ALL CONSTRUCTION SHALL CONFORM TO THE 2021 INTERNATIONAL RESIDENTIAL CODE (INCLUDING APPENDIX CHAPTERS E & Q.) AND STANDARDS AS ADOPTED AND/OR AMENDED BY THE ROUTT COUNTY REGIONAL BUILDING DEPARTMENT AND THE FOLLOWING: 023 NATIONAL ELECTRICAL CODE (NEC) (2018 IRC SPECIFICATIONS ARE NOTED) LOCAL UTILITY REGULATIONS APPLICABLE PROTECTIVE COVENANTS OF THE SUBDIVISION

HOUSE BILL 03-1221 (SEE ATTACHED REQUIREMENTS ON THIS SHEET) ALL WORK EXECUTED IN ANY PUBLIC RIGHT-OF-WAY OR ON PUBLIC PROPERTY SHALL BE COMPLETED ACCORDING TO THE SPECIFICATIONS AND

2021 INTERNATIONAL BUILDING CODE (IBC) CODE REVIEW: R302.2 TOWNHOUSES WALLS SEPARATING TOWNHOUSE UNITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION R302.2.1 OR R302.2.2 AND SHALL COMPLY WITH R311.8.1 MAXIMUM SLOPE

COMMON WALLS SEPARATING TOWNHOUSE UNITS SHALL BE ASSIGNED A FIRE-RESISTANCE RATING IN ACCORDANCE WITH ITEM 1 OR 2 AND SHALL BE RATED FOR FIRE EXPOSURE FROM BOTH SIDES, COMMON WALLS SHALL EXTEND TO AND BE TIGHT AGAINST THE EXTERIOR SHEATHING OF THE
EXTERIOR MALLS, OR THE INSIDE FACE OF EXTERIOR MALLS MITHOUT STUD CAVITIES, AND THE UNDERSIDE OF THE ROOF SHEATHING, THE COMMON
MALL SHARED BY TWO TOWNHOUSE UNITS SHALL BE CONSTRUCTED MITHOUT PLUMBING OR MECHANICAL EQUIPMENT, DUCTS OR VENTS, OTHER THAN
R\$11.9.3 HANDRAILS REQUIRED MATER-FILLED FIRE SPRINKLER PIPING IN THE CAVITY OF THE COMMON MALL. ELECTRICAL INSTALLATIONS SHALL BE IN ACCORDANCE WITH CHAPTERS 34 THROUGH 43, PENETRATIONS OF THE MEMBRANE OF COMMON MALLS FOR ELECTRICAL OUTLET BOXES SHALL BE IN ACCORDANCE WITH SECTION 23.00.000. WHERE AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION P2904 IS PROVIDED, THE COMMON WALL SHALL BE NOT LESS THAN A 1-HOUR FIRE-RESISTANCE-RATED WALL ASSEMBLY TESTED IN ACCORDANCE WITH ASTM E119, UL 263 OR SECTION 103.22 OF THE INTERNATIONAL BUILDING CODE. BUILDING CODE.

EXCEPTION: COMMON WALLS ARE PERMITTED TO EXTEND TO AND BE TIGHT AGAINST THE INSIDE OF THE EXTERIOR WALLS IF THE CAVITY BETWEEN THE

R311.8.3.2 GRIP SIZE END OF THE COMMON WALL AND THE EXTERIOR SHEATHING IS FILLED WITH A MINIMUM OF TWO 2-INCH NOMINAL THICKNESS WOOD STUDS.

R302.2.3 CONTINUITY THE FIRE-RESISTANCE-RATED WALL OR ASSEMBLY SEPARATING TOWNHOUSE UNITS SHALL BE CONTINUOUS FROM THE FOUNDATION TO THE UNDERSIDE OF THE ROOF SHEATHING, DECK OR SLAB. THE FIRE-RESISTANCE RATING SHALL EXTEND THE FULL LENGTH OF THE MALL OR ASSEMBLY, INCLUDING MALL EXTENSIONS THROUGH AND SEPARATING ATTACHED ENCLOSED ACCESSORY STRUCTURES.

R302.2.6 STRUCTURAL INDEPENDENCE EACH TOWNHOUSE UNIT SHALL BE STRUCTURALLY INDEPENDENT.

EXCEPTIONS:
FOUNDATIONS SUPPORTING EXTERIOR WALLS OR COMMON WALLS. STRUCTURAL ROOF AND WALL SHEATHING FROM EACH UNIT FASTENED TO THE COMMON WALL FRAMING, NONSTRUCTURAL WALL AND ROOF COVERINGS. FLASHING AT TERMINATION OF ROOF COVERING OVER COMMON WALL.
TOWNHOUSE UNITS SEPARATED BY A COMMON WALL AS PROVIDED IN SECTION R302.2.2, ITEM 1 OR 2. TOWNHOUSE UNITS PROTECTED BY A FIRE SPRINKLER SYSTEM COMPLYING WITH SECTION P2904 OR NFPA 13D.

R303.10 REQUIRED HEATING WHERE THE MINTER DESIGN TEMPERATURE IN TABLE R301.2 IS BELOM 60°F (16°C), EVERY DMELLING UNIT SHALL BE PROVIDED MITH HEATING FACILITIES CAPABLE OF MAINTAINING A ROOM TEMPERATURE OF NOT LESS THAN 66°F (20°C) AT A POINT 3 FEET (914 MM) ABOVE THE FLOOR AND 2 FEET (610 MM) FROM EXTERIOR MALLS IN HABITABLE ROOMS AT THE DESIGN TEMPERATURE. THE INSTALLATION OF ONE OR MORE PORTABLE SPACE HEATERS SHALL NOT BE USED TO ACHIEVE COMPLIANCE WITH THIS SECTION. R310.1 EMERGENCY ESCAPE AND RESCUE OPENING REQUIRED

BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESCUE

OPENING, WHERE BASEMENTS CONTAIN ONE OR MORE SLEEPING ROOMS, AN EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE REQUIRED IN EACH
SLEEPING ROOM, EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY, OR TO A YARD OR COURT HAVING A MINIMUM
WINDOWS OR DOORS, OR THE ADDITION OF A PORCH OR DECK.
INSTALLATION, ALTERATION OR REPAIRS OF PLUMBING OR MECHANICAL SYSTEMS. STORM SHELTERS AND BASEMENTS USED ONLY TO HOUSE MECHANICAL EQUIPMENT NOT EXCEEDING A TOTAL FLOOR AREA OF 200 SQUARE FEET R3 14.3 LOCATION WHERE THE DWELLING UNIT OR TOWNHOUSE UNIT IS EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION ASEMENTS SHALL NOT BE REQUIRED TO HAVE EMERGENCY ESCAPE AND RESCUE OPENINGS PROVIDED THAT THE '2904, SLEEPING KOOMS IN BASIEMEN IS SHALL NUT DE REQUIREE TO THAT ELISABEL .................................. 3ASEMENT HAS ONE OF THE FOLLOWING: ONE MEANS OF EGRESS COMPLYING WITH SECTION R3 1.1 AND ONE EMERGENCY ESCAPE AND RESCUE OPENING. TWO MEANS OF EGRESS COMPLYING WITH SECTION R311. A YARD SHALL NOT BE REQUIRED TO OPEN DIRECTLY INTO A PUBLIC WAY WHERE THE YARD OPENS TO AN UNOBSTRUCTED PATH FROM THE YARD TO THE PUBLIC WAY, SUCH PATH SHALL HAVE A WIDTH OF NOT LESS THAN 36 INCHES (914 MM).

R3 10.1.1 OPERATIONAL CONSTRAINTS AND OPENING CONTROL DEVICES MERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM MITHOUT THE USE OF KEYS, TOOLS OR SPECIAL WINDOWS SERVING AS A REQUIRED EMERGENCY ESCAPE AND RESCUE OPENING AND SHALL BE NOT MORE THAN TO INCHES (1178 CM) ABOVE THE R314.3.1 INSTALLATION NEAR COOKING APPLIANCES R3 10.2 EMERGENCY ESCAPE AND RESCUE OPENINGS EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE MINIMUM DIMENSIONS IN ACCORDANCE WITH SECTIONS R3 10.2.1 THROUGH R3 10.2.4.

EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.1 SQUARE FEET (0.530 M2).

EXCEPTION: THE MINIMUM NET CLEAR OPENING FOR GRADE-FLOOR EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE 5 SQUARE FEET (0.465 M2).

