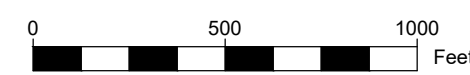


# DEVELOPMENT PLAN for RICHEY CONSTRUCTION OUTDOOR STORAGE

LOT 3 COPPER RIDGE BUSINESS PARK SUBDIVISION F4  
STEAMBOAT SPRINGS, ROUTT COUNTY, COLORADO



MICINITY MAP



LEGEND	
---	PROPERTY BOUNDARY
---	ADJACENT PROPERTY BOUNDARY
---	EXISTING EASEMENT
---	EXISTING SETBACK
---	EXISTING EDGE OF ASPHALT
---	PROPOSED EDGE OF CONCRETE
---	EXISTING 1 FT CONTOUR
---	EXISTING 5 FT CONTOUR
---	PROPOSED 1 FT CONTOUR
---	PROPOSED 5 FT CONTOUR
---	EXISTING EDGE OF GRAVEL
---	CENTER LINE OF DITCH
---	EXISTING WATER LINE
---	EX CURB STOP, GATE VALVE, FIRE HYDRANT
---	PROPOSED WATER SERVICE LINE
---	PR CURB STOP, GATE VALVE, FIRE HYDRANT
---	THRUST BLOCK
---	EXISTING SEWER LINE
---	EXISTING MANHOLE AND CLEANOUTS
---	PROPOSED SEWER LINE
---	PROPOSED MANHOLE AND CLEANOUTS
---	EXISTING ELECTRICAL
---	EXISTING TELEPHONE
---	UTILITY PEDESTALS
---	POWER POLE
---	GAS
---	EXISTING FENCE
---	PROPOSED EDGE OF CONCRETE
---	DECK
---	PROPOSED BUILDING OVERHANG
---	PROPOSED POND
---	SIDEWALK/BOARDWALK
---	PERIMETER DRAIN
---	WALL
---	VEGETATION OUTLINE
---	STORM INLET
---	PR STORMWATER PIPE
---	EX STORMWATER PIPE
---	EX CONCRETE
---	PR CONCRETE
---	PR GRAVEL
---	ROCK/RIP RAP
---	PR ASPHALT
---	FLOW ARROW

SHEET INDEX	
CIVILS	
C1	COVER PAGE & NOTES
C2	EXISTING CONDITIONS PLAN
C3	SITE PLAN

STANDARDS	ZONE DISTRICT	2250 MARBLE COURT
I - INDUSTRIAL	REQUIREMENTS	FINAL PLAT SETBACKS
Lot Area	No min, No max	0.32Acres
Lot Coverage	60% Max.	N/A
Floor Area Ratio	60% Max.	N/A
Building Height	40' Max.	N/A
Average Plate Height	32' Max	N/A
Front Setback	15' Min.	N/A
Side Setback	10' Min.	N/A
Rear Setback	10' Min.	N/A
Units Per Lot	No. Max	N/A

PROJECT CONTACT LIST	
<b>PROJECT OWNER</b>	
RICHEY CONSTRUCTION INC ATTN: ADAM RICHEY PO Box 775272 Steamboat Springs, CO 80477	CELL: (970) 846-1168 EMAIL: adamrichey@hotmail.com
<b>CIVIL ENGINEER</b>	
FOUR POINTS SURVEYING AND ENGINEERING ATTN: MATTHEW MCLEOD, P.E. 440 S. Lincoln Ave, Suite 4B PO Box 775966 Steamboat Springs, CO 80487	OFFICE: (970) 871-6772 CELL: (248) 444-3268 EMAIL: matthewm@fourpointse.com

