



- 1) IN NEW CONSTRUCTION OR FULL-DEPTH RECONSTRUCTION, PROVIDE A SEPARATE CURB RAMP FOR EACH MARKED OR UNMARKED PEDESTRIAN CROSSING. IN CURB RAMP SHALL BE CONTAINED WHOLLY WITHIN THE WIDTH OF THE PEDESTRIAN STREET CROSSING OR CROSSLANE THEY SERVE, OR AS SHOWN ON THE PLAN.
- 2) ALTERATIONS ARE DEFINED AS CHANGES TO AN EXISTING HIGHWAY THAT AFFECT PEDESTRIAN ACCESS, CIRCULATION, OR USE. ALTERATIONS INCLUDE, BUT ARE NOT LIMITED TO, RESURFACING, REHABILITATION, RECONSTRUCTION, CURB RAMP RETROFITS, HISTORIC RESTORATION, OR CHANGES OR REARRANGEMENT TO STRUCTURAL PARTS OR ELEMENTS OF A PEDESTRIAN FACILITY.
- 3) A WALKABLE SURFACE IS DEFINED AS A PAVED SURFACE ADJACENT TO A CURB RAMP OR TURNING SPACE, WITH RAISED CUSTARDS, THAT COULD BE INSTANTLY TRAVERSED BY A USER WHO IS VISUALLY IMPAIRED.
- 4) IN ALTERATIONS, WHERE AN EXISTING PHYSICAL CONSTRAINT PREVENTS PROVIDING A SEPARATE CURB RAMP FOR EACH PEDESTRIAN STREET CROSSING, A SINGLE DIAGONAL RAMP, OR A DIAGONAL RAMP MAY BE PERMITTED TO SERVE BOTH PEDESTRIAN STREET CROSSINGS. THE USE OF A SINGLE DIAGONAL RAMP SHALL BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION. DIAGONAL RAMP ARE NOT ACCEPTABLE IN NEW CONSTRUCTION OR FULL-DEPTH RECONSTRUCTION.
- 5) DETECTABLE WARNING SURFACES (DWS) ARE INTENDED TO INDICATE THE BOUNDARY BETWEEN A PEDESTRIAN ROUTE AND VEHICULAR ROUTE WHERE THERE IS FLUSH TRANSITION THAT CURBED CONSTRUCTION DOES NOT INTEND TO PROVIDE. WARNING DWS SHALL BE PROVIDED AT THE FOLLOWING LOCATIONS:
  - a. CURB RAMP, SIDEWALK TRANSITIONS, AND DEPRESSION CORNERS AT PEDESTRIAN STREET CROSSINGS;
  - b. PEDESTRIAN RAMP CROSSING ISLANDS (6 FEET IN WIDTH OR GREATER);
  - c. BOARDING PLATFORMS AT TRANSIT STOPS WHERE THE EDGE OF THE PLATFORM IS NOT PERMITTED TO PEDESTRIAN CROSS TRAFFIC; AND
  - d. BOARDING AREAS AT BUS STOP STOPS WHERE THE AREA IS NOT PERMITTED TO PEDESTRIAN CROSS TRAFFIC.
- 6) DETECTABLE WARNING SURFACES SHALL CONTRAST VISUALLY WITH THE ADJACENT GUTTER, HIGHWAY, OR PEDESTRIAN ACCESS ROUTE SURFACE. EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT, FEDERAL YELLOW COLOR IS PREFERRED, HOWEVER, OTHER COLORS MAY BE USED IF APPROVED BY THE ENGINEER.
- 7) IN ALTERATIONS, TO AVOID CHANGING GRADE INDEFINITELY ON STEEP RAMPINGS, A CURB RAMP LENGTH IS NOT REQUIRED TO EXCEED 15 FEET REGARDLESS OF THE RESULTING RAMP RUNNING SLOPE.
- 8) ALL SLOPES ARE MEASURED WITH RESPECT TO A LEVEL PLANE.
- 9) DRAINAGE STRUCTURES, TRAFFIC SIGNAL, EQUIPMENT, OR OTHER OBSTRUCTIONS SHALL NOT BE INSTALLED ON THE CURB RAMP, OR TURNING SPACE AREAS.
- 10) IN NEW CONSTRUCTION, PLUMB BOSS, METER BOXES, MAINTENANCE HOLE COVERS, VAULT LIDS, OR SIMILAR, SHALL NOT BE CONSTRUCTED WITHIN ANY PART OF A CURB RAMP OR TURNING SPACE. IN ALTERATIONS, WHERE THESE ITEMS CANNOT BE RELIEVED DUE TO THE CURB RAMP OR TURNING SPACE, THEY MUST BE LOCATED AT A MINIMUM DISTANCE OF GREATER THAN 1/2 INCH, ANY VERTICAL DISCONTINUITY BETWEEN 1/4 INCH AND 1/2 INCH SHALL BE BEVELED WITH A SLOPE NOT LESSER THAN 1/2 INCH. THE BEVEL SHALL BE APPLIED ACROSS THE ENTIRE SURFACE DISCONTINUITY.
- 11) CONSTRUCTION OF ANY REQUIRED PEDESTRIAN CURB RAMP SHALL BE INCLUDED IN THE BID PRICE OF THE CONCRETE CURB RAMP AND WILL NOT BE PAID FOR SEPARATELY.
- 12) ALL CURB RAMP JOINTS AND DRAIN BREWS SHALL BE FLUSH (0-1/8"), THE JOINT BETWEEN THE ROADWAY SURFACE AND THE GUTTER PAN SHALL BE FLUSH.
- 13) THE CONTRACTOR SHALL VERIFY REMOVAL LIMITS ARE SUFFICIENT TO PROVIDE POSITIVE DRAINAGE, MAINTAIN EXISTING DRAINAGE PATTERNS AND AVOID FLOODING.
- 14) FLARED SIDE SLOPES MAY EXCEED 10% ONLY WHERE THEY ADJUT A NON-WALKABLE SURFACE, OR WHERE THE ADJACENT RAMP SURFACE IS PERMITTED TO PEDESTRIAN TRAFFIC.
- 15) THE CHANGE IN GRADE AT THE BOTTOM OF THE CURB RAMP SHALL NOT EXCEED AN ALGEBRAIC DIFFERENCE OF 13.33% THE COUNTER SLOPE OF THE GUTTER AT THE FOOT OF A RAMP, TURNING SPACE, OR BLENDED TRANSITION SHALL NOT EXCEED 5.0%.
- 16) GRADE BREAKS AT THE TOP AND BOTTOM OF RAMP RUNS SHALL BE PERPENDICULAR TO THE DIRECTION OF THE RAMP RUN. GRADE BREAKS SHALL NOT BE PERMITTED ON THE SURFACE OF THE RAMP RUN OR TURNING SPACE. SURFACE SLOPES THAT MEET AT GRADE BREAKS SHALL BE FLUSH.
- 17) A BROAD FINISH, WITH SLOPES PERPENDICULAR TO THE DIRECTION OF PEDESTRIAN TRAFFIC, SHALL BE APPLIED TO ALL RAMP AND TURNING SPACE SURFACES.
- 18) IN ALTERATIONS, WHERE A RAMP OR TURNING SPACE MUST MEET AN EXISTING GRADE THAT CANNOT BE ALTERED, THE RAMP OR TURNING SPACE MAY BE CONSTRUCTED TO MEET THE EXISTING GRADE. THE TRANSITION TO THE REQUIRED CROSS SLOPE SHALL BE A SLOPE EVENLY OVER THE LENGTH OF THE RAMP OR TURNING SPACE TO MINIMIZE THE DEGREE OF WARPING. THE RATE OF CHANGE ON A RAMP OR TURNING SPACE SHALL NOT EXCEED 0.2% PER LINEAL FOOT.
- 19) DESIGN AND CONSTRUCTION OF CURB RAMP, TURNING SPACES, AND FLARE SLOPES WITH THE FLATTEST SLOPES POSSIBLE. THE SLOPES INDICATED IN THESE DETAIL SHOW THE MAXIMUM SLOPES ALLOWABLE. PREFERRED VALUES TO BE USED DURING DESIGN, LAYOUT, AND CONSTRUCTION ARE:
  - RAMP RUNNING SLOPE: 7.5%
  - RAMP CROSS SLOPE: 1.5%
  - TURNING SPACE RUNNING SLOPE: 1.5%
  - TURNING SPACE CROSS SLOPE: 1.5%
  - FLARE SLOPE: 0.8% AND 5.0%

## GENERAL NOTES & PAY AREAS

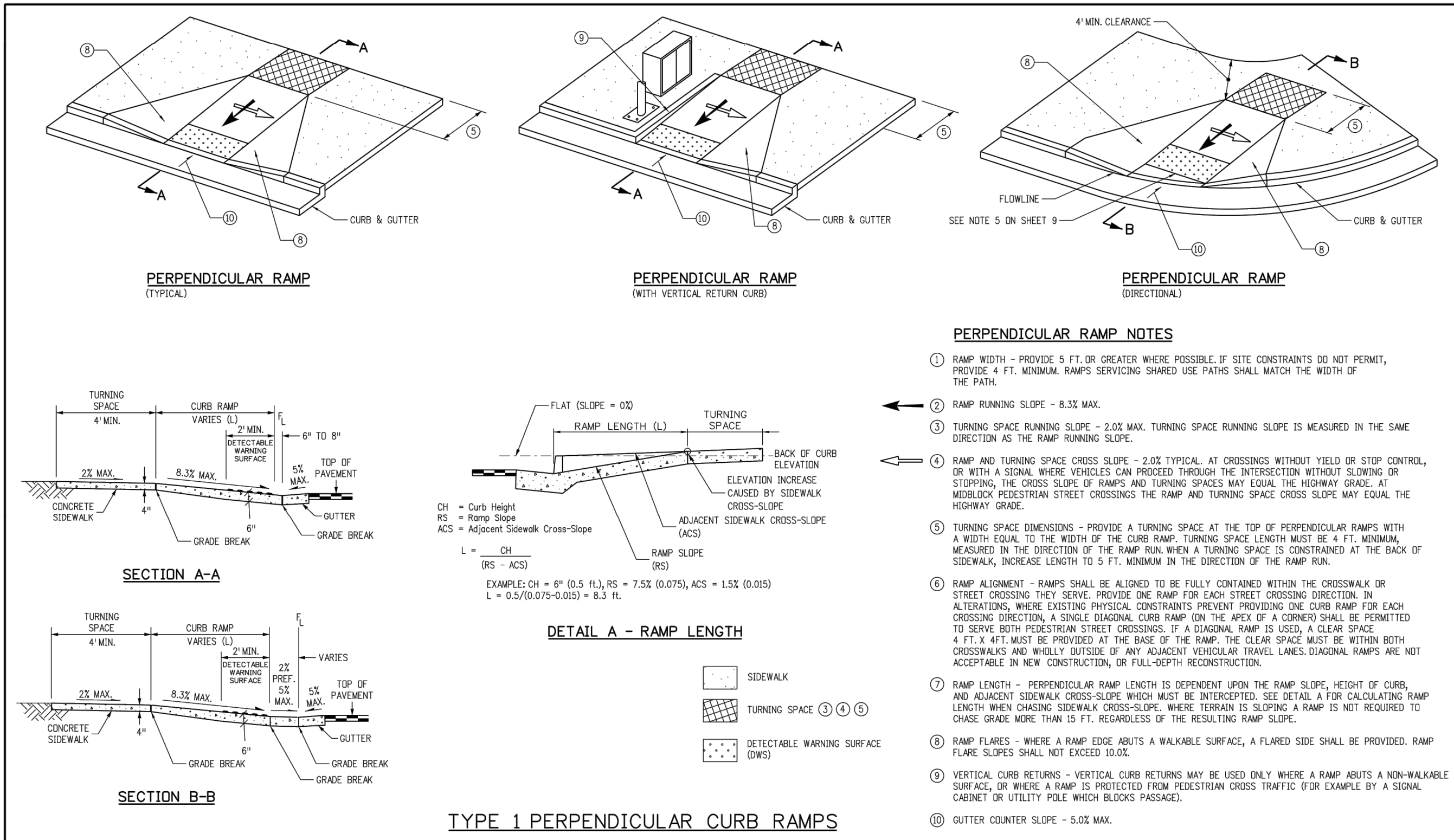
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Last Modification Date: 05/03/19 Initials: LTA			05/03/19	Completely revised every sheet.				
Full Path: www.codot.gov/business/designsupport								
Drawing File Name: 6080101010.dgn								
CAD Ver: MicroStation V8 Scale: Not to Scale Units: English					Division of Project Support	JBK/LTA	Issued By: Project Development Branch July 4, 2012	Sheet No. 1 of 10

Figure 10-1 illustrates various slope protection details, categorized into eight types (Type 1 through Type 2 - Directional, Blended Transition, Depressed Corner, and Combination). Each type is shown in a cross-sectional diagram. The diagrams use hatching to indicate the slope protection structure and stippling to indicate the underlying soil or ground surface. The diagrams show the relationship between the slope protection structure and the ground surface, including the base, the slope, and the top edge.