COOKING APPLIANCE. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES (610 MM). THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20 SECTION R315 CARBON MONOXIDE ALARMS R310.2.3 MAXIMUM HEIGHT FROM FLOOR

EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES (1118 MM) ABOVE R311.1 MEANS OF EGRESS DWELLINGS SHALL BE PROVIDED WITH A MEANS OF EGRESS IN ACCORDANCE WITH THIS SECTION. THE MEANS OF EGRESS SHALL PROVIDE A

CONTINUOUS AND UNOBSTRUCTED PATH OF VERTICAL AND HORIZONTAL EGRESS TRAYEL FROM ALL PORTIONS OF THE DWELLING TO THE REQUIRED

EGRESS DOOR WITHOUT REQUIRING TRAYEL THROUGH A GARAGE. THE REQUIRED EGRESS DOOR SHALL OPEN DIRECTLY INTO A PUBLIC WAY OR TO A

VARDOR OF CONTINUOUS DESIGNATION OF THE PROVIDE ALL APMS OF THE P

YARD OR COURT THAT OPENS TO A PUBLIC WAY. NOT LESS THAN ONE EGRESS DOOR SHALL BE PROVIDED FOR EACH DWELLING UNIT. THE EGRESS DOOR SHALL BE SIDE-HINGED, AND SHALL PROVIDE A
CLEAR WIDTH OF NOT LESS THAN 32 (NCHES) (8 13 MM) WHERE MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90
DEGREES (1.51 RAD). THE CLEAR HEIGHT OF THE DOOR OPENING SHALL BE NOT LESS THAN 18 INCHES (1481 MM) IN HEIGHT MEASURED FROM THE TOT
OF THE THRESHOLD TO THE BOTTOM OF THE STOP, CHER DOORS SHALL NOT BE REQUIRED TO COMPLY WITH THESE MINIMUM DIMENSIONS, EGRESS

THE DWELLING UNIT AS AN ATTACHED GARAGE WITH AN OPENING THAT COMMUNICATES WITH THE DWELLING UNIT. NOT LESS THAN ONE EGRESS DOOR SHALL BE PROVIDED FOR EACH DWELLING UNIT. THE EGRESS DOOR SHALL BE SIDE-HINGED, AND SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32 INCHES (813 MM) WHERE MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90 DOORS SHALL BE READILY OPENABLE FROM INSIDE THE DWELLING WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.

THE WIDTH OF A HALLWAY SHALL BE NOT LESS THAN 3 FEET (914 MM). R311.7 STAIRWAYS WHERE REQUIRED BY THIS CODE OR PROVIDED, STAIRWAYS SHALL COMPLY WITH THIS SECTION.

EXCEPTIONS: STAIRMAYS NOT MITHIN OR SERVING A BUILDING, PORCH OR DECK.

STAIRMAYS LEADING TO CRAWL SPACES. STAIRWAYS SHALL BE NOT LESS THAN 36 INCHES (914 MM) IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQUIRED HEADROOM HEIGHT. THE CLEAR WIDTH OF STAIRWAYS AT AND BELOW THE HANDRAIL HEIGHT, INCLUDING TREADS AND LANDINGS, SHALL BE OT LESS THAN 311/2 INCHES (787 MM) WHERE A HANDRAIL IS INSTALLED ON ONE SIDE AND 27 INCHES (698 MM) WHERE HANDRAILS ARE INSTALLED IN BOTH SIDES. EXCEPTION: THE WIDTH OF SPIRAL STAIRWAYS SHALL BE IN ACCORDANCE WITH SECTION R3 1 1.7.10.1.

THE HEADROOM IN STAIRMAYS SHALL BE NOT LESS THAN 6 FEET & INCHES (2032 MM) MEASURED VERTICALLY FROM THE SLOPED LINE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM ON THAT PORTION OF THE STAIRMAY. EXCEPTIONS:
WHERE THE NOSINGS OF TREADS AT THE SIDE OF A FLIGHT EXTEND UNDER THE EDGE OF A FLOOR OPENING THROUGH WHICH THE STAIR PASSES, THE FLOOR OPENING SHALL NOT PROJECT HORIZONTALLY INTO THE REQUIRED HEADROOM MORE THAN 43/4 INCHES (121 MM). THE HEADROOM FOR SPIRAL STAIRWAYS SHALL BE IN ACCORDANCE WITH SECTION R311.7.10.1. R3 1 1.7.3 VERTICAL RISE

A FLIGHT OF STAIRS SHALL NOT HAVE A VERTICAL RISE GREATER THAN 12 FEET 7 INCHES (3835 MM) BETWEEN FLOOR LEVELS OR LANDINGS. R3 1 1.7.5 STAIR TREADS AND RISERS
STAIR TREADS AND RISERS SHALL MEET THE REQUIREMENTS OF THIS SECTION. FOR THE PURPOSES OF THIS SECTION, DIMENSIONS AND DIMENSIONED SURFACES SHALL BE EXCLUSIVE OF CARPETS, RUGS OR RUNNERS.

THE RISER HEIGHT SHALL BE NOT MORE THAN 13/4 INCHES (196 MM). THE RISER HEIGHT SHALL BE MEASURED VERTICALLY BETWEEN LEADING EDGES OF THE ADJACENT TREADS. THE GREATEST RISER HEIGHT NITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/6 INCH (9,5 MM). RISERS SHALL NOT BE VERTICAL OR SLOPED FROM THE UNDERSIDE OF THE NOSING OF THE TREAD ABOVE AT AN ANGLE NOT MORE THAN 3/0 DEGREES (0.5 1 RAD) FROM THE VERTICAL AT OPEN RISERS, OPENINGS LOCATED MORE THAN 30 INCHES (162 MM), AS MEASURED VERTICALLY, TO THE LOOR OR GRADE BELOW SHALL NOT PERMIT THE PASSAGE OF A 4-INCH-DIAMETER (102 MM) SPHERE. OPENING BETWEEN ADJACENT TREADS IS NOT LIMITED ON SPIRAL STAIRWAYS. THE RISER HEIGHT OF SPIRAL STAIRWAYS SHALL BE IN ACCORDANCE WITH SECTION R311.7.10.1

R311.7.5.2 TREADS THE TREAD DEPTH SHALL BE NOT LESS THAN 10 INCHES (254 MM). THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREAD'S LEADING EDGE. THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/0 INCH (9.5 MM).

MINDER TREADS SHALL HAVE A TREAD DEPTH OF NOT LESS THAN 10 INCHES (254 MM) MEASURED BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AT THE INTERSECTIONS WITH THE WALKLINE. WINDER TREADS SHALL HAVE A TREAD DEPTH OF NOT LESS THAN 6 INCHES (152 MM) AT ANY POINT WITHIN THE CLEAR WIDTH OF THE STAIR, WITHIN ANY FLIGHT OF STAIRS, THE LARGEST WINDER TREAD IEPTH AT THE WALKLINE SHALL NOT EXCEED THE SMALLEST WINDER TREAD BY MORE THAN 3/8 INCH (9.5 MM). CONSISTENTLY SHAPED WINDERS AT HE WALKLINE SHALL BE ALLOWED WITHIN THE SAME FLIGHT OF STAIRS AS RECTANGULAR TREADS AND SHALL NOT BE REQUIRED TO BE WITHIN 3/8 INCH (9.5 MM) OF THE RECTANGULAR TREAD DEPTH.

EXCEPTION: THE TREAD DEPTH AT SPIRAL STAIRWAYS SHALL BE IN ACCORDANCE WITH SECTION R3 1 1.7.10.1.

NOSINGS AT TREADS, LANDINGS AND FLOORS OF STAIRWAYS SHALL HAVE A RADIUS OF CURVATURE AT THE NOSING NOT GREATER THAN 9/16 INCH
(14 MM) OR A BEVEL NOT GREATER THAN 1/2 INCH (12.7 MM). A NOSING PROJECTION NOT LESS THAN 3/4 INCH (19 MM) AND NOT MORE THAN 11/4
INCHES (32 MM) SHALL BE PROVIDED ON STAIRWAYS. THE GREATEST NOSING PROJECTION SHALL NOT EXCEED THE SMALLEST NOSING PROJECTION BY
MORE THAN 3/5 INCH (9.5 MM) (MITHIN A STAIRWAY).
EXCEPTION: A NOSING PROJECTION IS NOT REQUIRED WHERE THE TREAD DEPTH IS NOT LESS THAN 11 INCHES (279 MM). R311.7.6 LANDINGS FOR STAIRWAYS SHALL BE NOT LESS THAN THE WIDTH OF THE FLIGHT SERVED. FOR LANDINGS OF SHAPES OTHER THAN SQUARE OR RECTANGULAR, THE DEPTH AT THE MALK LINE AND THE TOTAL AREA SHALL BE NOT LESS THAN THAT OF A QUARTER CIRCLE WITH A RADIUS EQUAL TO THE REQUIRED LANDING WIDTH.

WHERE THE STAIRMAY HAS A STRAIGHT RUN, THE DEPTH IN THE DIRECTION OF TRAVEL SHALL BE NOT LESS THAN 36 INCHES (914 MM). EXCEPTION: A FLOOR OR LANDING IS NOT REQUIRED AT THE TOP OF AN INTERIOR FLIGHT OF STAIRS, INCLUDING STAIRS IN AN ENCLOSED GARAGE, PROVIDED THAT A DOOR DOES NOT SWING OVER THE STAIRS. THE WALKING SURFACE OF TREADS AND LANDINGS OF STAIRWAYS SHALL BE SLOPED NOT STEEPER THAN 1 UNIT VERTICAL IN 48 UNITS HORIZONTAL (2-PERCENT SLOPE).

EXCEPTION: WHERE THE SURFACE OF A LANDING IS REQUIRED ELSEWHERE IN THE CODE TO DRAIN SURFACE MATER, THE WALKING SURFACE OF THE LANDING SHALL BE SLOPED NOT STEEPER THAN 1 UNIT VERTICAL IN 20 UNITS HORIZONTAL (5-PERCENT SLOPE) IN THE DIRECTION OF TRAVEL. R311.7.8 HANDRAILS HANDRAILS SHALL BE PROVIDED ON NOT LESS THAN ONE SIDE OF EACH FLIGHT OF STAIRS WITH FOUR OR MORE RISERS.

