	Development Plan Submittal
No.	Date	Description

SUBMISSIONS & REVISIONS

OWNER

May Riegler Properties
2201 Wisconsin Avenue NW Suite 200
Washington, DC 20007
PO Box 881330
Steamboat Springs, CO 80488

ARCHITECT



KEVIN & ASAKO SPERRY ARCHITECTURE
3318 N. Columbus Street
Arlington, VA 22207
T.312.636.3248 / 312.636.4252
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STRUCTURAL ENGINEER

M.E.P. & F.P. ENGINEERS

CIVIL ENGINEER

LANDMARK CONSULTANTS, INC.
141 9th Street
PO Box 774943
Steamboat Springs, Colorado 80477
T.970.871.9494

LANDSCAPE ARCHITECT

GENERAL CONTRACTOR

PROJECT LOCATION

**Steamboat Basecamp
Residential & Outdoor
Amenity Space**
1901 Curve Plaza
Steamboat Springs, CO

DRAWING TITLE

TOWNHOUSE #2 ELEVATIONS

SEAL

DATE: _____

DRAWN BY:

<p> CHECKED BY: </p>

PROJECT NO:

DRAWING NO:

A 3.4



4 WEST ELEVATION

SCALE: 1/8" = 1'-0"



3 NORTH ELEVATION

SCALE: 1/8" = 1'-0"

EXISTING GRADE.
6669 - 6672'



2 EAST ELEVATION

SCALE: 1/8" = 1'-0"



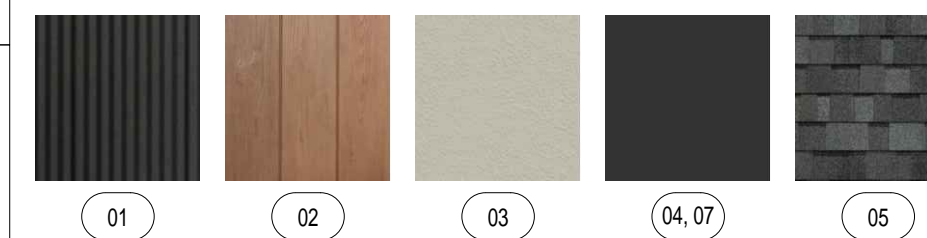
1 SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

EXISTING GRADE
6669 - 6672'

MATERIAL LEGEND

01 7/8" CORRUGATED MTL. SIDING
02 WOOD TEXTURED FIBER BOARD PLANKS W/ NAT FINISH
03 PTD EXTERIOR INSULATION SYSTEM
04 PAINTED METAL TRIM
05 ASPHALT SHINGLE ROOF - BLACK
06 ANDERSEN 100 SERIES FIBERGLASS WINDOWS
07 PAINTED STEEL RAIL



TRANSPARENCY CALCULATIONS

TRANSPARENCY CALCULATIONS

NORTH FACADE:	31.7%
SOUTH FACADE:	20.6%
EAST FACADE:	12.9%
WEST FACADE:	16.2%

APPROVAL STAMPS:

[illegible]

3	3/28/2022	Development Plan Submittal #3
2	11/09/2021	Development Plan Submittal #2
1	8/06/2021	Development Plan Submittal
No.	Date	Description

SUBMISSIONS & REVISIONS

OWNER

May Riegler Properties
2201 Wisconsin Avenue NW Suite 200
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PO Box 881330
Steamboat Springs, CO 80488

ARCHITECT



KEVIN & ASAKO SPERRY ARCHITECTURE
3318 N. Columbus Street
Arlington, VA 22207
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141 9th Street
PO Box 774943
Steamboat Springs, Colorado 80477
T.970.871.9494

LANDSCAPE ARCHITECT

GENERAL CONTRACTOR

PROJECT LOCATION

Steamboat Basecamp Residential & Outdoor Amenity Space

DRAWING TITLE

TOWNHOUSES #3, 4 ELEVATIONS

SEAL

DATE:

DRAWN BY:

CHECKED BY:

PROJECT NO:

DRAWING NO:

A 3.5



4 WEST ELEVATION

SCALE: 1/8" = 1'-0"



3 NORTH ELEVATION

SCALE: 1/8" = 1'-0"



2 EAST ELEVATION

SCALE: 1/8" = 1'-0"

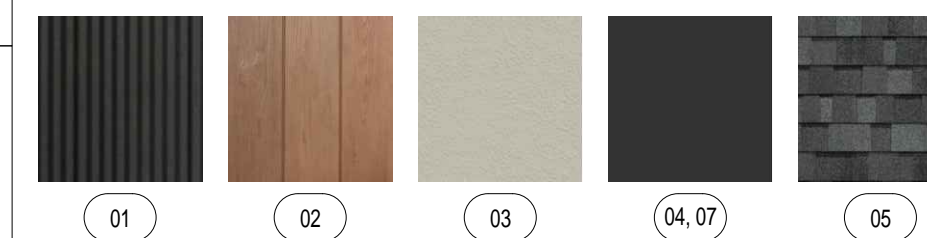


1 SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

MATERIAL LEGEND

01	7/8" CORRUGATED MTL. SIDING
02	WOOD TEXTURED FIBER BOARD PLANKS W/ NAT FINISH
03	PTD EXTERIOR INSULATION SYSTEM
04	PAINTED METAL TRIM
05	ASPHALT SHINGLE ROOF - BLACK
06	ANDERSEN 100 SERIES FIBERGLASS WINDOWS
07	PAINTED STEEL RAIL



TRANSPARENCY CALCULATIONS	
NORTH FACADE:	20.6%
SOUTH FACADE:	31.7%
EAST FACADE:	16.2%
WEST FACADE:	12.9%

APPROVAL STAMPS:

[illegible]

3	3/28/2022	Development Plan Submittal #3
2	11/09/2021	Development Plan Submittal #2
1	8/06/2021	Development Plan Submittal
No.	Date	Description

SUBMISSIONS & REVISIONS

OWNER

May Riegler Properties
2201 Wisconsin Avenue NW Suite 200
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PO Box 881330
Steamboat Springs, CO 80488

ARCHITECT



KEVIN & ASAKO SPERRY ARCHITECTURE
3318 N. Columbus Street
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T.312.636.3248 / 312.636.4252
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STRUCTURAL ENGINEER

M.E.P. & F.P. ENGINEERS

CIVIL ENGINEER

LANDMARK CONSULTANTS, INC.
141 9th Street
PO Box 774943
Steamboat Springs, Colorado 80477
T.970.871.9494

LANDSCAPE ARCHITECT

GENERAL CONTRACTOR

PROJECT LOCATION

**Steamboat Basecamp
Residential & Outdoor
Amenity Space**
1901 Curve Plaza
Steamboat Springs, CO

TOWNHOUSES #5, 6 ELEVATIONS

SEAL

DATE: _____

DRAWN BY:

<p> CHECKED BY: </p>

PROJECT NO:

DRAWING NO:

A 3.6



APPROVAL STAMPS:

[illegible]

2	11/09/2021	Development Plan Submittal #2
1	8/02/2021	Development Plan Submittal
No.	Date	Description

SUBMISSIONS & REVISIONS

OWNER

May Riegler Properties
2201 Wisconsin Avenue NW Suite 200
Washington, DC 20007
PO Box 881330
Steamboat Springs, CO 80488

ARCHITECT



KEVIN & ASAKO SPERRY ARCHITECTURE
3318 N. Columbus Street
Arlington, VA 22207
T.312.636.3248 / 312.636.4252
www.kasa-arch.com

STRUCTURAL ENGINEER

M.E.P. & F.P. ENGINEERS

CIVIL ENGINEER

LANDMARK CONSULTANTS, INC.
141 9th Street
PO Box 774943
Steamboat Springs, Colorado 80477
T.970.871.9494