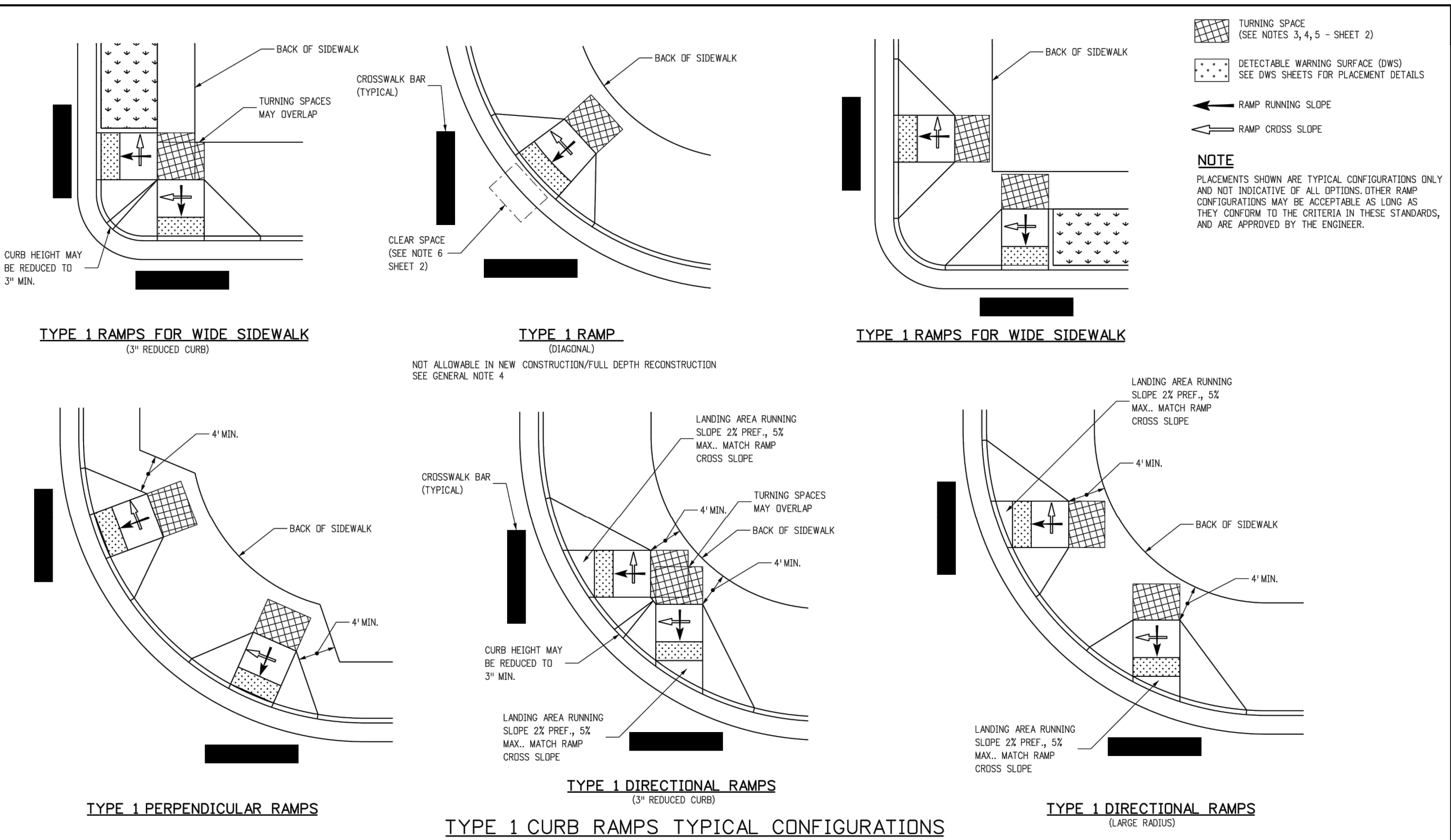
PERCENT SLOPE

1.0%	2.0%	5.0%	7.1%	8.3%	10.0%
EQUIVALENT RUN/RISE	100:1	50:1	20:1	14:1	10:1

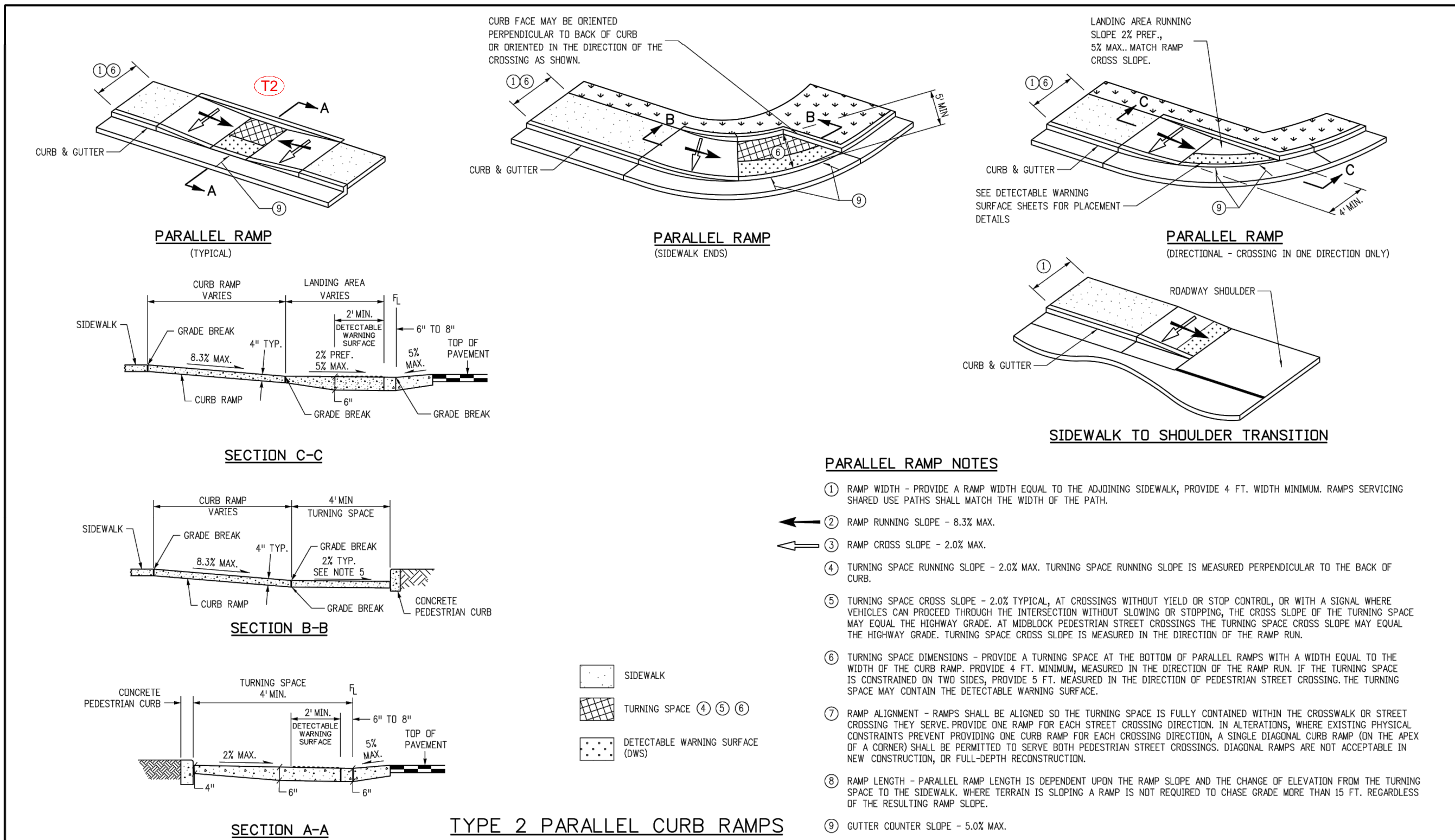
**SLOPE TABLE**



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Last Modification Date: 05/03/19 Initials: LTA		05/03/19 Completely revised every sheet.					