EXCEPTIONS:
THE USE OF A VOLUTE, TURNOUT OR STARTING EASING SHALL BE ALLOWED OVER THE LOWEST TREAD.
WHERE HANDRAIL FITTINGS OR BENDINGS ARE USED TO PROVIDE CONTINUOUS TRANSITION BETWEEN FLIGHTS, TRANSITIONS AT WINDER TREADS, THE
TRANSITION FROM HANDRAIL TO GUARD, OR USED AT THE START OF A FLIGHT, THE HANDRAIL HEIGHT AT THE FITTINGS OR BENDINGS SHALL BE R3 1 1.7.8.2 HANDRAIL PROJECTION

HANDRAILS SHALL NOT PROJECT MORE THAN 41/2 INCHES (114 MM) ON EITHER SIDE OF THE STAIRMAY.

EXCEPTION: WHERE NOSINGS OF LANDINGS, FLOORS OR PASSING FLIGHTS PROJECT INTO THE STAIRMAY REDUCING THE CLEARANCE AT PASSING HANDRAILS, HANDRAILS SHALL PROJECT NOT MORE THAN 61/2 INCHES (165 MM) INTO THE STAIRWAY, PROVIDED THAT THE STAIR WIDTH AND HANDRAIL CLEARANCE ARE NOT REDUCED TO LESS THAN THAT REQUIRED. R311.7.8.3 HANDRAIL CLEARANCE HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 11/2 INCHES (38 MM) BETWEEN THE WALL AND THE HANDRAILS.

R311.7.8.4 CONTINUITY HANDRAILS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT, FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LONEST RISER OF THE FLIGHT. HANDRAIL ENDS SHALL BE RETURNED TOWARD A WALL, GUARD WALKING SURFACE CONTINUOUS TO ITSELF, OR TERMINATE TO A POST.

HANDRAIL CONTINUITY SHALL BE PERMITTED TO BE INTERRUPTED BY A NEWEL POST AT A TURN IN A FLIGHT MITH MINDERS, AT A LANDING, OR OVER THE A VOLUTE, TURNOUT OR STARTING EASING SHALL BE ALLOWED TO TERMINATE OVER THE LOWEST TREAD AND OVER THE TOP LANDING.

HANDRAIL HEIGHT, MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING, OR FINISH SURFACE OF RAMP SLOPE, SHALL BE

REQUIRED HANDRAILS SHALL BE OF ONE OF THE FOLLOWING TYPES OR PROVIDE EQUIVALENT GRASPABILITY. TYPE I HANDRAILS WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF NOT LESS THAN 11/4 INCHES (32 MM) AND NOT GREATER
THAN 2 INCHES (51 MM). IF THE HANDRAIL IS NOT CIRCULAR, IT SHALL HAVE A PERIMETER OF NOT LESS THAN 4 INCHES (102 MM) AND NOT GREATER
THAN 61/4 INCHES (160 MM) AND A CROSS SECTION OF NOT MORE THAN 21/4 INCHES (57 MM). EDGES SHALL HAVE A RADIUS OF NOT LESS THAN 0.01 22 (1117). HANDRAILS WITH A PERIMETER GREATER THAN 61/4 INCHES (160 MM) SHALL HAVE A GRASPABLE FINGER RECESS AREA ON BOTH SIDES OF TYPE IL HANDRALLS MITH A PERIMETER SERATER THAN \$1/4 INCHES (160 MM) SHALL HAYE A GRASPABLE FINGER RECESS AREA ON BOTH SIDES OF THE PROFILE. THE FINGER RECESS SHALL BESIN WITHIN 3/4 INCH (19 MM) MEASURED VERTICALLY FROM THE TALLEST PORTION OF THE PROFILE AND HAVE A DEPTH OF NOT LESS THAN 5/16 INCH (6 MM) WITHIN 1/6 INCH (22 MM) BELOW THE WIDEST PORTION OF THE PROFILE. THIS REQUIRED DEPTH SHALL CONTINUE FOR NOT LESS THAN 3/6 INCH (10 MM) TO A LEVEL THAT IS NOT LESS THAN 13/4 INCHES (45 MM) BELOW THE TALLEST PORTION OF THE PROFILE. THE WIDTH OF THE HANDRAIL ABOVE THE RECESS SHALL BE NOT LESS THAN 11/4 INCHES (32 MM) AND NOT MORE THAN 23/4 INCHES (10 MM). EDGES SHALL HAVE A RADIUS OF NOT LESS THAN 0.01 INCH (0.25 MM).

MHERE REQUIRED BY THIS CODE OR PROVIDED, RAMPS SHALL COMPLY MITH THIS SECTION. EXCEPTION: RAMPS NOT MITHIN OR SERVING A BUILDING, PORCH OR DECK.

HANDRAILS ON RAMPS SHALL COMPLY WITH SECTION R3 1 1.7.8.5.

SECTION R314 SMOKE ALARMS

R314.1 GENERAL

R302.2.1 DOUBLE WALLS

R302.2.1 DOUBLE WALLS

EACH TOWNHOUSE UNIT SHALL BE SEPARATED FROM OTHER TOWNHOUSE UNITS BY TWO 1-HOUR FIRE-RESISTANCE-RATED WALL ASSEMBLIES TESTED IN ACCORDANCE WITH ASTM E 119, UL 263 OR SECTION 103.2.2 OF THE INTERNATIONAL BUILDING CODE.

THERE SHALL BE A FLOOR OR LANDING AT THE TOP AND BOTTOM OF EACH RAMP, WHERE DOORS OPEN ONTO RAMPS, AND WHERE RAMPS CHANGE DIRECTIONS. THE WIDTH OF THE LANDING PERPENDICULAR TO THE RAMP SLOPE SHALL BE NOT LESS THAN THE WIDTH OF THE RAMP. THE DEPTH OF THE LANDING IN THE DIRECTION OF THE RAMP SLOPE SHALL BE NOT LESS THAN 36 INCHES (9.14 MM).

HANDRAILS SHALL BE PROVIDED ON NOT LESS THAN ONE SIDE OF RAMPS EXCEEDING A SLOPE OF 1 UNIT VERTICAL IN 12 UNITS HORIZONTAL (8.33-DUILDING CODE.

WHERE AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION P2904 IS NOT PROVIDED, THE COMMON WALL SHALL BE NOT LESS THAN A

HANDRAIL HEIGHT, MEASURED ABOVE THE FINISHED SURFACE OF THE RAMP SLOPE, SHALL BE NOT LESS THAN 34 INCHES (864 MM) AND NOT MORE
2-HOUR FIRE-RESISTANCE-RATED WALL ASSEMBLY TESTED IN ACCORDANCE WITH ASTM E119, UL 263 OR SECTION 103.2.2 OF THE INTERNATIONAL

THAN 38 INCHES (965 MM).

> R3 1 1.8.3.3 CONTINUITY .5 WHERE REQUIRED ON RAMPS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE RAMP, HANDRAIL ENDS SHALL BE RETURNED OR SHAL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS, HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 11/2 INCHES (38 MM) BETWEEN THE WALL AND THE HANDRAILS.

SMOKE ALARMS SHALL COMPLY WITH NFPA 72 AND SECTION R314. SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217. COMBINATION SMOKE AND CARBON MONOXIDE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217 AND UL 2034. R314.2 WHERE REQUIRED

SMOKE ALARMS SHALL BE PROVIDED IN ACCORDANCE WITH THIS SECTION. R3 14.2.1 NEW CONSTRUCTION SMOKE ALARMS SHALL BE PROVIDED IN DWELLING UNITS.

R314.2.2 ALTERATIONS REPAIRS AND ADDITIONS WHERE ALTERATIONS, REPAIRS OR ADDITIONS REQUIRING A PERMIT OCCUR, THE INDIVIDUAL DIVELLING UNIT SHALL BE EQUIPPED MITH SMOKE ALARMS LOCATED AS REQUIRED FOR NEW DWELLINGS.

SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: JTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.

DUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.

NEACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS AND NOT INCLUDING CRAWL SPACES AND

NINHABITABLE ATTICS, IN DWELLINGS OR DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS AND NOT INCLUDING CRAWL SPACES AND

NINHABITABLE ATTICS, IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A

MOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN

OF LESS THAN 3 FEET (414 MM) HORIZONTALLY FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER UNLESS

HIS WOULD PREVENT PLACEMENT OF A SMOKE ALARM REQUIRED BY THIS SECTION.