LANDSCAPE ARCHITECT

MGC DESIGN, INC.
PO Box 773522
Steamboat Springs, Colorado 80477
T.970.879.7740

GENERAL CONTRACTOR

PROJECT LOCATION

**Steamboat Basecamp
Residential & Outdoor
Amenity Space**
1901 Curve Plaza
Steamboat Springs, CO

DRAWING TITLE

PROPOSED PERSPECTIVE RENDERING

SEAL	DATE:
	03/27/20
	DRAWN BY:
	CHECKED BY:
	PROJECT NO:

DRAWING NO: _____

A 4.1



A 4.2



1	PERSPECTIVE RENDERING
	SCALE: N.T.S.

APPROVAL STAMPS:

[illegible]

2	11/09/2021	Development Plan Submittal #2
1	8/02/2021	Development Plan Submittal
No.	Date	Description

SUBMISSIONS & REVISIONS

OWNER

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Steamboat Springs, CO 80488

ARCHITECT



KEVIN & ASAKO SPERRY ARCHITECTURE
3318 N. Columbus Street
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T.312.636.3248 / 312.636.4252
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STRUCTURAL ENGINEER

M.E.P. & F.P. ENGINEERS

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LANDMARK CONSULTANTS, INC.
141 9th Street
PO Box 774943
Steamboat Springs, Colorado 80477
T.970.871.9494

LANDSCAPE ARCHITECT

MGC DESIGN, INC.
PO Box 773522
Steamboat Springs, Colorado 80477
T.970.879.7740

GENERAL CONTRACTOR

PROJECT LOCATION

PROJECT LOCATION
**Steamboat Basecamp
Residential & Outdoor
Amenity Space**
1901 Curve Plaza
Steamboat Springs, CO

DRAWING TITLE

PROPOSED
PERSPECTIVE
RENDERING

SEAL

DATE:

03/27/20

DRAWN BY:

[illegible]

CHECKED BY	
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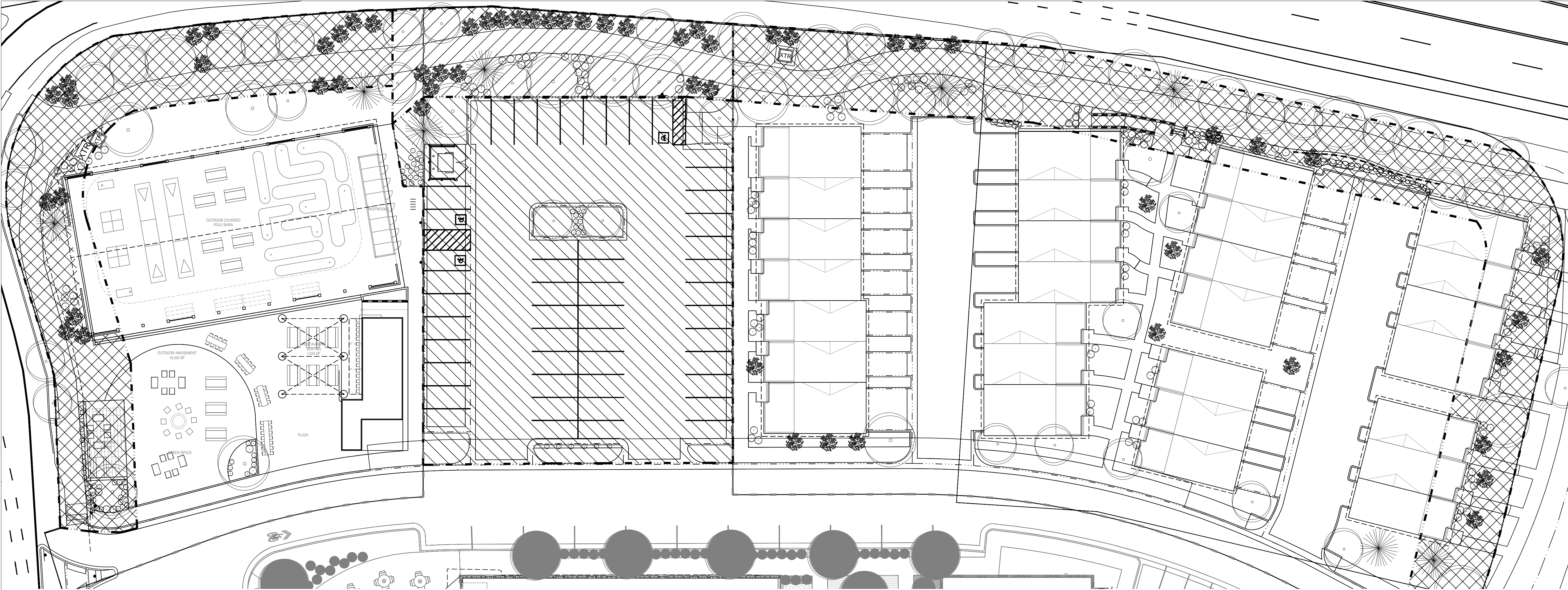
		PROJECT NO.
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DRAWING NO:

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COPYRIGHT 201

3/12/2020 11:00:28 AM



LEGEND

- PROPOSED NEW DECIDUOUS TREE
- PROPOSED NEW CONIFEROUS TREE
- ASPEN / ORNAMENTAL
- DECIDUOUS SHRUBS

- FRONTAGE AREA
- PARKING LOT SETBACK AREA
- PARKING LOT INTERIOR AREA
- INTERIOR AREA

NOTES:

1. SITE LAYOUT PLAN AND SNOW STORAGE CALCULATIONS PROVIDED BY KASA
2. ALL PROPOSED LANDSCAPE PLANTINGS WILL BE UNDER AN AUTOMATIC IRRIGATION SYSTEM.
3. ALL LANDSCAPE WILL BE MAINTAINED IN A PROFESSIONAL MANNER TO INDUSTRY STANDARD.
4. OWNER AND LANDSCAPE ARCHITECT TO APPROVE LAYOUT OF ALL PROPOSED WORK PRIOR TO INSTALLATION.
5. REFER TO GRADING AND LAYOUT AND MATERIALS PLANS FOR ADDITIONAL INFORMATION ON ALL PROPOSED WORK.
6. THIS LANDSCAPE PLAN IS INENDED ONLY AS A CITY OF STEAMBOAT SPRINGS PLANNING SUBMITTAL DOCUMENT. IT DOES NOT CONTAIN NECESSARY INFORMATION FOR CONSTRUCTION.

PLANT LIST:

TREES:	121 TOTAL	70 LARGE DECIDUOUS, 7 EVERGREEN, 73 ASPEN/ORNAMENTAL		
NUM	SYM	BOTANIC NAME	COMMON NAME	SIZE
54	DEC	POPULUS SP.	COTTONWOOD	2.5' CAL
3	SPR	PICEA PUNGENS	COLORADO SPRUCE	6'-7' HT.
3	SPR	PICEA PUNGENS	COLORADO SPRUCE	8'-9' HT
1	SPR	PICEA PUNGENS	COLORADO SPRUCE	10' HT
35	ASP	POPULUS TREMULOIDES	QUAKING ASPEN	2" CAL
25	ORN	MALUS SP.	ORNAMENTAL CRABTREE	2" CAL

SHRUBS: 195 TOTAL

NUM	SYM	BOTANIC NAME	COMMON NAME	SIZE
80	SHR	POTENTILLA FRUTICOSA	NATIVE YELLOW POTENTILLA	5 GAL.
25	SHR	PRUNUS VIRGINIANA	NATIVE CHOKECHERRY	5 GAL.
70	SHR	AMELANCHIER ALNIFOLIA	SASKATOON SERVICEBERRY	
20	SHR	CORNUS STOLONIFERA	COLORADO DOGWOOD	

NOTE:
FINAL PLANT LIST WILL BE DETERMINED AT TIME OF CONSTRUCTION DOCUMENT PREPARATION. ALL SHRUBS WILL BE LOW WATER USAGE PLANTS AND BE WITHIN APPENDIX A - RECOMMENDED PLANT LIST - IN THE COMMUNITY DEVELOPMENT CODE.