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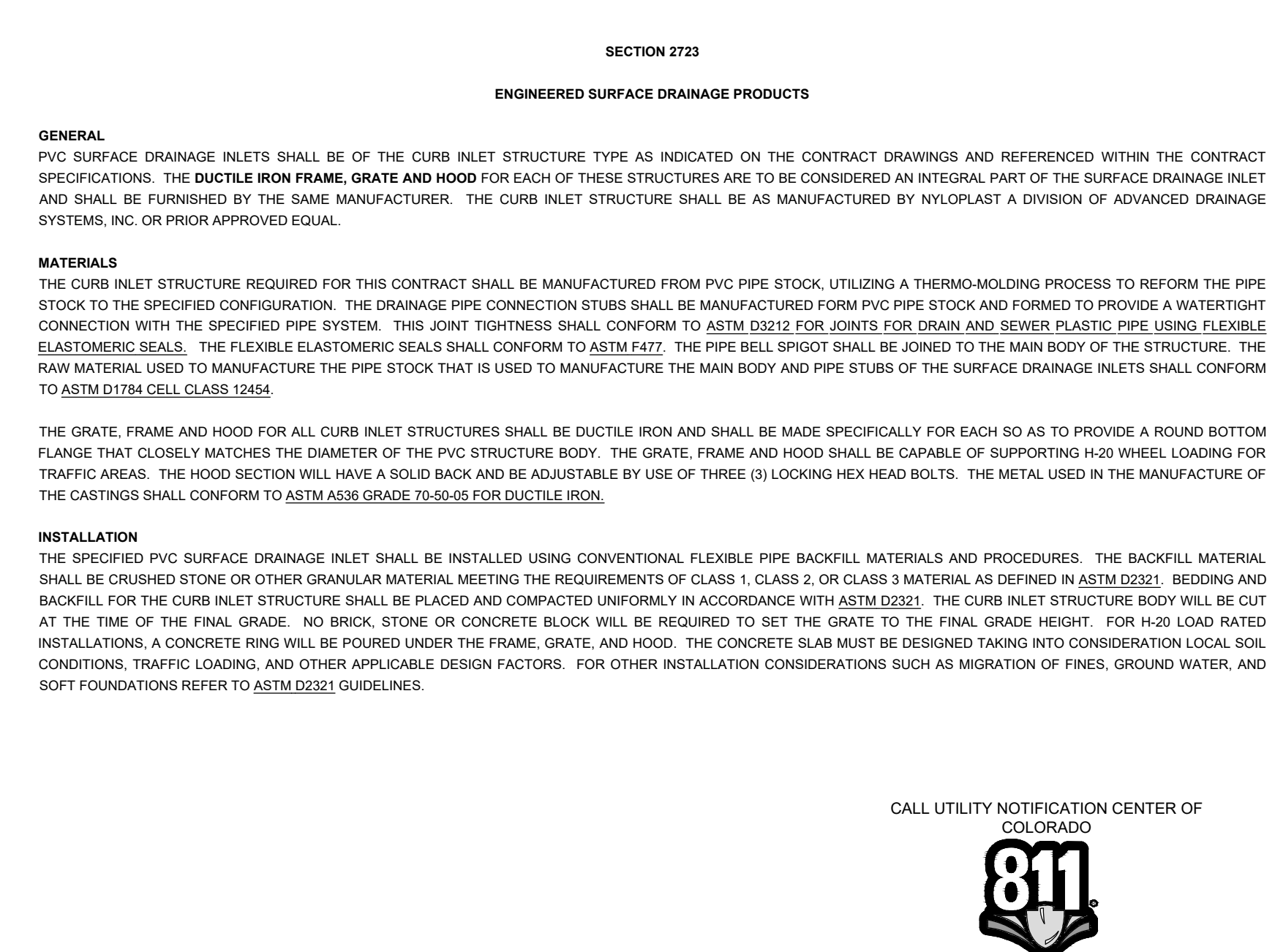
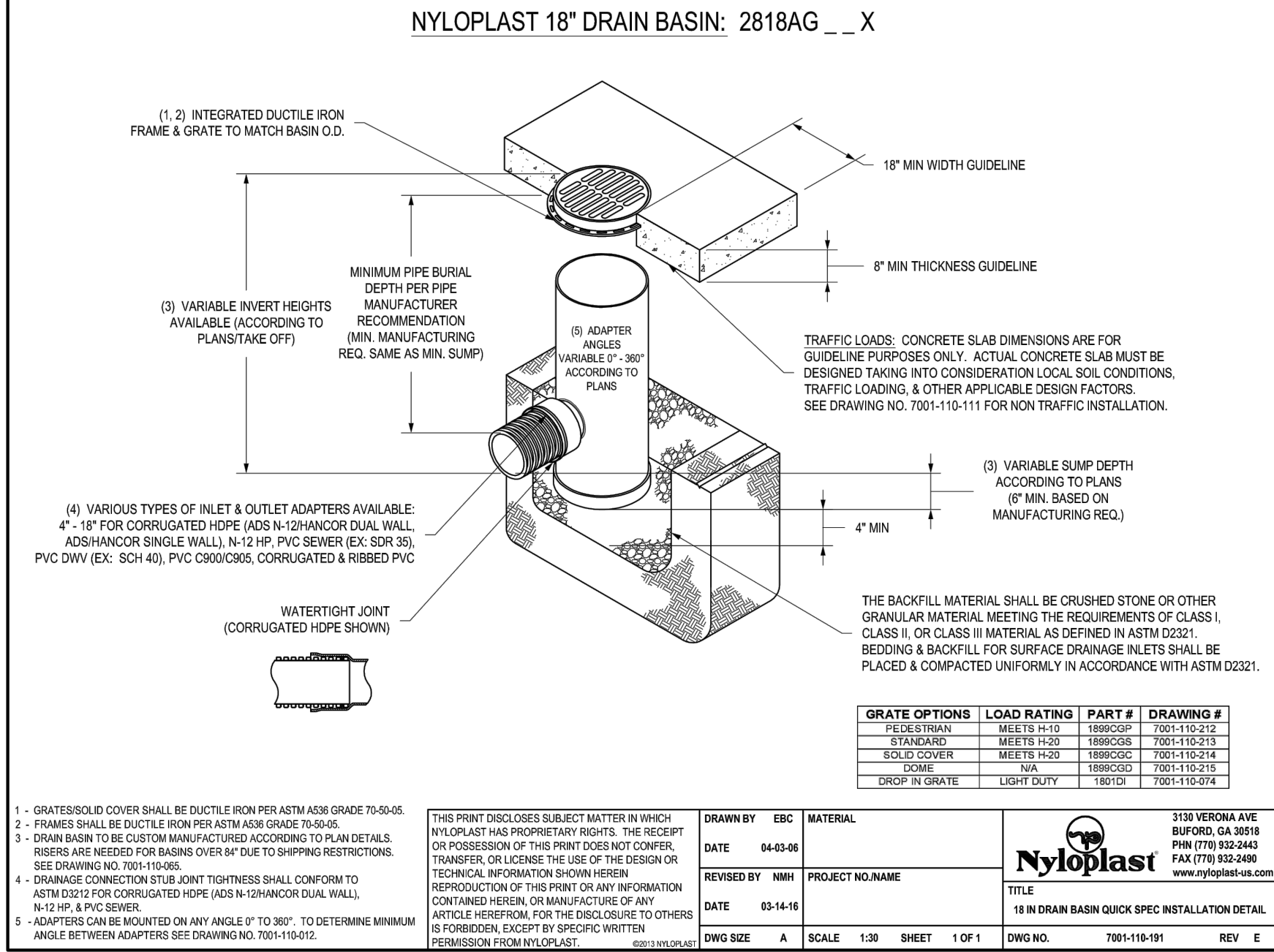
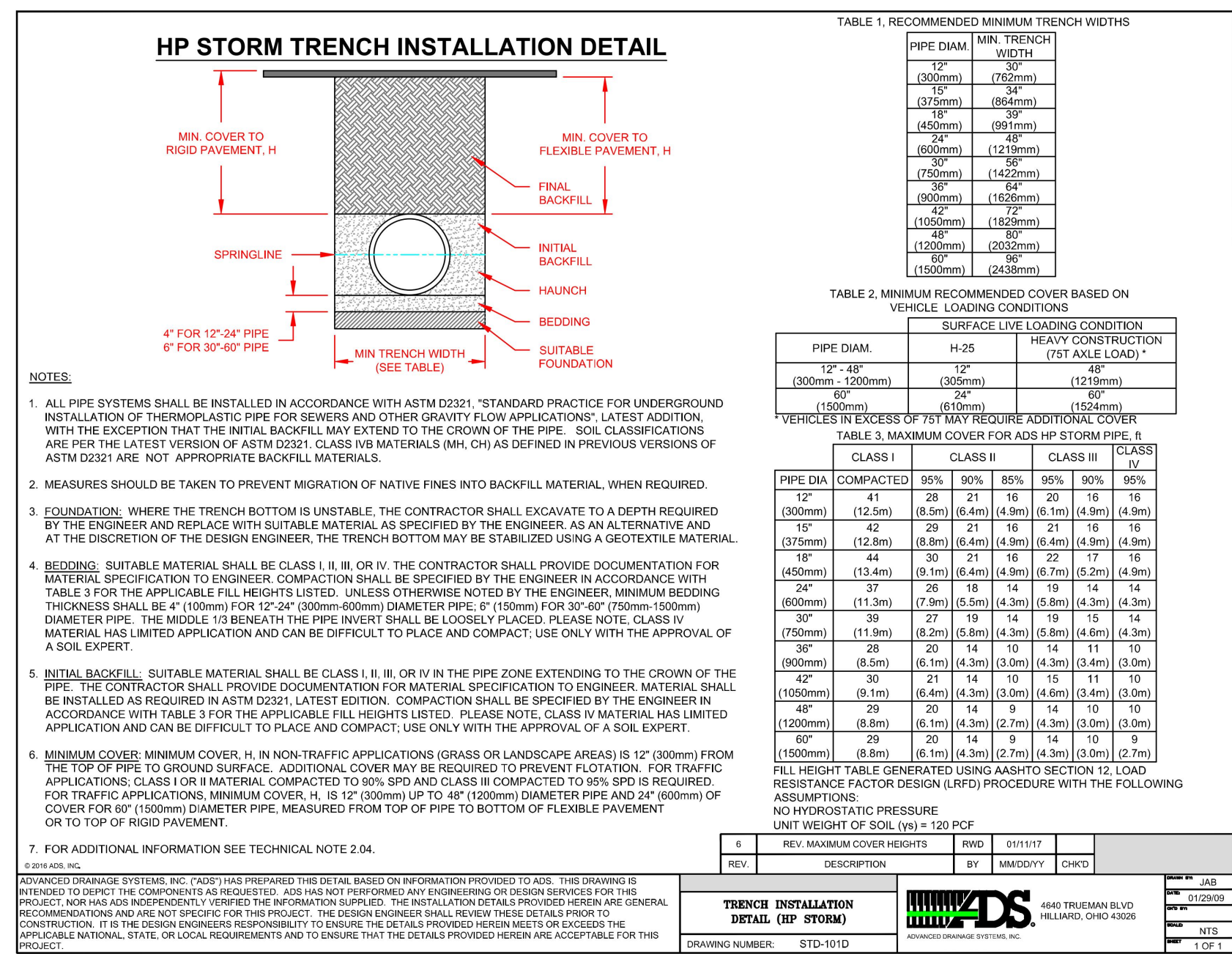
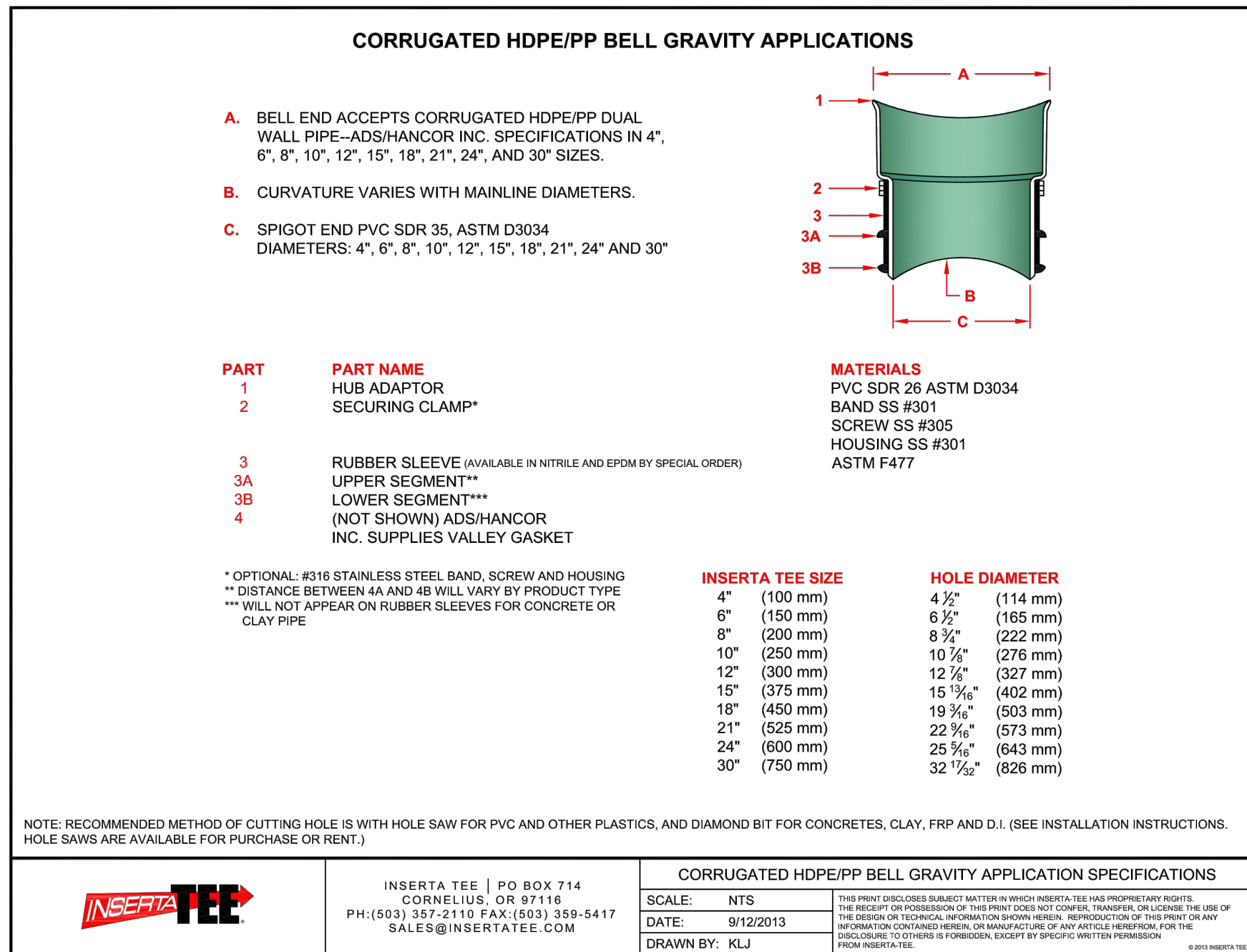
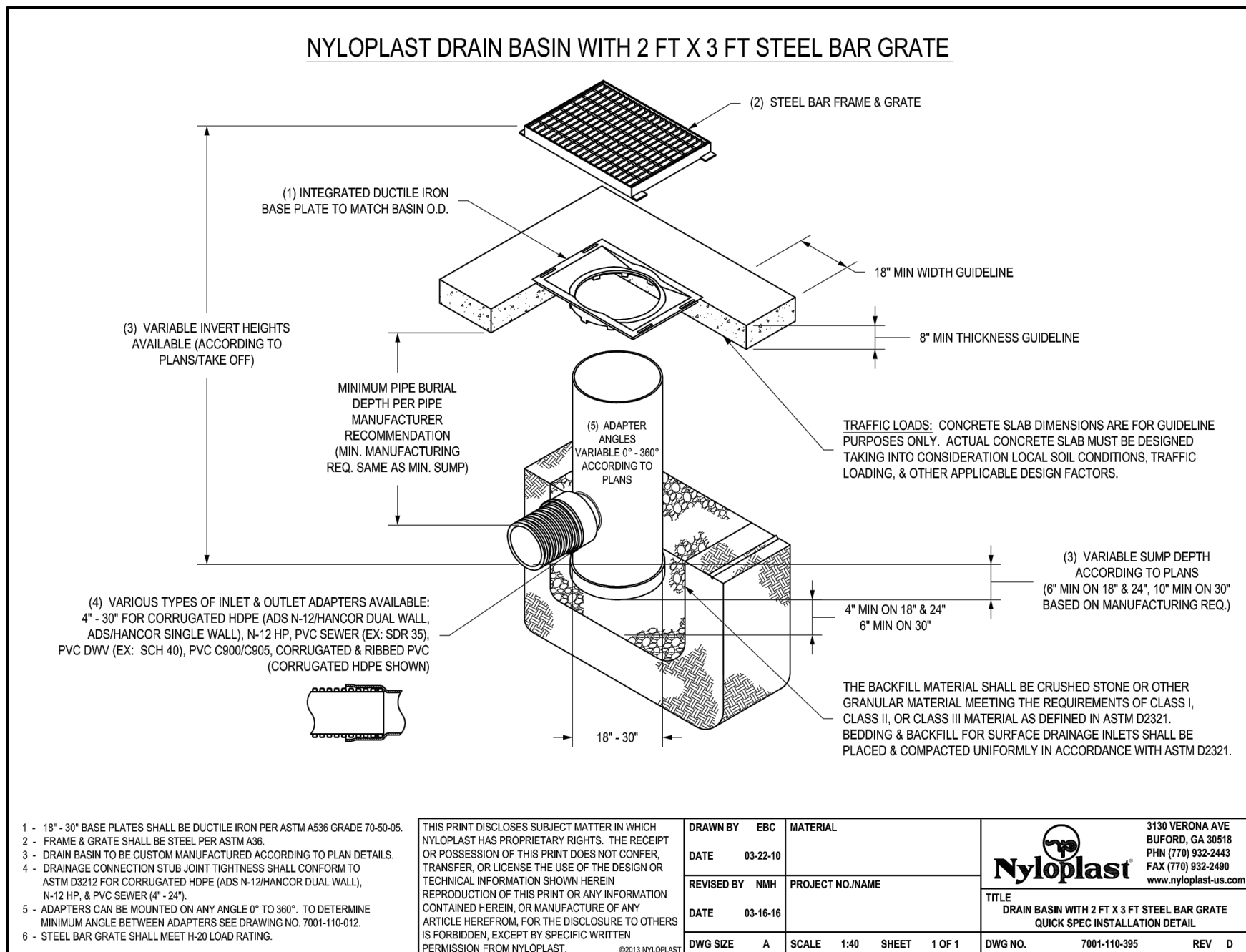
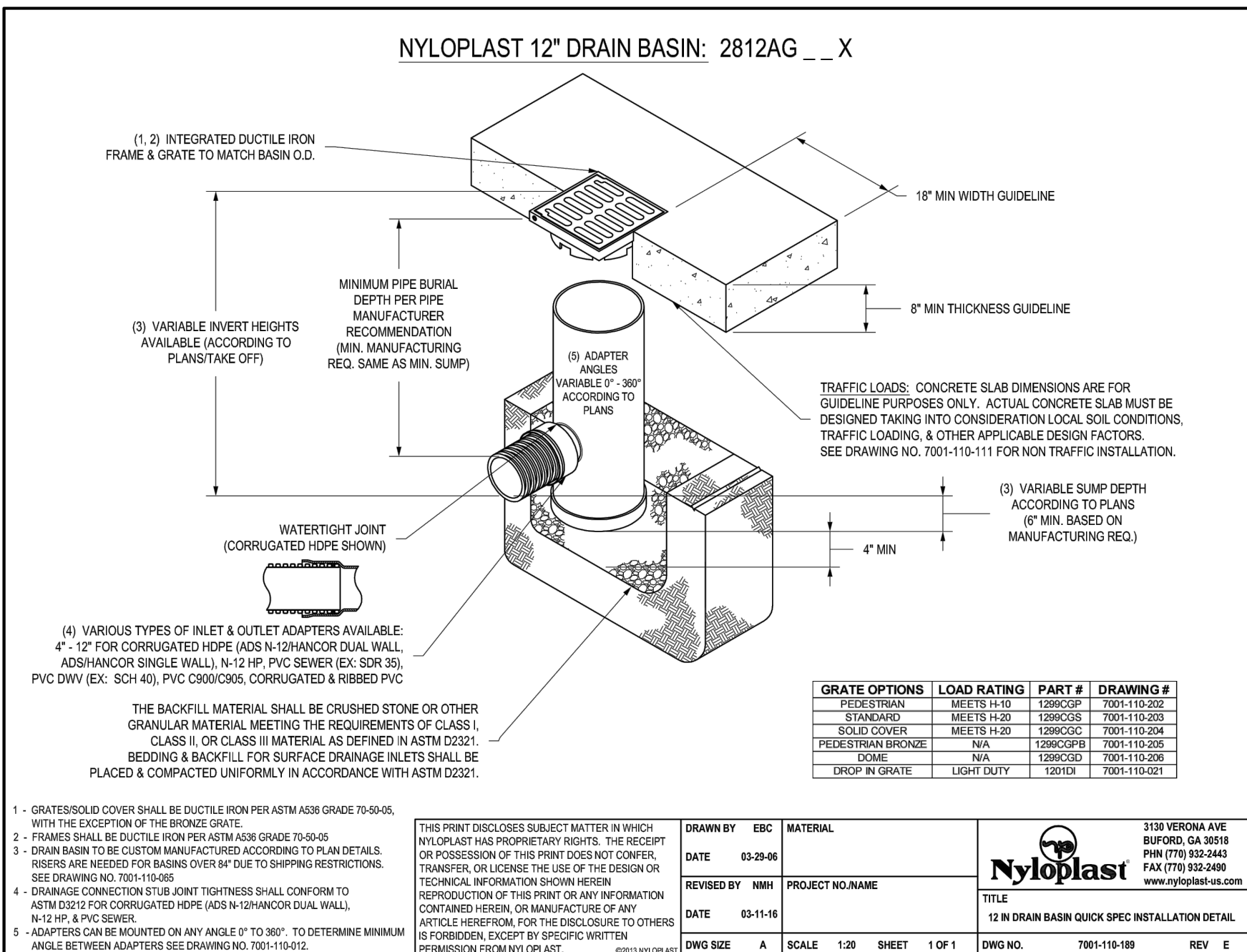
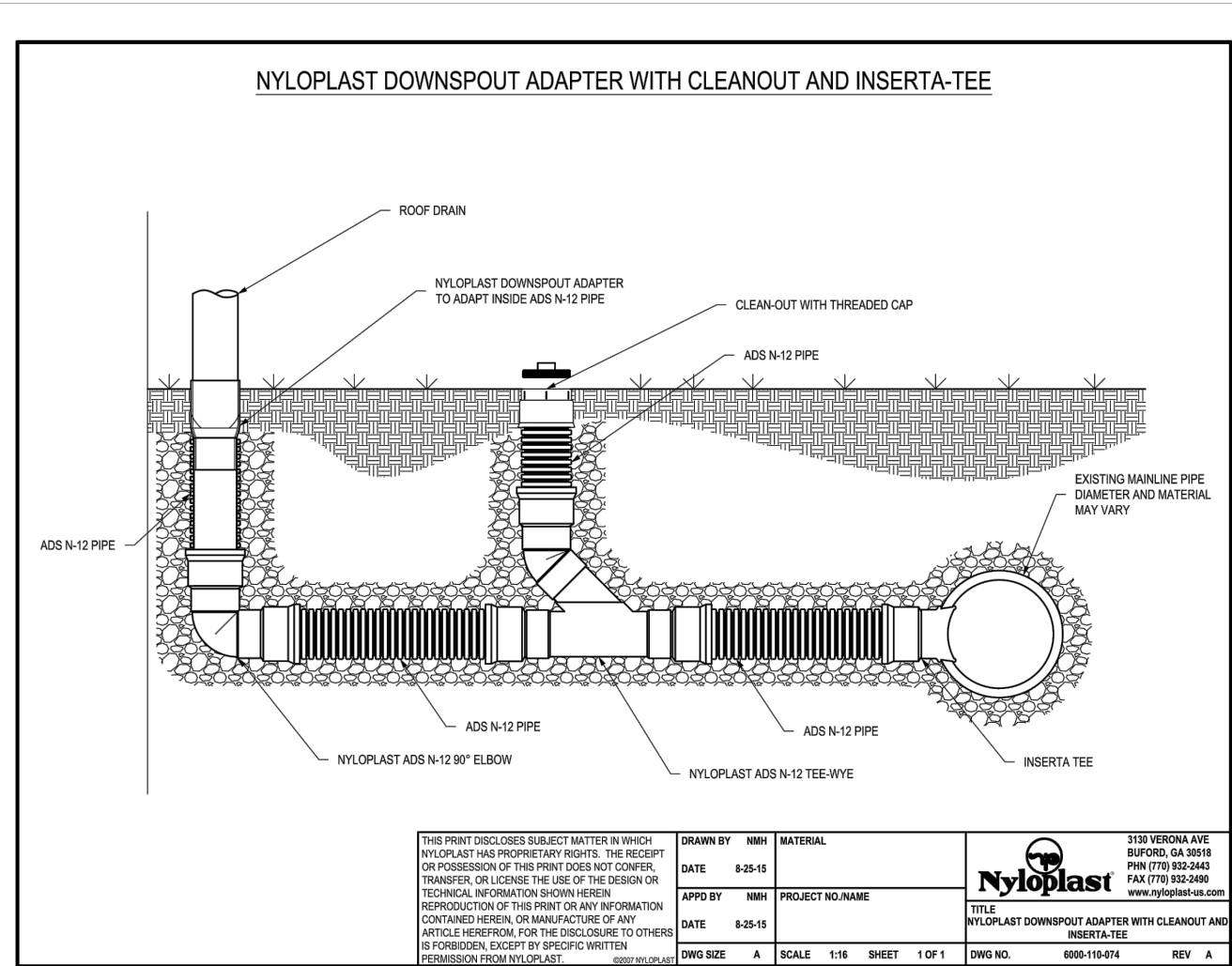
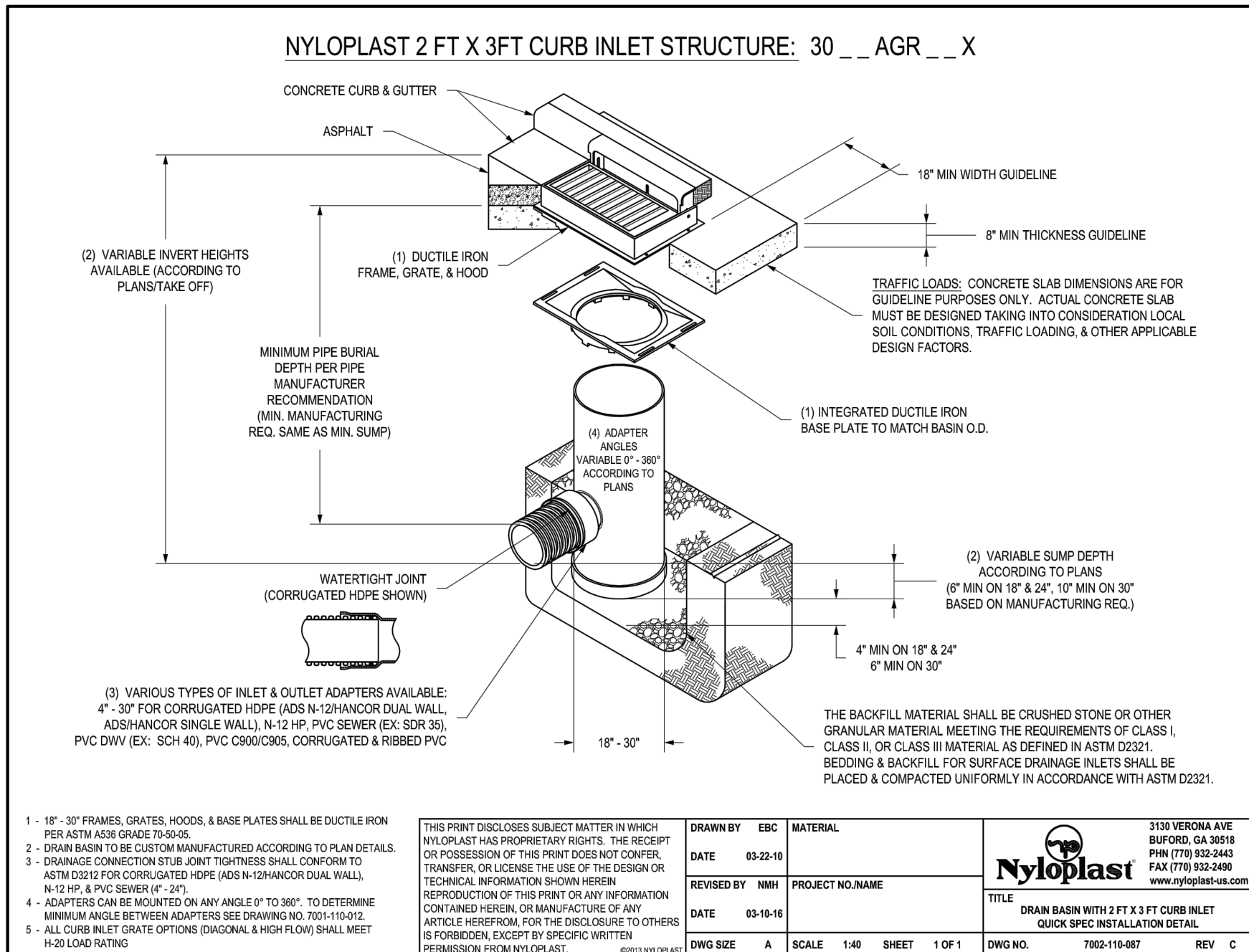
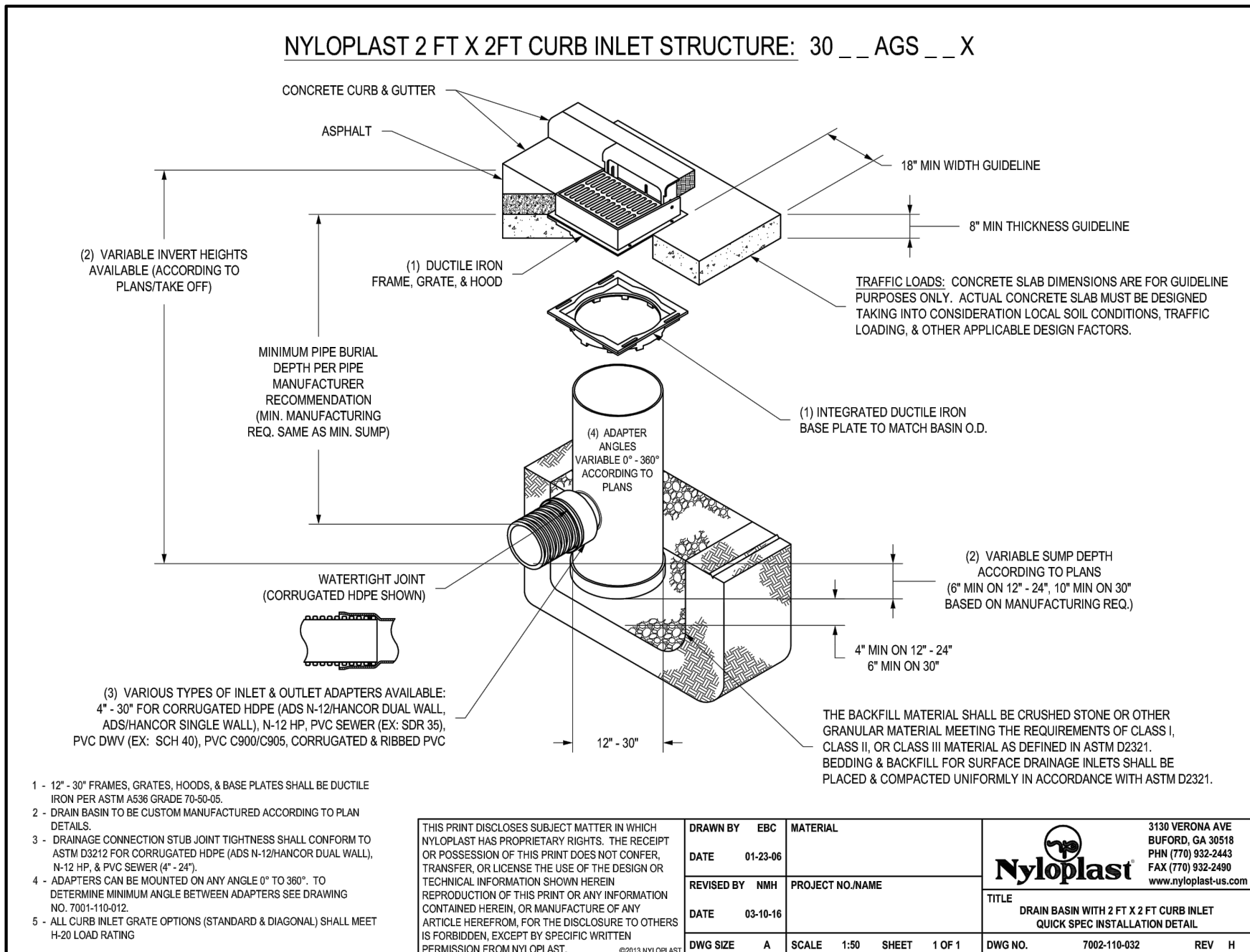