IT HE HALLMAY AND IN THE ROOM OPEN TO THE HALLMAY IN DWELLINGS WINTS WHERE THE CEILING HEIGHT OF A ROOM OPEN TO A HALLWAY SHO IN THE HALLMAY TO THE HALL WAY IN DWELLINGS WINTS WHERE THE CEILING HEIGHT OF A ROOM OPEN TO A HALLWAY SHO IN THE FROM OPEN TO THE HALLWAY IN DWELLING WINTS WHERE THE CEILING HEIGHT OF A ROOM OPEN TO A HALLWAY SHO IN THE ROOM OPEN TO THE HALLWAY IN DWELLING WINTS WHERE THE CEILING HEIGHT OF A ROOM OPEN TO A HALLWAY SHO IN THE ROOM OPEN TO THE HALLWAY IN DWELLING WINTS WHERE THE CEILING HEIGHT OF A ROOM OPEN TO A HALLWAY SHO IN THE ROOM OPEN TO THE HALLWAY IN DWELLING WINTS WHERE THE CEILING HEIGHT OF A ROOM OPEN TO A HALLWAY SHO IN THE ROOM OPEN TO THE HALLWAY IN DWELLING WINTS WHERE THE CEILING HEIGHT OF A ROOM OPEN TO A HALLWAY SHO IN THE ROOM OPEN TO THE HALLWAY IN DWELLING WINTS WHERE THE CEILING HEIGHT OF A ROOM OPEN TO A HALLWAY SHO IN THE ROOM OPEN TO THE HALLWAY IN DWELLING WINTS WHERE THE CEILING FACES SHALL BE LORGESTIME PRAKING FACILITY. HE PARKING FACILITY HE ACCESSIBLE PARKING SPACES SHALL BE DEFERMENCE TO AN ACCESSIBLE PARKING SPACES SHALL BE LORGESTIME PARKING FACILITY HE ACCESSIBLE PARKING SPACES SHALL BE LORGESTIME PARKING SPACES SHALL BE LORGESTIME PARKING SPACES SHALL BE LORGESTIME PARKING SPACES SHALL BE L BEDROOMS EXCEEDS THAT OF THE HALLWAY BY 24 INCHES (610 MM) OR MORE.

SMOKE ALARMS SHALL NOT BE INSTALLED IN THE FOLLOWING LOCATIONS UNLESS THIS WOULD PREVENT PLACEMENT OF A SMOKE ALARM IN A LOCATION REQUIRED BY SECTION R3 14.3. IONIZATION SMOKE ALARMS SHALL NOT BE INSTALLED LESS THAN 20 FEET (6096 MM) HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIANCE. N SMOKE ALARMS WITH AN ALARM-SILENCING SWITCH SHALL NOT BE INSTALLED LESS THAN 10 FEET (3048 MM) HORIZONTALLY FROM A OTOELECTRIC SMOKE ALARMS SHALL NOT BE INSTALLED LESS THAN 6 FEET (1828 MM) HORIZONTALLY FROM A PERMANENTLY INSTALLED SMOKE ALARMS LISTED AND MARKED 'HELPS REDUCE COOKING NUISANCE ALARMS' SHALL NOT BE INSTALLED LESS THAN 6 FEET (1828 MM)
HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIANCE.

R315.1 GENERAL CARBON MONOXIDE ALARMS SHALL COMPLY WITH SECTION R315. R3 15.1.1 LISTINGS CARBON MONOXIDE ALARMS SHALL BE LISTED IN ACCORDANCE WITH JIL 2034 COMBINATION CARBON MONOXIDE AND SMOKE ALARMS SHALL BE

CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS R315.2.1 AND R315.2.2.

CARBON MONOXIDE ALARMS IN DWELLING UNITS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, WHERE A FUEL-BURNING APPLIANCE IS LOCATED MITHIN A BEDROOM OR ITS ATTACHED BATHROOM, A CARBON MONOXIDE ALARM SHALL SECTION R3 19 SITE ADDRESS

R3 19.1 ADDRESS IDENTIFICATION BUILDINGS SHALL BE PROVIDED WITH APPROVED ADDRESS IDENTIFICATION. THE ADDRESS IDENTIFICATION SHALL BE LEGIBLE AND PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS IDENTIFICATION CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND, ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS, NUMBERS SHALL NOT BE SPELLED OUT. EACH CHARACTER SHALL BE NOT LESS THAN 4 INCHES (102 MM) IN HEIGHT WITH A STROKE WIDTH OF NOT LESS THAN 0.5 INCH (12.7 MM). WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS IDENTIFICATION SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE WHERE ACCESS ID BY MEANS OF A PRIVATE ROAD AND THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE FUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS IDENTIFICATION SHALL BE MAINTAINED. SECTION R320 ACCESSIBILITY

WHERE THERE ARE FOUR OR MORE DWELLING UNITS OR SLEEPING UNITS IN A SINGLE STRUCTURE, THE PROVISIONS OF CHAPTER 11 OF THE INTERNATIONAL BUILDING CODE FOR GROUP R-3 SHALL APPLY.

EXCEPTION: OMNER-OCCUPIED LODGING HOUSES WITH FIVE OR FEMER GUESTROOMS ARE NOT REQUIRED TO BE ACCESSIBLE.

2021 INTERNATIONAL BUILDING CODE (IBC) CODE REVIEW

AT LEAST ONE ACCESSIBLE ROUTE WITHIN THE SITE SHALL BE PROVIDED FROM PUBLIC TRANSPORTATION STOPS, ACCESSIBLE PARKING, ACCESSIBLE PASSENGER LOADING ZONES, AND PUBLIC STREETS OR SIDEMALKS TO THE ACCESSIBLE BUILDING ENTRANCE SERVED. EXCEPTION: OTHER THAN IN BUILDINGS OR FACILITIES CONTAINING OR SERVING TYPE BUNITS, AN ACCESSIBLE ROUTE SHALL NOT BE REQUIRED. BETWEEN SITE ARRIVAL POINTS AND THE BUILDING OR FACILITY ENTRANCE IF THE ONLY MEANS OF ACCESS BETWEEN THEM IS A VEHICULAR MAY NOT

AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDINGS, ACCESSIBLE FACILITIES, ACCESSIBLE ELEMENTS AND ACCESSIBLE SPACES THAT ARE ON THE SAME SITE. EXCEPTIONS: AN ACCESSIBLE ROUTE IS NOT REQUIRED BETWEEN ACCESSIBLE BUILDINGS, ACCESSIBLE FACILITIES, ACCESSIBLE ELEMENTS AND ACCESSIBLE SPACES
THAT HAVE, AS THE ONLY MEANS OF ACCESS BETWEEN THEM, A VEHICULAR WAY NOT PROVIDING FOR PEDESTRIAN ACCESS.
AN ACCESSIBLE ROUTE TO RECREATIONAL FACILITIES SHALL ONLY BE REQUIRED TO THE EXTENT SPECIFIED IN SECTION 1111. 1 104.4 MULTISTORY BUILDINGS AND FACILITIES AT LEAST ONE AGCESSIBLE ROUTE SHALL GONNEGT EACH AGCESSIBLE STORY MEZZANINE AND OGGUPIED ROOFS IN MULTILEVEL BUILDINGS AND

EACETIONS:

AN ACCESSIBLE ROUTE IS NOT REQUIRED TO STORIES, MEZZANINES AND OCCUPIED ROOFS THAT HAVE AN AGGREGATE AREA OF NOT MORE THAN 3,000 SQUARE FEET (278.T M2) AND ARE LOCATED ABOVE AND BELOW ACCESSIBLE LEVELS. THIS EXCEPTION SHALL NOT APPLY TO: MULTIPLE TENANT FACILITIES OF GROUP M OCCUPANCIES CONTAINING FIVE OR MORE TENANT SPACES USED FOR THE SALES OR RENTAL OF GOODS AND WHERE AT LEAST ONE SUCH TENANT SPACE IS LOCATED ON A FLOOR LEVEL ABOVE OR BELOW THE ACCESSIBLE LEVELS.

STORIES OR MEZZANINES CONTAINING OFFICES OF HEALTH CARE PROVIDERS (GROUP B OR I).

WHERE A TWO-STORY BUILDING OR FACILITY HAS ONE STORY OR MEZZANINE WITH AN OCCUPANT LOAD OF FIVE OR FEMER PERSONS THAT DOES NOT CONTAIN PUBLIC USE SPACE, THAT STORY OR MEZZANINE SHALL NOT BE REQUIRED TO BE CONNECTED BY AN ACCESSIBLE ROUTE TO THE STORY 1 105.1.8 DWELLING UNITS AND SLEEPING UNITS AT LEAST ONE ACCESSIBLE ENTRANCE SHALL BE PROVIDED TO EACH DWELLING UNIT AND SLEEPING UNIT IN A FACILITY

SECTION 1106 PARKING AND PASSENGER LOADING FACILITIES PARKING SHALL COMPLY WITH SECTIONS 1106.2 THROUGH 1106.8. PASSENGER LOADING ZONES SHALL COMPLY WITH SECTION 1106.9. 1 106.2 REQUIRED

WHERE PARKING IS PROVIDED, ACCESSIBLE PARKING SPACES SHALL BE PROVIDED IN COMPLIANCE WITH TABLE 1106.2, EXCEPT AS REQUIRED BY SECTIONS 1106.3 THROUGH 1106.5, WHERE MORE THAN ONE PARKING FACILITY IS PROVIDED ON A SITE, THE NUMBER OF PARKING SPACES REQUIRED TO BE ACCESSIBLE SHALL BE CALCULATED SEPARATELY FOR EACH PARKING FACILITY.