LANDSCAPING STANDARDS TABLE

DESCRIPTION	REQUIRED	PROPOSED	EVERGREEN	DECIDUOUS	ORNAMENT	3 SHRUBS (= 1 UNIT)
FRONTAGE (ELK, 40 & CURVE)	87	100	4	31	31	34 (= 102 / 3)
PARKING LOT SETBACK	36	37	1	8	19	9 (= 27 / 3)
INTERIOR	18	45	2	13	8	18 (= 54 / 3)
TOTAL	141	182	7	52	58	61 (= 195 / 3)

PARKING LOT INTERIOR 6/23 6/30 1 4 1 30 SHRUBS

EXISTING TREES TO REMAIN: 0

1 LANDSCAPE PLAN

SCALE: 1:20



APPROVAL STAMPS:

3	3/28/2022	Development Plan Submittal #3
2	11/09/2021	Development Plan Submittal #2
1	8/06/2021	Development Plan Submittal
No.	Date	Description

SUBMISSIONS & REVISIONS

OWNER

May Riegler Properties
2201 Wisconsin Avenue NW Suite 200
Washington, DC 20007
PO Box 981330
Steamboat Springs, CO 80488

ARCHITECT

K A S A
KEVIN & ASAKO SPERRY ARCHITECTURE
3318 N. Columbus Street
Arlington, VA 22207
T.312.636.3248 / 312.636.4252
www.kasa-arch.com

STRUCTURAL ENGINEER

M.E.P. & F.P. ENGINEERS

CIVIL ENGINEER

LANDMARK CONSULTANTS, INC.
141 9th Street
PO Box 774943
Steamboat Springs, Colorado 80477
T.970.871.9494

LANDSCAPE ARCHITECT

GENERAL CONTRACTOR

PROJECT LOCATION

Steamboat Basecamp
Residential & Outdoor
Amenity Space
1901 Curve Plaza
Steamboat Springs, CO

DRAWING TITLE

LANDSCAPE PLAN

SEAL

DATE:

08/03/21

DRAWN BY:

CHECKED BY:

PROJECT NO:

DRAWING NO:

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BASECAMP PHOTOMETRIC

2020 ARAPAHOE AVENUE
BOULDER, CO 80302

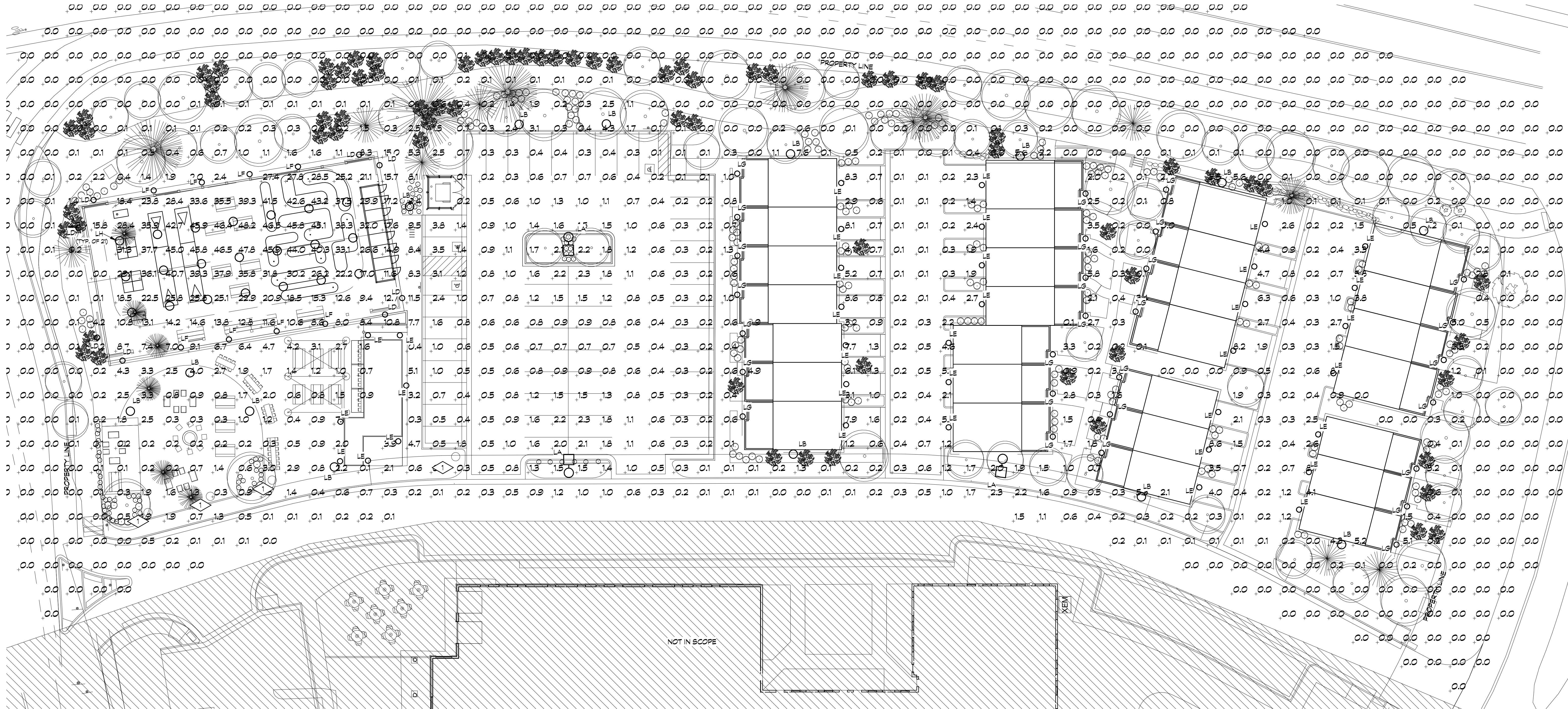
No.	Description	Date
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Issue	SDP
Date	04.01.2021
Project Number	21027
Drawn by	GWU
Checked by	MV

Sheet
Title:
**PHOTOMETRIC
SITE PLAN**

Sheet Number

MEP 1



PHOTOMETRIC SITE PLAN
1" = 20'-0"

LEGEND
MAIN DISTRIBUTION CENTER
PANLEBOARD
ELECTRIC SERVICE METER
CURRENT TRANSFORMER
TRANSFORMER
CONCEALED CIRCUIT
UNDERGROUND / UNDERGROUND CIRCUIT
EXPOSED CIRCUIT
WIREMOLD (SURFACE WIREWAY)
PLUGMOLD
HOMERUN TO PANEL (ONE ARROW / CKT, PNL & CKT #S SHOWN)
CIRCUIT NUMBER(S) FOR SPECIFIED PANEL
CONDUIT TURNS UP
CONDUIT TURNS DOWN
JUNCTION BOX
PORCELAIN LAMP HOLDER (FC, FULL CHAIN)
LIGHT FIXTURE: SURFACE MOUNTED
RECESSED LIGHT FIXTURE
WALL MOUNTED LIGHT FIXTURE
EXT LIGHT: DIRECTIONAL ARROW
BATTERY PACK
SURFACE FLUORESCENT FIXTURE
RECESSED FLUORESCENT FIXTURE
SINGLE OUTLET: C-CLOCK (+70°)
DUPLEX RECEPTACLE - UN-RELATED GROUND S: SAFETY
DUPLEX RECEPTACLE - GFCI
SPLIT WIRE DUPLEX
QUADRAPLEX (DOUBLE DUPLEX)
COMB. SWITCH / RECEPTACLE
FLOOR MOUNTED RECEPTACLE
SPECIAL PURPOSE (AS NOTED)
TELEVISION OUTLET
MOTOR OUTLET etc - switched thermal overload
TELEPHONE TERMINAL
TELEPHONE OUTLET
FLOOR MTD. TELEPHONE OUTLET
COMPUTER OUTLET
COMB. TELE/COMPUTER OUTLET
TOGGLE SWITCH a-switching p-pilot light 2-2 pole knwyed 3-3 way thermal overload 4-4 way timer
MOTION DETECTOR
DIMMER
THERMOSTAT
TIME SWITCH
PHOTOCELL
PUSH-BUTTON STATION
SAFETY SWITCH
MOTOR STARTER / LIGHTING CONTACTOR
COMBINATION MOTOR STARTER
RELAY
FIRE ALARM CONTROL PANEL
ANNUNCIATOR
PULL STATION
HORN
HORN / LIGHT COMBINATION
HORN / STROBE
STROBE
BELL
OS & Y VALVE
FLOW SWITCH
ROOM DETECTOR (SMOKE)
ROOM DETECTOR (THERMAL)
DUCT DETECTOR
REMOTE INDICATING LIGHT / TEST SWITCH
DOOR HOLDER
CHIME
FUSED SWITCH
CIRCUIT BREAKER
GROUND CONNECTOR
MECHANICAL EQUIPMENT
DETAIL NOTE
KITCHEN / MEDICAL EQUIPMENT
EXISTING TO REMAIN
EXISTING TO BE REPLACED
EXISTING TO BE DEMOLISHED

