

LEGEND:

BUILDING ROOF LINE/OVERHANG DECK	اد ــــــــــــــــــــــــــــــــــــ	· · · · ·	· · · · · ·	
WALL FENCE	<u> </u>	x — x -	x	X —
MAJOR CONTOUR			6800 — —	
MINOR CONTOUR ASPHALT				
CONCRETE	n - 1000 (1000) 1000 (1000) 1000 (1000) 1000 (1000)	2 - C		
GRAVEL WOOD DECKING				
SIGN				
SANITARY SEWER LINE MARKER MANHOLE AND CLEANOUT	× XS		_xsC	XS
SEPTIC TANK LID AND VENT PIPE		SL)	P	
WATER LINE MAKER, FIRE HYDRANT GATE VALVE, CURB STOP & BLOWOFF FIRE DEPT. CONNECTION, YARD HYDRANT, VENT PIPE, WATER MANHOLE AND WELL	₩ \$	≥×w ⊗	•>>->>=>===============================) @
GAS LINE MARKER, VALVE, MANHILE/VAULT AND METER	G ×	G AS	- xg	G-GM
CABLE LINE MARKER, VAULT AND PEDESTAL	Ģ	- XTV	XTV	TV
FIBER OPTIC LINE MARKER, VAULT & PEDESTAL	FO U	– XFO ———	FO	FO
SATELLITE DISH	-		×	
TELEPHONE LINE MARKER, VAULT, PEDESTAL AND MANHOLE		г—Т	- xt	т(Т)
ELECTRIC LINE MARKER, TRANSFORMER, METER AND SECONDARY PEDESTAL	E XE	XE	- xeEM x	Е
SNOW MELT DISTRIBUTION LINE AND VAULT	SM	SM	XSM SM	— SM ——
SNOW MAKING WATER MAIN	SI	WOW	SNOW SN	OW
ELECTRIC MANHOLE, OUTLET, GENERATOR AND JUNCTION BOX	E	00	GEN	EJ
LIGHT POLE AND LIGHT POLE W/ MAST		-¢-	∳ -₹	K
PROPOSED DITCH / SWALE UTILITY POLE, GUY POLE & GUY WIRE	—— ХОН	хон–	хон> ⊕ с	(он
EXIST #" STORM/CULVERT, END SECTION WITH RIPRAP		18"	XST	
STORM MANHOLE, AREA DRAIN, GRATE INLET AND CURB INLET	(ST)	۲		
AIR CONDITIONER, MAILBOX NEWSTAND AND TRASH CAN	AC	MB	N	
BOLLARD, AREA LIGHT AND FLAG POLE				
CONIFEROUS AND DECIDUOUS TREE (SCALED TO APPROX. DRIPLINE)	:		\cdot)
CONIFEROUS AND DECIDUOUS SHRUB (SCALED TO APPROX. DRIPLINE)		(FI)	a construction	
FINISHED FLOOR ELEVATION (SEE NOTE 10)	⊕ × 6900.0'			
NOTES:				
THIS EXISTING CONDITIONS PLAN DOES NOT RE SURVEY OR IMPROVEMENT SURVEY PLAT. IT IS INFORMATION REQUESTED BY OUR CLIENT.				
PARCEL AND RIGHT OF WAY BOUNDARIES ARE APPLICABLE SUBDIVISION PLATS AND AVAILABL				
BASIS OF HORIZONTAL CONTROL: COLORADO I COORDINATE SYSTEM, NAD83(2011).	NORTH Z	ONE, STA	TE PLANE	
UNITS SHOWN HEREON ARE IN US SURVEY FEE ACCURACY FOR THIS MAP HAS BEEN DETERMIN				
SITE BENCHMARK: A RECOVERED 3" BRASS CAF CORNER OF SECTION 28, TOWNSHIP 6 NORTH, F SAID BRASS CAP ALSO BEING CITY OF STEAMB NUMBER 344, HAVING AN ELEVATION OF 6935.31 VERTICAL DATUM OF 1988 (NAVD88), AS SHOWN	RANGE 84 DAT SPRI I BASED	4 WEST C INGS GIS ON THE N	OF THE 6TH P CONTROL P	P.M. OINT
CONTOUR INTERVAL = 1 FOOT				
BURIED UTILITIES AND/OR PIPE LINES ARE SHO EVIDENCE, AS-BUILT DRAWINGS OF THE CONST MARKINGS PROVIDED BY A UTILITY LOCATING S APPROXIMATE. IF ANY UNDERGROUND UTILITY WILL HAVE TO BE VERIFIED BY FIELD POTHOLIN CONSULTANTS, INC. AND THE SURVEYOR OF RE THE LOCATION OF OR THE FAILURE TO NOTE TH	RUCTED ERVICE. Y LOCATI IG THE U ECORD S	UTILITY LOCATIO ONS ARE TILITIES. HALL NO	LINES AND DNS SHOWN REQUIRED, LANDMARK T BE LIABLE	THEY FOR