UTILITY CONTACT LIST	
<b>WATER AND SANITARY SEWER</b>	
CITY OF STEAMBOAT SPRINGS UTILITY DEPARTMENT 137 10TH STREET STEAMBOAT SPRINGS, CO CONTACT: AMBER GREGORY 970-871-8211	
<b>ELECTRICAL</b>	
YAMPA VALLEY ELECTRIC COMPANY 2211 ELK RIVER ROAD STEAMBOAT SPRINGS, CO CONTACT: LARRY BALL 970-871-2264	
<b>GAS</b>	
ATMOS ENERGY 30405 DOWNHILL DRIVE STEAMBOAT SPRINGS, CO CONTACT: DON CRANE 970-879-3223	
<b>TELEPHONE</b>	
CENTURY LINK 138 7TH STREET STEAMBOAT SPRINGS, CO CONTACT: JASON SHARPE 970-328-2517	
<b>CABLE TELEVISION</b>	
COMCAST 625 SOUTH LINCOLN, SUITE #205 STEAMBOAT SPRINGS, CO 80487 CONTACT: TONY HILDRETH 970-401-2782	
<b>UTILITY NOTIFICATION CENTER OF COLORADO</b>	
CALL TWO BUSINESS DAYS BEFORE YOU DIG, GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND UTILITIES 1-800-922-1987	