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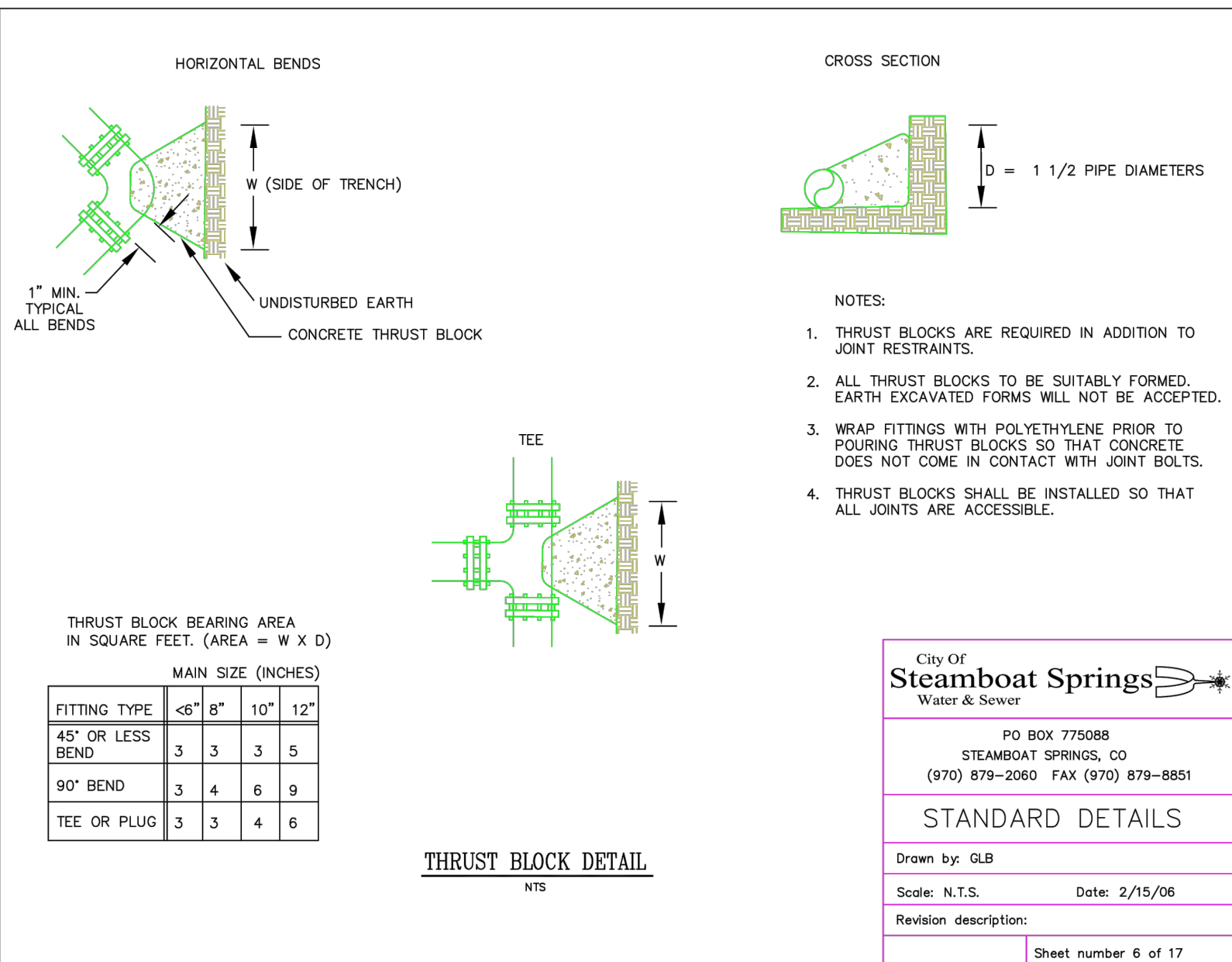
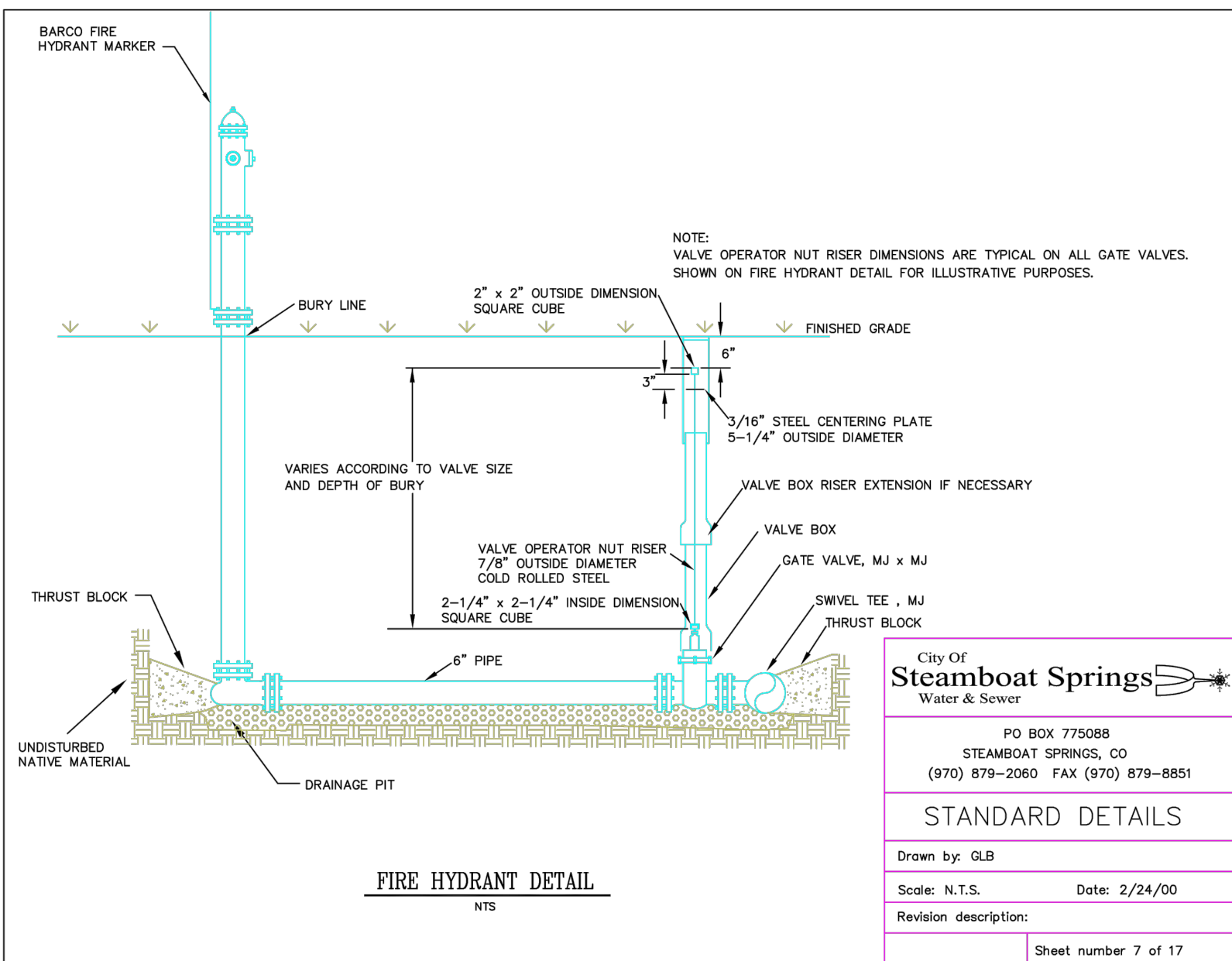
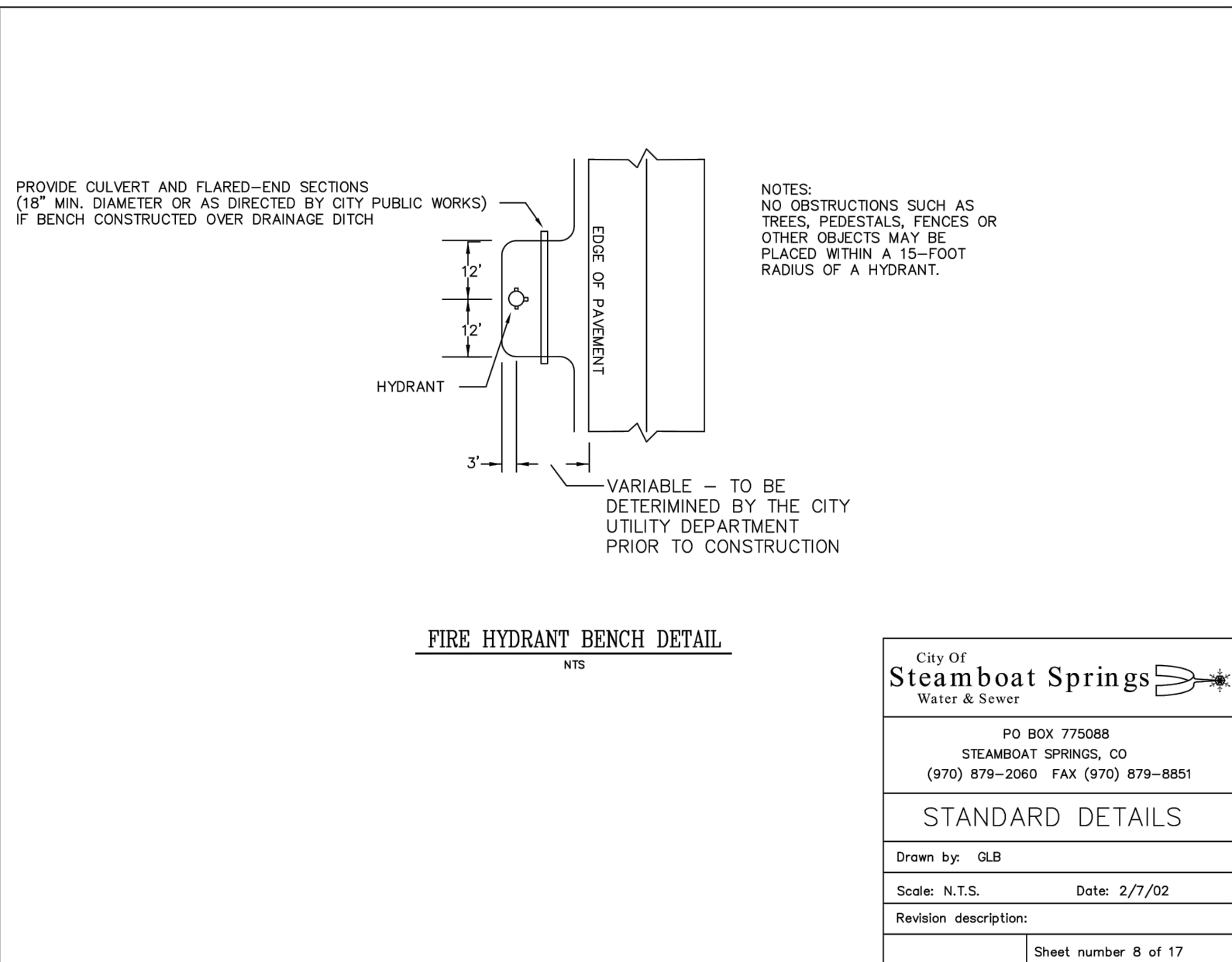
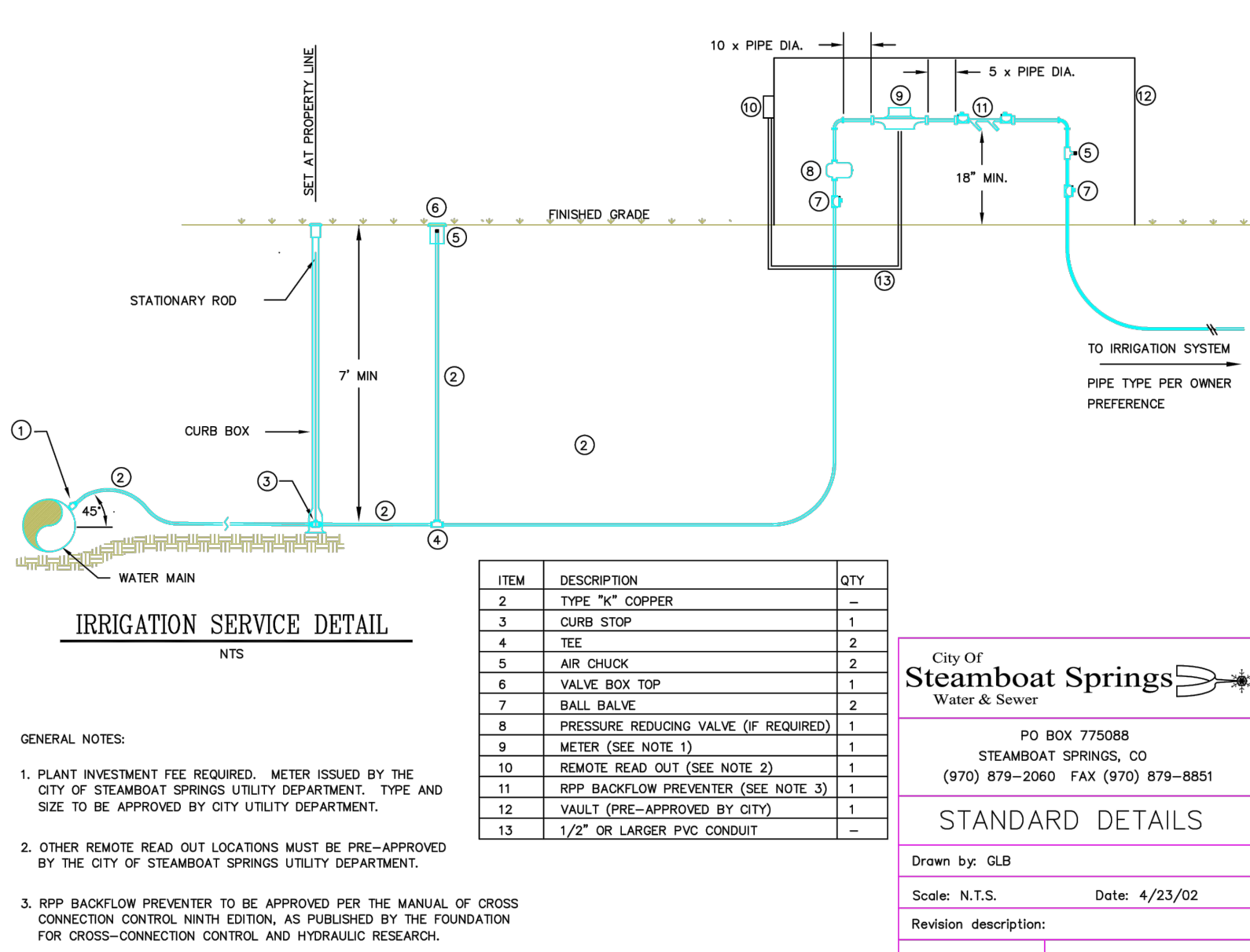