- UTILITIES.8. THE LAST FIELD INSPECTION OF THE SITE WAS ON JANUARY 5, 2021.
- 9. ALL SYMBOLS ARE ONLY GRAPHICALLY REPRESENTED AND ARE NOT TO SCALE.
- 10. FINISH FLOOR ELEVATIONS WERE OBTAINED BY MEASUREMENTS MADE ON LANDINGS OR DOOR SILLS OUTSIDE THE BUILDING. INTERIOR FLOOR ELEVATIONS SHOULD BE VERIFIED WHERE APPROPRIATE.

11. WHERE 'MD' IS NOTED FOR STORM/AREA DRAIN INVERTS, THE DRAINS WERE MEASURED DOWN BUT IT WAS UNKNOWN WHETHER THE MEASUREMENT WAS TO A WYE, BEND OR INVERT DUE TO LACK OF VISIBILITY. THE 'MD' IS INTENDED TO REPRESENT 'MEASURED DEPTH'. SOME DISCREPANCIES MAY EXIST.

SPECIAL CLARIFICATION:

EXISTING CONDITIONS: THE UNDERLYING EXISTING INFORMATION DEPICTED HEREON IS A COLLECTION OF PRE-DEVELOPMENT CONDITIONS COMBINED WITH THE PREVIOUSLY APPROVED DEVELOPMENT PLANS FOR THE GOLD WALK AND GONDOLA SQUARE PLAZA APPLICATIONS (ANTICIPATED EXISTING CONDITIONS). SOME DISCREPANCIES MAY EXIST.

EASEMENTS: SOME EASEMENTS HAVE NOT BEEN RECORDED, (E.G. DRAINAGE EASEMENT FOR PROPRIETARY WATER QUALITY STRUCTURE) AND THEREFORE NOT INDICATED HEREON TO MINIMIZE CONFUSION ON STATUS.



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Date Description
 10.04.2021 DEVELOPMENT PLAN SUBMITTAL