EXCEPTION: THIS SECTION DOES NOT APPLY TO PARKING SPACES USED EXCLUSIVELY FOR BUSES, TRUCKS, OTHER DELIVERY VEHICLES, LAW ENFORCEMENT VEHICLES OR VEHICULAR IMPOUND AND MOTOR POOLS WHERE LOTS ACCESSED BY THE PUBLIC ARE PROVIDED WITH AN ACCESSIBLI

1 106.3 GROUPS I-1, R-1, R-2, R-3 AND R-4

FOR EVERY SIX OR FRACTION OF SIX ACCESSIBLE PARKING SPACES, AT LEAST ONE SHALL BE A VAN-ACCESSIBLE PARKING SPACE EXCEPTION: IN GROUP U PRIVATE GARAGES THAT SERVE GROUP R-2 AND R-3 OCCUPANCIES, VAN-ACCESSIBLE SPACES SHALL BE PERMITTED TO HAVE VEHICULAR ROUTES, ENTRANCES, PARKING SPACES AND ACCESS AISLES WITH A MINIMUM VERTICAL CLEARANCE OF 7 FEET (2134 MM). 1 106.7 LOCATION ACCESSIBLE PARKING SPACES SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTE OF TRAVEL FROM ADJACENT PARKING TO AN ACCESSIBL BUILDING ENTRANCE. IN PARKING FACILITIES THAT DO NOT SERVE A PARTICULAR BUILDING, ACCESSIBLE PARKING SPACES SHALL BE LOCATED ON THE SHORTEST ROUTE TO AN ACCESSIBLE PEDESTRIAN ENTRANCE TO THE PARKING FACILITY. WHERE BUILDINGS HAVE MULTIPLE ACCESSIBLE ENTRANCES

ROOMS AND SPACES AVAILABLE TO THE GENERAL PUBLIC OR AVAILABLE FOR USE BY RESIDENTS AND SERVING ACCESSIBLE UNITS, TYPE A UNITS OR TYPE B UNITS SHALL BE ACCESSIBLE. ACCESSIBLE SPACES SHALL INCLUDE TOILET AND BATHING ROOMS, KITCHEN, LIVING AND DINING AREAS AND ANY EXTERIOR SPACES, INCLUDING PATIOS, TERRACES AND BALCONIES. EXCEPTIONS:

EXTERIOR DECKS, PATIOS OR BALCONIES THAT ARE PART OF TYPE B UNITS AND HAVE IMPERVIOUS SURFACES, AND THAT ARE NOT MORE THAN 4 INCHES (102 MM) BELOW THE FINISHED FLOOR LEVEL OF THE ADJACENT INTERIOR SPACE OF THE UNIT.

NOT FEWER THAN ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDING OR FACILITY ENTRANCES MITH THE PRIMARY ENTRANCE OF EACH ACCESSIBLE UNIT, TYPE A UNIT AND TYPE B UNIT MITHIN THE BUILDING OR FACILITY AND MITH THOSE EXTERIOR AND INTERIOR SPACES AND FACILITIES THAT SERVE THE UNITS.

EXCEPTIONS:

IF DUE TO CIRCUMSTANCES OUTSIDE THE CONTROL OF THE OWNER, EITHER THE SLOPE OF THE FINISHED GROUND LEVEL BETWEEN ACCESSIBLE FACILITIES AND BUILDINGS EXCEEDS ONE UNIT VERTICAL. IN 12 UNITS HORIZONTAL (1:12), OR WHERE PHYSICAL BARRIERS OR LEGAL RESTRICTIONS PREVENT THE INSTALLATION OF AN ACCESSIBLE ROUTE, A VEHICULAR ROUTE WITH PARKING THAT COMPLIES WITH SECTION 1106 AT EACH PUBLIC OR COMMON USE FACILITY OR BUILDING IS PERMITTED IN PLACE OF THE ACCESSIBLE ROUTE.

IN GROUP 1-3 FACILITIES, AN ACCESSIBLE ROUTE IS NOT REQUIRED TO CONNECT STORIES OR MEZZANINES WHERE ACCESSIBLE UNITS, ALL COMMON USE AREAS REPLYING ACCESSIBLE ROUTE IS NOT REQUIRED TO CONNECT STORIES OR MEZZANINES WHERE ACCESSIBLE UNITS, ALL COMMON USE AREAS REPLYING ACCESSIBLE UNITS, ALL COMMON USE

1108.6 GROUP R

ACCESSIBLE UNITS TYPE A UNITS AND TYPE B UNITS SHALL BE PROVIDED IN GROUP R OCCUPANCIES IN ACCORDANCE WITH SECTIONS 110861 ACCESSIBLE UNITS AND TYPE B UNITS SHALL BE PROVIDED IN GROUP R-1 OCCUPANCIES IN ACCORDANCE WITH SECTIONS 1108.6.1.1 AND 1108.6.1.2.

ACCESSIBLE UNITS AND SLEEPING UNITS SHALL BE PROVIDED IN ACCORDANCE WITH TABLE 1108.6.1.1. ON A MULTIPLE-BUILDING SITE, WHER STRUCTURES CONTAIN MORE THAN 50 DWELLING UNITS OR SLEEPING UNITS, THE NUMBER OF ACCESSIBLE UNITS SHALL BE DETERMINED PER STRUCTURES ON A MULTIPLE-BUILDING SITE, MHERE STRUCTURES CONTAIN 50 OR FEMER DWELLING UNITS OR SLEEPING UNITS, ALL DWELLING UNITS AND SLEEPING UNITS ON A SITE SHALL BE CONSIDERED TO DETERMINE THE TOTAL NUMBER OF ACCESSIBLE UNITS, ACCESSIBLE UNITS SHALL BE DISPERSED AMONG THE VARIOUS CLASSES OF UNITS.

TABLE 1.106.6.1.1 TABLE 1 108.6.1.1
ACCESSIBLE DWELLING UNITS AND SLEEPING UNITS TOTAL NUMBER OF UNITS PROVIDED MINIMUM REQUIRED NUMBER OF ACCESSIBLE UNITS WITHOUT ROLL-IN SHOWERS MINIMUM REQUIRED NUMBER OF ACCESSIBLE UNITS WITH ROLL-IN SHOWERSTOTAL NUMBER OF REQUIRED ACCESSIBLE UNITS: 1 TO 25 = 1(M/O ROLL-IN SHOWERS)

1 108.6.1.2 TYPE B UNITS

1 108.6.2.3 GROUP R-2 OTHER THAN LIVE/WORK UNITS, APARTMENT HOUSES, MONASTERIES AND CONVENTS

IN GROUP R-2 OCCUPANCIES, OTHER THAN LIVE/WORK UNITS, APARTMENT HOUSES, MONASTERIES AND CONVENTS FALLING WITHIN THE SCOPE OF SECTIONS 11026.2.1 AND 11026.2.2 ACCESSIBLE UNITS AND TYPE B UNITS SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS 11026.2.3.1 AND 11026.2.3.2 EDDROOMS WITHIN CONGREGATE LIVING FACILITIES, DORNITORIES, SORORITIES, FRATERNITIES AND BOARDING HOUSES SHALL BE COUNTED AS SLEEPING UNITS FOR THE PURPOSE OF DETERMINING THE NUMBER OF UNITS. WHERE THE BEDROOMS ARE GROUPED INTO DWELLING OR 1 108.6.2.3.1 ACCESSIBLE UNITS ACCESSIBLE DWELLING UNITS AND SLEEPING UNITS SHALL BE PROVIDED IN ACCORDANCE WITH TABLE 1108.6.1.1.

MHERE THERE ARE FOUR OR MORE DWELLING UNITS OR SLEEPING UNITS INTENDED TO BE OCCUPIED AS A RESIDENCE IN A SINGLE STRUCTURE, EVERY DWELLING UNIT AND EVERY SLEEPING UNIT INTENDED TO BE OCCUPIED AS A RESIDENCE SHALL BE A TYPE B UNIT. EXCEPTION: THE NUMBER OF TYPE B UNITS IS PERMITTED TO BE REDUCED IN ACCORDANCE WITH SECTION 1108.T. 1 108.7.1 STRUCTURES WITHOUT ELEVATOR SERVICE

1 108.7.1.1 ONE STORY WITH TYPE B UNITS REQUIRED AT LEAST ONE STORY CONTAINING DWELLING UNITS OR SLEEPING UNITS INTENDED TO BE OCCUPIED AS A RESIDENCE SHALL BE PROVIDED MITH AN ACCESSIBLE ENTRANCE FROM THE EXTERIOR OF THE STRUCTURE AND ALL UNITS INTENDED TO BE OCCUPIED AS A RESIDENCE ON THAT STORY SHALL BE TYPE B UNITS. 1 108.7.1.2 ADDITIONAL STORIES WITH TYPE B UNITS

WHERE ARRIVAL POINTS ARE NOT WITHIN SO FEET (15 240 MM) OF THE ENTRANCE, THE CLOSEST ARRIVAL POINT SHALL BE USED TO DETERMINE ACCESS UNLESS THAT ARRIVAL POINT SERVES THE STORY REQUIRED BY SECTION 1108.T.1.1. 1 108.7.2 MULTISTORY UNITS

A KITCHEN AND A TOILET FACILITY SHALL BE PROVIDED ON THAT FLOOR. 1112.1 SIGNS REQUIRED ACCESSIBLE ELEMENTS SHALL BE IDENTIFIED BY THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AT THE FOLLOWING LOCATIONS.

ACCESSIBLE PARKING SPACES REQUIRED BY SECTION 1106.3.

EXCEPTION: IN GROUP I-1, R-2, R-3 AND R-4 FACILITIES, WHERE PARKING SPACES ARE ASSIGNED TO SPECIFIC DWELLING UNITS OR SLEEPING UNITS, IDENTIFICATION OF ACCESSIBLE PARKING SPACES IS NOT REQUIRED.