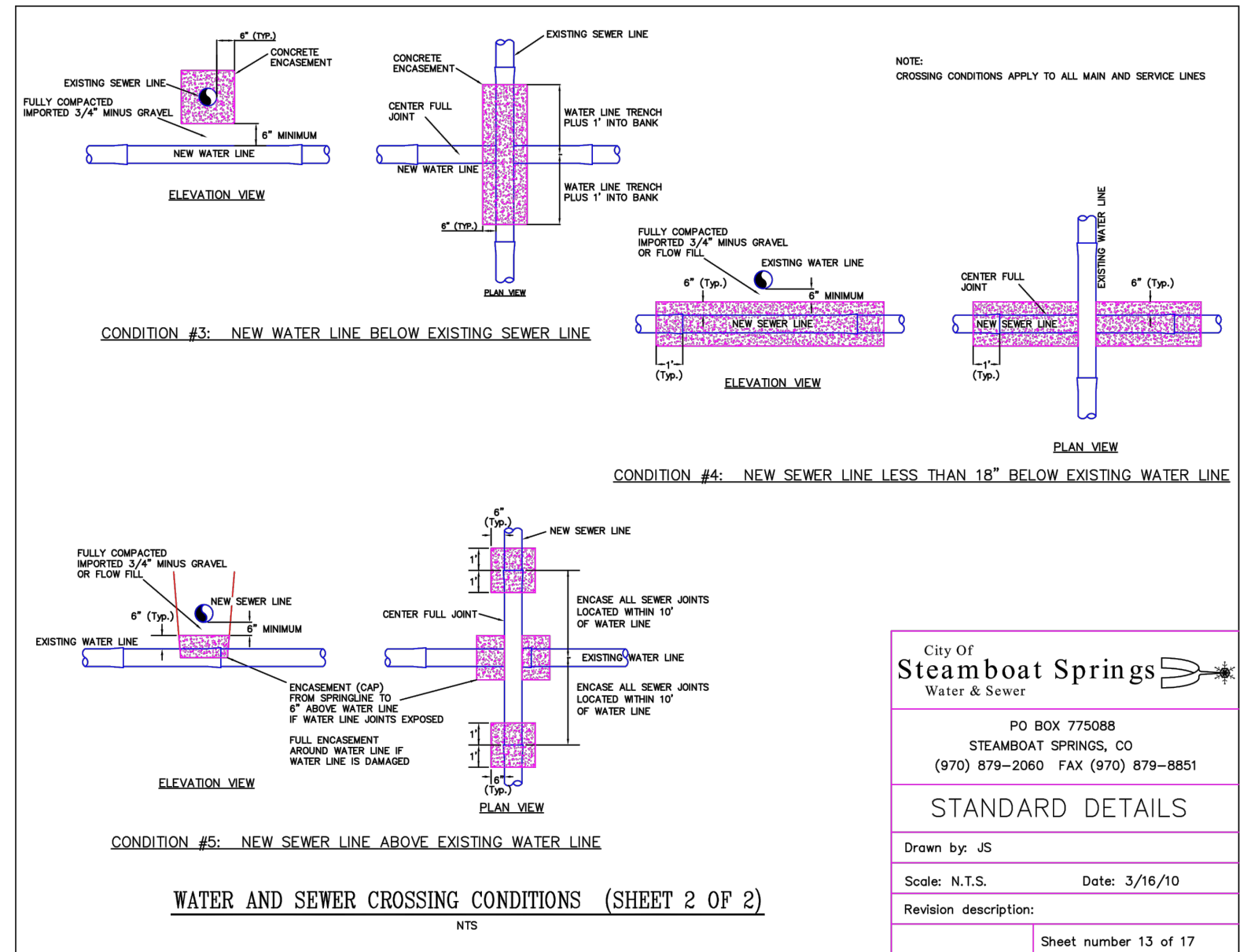
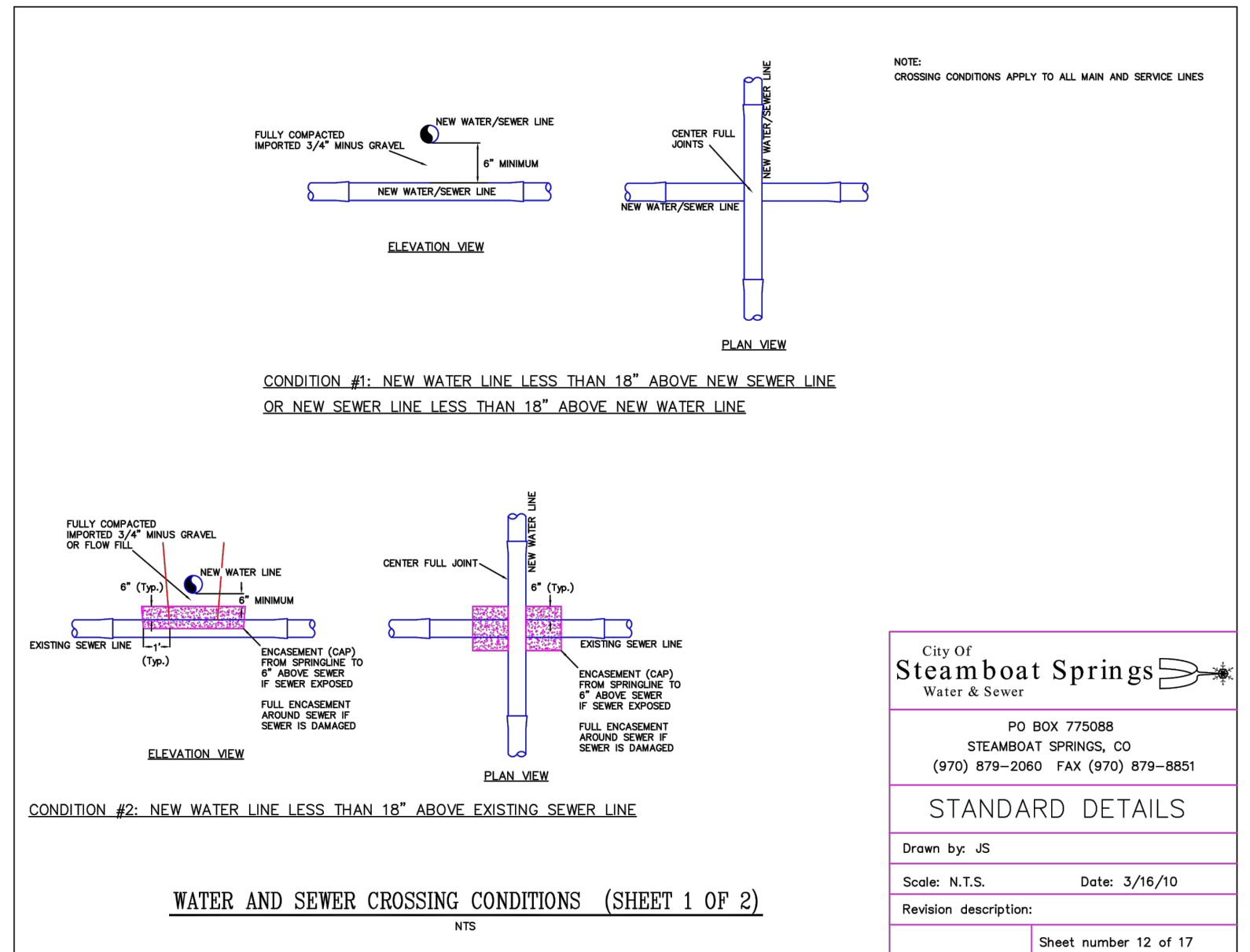
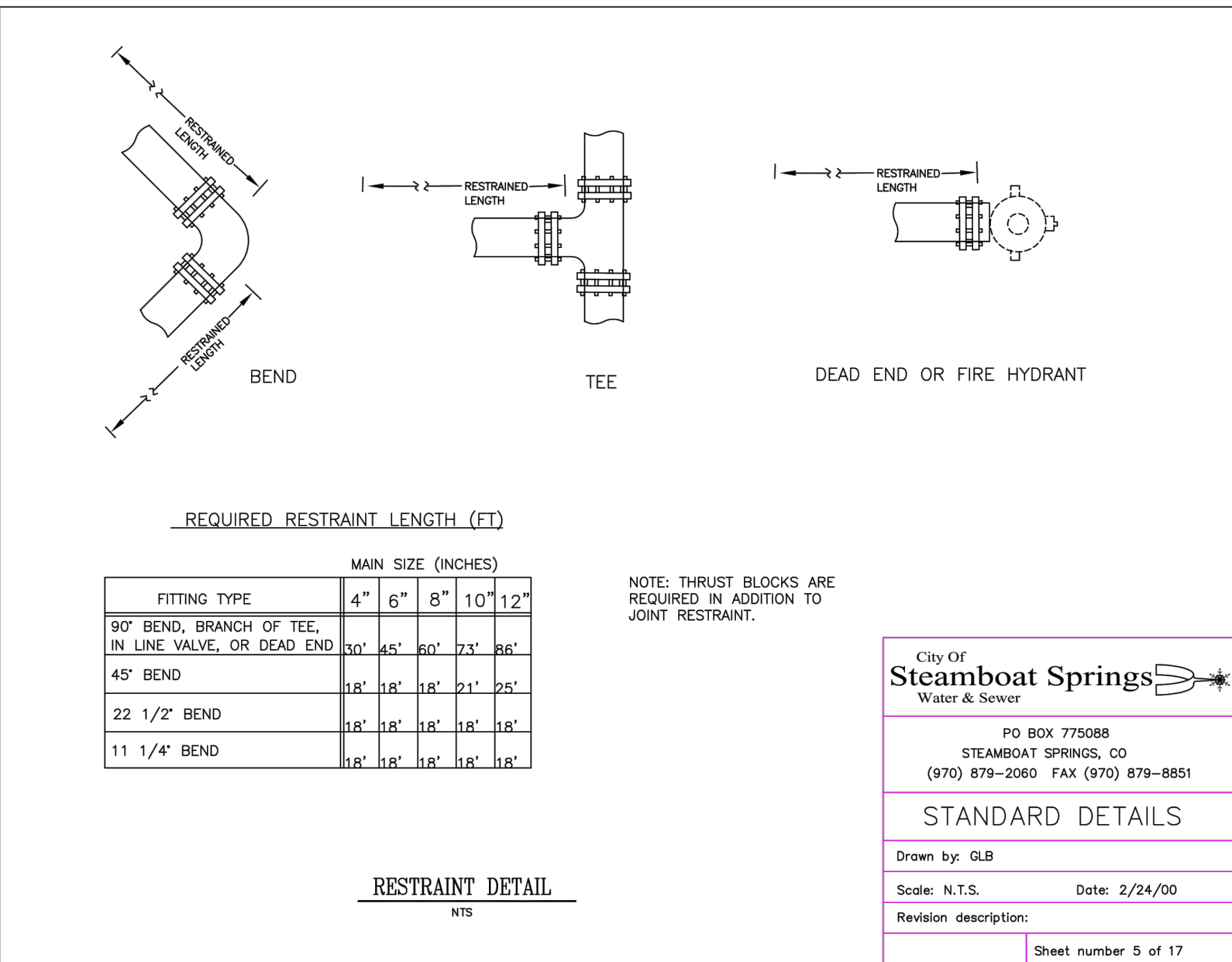
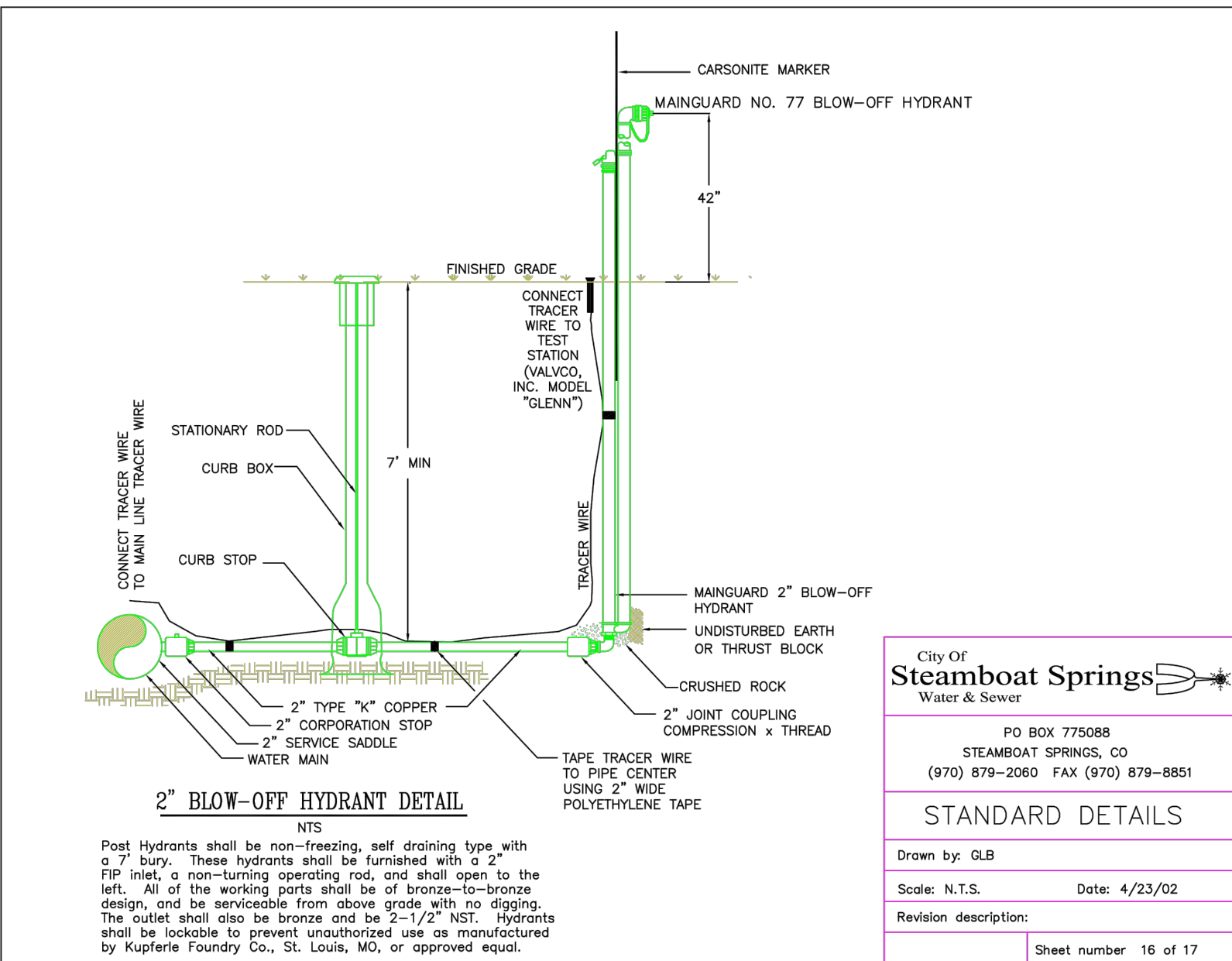
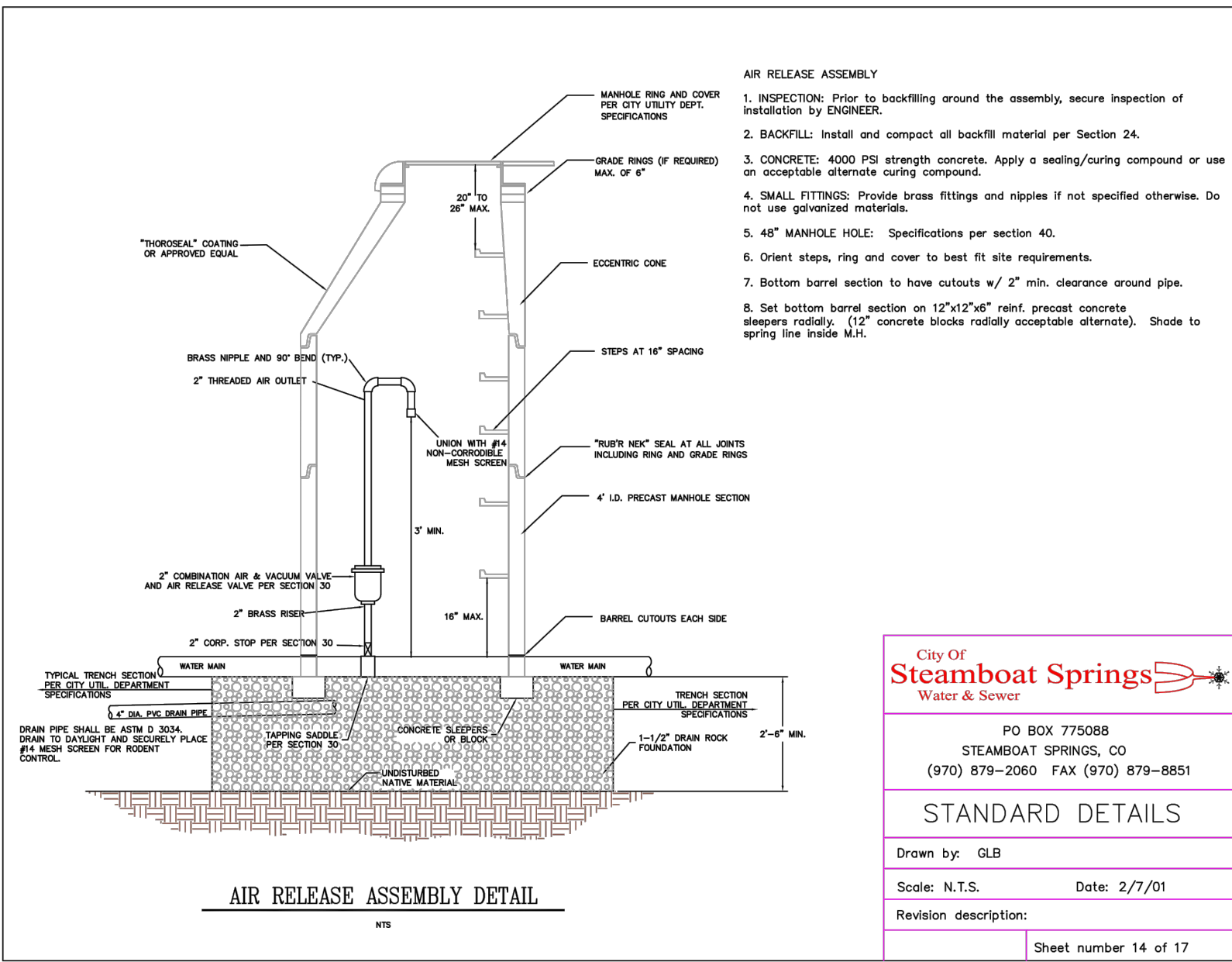