Seal / Signature

NOT FOR CONSTRUCTION

Project Name

SSRC | BASE AREA PLAZA Improvements

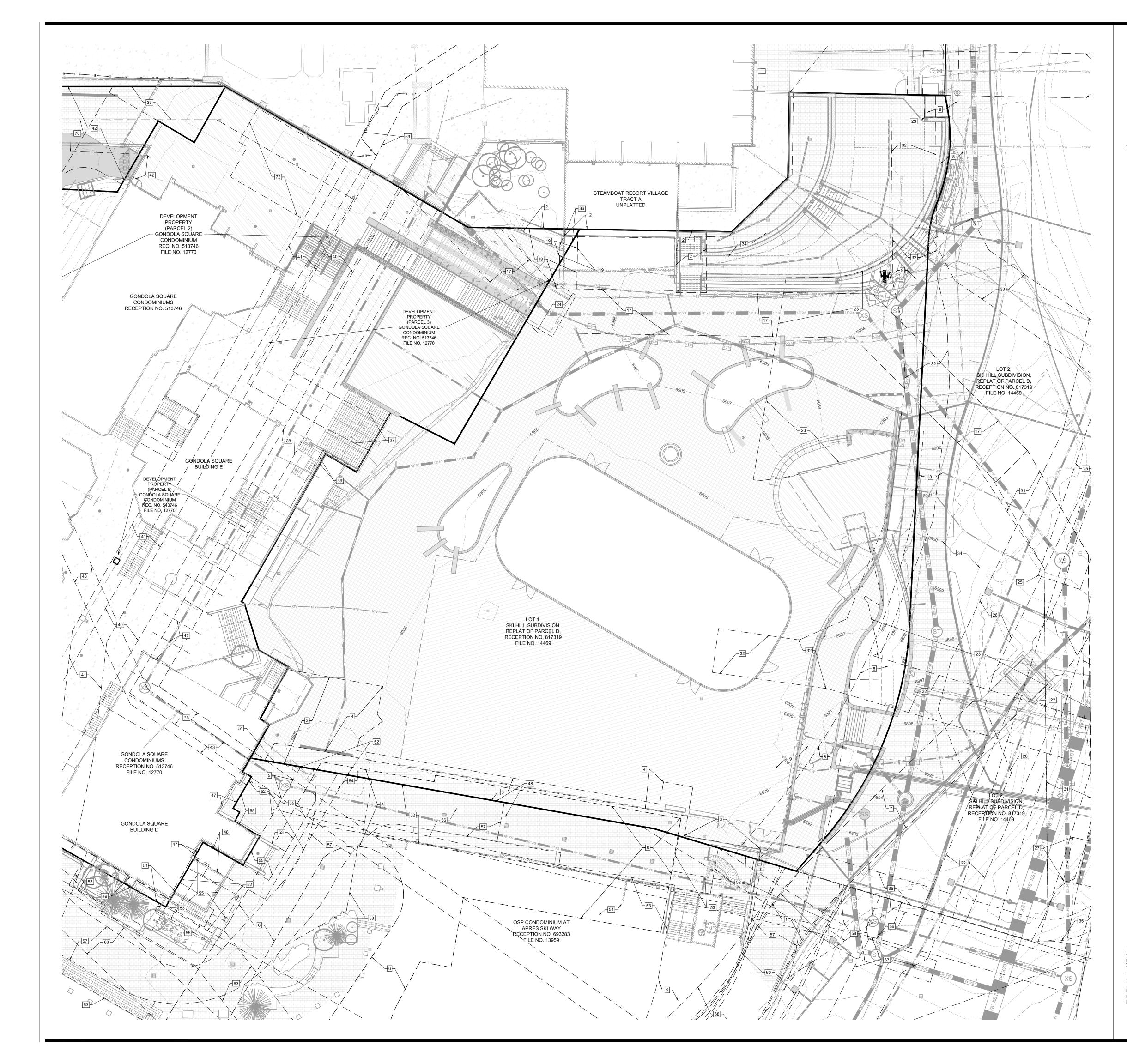
Project Number

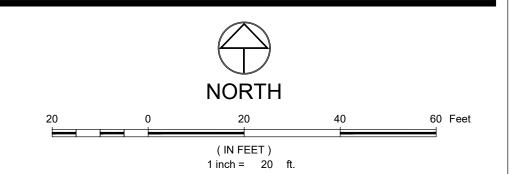
003.7835.000

Description
DEVELOPED EXISTING CONDITIONS
PLAN

SEE GRAPHICAL SCALE

C.003





EASEMENT LEGEND:

1	RECEPTION NO. 693016: 20' ACCESS EASEMENT EAST HOTEL ACROSS OSP
2	BOOK 729, PAGE 339, RECEPTION NO. 746875: BUDDY'S RUN DECK ENCROACHMENT EASEMENT
3	RECEPTION NO. 693287: INTERFACE EASEMENT
4	RECEPTION NO. 693287: INTERFACE EASEMENT, REVOCABLE PORTION
5	BOOK 532, PAGE 820: 10' SANITARY SEWER EASEMENT
6	RECEPTION NO. 693286: PARKING, ACCESS & MAINTENANCE EASEMENT
7	BOOK 729, PAGE 338, RECEPTION NO. 687253, RECEPTION NO. 705974: EAST HOTEL ACCESS EASEMENT
8	AS AMENDED BY RECEPTION NO. 817318 BOOK 634, PAGE 49: 10' PEDESTRIAN AND BICYCLE PATH EASEMENT
9	RECEPTION NO. 307130, FILE NO 8823: 12' PEDESTRIAN EASEMENT
10	BOOK 374, PAGE 345, BOOK 376, PAGE 318, RECEPTION NO. 770696 : 20' WATER LINE EASEMENT
11	BOOK 337, PAGE 337: PERPETUAL VISUAL EASEMENT
12	BOOK 393, PAGE 509 & BOOK 395, PAGE 376: ROAD EASEMENT
13	BOOK 412, PAGE 341: ENTRYWAY EASEMENT
14	BOOK 412, PAGE 343: ACCESS EASEMENT
5	BOOK 580, PAGE 70, RECEPTION NO. 727257, RECEPTION NO. 727903: LANDSCAPING AND ACCESS EASEMENT (BEAR CLAW II)
6	BOOK 745, PAGE 286: 20' SEWER EASEMENT
7	RECEPTION NO. 673610, RECEPTION NO. 705975, RECEPTION NO. 789275: SEWER EASEMENT
8	RECEPTION NO.s 673610 & 705975: SEWER EASEMENT RELOCATION AREA
9	RECEPTION NO. 789275: SEWER ENCROACHMENT AREA
0	RECEPTION NO. 678035: FIRE SEPARATION EASEMENT
1	RECEPTION NO. 692162: SKI EASEMENT
2	RECEPTION NO. 693153: WATER MAINS EASEMENT
23	RECEPTION NO. 699297, RECEPTION NO. 749729, RECEPTION NO. 702319, RECEPTION NO. 713742:
3 4	PUBLIC IMPROVEMENTS EASEMENT (HATCHED) CANOPY EASEMENT
5	RECEPTION NO. 699720: SEWER MAINS EASEMENT
_	
6	RECEPTION NO. 699721: WATER MAINS EASEMENT RECEPTION NO. 718939, RECEPTION NO. 733617: PUBLIC IMPROVEMENTS EASEMENT (LITTLE P
7	EASEMENT)
8	RECEPTION NO. 728342: ACCESS AND LANDSCAPE EASEMENT
9	BOOK 583, PAGE 238 & RECEPTION NO. 693278: ACCESS EASEMENT (1ST AMENDMENT EAST HOTEL ACCESS)
0	RECEPTION NO. 699296: STORM SEWER & ACCESS AND MAINTENANCE EASEMENT
1	RECEPTION NO. 693152: SANITARY SEWER EASEMENT
2	RECEPTION NO. 817314: ELECTRIC EASEMENT
3	RECEPTION NO. 817316: GAS EASEMENT
4	BOOK 532, PAGE 756: TELEPHONE EASEMENT
5	BOOK 601, PAGE 648: 10' BICYCLE AND PEDESTRIAN EASEMENT
6	RECEPTION NO. 789276: DECK EASEMENT AGREEMENT
7	BOOK 629, PAGE 832: PEDESTRIAN ACCESS EASEMENT
8	BOOK 532, PAGE 820, BOOK 532, PAGE 774: 10' SANITARY SEWER EASEMENT
9	BOOK 760, PAGE 976: BUILDING ENCROACHMENT EASEMENT
0	RECEPTION NO. 513746 (FILE NO. 12770); RECEPTION NO. 307130 (FILE NO. 8823): STORM SEWER
	EASEMENT BOOK 532, PAGE 758: 16' TELEPHONE EASEMENT