Article 5. Standards for Accessible Housing

STORIES OR MEZZANINES CONTAINING OFFICES OF HEALTH CARE PROVIDERS (GROUP B OR I).
PASSENGER TRANSPORTATION FACILITIES AND AIRPORTS (GROUP A-3 OR B).
GOVERNMENT BUILDINGS.
STRUCTURES MITH FOUR OR MORE DWELLING UNITS.
STORIES, MEZZANINES OR OCCUPIED ROOFS THAT DO NOT CONTAIN ACCESSIBLE ELEMENTS OR OTHER SPACES AS DETERMINED BY SECTION 1108 OR
1109 ARE NOT REQUIRED TO BE SERVED BY AN ACCESSIBLE ROUTE FROM AN ACCESSIBLE LEVEL.
IN AIR TRAFFIC CONTROL TOWERS, AN ACCESSIBLE ROUTE IS NOT REQUIRED TO SERVE THE CAB AND THE FLOOR IMMEDIATELY BELOW THE CAB.
WHERE A TWO\_STORY BUILDING OR SECULITY HAS ONE STORY OF MEZZANINE WITH AN OCCUPANT LOAD OF EIVE OR FEWER DESCONS THAT DOES NOT ICC/ANSI A117.1.

be considered a detached residence. EXCEPTION: AN ACCESSIBLE ENTRANCE IS NOT REQUIRED TO DWELLING UNITS AND SLEEPING UNIT IN A FACILITY.

EXCEPTION: AN ACCESSIBLE ENTRANCE IS NOT REQUIRED TO DWELLING UNITS AND SLEEPING UNITS THAT ARE NOT REQUIRED TO BE ACCESSIBLE UNITS, TYPE A UNITS OR TYPE B UNITS. more than four feet below the exterior finished grade determined at any point along the exposed periphery of the dwelling unit.

ACCESSIBLE PARKING SPACES

TOTAL PARKING SPACES PROVIDED IN PARKING FACILITIES REQUIRED MINIMUM NUMBER OF ACCESSIBLE SPACES

ACCESSIBLE PARKING SPACES SHALL BE PROVIDED IN GROUP I-1, R-1, R-2, R-3 AND R-4 OCCUPANCIES IN ACCORDANCE WITH ITEMS 1 THROUGH 4 AS APPLICABLE.

IN GROUP R-2, R-3 AND R-4 OCCUPANCIES THAT ARE REQUIRED TO HAVE ACCESSIBLE, TYPE A OR TYPE B DWELLING UNITS OR SLEEPING UNITS, AT LEAST 2 PERCENT, BUT NOT LESS THAN ONE, OF EACH TYPE OF PARKING SPACE PROVIDED SHALL BE ACCESSIBLE.

IN GROUP I-1 AND R-1 OCCUPANCIES, ACCESSIBLE PARKING SHALL BE PROVIDED IN ACCORDANCE WITH TABLE 1106.2.

WHERE AT LEAST ONE PARKING SPACE IS PROVIDED FOR EACH DWELLING UNIT OR SLEEPING UNIT, AT LEAST ONE ACCESSIBLE PARKING SPACE SHALL BE PROVIDED FOR EACH ACCESSIBLE AND TYPE A UNIT. WHERE PARKING IS PROVIDED WITHIN OR BENEATH A BUILDING, ACCESSIBLE PARKING SPACES SHALL BE PROVIDED WITHIN OR BENEATH THE BUILDING.

ACCESSIBLE PARKING SPACES SPALE BE PERMITTED TO BE LOCATED IN DIFFERENT PARKING FACILITIES IF SUBSTANTIALLY EQUIVALENT OR ORE;
ACCESSIBILITY IS PROVIDED IN TERMS OF DISTANCE FROM AN ACCESSIBLE ENTRANCE OR ENTRANCES, PARKING FEE AND USER CONVENIENCE.

AREAS SERVING ACCESSIBLE UNITS AND ALL PUBLIC USE AREAS ARE ON AN ACCESSIBLE ROUTE.

IN GROUP R-2 FACILITIES WITH TYPE A UNITS COMPLYING WITH SECTION 1 1006.2.2.1, AN ACCESSIBLE ROUTE IS NOT REQUIRED TO CONNECT STORIES

OR MEZZANNES WHERE TYPE A UNITS, ALL COMMON USE AREAS SERVING TYPE A UNITS AND ALL PUBLIC USE AREAS ARE ON AN ACCESSIBLE ROUTE.

IN OTHER THAN GROUP R-2 DORMITORY HOUSING PROVIDED BY PLACES OF EDUCATION, IN GROUP R-2 FACILITIES WITH ACCESSIBLE UNITS COMPLYING. IN OTHER THAN GROUP R-2 DORMITORY HOUSING PROVIDED BY PLACES OF EDUCATION, IN GROUP R-2 FACILITIES WITH ACCESSIBLE UNITS COMPLYING WITH SECTION 1 108.6 2.3.1, AN ACCESSIBLE ROUTE IS NOT REQUIRED TO CONNECT STORIES OR MEZZANINES WHERE ACCESSIBLE UNITS, ALL COMMON USE AREAS SERVING ACCESSIBLE UNITS AND ALL PUBLIC USE AREAS ARE ON AN ACCESSIBLE ROUTE.

IN GROUP R-1, AN ACCESSIBLE ROUTE IS NOT REQUIRED TO CONNECT STORIES OR MEZZANINES WITHIN INDIVIDUAL UNITS, PROVIDED THE ACCESSIBLE LEVEL MEETS THE PROVISIONS FOR ACCESSIBLE UNITS AND SLEEPING ACCOMMODATIONS FOR TWO PERSONS MINIMUM AND A TOILET FACILITY ARE PROVIDED ON THAT LEVEL.

IN CONGREGATE RESIDENCES IN GROUPS R-3 AND R-4, AN ACCESSIBLE ROUTE IS NOT REQUIRED TO CONNECT STORIES OR MEZZANINES WHERE ACCESSIBLE UNITS AND TYPE B UNITS, ALL COMMON USE AREAS SERVING ACCESSIBLE UNITS AND TYPE B UNITS AND ALL PUBLIC USE AREAS SERVING ACCESSIBLE UNITS AND TYPE B UNITS ARE ON AN ACCESSIBLE ROUTE.

AN ACCESSIBLE ROUTE BETWEEN STORIES IS NOT REQUIRED WHERE TYPE B UNITS ARE EXEMPTED BY SECTION 1108.1.

1.6.1.1 ACCESSIBLE UNITS ISSIBLE DWELLING UNITS AND SLEEPING UNITS SHALL BE PROVIDED IN ACCORDANCE WITH TABLE 1108.6.1.1. ON A MULTIPLE-BUILDING SITE, WHERE

IN STRUCTURES WITH FOUR OR MORE DWELLING UNITS OR SLEEPING UNITS INTENDED TO BE OCCUPIED AS A RESIDENCE, EVERY DWELLING UNIT AND SLEEPING UNIT INTENDED TO BE OCCUPIED AS A RESIDENCE SHALL BE A TYPE B UNIT.

EXCEPTION: THE NUMBER OF TYPE B UNITS IS PERMITTED TO BE REDUCED IN ACCORDANCE WITH SECTION 1108.7.

SLEEPING UNITS, ONLY ONE BEDROOM IN EACH DWELLING OR SLEEPING UNIT SHALL BE PERMITTED TO COUNT TOWARD THE NUMBER OF REQUIRED ACCESSIBLE UNITS.

WHERE ELEVATOR SERVICE IS NOT PROVIDED IN A STRUCTURE, ONLY THE DWELLING UNITS AND SLEEPING UNITS THAT ARE LOCATED ON STORIES INDICATED IN SECTIONS 1108.7.1.1 AND 1108.7.1.2 ARE REQUIRED TO BE TYPE A UNITS AND TYPE B UNITS, RESPECTIVELY. THE NUMBER OF TYPE A UNITS SHALL BE DETERMINED IN ACCORDANCE WITH SECTION 1108.6.2.2.1.

WHERE STORIES HAVE ENTRANCES NOT INCLUDED IN DETERMINING COMPLIANCE WITH SECTION 1108.T.1.1, AND SUCH ENTRANCES ARE PROXIMATE TO ARRIVAL POINTS INTENDED TO SERVE UNITS ON THAT STORY, AS INDICATED IN ITEMS 1 AND 2, ALL DIRELLING UNITS AND SLEEPING UNITS INTENDED TO BE OCCUPIED AS A RESIDENCE SERVED BY THAT ENTRANCE ON THAT STORY SHALL BE TYPE B UNITS.
WHERE THE SLOPES OF THE UNDISTURBED SITE MEASURED BETWEEN THE PLANNED ENTRANCE AND ALL VEHICULAR OR PEDESTRIAN ARRIVAL POINTS WITHIN 50 FEET (15 240 MM) OF THE PLANNED ENTRANCE ARE 10 PERCENT OR LESS.
WHERE THE SLOPES OF THE PLANNED FINISHED GRADE MEASURED BETWEEN THE ENTRANCE AND ALL VEHICULAR OR PEDESTRIAN ARRIVAL POINTS WITHIN 50 FEET (15 240 MM) OF THE PLANNED ENTRANCE ARE 10 PERCENT OR LESS.