Know what's below.  
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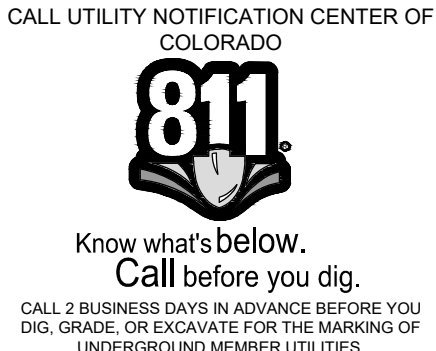
CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES



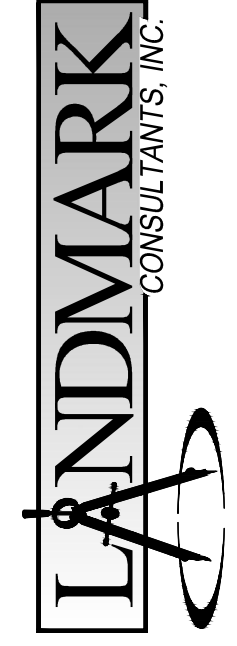
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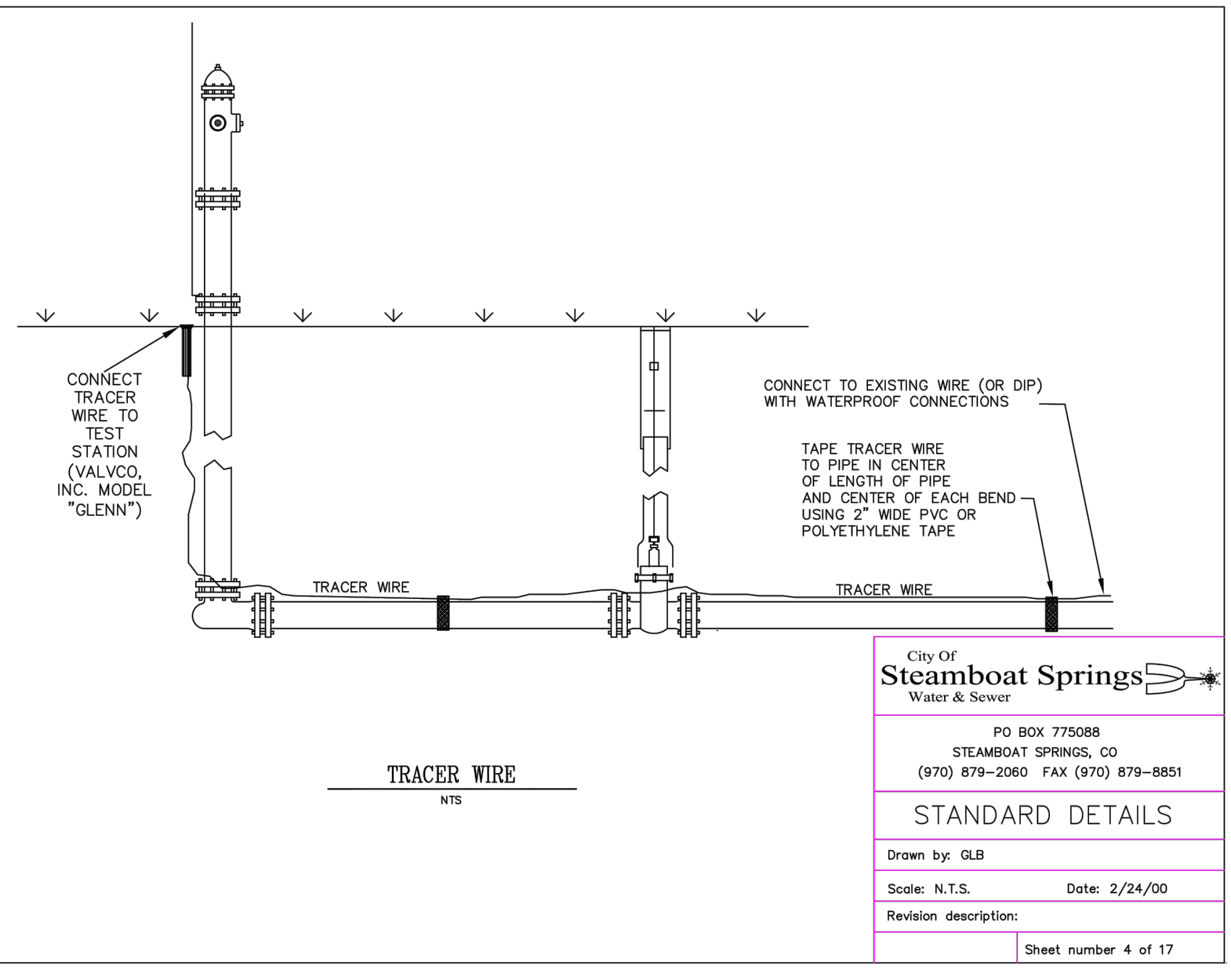
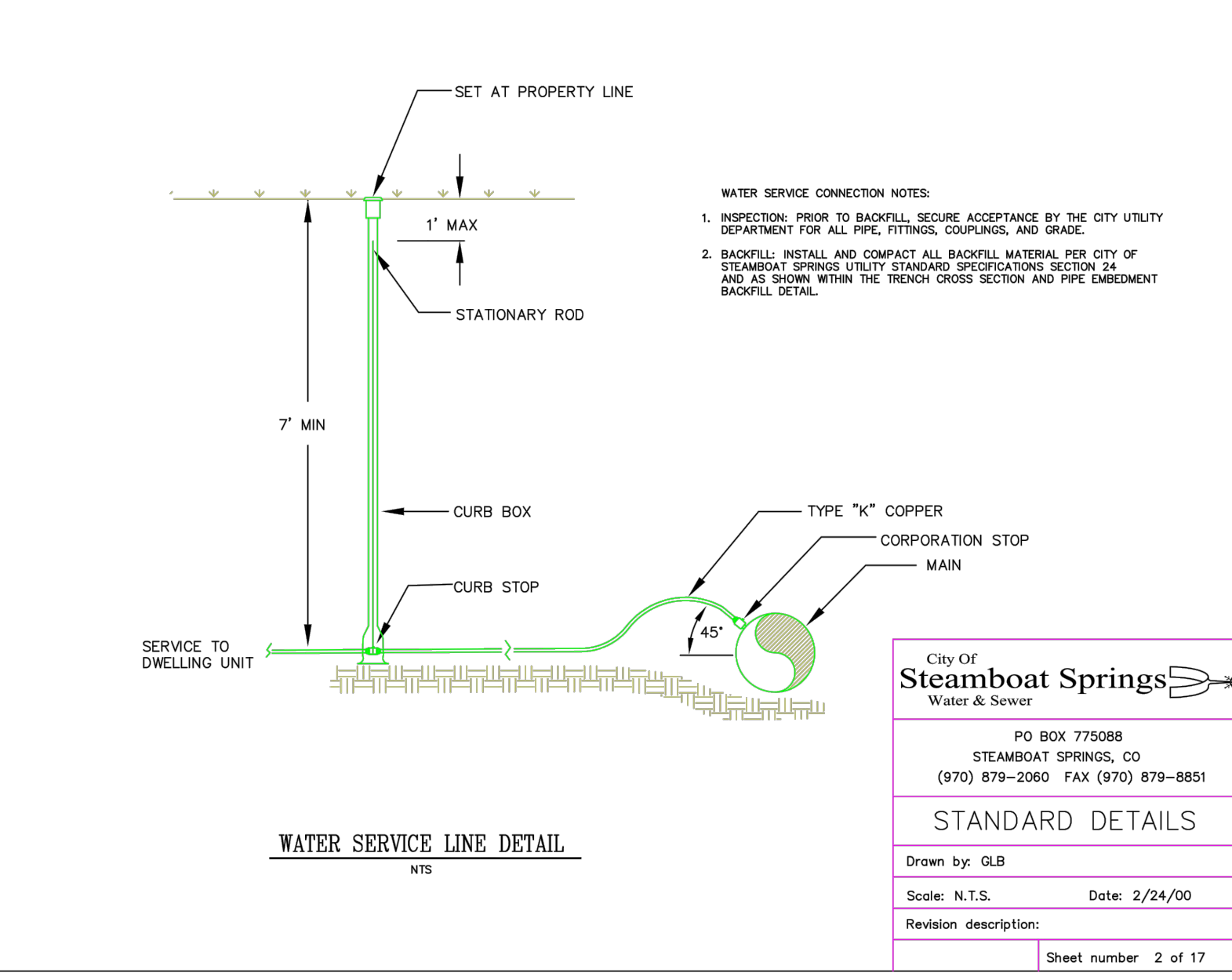
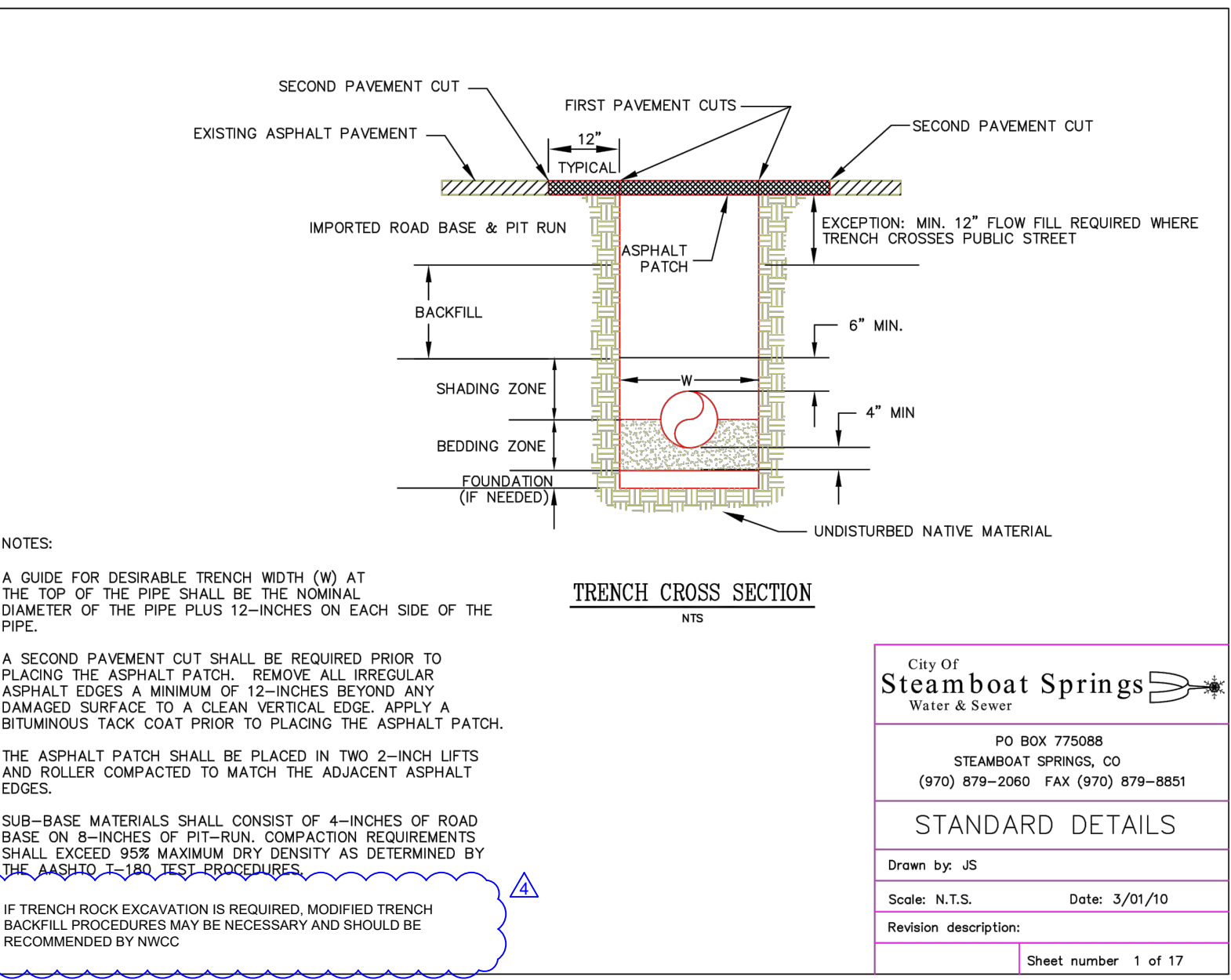
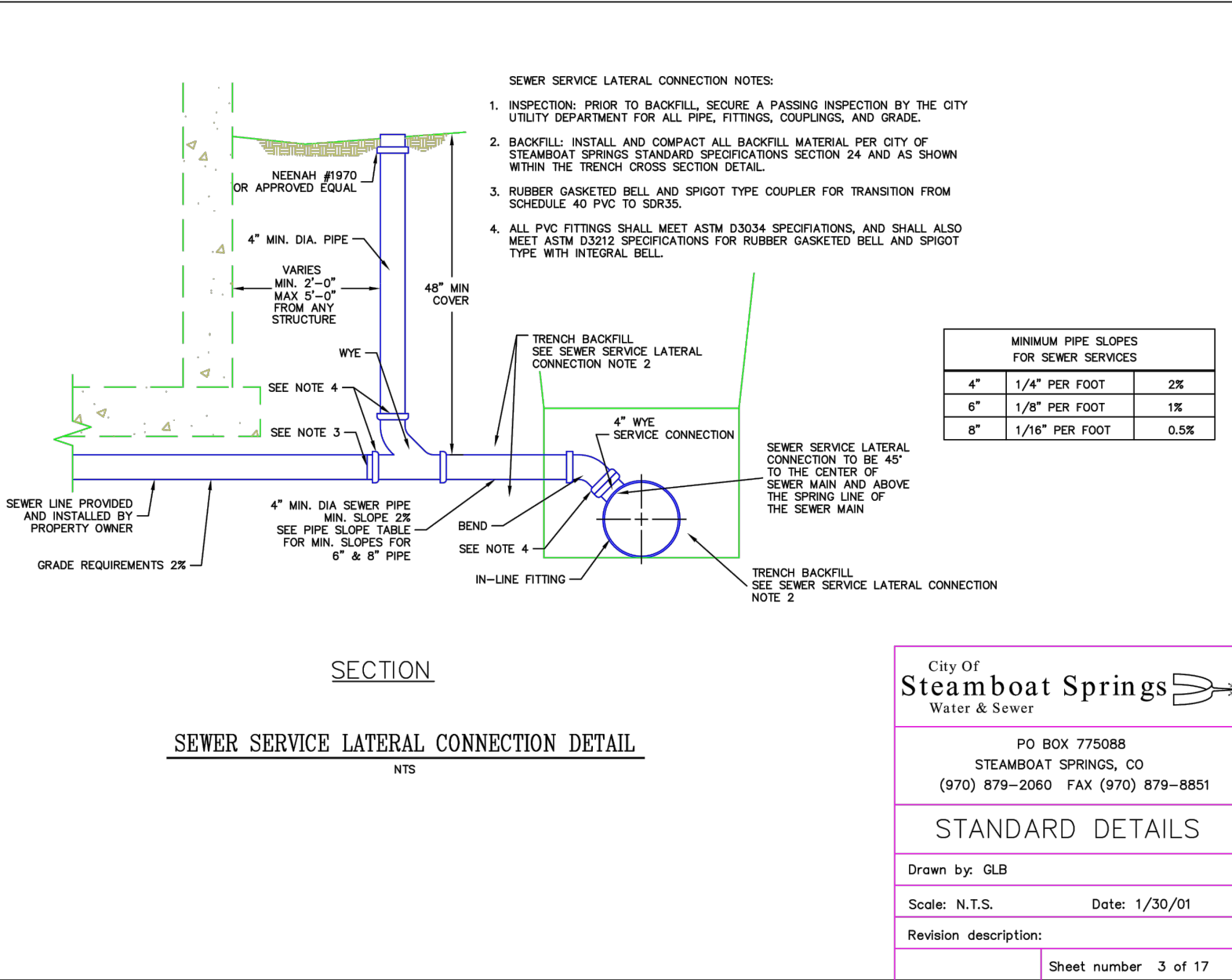
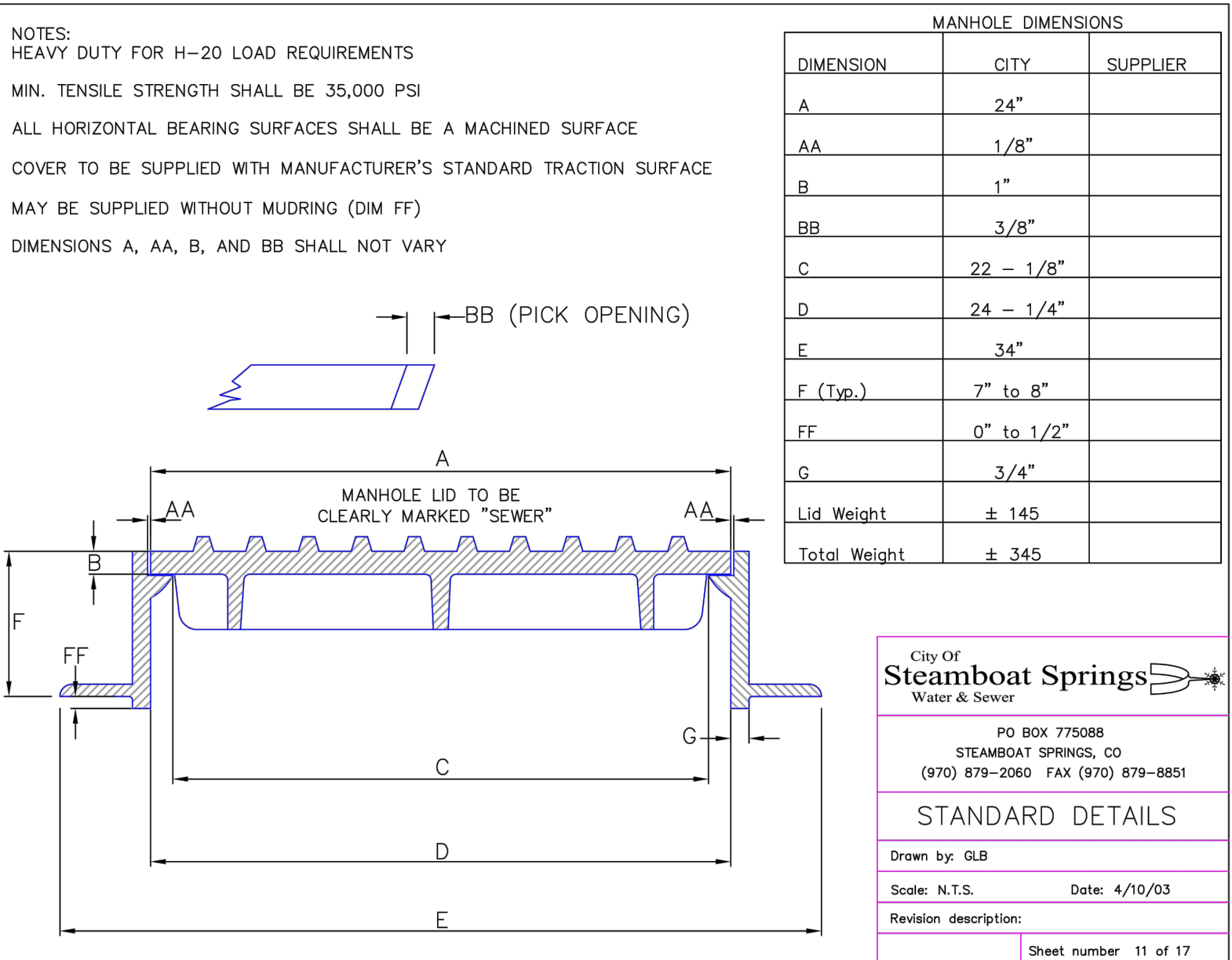
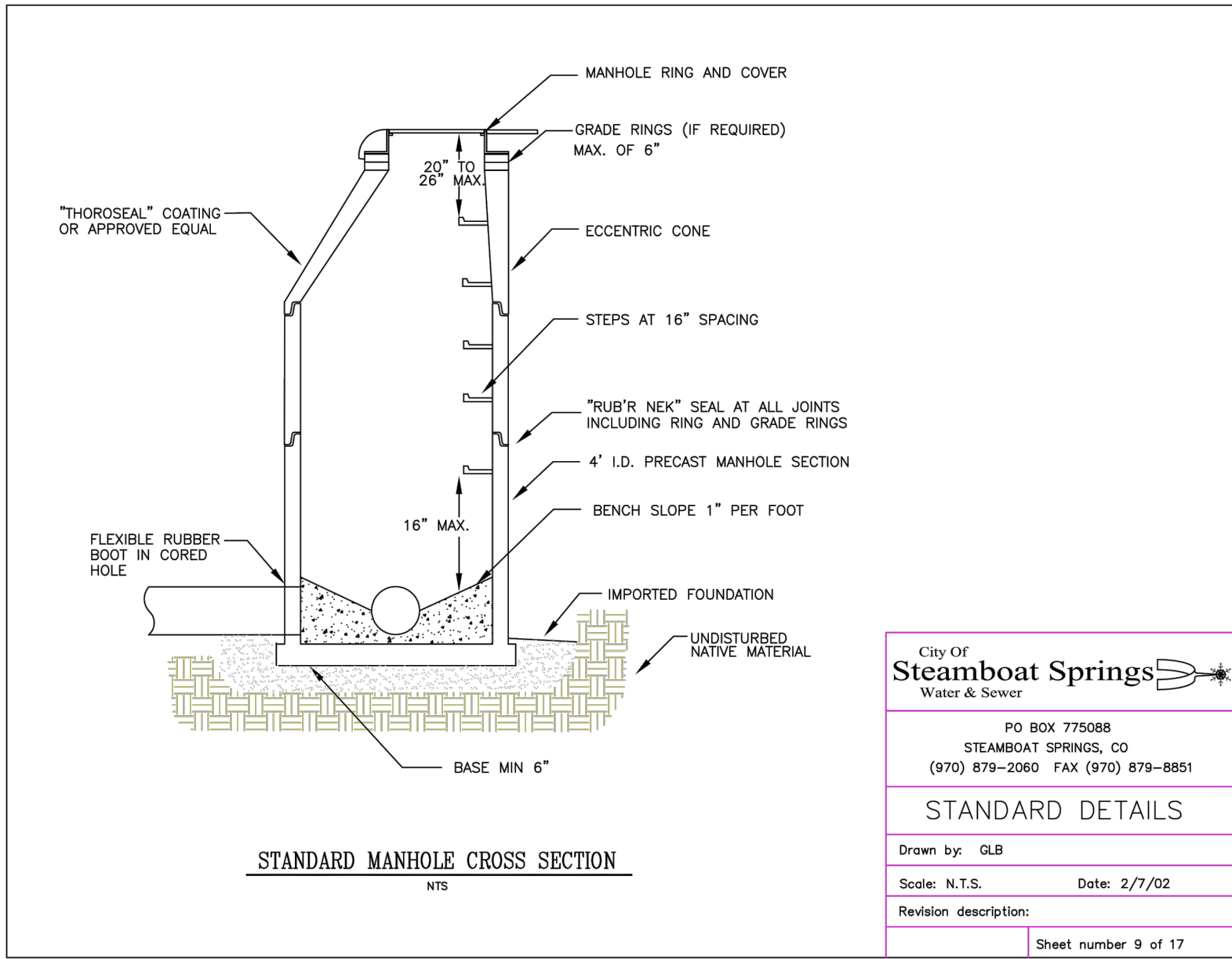
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EMAIL: enrg@landmark-co.com