- GENERAL NOTES:**
- BENCHMARK = FOUND 1 1/2" ALUMINUM CAP ON #5 REBAR, NOT LEGIBLE, AT SOUTHWEST CORNER OF PROPERTY, ELEVATION=6752.86 (SEE EXISTING CONDITIONS PLAN).
  - TOPOGRAPHIC AND EXISTING CONDITIONS MAPPED BY FOUR POINTS SURVEYING AND ENGINEERING COMPLETED ON JUNE 28, 2021.
  - CITY OF STEAMBOAT SPRINGS PLAN REVIEW AND APPROVAL IS ONLY FOR GENERAL CONFORMANCE WITH CITY DESIGN CRITERIA AND THE CITY CODE. THE CITY IS NOT RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF THE DRAWINGS. DESIGN, DIMENSIONS, AND ELEVATIONS SHALL BE CONFIRMED AND CORRELATED AT THE JOB SITE.
  - ONE COPY OF THE APPROVED CONSTRUCTION PLANS AND SPECIFICATIONS SHALL BE KEPT ON THE JOB SITE AT ALL TIMES. PRIOR TO THE START OF CONSTRUCTION, CONTRACTOR TO VERIFY WITH PROJECT ENGINEER THE LATEST REVISION DATE OF THE APPROVED CONSTRUCTION PLANS.
  - CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES. CALL THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) AT 1-800-922-1987 AND ANY NECESSARY PRIVATE UTILITY TO PERFORM LOCATES PRIOR TO CONDUCTING ANY SITE WORK.
  - ALL INFRASTRUCTURE CONSTRUCTION AND RELATED WORK SHALL CONFORM TO THE CITY OF STEAMBOAT SPRINGS STANDARD SPECIFICATIONS, LATEST REVISION.
  - ALL WATER AND SANITARY SEWER CONSTRUCTION AND RELATED WORK SHALL CONFORM TO THE CITY OF STEAMBOAT SPRINGS UTILITY STANDARDS AND SPECIFICATIONS.
  - CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS REQUIRED TO PERFORM THE WORK SUCH AS RIGHT-OF-WAY PERMIT, GRADING AND EXCAVATION PERMIT, CONSTRUCTION DEWATERING PERMIT, STORM WATER QUALITY PERMIT, ARMY CORP OF ENGINEER PERMIT, ETC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF ALL APPLICABLE CODES, LICENSES, SPECIFICATIONS, AND STANDARDS NECESSARY TO PERFORM THE WORK, AND BE FAMILIAR WITH THEIR CONTENTS PRIOR TO COMMENCING ANY WORK.
  - PRIOR TO ANY WORK IN THE CITY RIGHT-OF-WAY INCLUDING STREET CUTS, CONTACT THE CITY OF STEAMBOAT SPRINGS STREET DEPARTMENT AT 970.879.1807 FOR PERMIT REQUIREMENTS. NO WORK SHALL OCCUR IN THE ROW BETWEEN NOVEMBER 1 -APRIL 1 UNLESS A WRITTEN VARIANCE HAS BEEN APPROVED AND ISSUED BY THE CITY PUBLIC WORKS DIRECTOR.
  - PRIOR TO CLOSURE OF ANY STREET OR PART OF STREET, AN APPROVED OBSTRUCTION PERMIT MUST BE ISSUED BY CITY CONSTRUCTION SERVICES FOREMAN.
  - CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) AND OBTAINING ANY REQUIRED PERMITS OR APPROVALS FOR WORK ON OR ADJACENT TO CDOT ROW.
  - PRIOR TO START OF CONSTRUCTION CONTRACTOR SHALL COORDINATE WITH PROJECT ENGINEER TO IDENTIFY PROJECT INSPECTION AND TESTING REQUIREMENTS. CONTRACTOR SHALL PROVIDE FOR INSPECTIONS AND TESTING AT AN ADEQUATE FREQUENCY FOR THE PROJECT ENGINEER TO DOCUMENT THAT PROJECT IS CONSTRUCTED IN CONFORMANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. PRIOR TO MAKING ANY CHANGES TO THE 13. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY TRAFFIC CONTROL. TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.
  - CONTRACTOR SHALL PROVIDE ALL NECESSARY TRAFFIC CONTROL (SIGNS, BARRICADES, FLAGMEN, LIGHTS, ETC) IN ACCORDANCE WITH THE MUTCD, CURRENT EDITION.
  - CONTRACTOR MUST SUBMIT A CONSTRUCTION SITE MANAGEMENT PLAN (CSMP) FOR REVIEW AND APPROVAL BY THE CITY CONSTRUCTION SERVICES FOREMAN PRIOR TO START OF CONSTRUCTION. THE CSM MUST BE MAINTAINED ON-SITE AND UPDATED AS NEEDED TO REFLECT CURRENT CONDITIONS.
  - THE FOLLOWING PRIVATE IMPROVEMENTS REQUIRE CONSTRUCTION OBSERVATION PER THE CITY'S ENGINEERING SERVICES SPECIFICATION: WATER, SEWER, STORM SEWER, PONDS, WATER AND SEWER CONSTRUCTION SHALL BE INSTALLED PER THE CITY WATER AND SEWER DIVISION STANDARDS, LATEST EDITION.
  - RECORD DRAWINGS ARE REQUIRED FOR: PUBLIC AND PRIVATE WATER AND SEWER
  - DRIVEWAY CURB CUTS TO BE INSTALLED DURING PUBLIC IMPROVEMENTS, DRIVEWAYS AND LANDSCAPING FOR INDIVIDUAL UNITS TO BE INSTALLED PRIOR TO BUILDING CERTIFICATE OF OCCUPANCY
  - ALL PIPE OUTFALLS REQUIRE FLARED END SECTIONS AND RIPRAP. ALL VALLEY PAN OUTFALLS REQUIRE RIPRAP.