A MULTISTORY DWELLING UNIT OR SLEEPING UNIT THAT IS NOT PROVIDED WITH ELEVATOR SERVICE IS NOT REQUIRED TO BE A TYPE B UNIT, WHERE A MULTISTORY UNIT IS PROVIDED WITH EXTERNAL ELEVATOR SERVICE TO ONLY ONE FLOOR, THE FLOOR PROVIDED WITH ELEVATOR SERVICE SHALL BE THE PRIMARY ENTRY TO THE UNIT, SHALL COMPLY WITH THE REQUIREMENTS FOR A TYPE B UNIT AND, WHERE PROVIDED WITHIN THE UNIT, A LIVING AREA,

ACCESSIBLE PARKING SPACES REQUIRED BY SECTION 1106.2. EXCEPTION: WHERE THE TOTAL NUMBER OF PARKING SPACES PROVIDED IS FOUR OR LESS, IDENTIFICATION OF ACCESSIBLE PARKING SPACES IS NOT REQUIRED.

DENTIFICATION OF ACCESSIBLE PARKING SPACES IS NOT REQUIRED.

ACCESSIBLE PASSENGER LOADING ZONES.

ACCESSIBLE PASSENGER LOADING ZONES.

ACCESSIBLE PASSENGER LOADING ZONES.

ACCESSIBLE OF THE ORD BATHING ROOMS WHERE NOT ALL TOILET OR BATHING ROOMS ARE ACCESSIBLE.

ACCESSIBLE ENTRANCES WHERE NOT ALL ENTRANCES ARE ACCESSIBLE.

ACCESSIBLE CHECK-OUT AISLES WHERE NOT ALL AISLES ARE ACCESSIBLE. THE SIGN, WHERE PROVIDED, SHALL BE ABOVE THE CHECK-OUT AISLE IN THE SAME LOCATION AS THE CHECK-OUT AISLE NUMBER OR TYPE OF CHECK-OUT IDENTIFICATION.

ACCESSIBLE DRESSING, FITTING AND LOCKER ROOMS WHERE NOT ALL SUCH ROOMS ARE ACCESSIBLE. ACCESSIBLE AREAS OF REFUGE IN ACCORDANCE WITH SECTION 1009.9. EXTERIOR AREAS FOR ASSISTED RESCUE IN ACCORDANCE WITH SECTION 1009.9. IN RECREATIONAL FACILITIES, LOCKERS THAT ARE REQUIRED TO BE ACCESSIBLE IN ACCORDANCE WITH SECTION 1110.10.

HOUSE BILL 03 1221

§ 9-5-101. Definitions.

Title 9. SAFETY - INDUSTRIAL AND COMMERCIAL BUILDINGS AND EQUIPMENT

Current through Chapter 95 of the 2019 Legislative Session (with the exception of Chapter 94)

As used in this article 5, unless the context otherwise requires: (1) "Accessibility point" means a unit of value exchanged for different levels of accessible dwelling types to satisfy the requirements for dwelling accessibility contained in this article. (2) "Accessible route" means an interior or exterior circulation path that complies with

(4) "Detached residence" means a one- or two-family residence that is separated from adjacent dwellings by an unobstructed physical space. A one- or two-family residence that is separated from an adjacent dwelling by a physical space of less than three feet shall not (5) "Ground story level" means the lowest story in a dwelling unit containing habitable rooms or areas with an accessible entrance located on an accessible route that contains living, sleeping, cooking, bathing, and toilet facilities. For the purposes of this article, a basement shall not be considered the ground story level if the finished basement floor is located

(5.5) "ICC/ANSI A117.1" means the "Accessible and Usable Buildings and Facilities" standard, or any successor standard, promulgated and amended from time to time by the

"Project" means the total number of parcels and buildings in a development planned o constructed by the same developer, builder, or entity on one site or contiguous sites, and also includes all parcels and structures that are parts of the same planned development application or agreement. The separation of contiguous individual buildings, units, lots, tracts, or parcels of land by a property line or by a public or private road shall not create a

(7) "Property" means the site, parcels of land, plats, lots, tracts, individual dwelling units, existing and proposed structures, and the built environment.

(8) "Residential dwelling unit" means any portion of a building that contains living facilities including a room or rooms in a facility that have shared cooking, bathing, toilet, or laundry facilities such as dormitories, shelters, assisted living facilities, and boarding homes. "Residential dwelling unit" also means facilities that include provisions for sleeping, cooking, bathing, and toilet facilities for one or more persons and are used for extended stays, such as time-shares and extended-stay motels. "Residential dwelling unit" does not mean a guest room in a motel or hotel.

(9) "Technically infeasible", in reference to a proposed alteration to a building or facility, means that the proposed alteration is not implemented because (a) An existing structural condition or conditions make such alteration labor- or cost-(b) The building or facility is in strict compliance with minimum accessibility

nts for new construction and, due to existing physical or site constraints such alteration would negatively impact such compliance. (10) "Type A dwelling unit" means a dwelling unit designed in accordance with ICC/ANSI A117.1, section 1002, or any successor section within ICC/ANSI A117.1.

(11) "Type A multistory dwelling unit" means a multiple-story dwelling unit with a ground story level designed in accordance with ICC/ANSI A117.1, section 1002, or any successor section within ICC/ANSI A117.1, and, if provided, accessible laundry facilities on the

(12) "Type B dwelling unit" means a dwelling unit with a ground floor level designed in accordance with ICC/ANSI A117.1, section 1003, or any successor section within ICC/ANSI A117 1 (13) "Type B multistory dwelling unit" means a multiple-story dwelling unit with a ground story level that is designed in accordance with ICC/ANSLA117.1 section 1003 or any

successor section within ICC/ANSI A117.1, and, if provided, accessible laundry facilities on the ground story level. (14) "Type B visitable ground floor" means a multiple-story dwelling unit with an accessible entrance and toilet facility designed in accordance with ICC/ANSI A117.1, section 1003, or any successor section within ICC/ANSI A117.1.

(15) "Undue hardship" means a substantial and unusual hardship that is the direct result of

unique physical site conditions such as topography or geology, or that is the direct result

of other unique or special conditions encountered on a property, but that are not typically encountered in the jurisdiction in which such property is located. Constraints. complications, or difficulties that may arise by complying with these statutory standards for accessibility but that do not constitute an undue hardship shall not serve to justify the

granting of an exception or variance. Cite as C.R.S. § 9-5-101 History. Amended by 2017 Ch. 19, §1, eff. 8/9/2017. L. 2003: Entire article amended with relocations, p. 1415, § 1, effective April 29. L. 2017: IP, (2), and (10) to (14) amended, (3) repealed, and (5.5) added, (HB 17-1067), ch. 19, p. 62, § 1, effective August 9.

§ 9-5-102. Disabilities covered - purpose. Colorado Statutes Title 9. SAFETY - INDUSTRIAL AND COMMERCIAL BUILDINGS AND EQUIPMENT

Article 5. Standards for Accessible Housing Current through Chapter 95 of the 2019 Legislative Session (with the exception of Chapter 94) § 9-5-102. Disabilities covered - purpose

(1) This article is intended to provide accessibility standards for residential projects designed

to serve persons with nonambulatory disabilities, semiambulatory disabilities, sight disabilities, hearing disabilities, disabilities of incoordination, and aging.

(2) Design criteria. Design criteria must comply with ICC/ANSI A117.1. Cite as C.R.S. § 9-5-102 History. Amended by 2017 Ch. 19, §2, eff. 8/9/2017. L. 2003: Entire article amended with relocations, p. 1418, § 1, effective April 29. L. 2017: (2) amended, (HB 17-1067), ch. 19, p. 63, § 2, effective August 9.

This section is similar to former §§ 9-5-103 and 9-5-104 as they existed prior to 2003, and the former § 9-5-102 was

relocated to § 9-5-103. § 9-5-103. Applicability of standards - enforcement.

Editor's Note:

Colorado Statutes

Title 9. SAFETY - INDUSTRIAL AND COMMERCIAL BUILDINGS AND EQUIPMENT Article 5. Standards for Accessible Housing Current through Chapter 95 of the 2019 Legislative Session (with the exception of Chapter 94)

§ 9-5-103. Applicability of standards - enforcement (1) The standards and specifications set forth in this article shall apply to all buildings and facilities used for housing that are constructed in whole or in part by the use of state, county, or municipal funds or the funds of any political subdivision of the state or that are constructed with private funds. All such buildings and facilities to be constructed from plans on which architectural drawings are started after July 1, 1975, from any one of these funds or any combination thereof shall conform to each of the standards and specifications prescribed in this article. The governmental unit responsible for the enforcement of this article shall grant exceptions to or modify any particular standard or specification when it is determined that it is impractical and would create an undue hardship. Any such exception or modification of the provisions of this article shall be made in writing as a matter of public record. These standards and specifications shall be adhered to in those buildings and

facilities that are constructed or proposed on or after April 29, 2003. This article shall apply (2) The jurisdiction with responsibility for enforcement of this article pursuant to section 9-5or determinations made by the enforcing agency regarding the application and

interpretation of this article. (3) Any building or facility that would have been subject to this article 5 but was under construction prior to July 1, 1976, must comply with the following: (a) If the walls or defining boundaries of an element or space are altered, then the altered element or space shall comply with the applicable provisions of section 9-5-

105, unless such alteration is technically infeasible. If full compliance with this

article is technically infeasible, compliance shall be implemented up to the point of technical infeasibility. No alteration shall be undertaken that negatively impacts

accessibility of a building or facility pursuant to ICC/ANSI A117.1. This subsection

(3)(a) shall not be construed to require the moving of any existing walls not

otherwise planned to be moved.