Steamboat Basecamp - Phase I  
Details (Water & Sewer)

SHEET  
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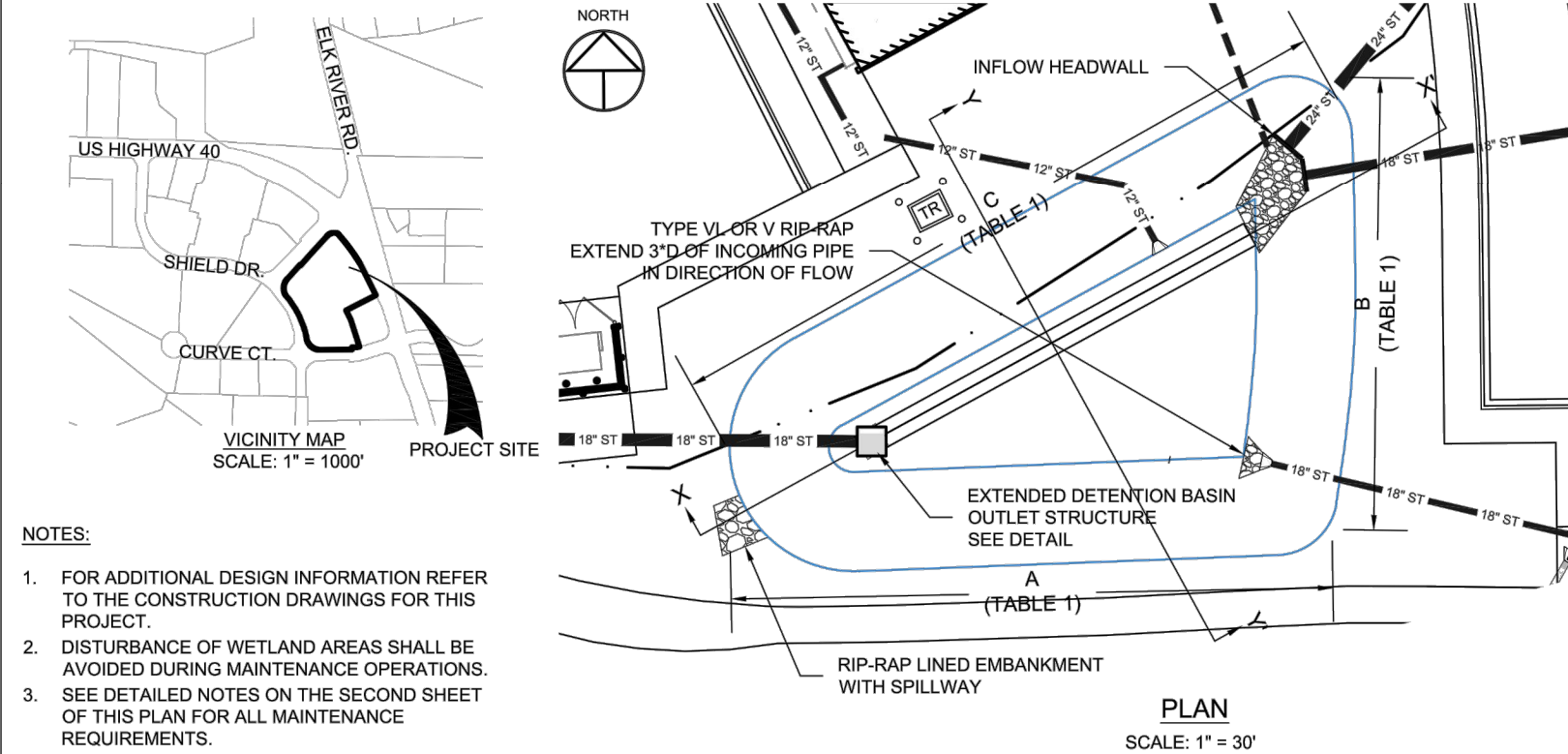
Steamboat Basecamp - Phase I  
Details (Water & Sewer)

SHEET

C.508

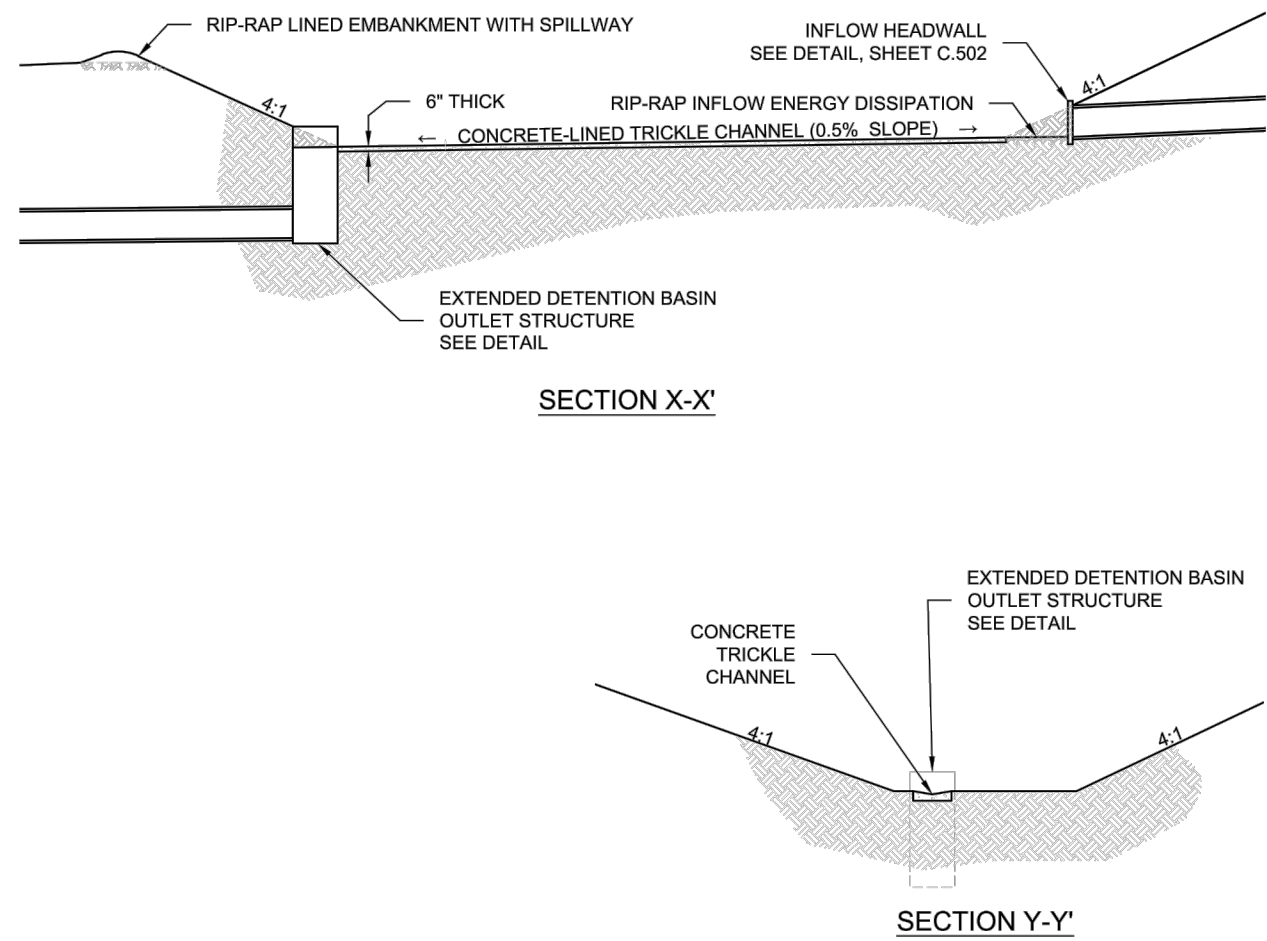
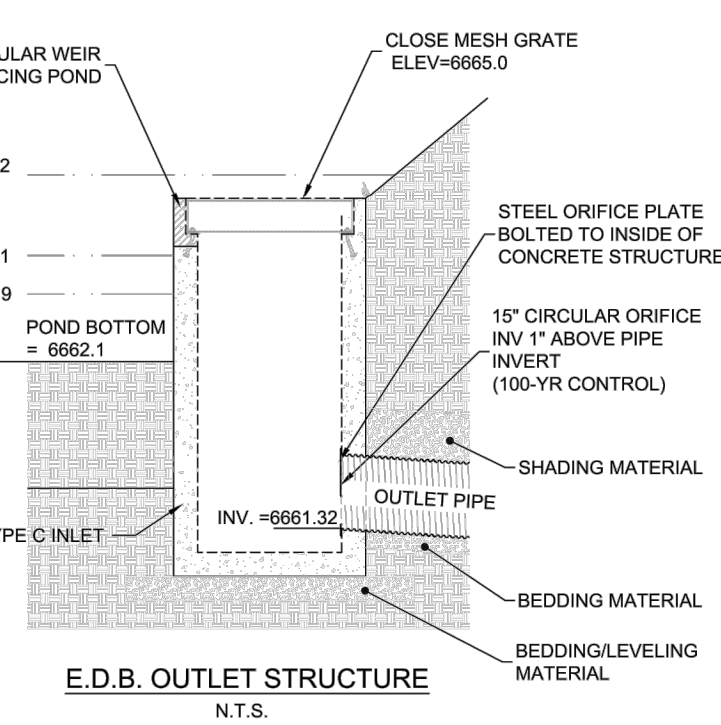
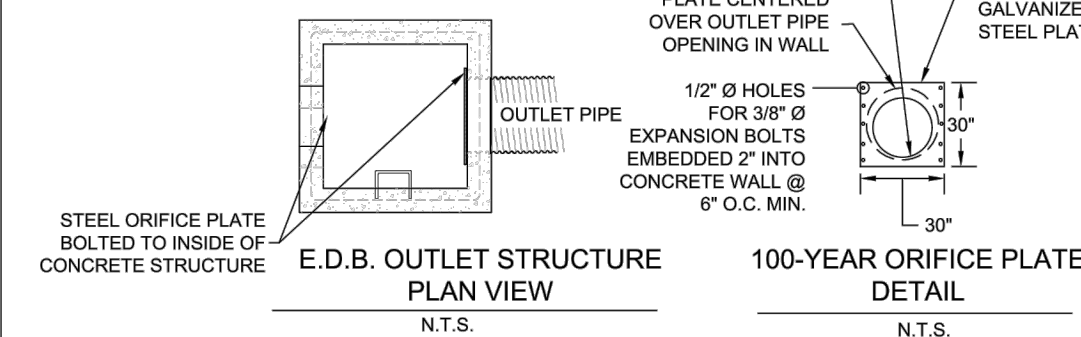


STEAMBOAT BASECAMP  
OWNERSHIP AND MAINTENANCE PLAN  
FOR  
EXTENDED DETENTION BASIN



- NOTES:
- FOR ADDITIONAL DESIGN INFORMATION REFER TO THE CONSTRUCTION DRAWINGS FOR THIS PROJECT.
  - DISTURBANCE OF WETLAND AREAS SHALL BE AVOIDED DURING MAINTENANCE OPERATIONS.
  - SEE DETAILED NOTES ON THE SECOND SHEET OF THIS PLAN FOR ALL MAINTENANCE REQUIREMENTS.