- GRADING:**
- GRADING SHALL OCCUR WITHIN THE PROPERTY LIMITS. WHERE OFF-SITE WORK IS APPROVED, WRITTEN PERMISSION OF THE ADJACENT PROPERTY OWNER MUST BE OBTAINED PRIOR TO ANY OFF-SITE GRADING OR CONSTRUCTION.
  - NO WORK SHALL OCCUR IN WETLANDS OR FLOODPLAINS WITHOUT APPROPRIATE PERMITS. ANY WORK SHALL BE IN ACCORDANCE WITH THE ISSUED PERMITS.
  - VEGETATED SLOPES GREATER THAN OR EQUAL TO 2:1 REQUIRE SOIL STABILIZATION.
- EROSION CONTROL:**
- CONTRACTOR SHALL SUBMIT A CONSTRUCTION SITE MANAGEMENT PLAN TO THE CITY FOR APPROVAL PRIOR TO BUILDING PERMIT ISSUANCE.
  - CONTRACTOR SHALL WORK IN A MANNER THAT MINIMIZES THE POTENTIAL FOR EROSION.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING, INSPECTING, AND MAINTAINING ALL NECESSARY EROSION AND SEDIMENT CONTROL DURING CONSTRUCTION AND REMOVING EROSION CONTROL WHEN PROJECT IS COMPLETE AND VEGETATION IS ESTABLISHED.
  - ANY AREA DISTURBED BY CONSTRUCTION AND NOT PAVED OR NATURAL ROCK SURFACE SHALL BE REVEGETATED WITHIN ONE CONSTRUCTION SEASON.
- PAVING:**
- PAVING OF PUBLIC STREETS SHALL NOT START UNTIL SUB GRADE COMPACTION AND MATERIAL TESTS ARE TAKEN AND ACCEPTED BY THE PUBLIC WORKS DIRECTOR.
  - EXISTING ASPHALT PAVEMENT SHALL BE STRAIGHT SAW CUT WHEN ADJOINING WITH NEW ASPHALT PAVEMENT OR WHEN ACCESS TO UNDERGROUND UTILITIES IS REQUIRED. TACK COAT SHALL BE APPLIED TO ALL EXPOSED SURFACES INCLUDING SAW CUTS, POTHOLES, TRENCHES, AND ASPHALT OVERLAY. ASPHALT PATCHES IN THE RIGHT-OF-WAY SHALL BE PER CITY SPECIFICATIONS.
  - ADJUST RIMS OF CLEANOUTS, MANHOLES, VALVE COVERS TO FINAL GRADE.
  - CONTRACTOR TO CONTACT CITY STREETS SUPERINTENDENT AT (970)879-1807 TO SCHEDULE INSTALLATION OF PUBLIC STREET SIGNS. ALL OTHER TRAFFIC CONTROL SIGNS ARE THE RESPONSIBILITY OF THE CONTRACTOR.

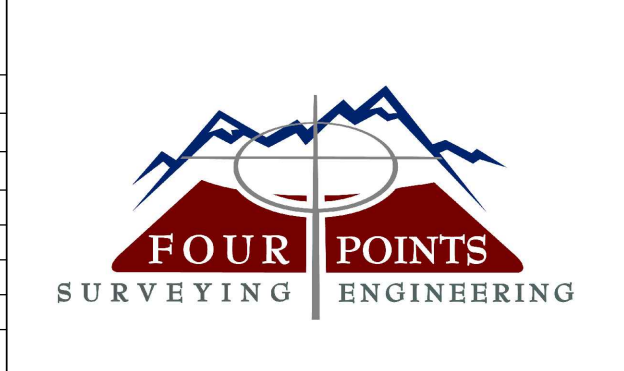
**ABBREVIATIONS:**

AP	ANGLE POINT
APR	APPROXIMATE
A	ASPHALT
BFF	BASEMENT FINISH FLOOR
BOW	BOTTOM OF WALL
BVC	BEGIN VERTICAL CURVE
BW	BACK OF WALK
C	CURB
CC	CURB CUT
CC	CURB AND GUTTER
CL	CENTERLINE
CMP	CORRUGATED METAL PIPE
C/O	CLEAN OUT
CONC	CONCRETE
CNR	CORNER
CR	CURB RETURN
CS	CURB STOP
D	DEPTH
DI	DRAIN INLET
DIP	DUCTILE IRON PIPE
DMH	DRAINAGE MANHOLE
DRN	DRAIN
DT	DITCH
DW	DRIVEWAY
EG	EXISTING GRADE
EL	ELEVATION
EOA	EDGE OF ASPHALT
EW	EDGE OF WALK
EX	EXISTING
FES	FLARED END SECTION
FFE	FINISH FLOOR ELEVATION
FG	FINISH GRADE
FH	FIRE HYDRANT
FL	FLOW LINE
FT	FOOT OR FEET
G	GRAVEL
GB	GRADE BREAK
HC	HANDICAP RAMP
HP	HIGH POINT
IN	INLET