12	BOOK 596, PAGE 1611: EXCLUSIVE PARKING SPACES; ENTRANCE FROM ACCESS ROUTE NO. 1;
	ENTRANCE FROM ACCESS ROUTE NO.2; VEHICULAR AND PEDESTRIAN INGRESS AND EGRESS ACCESS EASEMENT (ACCESS ROUTE 2); STORAGE, CLOSET, ELEVATOR & STAIRWAY
3	BOOK 532, PAGE 774: 10' ELECTRIC EASEMENT
4	BOOK 729, PAGE 342: HOTEL ACCESS EASEMENT
6	BOOK 559, PAGE 98: TRUCK TURNAROUND LICENSE AGREEMENT
7	RECEPTION NO. 693288: INTERFACE EASEMENT
8	RECEPTION NO. 693289: NO BUILD EASEMENT
9	BOOK 596, PAGE 1487, EX A: BUILDING IMPROVEMENT EASEMENT
0	RECEPTION NO. 600980: AERIAL TRAMWAY EASEMENT
1	RECEPTION NO. 680175: SHORING EASEMENT AGREEMENT
_	RECEPTION NO. 596269: GONDOLA EXPANSION EASEMENT
2	(MULTIPLE EXHIBITS), GONDOLA SQUARE ACCESS EASEMENT, WEST SIDE DRAINAGE EASEMENT, ETC.
3	RECEPTION NO. 693283: PEDESTRIAN ACCESS EASEMENT OSP
5	RECEPTION NO. 693285: PATIO EASEMENT, DOORWAY EASEMENT, ENTRY EASEMENTS
6	RECEPTION NO. 693280: SANITARY SEWER EASEMENT
7	RECEPTION NO. 693283: EMERGENCY ACCESS EASEMENT OSP
8	RECEPTION NO. 693290: SKI AREA EASEMENT, STORM SEWER & DRAINAGE EASEMENT,
9	RECIPROCAL UTILITY EASEMENT, GONDOLA SQUARE ACCESS EASEMENT RECEPTION NO. 693016, BOOK 729, PAGE 338: AGREEMENT (ACCESS TO EASTERN SIDE
_	OF HOTEL
0	
1	RECEPTION NO. 600979: ACCESS EASEMENT
2	BOOK 596, PAGE 1487, EX C-7: WALKWAY EASEMENT
3	RECEPTION NO. 596269, BOOK 596, PAGE 1487, EX C-8 AND C-9: STORM SEWER LINE EASEMENT AND STORM LINE EASEMENT
<u>~</u>	BOOK 358, PAGE 473: PRIVATE RIGHT-OF-WAY
_	RECEPTION NO. 661066: OSP EASEMENT AREA
4	
<u>4</u> 5	RECEPTION NO. 693018; RIGHT OF WAY EASEMENT (FLECTRIC)
4 5 6	RECEPTION NO. 693018: RIGHT OF WAY EASEMENT (ELECTRIC)
4 5 6 7	RECEPTION NO. 693279: SNOWMAKING LINE EASEMENT
55 56 57 58	RECEPTION NO. 693279: SNOWMAKING LINE EASEMENT BOOK 583, PAGE 238: 30' ACCESS EASEMENT
4 5 6 7 8	RECEPTION NO. 693279: SNOWMAKING LINE EASEMENT BOOK 583, PAGE 238: 30' ACCESS EASEMENT BOOK 519, PAGE 577: 10' TELEPHONE EASEMENT
	RECEPTION NO. 693279: SNOWMAKING LINE EASEMENT BOOK 583, PAGE 238: 30' ACCESS EASEMENT
10 134 135 136 137 138 139 10 11	RECEPTION NO. 693279: SNOWMAKING LINE EASEMENT BOOK 583, PAGE 238: 30' ACCESS EASEMENT BOOK 519, PAGE 577: 10' TELEPHONE EASEMENT BOOK 729, PAGE 343: HOTEL BRIDGE ACCESS, PEDESTRIAN AND EMERGENCY AND

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SSRC | BASE AREA PLAZA Improvements

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Description

DEVELOPED EXISTING PROPERTY EXHIBIT

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C.004

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