Radean Arm Mount LED Area Luminaire

LA

Specifications

Size: 30" x 30" x 10" (762 x 762 x 254 mm)

Length: 30" (762 mm)

Width: 30" (762 mm)

Height: 10" (254 mm)

Weight: 13.5 lbs (6.1 kg)

Introduction

The Radean arm mount luminaire is the perfect choice for pedestrian applications where daytime aesthetics and visual comfort are needed. Adding architectural flare to any space, the Radean has a graceful shape and smooth curves blend in while adding a touch of elegance.

Perfect for campuses, parks, pedestrian malls, walkways and pathways, the Radean arm mount is the Architect's choice to provide beautiful aesthetics both day and night.

Output Information

EXAMPLE: RAD LED P3 30K SYM MOUNT RPA PE DBLX

Model	Beam Angle	Beam Diameter @ 30'	Beam Diameter @ 40'	Beam Diameter @ 50'	Beam Diameter @ 60'	Beam Diameter @ 70'	Beam Diameter @ 80'	Beam Diameter @ 90'	Beam Diameter @ 100'	Beam Diameter @ 110'	Beam Diameter @ 120'	Beam Diameter @ 130'	Beam Diameter @ 140'	Beam Diameter @ 150'	Beam Diameter @ 160'	Beam Diameter @ 170'	Beam Diameter @ 180'	Beam Diameter @ 190'	Beam Diameter @ 200'
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Output Information

EXAMPLE: RAD LED P3 30K SYM MOUNT RPA PE DBLX

Model	Beam Angle	Beam Diameter @ 30'	Beam Diameter @ 40'	Beam Diameter @ 50'	Beam Diameter @ 60'	Beam Diameter @ 70'	Beam Diameter @ 80'	Beam Diameter @ 90'	Beam Diameter @ 100'	Beam Diameter @ 110'	Beam Diameter @ 120'	Beam Diameter @ 130'	Beam Diameter @ 140'	Beam Diameter @ 150'	Beam Diameter @ 160'	Beam Diameter @ 170'	Beam Diameter @ 180'	Beam Diameter @ 190'	Beam Diameter @ 200'
LA P3 30K SYM MOUNT RPA PE DBLX	30°	10.0'	13.3'	16.7'	20.0'	23.3'	26.7'	30.0'	33.3'	36.7'	40.0'	43.3'	46.7'	50.0'	53.3'	56.7'	60.0'	63.3'	66.7'

Output Information

EXAMPLE: RAD LED P3 30K SYM MOUNT RPA PE DBLX