INV	INVERT
LF	LINEAL FEET
LP	LOW POINT
MAX	MAXIMUM
MIN	MINIMUM
NG	NATURAL GROUND
O/S	OFFSET
PC	POINT OF CURVATURE
PED	PEDESTAL
PI	POINT OF INTERSECTION
PL	PROPERTY LINE
PR	PROPOSED
PT	POINT
PVC	POINT OF VERTICAL CURVE
PVC	POLYVINYL CHLORIDE PIPE
PVI	POINT OF VERTICAL INTERSECTION
R	ROAD
R	RADIUS
ROW	RIGHT-OF-WAY
RW	RETAINING WALL
SQFT	SQUARE FEET
SMH	SEWER MANHOLE
SS	SANITARY SEWER
STA	STATION
SW	SIDEWALK
TB	THRUST BLOCK
TBC	TOP BACK OF CURB
TBR	TO BE REMOVED
TBW	TOP BACK OF WALK
TEL	TELEPHONE
TOP	TOP OF PIPE
TOW	TOP OF WALL
TYP	TYPICAL
VOL	VOLUME
VP	VALLEY PAN
W	WIDTH
WL	WATERLINE
W/	WITH

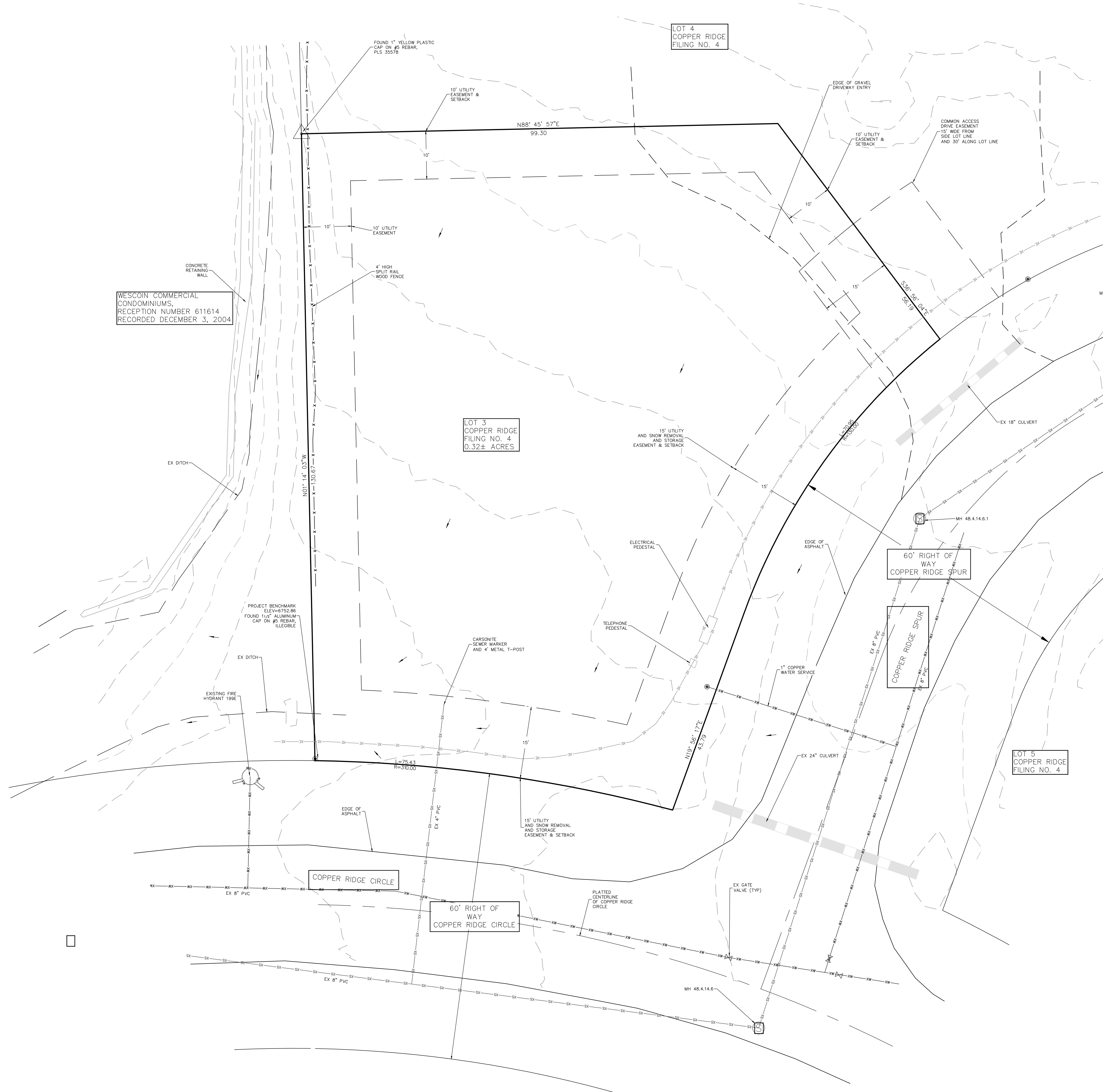
**NOT FOR CONSTRUCTION**

DEVELOPMENT PLANS PREPARED BY FOUR POINTS SURVEYING & ENGINEERING	No.	DATE	REVISIONS	INT
DATE: 7-15-2021	1	9/20/2021	DRT REVIEW & RESPONSE	MDM
JOB #: 1647-007	2	11/16/2021	ADD LEVEL SPREADER	MDM
DRAWN BY: MDM				
DESIGN BY: MDM				
REVIEW BY: FPSE				