TABLE 1: POND DIMENSIONS	
DIM A (ft)	97
DIM B (ft)	73
DIM C (ft)	113



PROJECT:	NO.	DATE:	BY:	DESCRIPTION:
2387-004		7/27/2021		
DRAWN BY:	DCS			
CHECKED BY:	LCI			

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Steamboat Basecamp  
Ownership & Maintenance Plan  
Extended Detention Basin

SHEET  
1  
Of 2 Sheets

OWNERSHIP AND MAINTENANCE PLAN  
FOR STEAMBOAT BASECAMP  
EXTENDED DETENTION BASIN

1. GENERAL PROJECT INFORMATION

- A. STEAMBOAT BASECAMP, LOT 1, WORLDWEST SUBDIVISION  
B. RECEIVING WATER: ROADSIDE DITCH ON CURVE COURT, ULTIMATE OUTFALL YAMPA RIVER.  
PROPERTY OWNER: MAY RIEGLER PROPERTIES  
2201 WISCONSIN AVE NW  
SUITE 200  
WASHINGTON DC 20007  
galby@mayriegler.com  
C. AGENCY RESPONSIBLE FOR MAINTENANCE: SAME AS OWNER  
D. DESIGN ENGINEER: LANDMARK CONSULTANTS, INC.  
141 9TH STREET  
STEAMBOAT SPRINGS, CO 80487  
970-871-9434  
ATTN: ERIK GRIEPPENTROG, P.E.  
ERIKG@LANDMARK-CO.COM

2. GENERAL FACILITY DESCRIPTION

THIS FACILITY IS AN EXTENDED DETENTION BASIN THAT WILL RELEASE THE WATER QUALITY CAPTURE VOLUME OVER 40-HOURS. THE FACILITY HAS BEEN ADOPTED AND APPROVED BY THE MAY RIEGLER PROPERTIES AS A PART OF THE STEAMBOAT BASECAMP PROJECT. IT WILL RECEIVE RUNOFF FROM 3.17-ACRES AND WILL OCCUPY A PARCEL OF 0.12-ACRES THAT WILL BE USED TO TREAT RUNOFF VIA SETTLING AND PROVIDE ACCESS FOR MAINTENANCE ACTIVITIES.

3. INSPECTION & MAINTENANCE FREQUENCY & PROCEDURE

- A. MAINTENANCE ACTIVITIES SHALL OCCUR ACCORDING TO TABLE 3:

TABLE 3: MAINTENANCE ACTIVITY/FREQUENCY	
ACTIVITY	REQUIRED FREQUENCY
LAWN MOWING AND LAWN CARE	ROUTINE - DEPENDING ON AESTHETIC REQUIREMENTS
DEBRIS AND LITTER REMOVAL	ROUTINE - TWICE ANNUALLY UPON INSPECTION AND AS NEEDED FOLLOWING SIGNIFICANT RAINFALL EVENTS
SEDIMENT REMOVAL FROM FOREBAY AND MICROPOOL	ROUTINE - ONCE ANNUALLY AFTER COMPLETION OF SNOWMELT FROM CONTRIBUTING BASIN
NUISANCE CONTROL	NON-ROUTINE - HANDLE AS NECESSARY PER INSPECTION OR LOCAL COMPLAINTS
EROSION AND SEDIMENT CONTROL	NON-ROUTINE - PERIODIC REPAIR AS NECESSARY BASIN ON INSPECTION
STRUCTURAL	NON-ROUTINE REPAIR AS NEEDED BASED ON INSPECTIONS
INSPECTIONS	ROUTINE - TWO TIMES ANNUALLY, ONCE AFTER COMPLETION OF SNOWMELT AND ONCE AFTER SIGNIFICANT RAINFALL EVENT
SEDIMENT REMOVAL	NON-ROUTINE - PERFORMED WHEN SEDIMENT ACCUMULATION OCCUPIES 20% OF WQCV (1.091-CF OR 1.4-FT DEEP). THIS MAY VARY CONSIDERABLY, BUT EXPECT TO DO THIS EVERY 15 TO 20 YEARS

B. REVISIONS TO MAINTENANCE FREQUENCY:

DATES/REASONS FOR CHANGES:

- C. TRAFFIC CONTROL: N/A  
D. THE FACILITY DOES NOT REQUIRE CONFINED SPACE ENTRY PROCEDURES.  
E. DEWATERING AND WATER CONTROL: DEWATERING OF THE MICRO-POOL BY PUMPING ONTO THE EDB'S BOTTOM GRASSES WILL BE NEEDED TO REMOVE ACCUMULATED SEDIMENT FROM THE MICRO-POOL'S BOTTOM.  
F. DEBRIS, & TRASH REMOVAL & DISPOSAL  
REMOVAL SHALL BE CONDUCTED IF THERE IS PRESENCE OF TRASH OR DEBRIS AT INSPECTION. SEDIMENT AND DEBRIS SHALL BE REMOVED MANUALLY USING A SHOVEL OR RAKE AND DISPOSED OF AT A LICENSED FACILITY. THE LONGEST DISTANCE BETWEEN THE EDGE OF AN ACCESS ROAD AND THE FAR CORNER OF A STRUCTURE REQUIRING SEDIMENT REMOVAL IS 35 FEET.  
G. VEGETATION MANAGEMENT  
SEE SECTION 4 OF THE NOTES ON THIS SHEET  
H. WETLAND AREAS: N/A  
I. DESCRIBE ADDITIONAL REQUIRED MAINTENANCE PROCEDURES AND FREQUENCIES - N/A  
J. MATERIALS TESTING OF SEDIMENT REMOVED FROM SITE IS NOT REQUIRED.  
K. ALL MAINTENANCE MATERIALS AND TOOLS SHALL BE REMOVED FROM THE SITE FOLLOWING MAINTENANCE COMPLETION.

3. EQUIPMENT, STAFFING, AND VEGETATION MANAGEMENT

- A. EQUIPMENT REQUIRED: SHOVEL, RAKE, BACKHOE, CAMERA, DATA LOG / INSPECTION REPORT  
B. STAFFING: ONE PERSON WHO IS QUALIFIED TO RUN THE REQUIRED EQUIPMENT IS REQUIRED FOR MAINTENANCE.  
C. MOWING: MOWING MAY BE REQUIRED DEPENDING ON THE TYPE OF PLANTINGS. IF GRASS IS STARTED FROM SEED, ALLOW TIME FOR GERMINATION AND ESTABLISHMENT OF GRASS PRIOR TO MOWING. IF MOWING IS REQUIRED DURING THIS PERIOD FOR WEED CONTROL, IT SHOULD BE ACCOMPLISHED WITH HAND-HELD STRING TRIMMERS TO MINIMIZE DISTURBANCE TO THE SEEDBED. AFTER ESTABLISHED, MOW AS DESIRED OR AS NEEDED FOR WEED CONTROL. MOWING OF NATIVE DROUGHT TOLERANT GRASSES MAY STOP OR BE REDUCED TO MAINTAIN A LENGTH OF NO LESS THAN 6 INCHES.  
D. WEEDS & UNDESIRABLE VEGETATION: MAINTAIN HEALTHY, WEED FREE VEGETATION. WEEDS SHOULD BE REMOVED BY HAND TOOLS, MOWING, WEED WHACKING OR OTHER MEANS AS APPROPRIATE BEFORE THEY FLOWER. THE FREQUENCY OF WEEDING WILL DEPEND ON THE PLANTING SCHEME AND COVER.  
4. SNOW AND ICE CONTROL  
FACILITY IS LOCATED WITHIN A SNOW STORAGE AREA. FACILITY SHALL BE INSPECTED AFTER SNOWMELT AND DEBRIS AND LITTER REMOVED.  
5. RIGHT-OF-WAY, ADJACENT OWNERSHIP, & ACCESS  
A. RIGHT-OF-WAY DESCRIPTION: CURVE COURT, ROW VARIES, SHIELD DRIVE, ROW VARIES.  
B. ADJACENT OWNERSHIP: N/A  
C. ACCESS INFORMATION AND DETAILS: MAINTENANCE ACCESS TO THE FACILITY IS VIA THE DRIVEWAY OFF OF SHIELD DRIVE. PROCEED TO THE SOUTH SIDE OF THE MAIN PARKING AREA.  
D. MAINTENANCE OPERATIONS WILL NOT IMPACT OR OBSTRUCT RIGHT-OF-WAY AND A RIGHT-OF-WAY PERMIT IS NOT REQUIRED.

7. HYDRAULIC DESIGN

A. FLOW RATES (CFS):	INFLOW	OUTFLOW
BASE FLOW:	0 CFS	0 CFS
WQ EVENT:	NA	NA

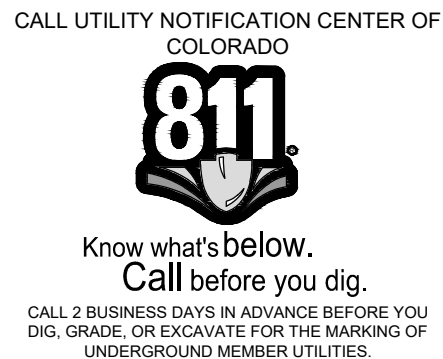
These drawings are instruments of service provided by Landmark Consultants, Inc. and are not to be used for any type of construction or contracting unless signed and sealed by a Professional Engineer in the employ of Landmark Consultants, Inc.



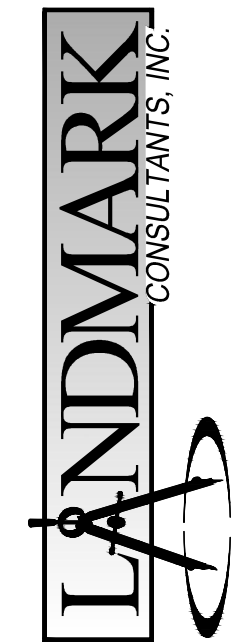
CIVIL ENGINEERS | SURVEYORS  
141 9th Street ~ P.O. Box 774943  
Steamboat Springs, Colorado 80477  
(970) 871-9434 www.LANDMARK-CO.COM

Steamboat Basecamp  
Ownership & Maintenance Plan  
Boretenation Pond East

SHEET  
2  
Of 2 Sheets



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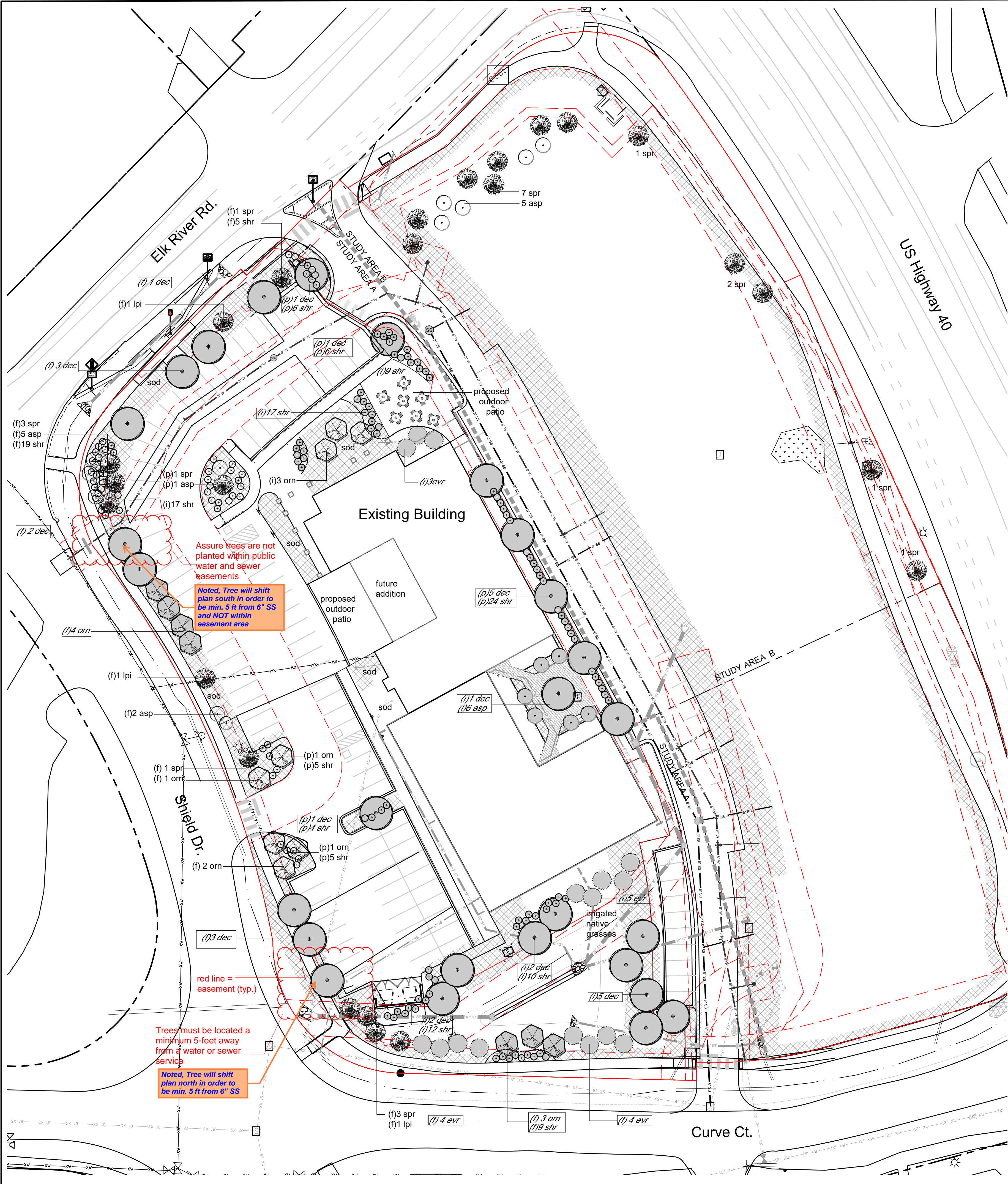
REVIEW SET  
NOT FOR CONSTRUCTION  
8/5/21

PROJECT:	NO.	DATE:	BY:	DESCRIPTION:
2387-004		8-5-21		
DRAWN BY:	DCS			
CHECKED BY:	LCI			

Steamboat Basecamp - Phase I  
Details (EDB O&M)

SHEET  
C.509





LEGEND

existing

existing plants are per field observation - not survey

deciduous shade tree

evergreen tree

aspen

deciduous shrubs

ornamental tree

proposed

deciduous shade tree

evergreen tree

aspen

deciduous shrubs

ornamental tree

snow storage

0

15'

30'

60'

1"=30'

NOTES

1. Site layout plan and snow storage calculations provided by Landmark Consultants Inc.
2. All proposed landscape plantings will be under an automatic irrigation system.
3. All landscape will be maintained in a professional manner to industry standard.
4. Owner or landscape architect to approve layout of all proposed work prior to installation.
5. Refer to grading and layout and materials plans for additional information on all proposed work.
6. This landscape plan is intended only as a City of Steamboat Springs planning submittal document. It does not contain the necessary information for construction.

PLANT LIST

TREES proposed total 56 - 27 large deciduous, 16 evergreen, 13 aspen/ornamental			
#	SYM	BOTANIC NAME	COMMON NAME SIZE
27	dec	populus sp.	cottonwood 2.5" cal.
6	spr	picea pungens	colorado spruce 6'-7' ht.
8	spr	picea pungens	colorado spruce 8'-9' ht.
2	spr	picea pungens	colorado spruce 10' ht
6	asp	populus tremuloides	quaking aspen 2" cal.
7	orn	malus sp.	ornamental crabtree 2" cal.

SHRUBS 88 total - 40 in parking lot, 48 shrub for tree substitution			
#	SYM	BOTANIC NAME	COMMON NAME SIZE
#	shr	potentilla fruticosa	native yellow potentilla 5 gal.
#	shr	prunus virginiana	native chokecherry "
#	shr	amelanchier alnifolia	saskatoon serviceberry "
#	shr	cornus stolonifera	colorado dogwood "

\*NOTE:  
Final plant list will be determined at time of construction document preparation. All shrubs will be low water usage plants and be within Appendix A - recommended plant list - in the Community Development Code.

SNOW STORAGE CALCULATIONS

76,695 s.f.	TOTAL PAVED AREA
38,348 s.f.	50% snow storage requirement
28,761 s.f.	TOTAL REQUIRED (after 25% reduction for elevation)
540 s.f.	addition due 18 evergreen trees in storage areas
29,301 s.f.	TOTAL REQUIRED
32,478 s.f.	TOTAL AVAILABLE

LANDSCAPING STANDARDS TABLE - STUDY AREA A

Description	Landscape Area	CS Zone district Requirements	Required	Existing	Proposed	Evr Tree ex pro		Dec Tree ex pro		Orn Tree ex pro	
Parking Lot (p)	2,500 sf	1 tree/200sf + 4 shrubs/200sf	12/50*	4/10	8/40*	1	0	0	8	3	0
Frontage (f)	9,500 sf	Category EC - 1tree/200sf	48	21	24/3	11	8	0	8	10	7
Interior (i)	13,500 sf	Category EC3 - 1tree/500sf	27	3	24	0	8	0	11	3	6
Number of Required Trees/Planting Units			87								
Existing Trees to Remain				28							
3 shrubs=1 tree   27 existing in frontage=0 trees   48 proposed= int. 16 trees				0	16						
*shrubs required for parking lot landscape not a part of shrub for tree substitution				28	59						
Total Planting Units					87						

LANDSCAPING STANDARDS TABLE - STUDY AREA B

Description	Landscape Area	CS Zone district Requirements	Required	Existing	Proposed	Evr Tree ex pro		Dec Tree ex pro		Orn Tree ex pro	
Frontage (f)	15,450 sf	Category EC - 1tree/200sf	77	17	0	12		0	0	0	5
Interior (i)	48,700 sf	Category EC3 - 1tree/500sf	97	0	0	7	0	0	0	6	0
Number of Required Trees/Planting Units			174								
Existing Trees to Remain				17							
Total Proposed					0						

landscape plan

Steamboat Basecamp  
Elk River Rd. and Shield Dr.  
Steamboat Springs, Colorado

MGC DESIGN, INC.  
LANDSCAPE ARCHITECTURE  
SITE DESIGN  
WATER USE in LANDSCAPE  
P.O. Box 773522  
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sheet #

L.1