**Four Points Surveying & Engineering**  
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(970)-871-6772  
matthewm@fourpointse.com

SHEET #  
**C1**



WESCOIN COMMERCIAL  
CONDOMINIUMS,  
RECEPTION NUMBER 611614  
RECORDED DECEMBER 3, 2004

LOT 3  
COPPER RIDGE  
FILING NO. 4  
0.32± ACRES

LOT 4  
COPPER RIDGE  
FILING NO. 4

60' RIGHT OF  
WAY  
COPPER RIDGE SPUR

COPPER RIDGE SPUR

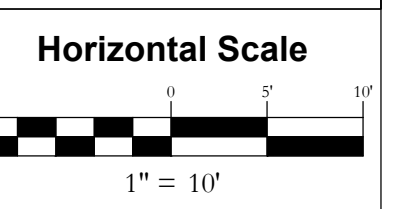
LOT 5  
COPPER RIDGE  
FILING NO. 4



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No.	DATE	REVISIONS	INT	
			MDM	MDM
1	9/20/2021	DIRT REVIEW & RESPONSE		
2	11/16/2021	ADD LEVEL SPREADER		

# RICHEY CONSTRUCTION OUTDOOR STORAGE 1716 COPPER RIDGE SPUR STEAMBOAT SPRINGS, CO 80487



Contour Interval = 2 ft  
DATE: 7-15-2021  
JOB #: 1647-007  
DRAWN BY: MDM  
DESIGN BY: MDM  
REVIEW BY: FPSE

IF THIS DRAWING IS PRESENTED IN A  
FORMAT OTHER THAN A4 X 36", THE  
GRAPHIC SCALE SHOULD BE UTILIZED.

DRAWING:  
**EXISTING  
CONDITIONS PLAN**

SHEET #  
**C2**