(b) Any additions to a building or facility shall be treated as new construction for the

Such plan shall clearly specify the number and type of units required and the order in which they

enforcement authority in such project's jurisdiction. The implementation plan shall not be approved

if more than thirty percent of the project is intended to be completed without providing a portion of

responsibility for enforcement may grant exceptions to this requirement. The implementation plan

shall be approved by the governmental unit responsible for enforcement before a building permit is

are to be completed. Such implementation plan shall be subject to approval by the entity with

accessible units required by section 9-5-105; except that, if an undue hardship can be

demonstrated, or other guarantees provided are deemed sufficient, the jurisdiction having

History. L. 2003: Entire article amended with relocations, p. 1421, § 1, effective April 29.

purposes of enforcement of this article. (4) The general assembly finds and declares that the standards and specifications set forth in this article are of statewide concern. Nothing in this article shall prohibit any municipality or other governmental subdivision from making and enforcing standards and specifications that are more stringent, and thus provide greater accessibility, than those set forth in this

Cite as C.R.S. § 9-5-103 History. Amended by 2017 Ch. 19, §3, eff. 8/9/2017. L. 2003: Entire article amended with relocations, p. 1418, § 1, effective April 29. L. 2017: IP(3) and (3)(a) amended, (HB 17-1067), ch. 19, p. 63, § 3, effective August 9.

This section is similar to former § 9-5-102 as it existed prior to 2003, and the former § 9-5-103 was relocated to § 9-5-

§ 9-5-104. Responsibility for enforcing standards. Title 9. SAFETY - INDUSTRIAL AND COMMERCIAL

BUILDINGS AND EQUIPMENT

Article 5. Standards for Accessible Housing Current through Chapter 95 of the 2019 Legislative Session (with the exception of Chapter 94) § 9-5-104. Responsibility for enforcing standards

(1) The responsibility for enforcement of this article is as follows: (a) For factory-built residential structures as defined in section 24-32-3302(10). C.R.S., the division of housing created in section 24-32-704, C.R.S.; (b) In a political subdivision that does not have a local building code, the division of housing created in section 24-32-704, C.R.S.; (c) For all other housing or in a political subdivision that has adopted a building code by the building department, or its equivalent, of the political subdivision having

Cite as C.R.S. § 9-5-104 History. L. 2003: Entire article amended with relocations, p. 1419, § 1, effective April 29. L. 2004: (1)(a) amended, p. 1189, § 12, effective August 4. This section is similar to former § 9-5-110 as it existed prior to 2003, and the former § 9-5-104 was relocated to § 9-5-

BUILDINGS AND EQUIPMENT

Accessible dwelling unit type:

Type A multistory dwelling unit

Type A dwelling unit

§ 9-5-105. Exemptions for certain privately funded projects. Colorado Statutes Title 9. SAFETY - INDUSTRIAL AND COMMERCIAL

> Current through Chapter 95 of the 2019 Legislative Session (with the exception of Chapter 94) § 9-5-105. Exemptions for certain privately funded projects

(1) Accessible dwelling units shall be provided as required in this article; except that this article does not apply to privately funded projects for the construction of a detached residence or residences or to other types of residential property containing less than seven residential units. For the purpose of determining the number of accessibility points required pursuant to subsection (2) of this section, the accessible dwelling unit types shall have the following point values:

Accessibility point value per dwelling unit:

Type B dwelling unit SEE SITE PLAN FOR LOCATION OF UNITS Type B multistory dwelling unit

Type B visitable ground floor (2) Residential projects. (a) A project shall be assigned accessibility points based on the number of units

contained within the project as follows: Number of units within the project: Accessibility points required: SEE SITE PLAN FOR LOCATION OF UNITS 29-42

100-114 129-142

> 186-199 +6 additional points every 14 units or fraction thereof (b) A project shall include enough accessible dwelling units to achieve at least the

types to comply with this section. History. L. 2003: Entire article amended with relocations, p. 1420, § 1, effective April 29.

This section is similar to former § 9-5-111 as it existed prior to 2003.

**BUILDINGS AND EQUIPMENT** Article 5. Standards for Accessible Housing Current through Chapter 95 of the 2019 Legislative Session (with the exception of Chapter 94)

specified number of accessibility points required pursuant to paragraph (a) of this subsection (2). A project may use any combination of accessible dwelling unit

§ 9-5-106. Implementation plan. Colorado Statutes

§ 9-5-106. Implementation plan The builder of any project regulated by this article shall create an implementation plan that

guarantees the timely and evenly phased delivery of the required number of accessible units.

Fi240009CODE Date 21JAN25 Drawn KPO Checked KPO Rel'd O5MAY25 Reved Sheet Number

Job # 24.009

File 24009C10 Date 16DEC24 Drawn Checked KPO Rel'd O5MAY25

Reved

Sheet Number



HOUSE BILL-03-1221 DATE TABLES: (4) TYPE B - MULTISTORY DWELLING UNITS REQUIRED

Type A multistory dwelling unit

Type B dwelling unit

(1) Accessible dwelling units shall be provided as required in this article; except that this article does not apply to privately funded projects for the construction of a detached residence or residences or to other types of residential property containing less than seven residential units. For the purpose of determining the number of accessibility points required pursuant to subsection (2) of this section, the accessible dwelling unit types shall have the following

Accessible dwelling unit type: Accessibility point value per dwelling unit: Type A dwelling unit

SEE SITE PLAN FOR LOCATION OF UNITS Type B multistory dwelling unit

Type B visitable ground floor (2) Residential projects.

(a) A project shall be assigned accessibility points based on the number of units contained within the project as follows: Number of units within the project: Accessibility points required: 7-14 12 SEE SITE PLAN FOR LOCATION OF UNITS 15-28

ACCESSIBILITY NOTE FOR (IBC R-2) MULTI-FAMILY PROJECTS AND (IBC R-3) TOWNHOUSES REGULATED BY THE

IBC AND HB-03-1221, AS WELL AS SECTION R320.1 OF THE 2015 IRC. (NOTE: SITES CONTAINING LESS THAN 7 RESIDENTIAL UNITS ARE EXEMPT FROM

THE REQUIREMENTS OF COLORADO HOUSE BILL 03-1221.) ROUTT COUNTY BUILDING DEPARTMENT: ENFORCES HANDICAPPED ACCESSIBILITY REQUIREMENTS BASED ON THE IBC, CHAPTER 11, THE ICC A117.1-2009. SITES CONTAINING SEVEN OR MORE RESIDENTIAL UNITS ARE REQUIRED BY STATE STATUTES TO COMPLY WITH COLORADO STATE HOUSE BILL 03-1221, ARTICLE 5 - STANDARDS FOR ACCESSIBLE HOUSING (C.R.S. 9-5-101 TO 9-5-106).

THIS SHALL CONSTITUTE A CONTRACT THAT SHALL GUARANTEE TO THE GOVERNING BODY THAT BEFORE THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY THE OVERALL SITE WILL MEET THE ACCESSIBILITY REQUIREMENTS OF STATE HOUSE BILL 03-1221. THE SITE PLAN WILL REFLECT AN IMPLEMENTATION PLAN DEFINING THE APPROPRIATE NUMBER OF ACCESSIBILITY POINT VALUE PER DWELLING UNITS FOR PERSONS WITH DISABILITIES, AS PROVIDED IN C.R.S. 9-5-105. ACCESSIBLE UNITS SHALL BE CONSTRUCTED IN SUCH A MANNER AS TO BE EASILY ACCESSIBLE AND ADAPTABLE FOR PERSONS WITH DISABILITIES AND WILL COMPLY WITH THE MOST CURRENT VERSION OF THE AMERICAN NATIONAL STANDARD FOR THE BUILDING AND FACILITIES PROVIDING ACCESSIBILITY AND USABILITY FOR PHYSICALLY HANDICAPPED PEOPLE, PROMULGATED BY THE AMERICAN NATIONAL STANDARD INSTITUTE, COMMONLY CITED AS ANSI A 1 1 7.1 - 1 9 98. OWNER OF PROPERTY FOR THE ABOVE PERMIT: T.B.D.

## STANDARD NOTES

1. THIS PLAN SHALL BE KEPT ON SITE AT ALL TIMES AND UPDATED TO REFLECT ANY CHANGES.
2. CONCRETE WASTE & WASHOUT WATER FROM MIXING TRUCKS SHALL BE CONTAINED ON SITE,
REMOVED FROM THE SITE & PROPERLY DISPOSED. MATERIALS SHOULD NOT ENTER STATE

3. CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING TEMPORARY EROSION AND SEDIMENT CONTROL DURING CONSTRUCTION & ESTABLISHING ANY REQUIRED PERMANENT BEST MANAGEMENT PRACTICES (BMPS). 4. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL LOCAL, STATE, AND FEDERAL LAWS & OBTAINING ALL REQUIRED PERMITS. 5. CLEARING OR GRADING SHALL NOT BEGIN UNTIL ALL SEDIMENT CONTROL DEVICES HAVE BEEN

6. THE CONTRACTOR SHALL PROMPTLY REMOVE ALL SEDIMENT, MUD. & CONSTRUCTION DEBRIS THAT MAY ACCUMULATE IN THE RIGHT OF WAY, PRIVATE PROPERTY, OR WATER WAYS AS A RESULT OF THE CONSTRUCTION ACTIVITIES. 7. ALL INGRESS, EGRESS POINTS AND VEHICLE ACCESS POINTS ONTO DISTURBED SITE MUST BE STABILIZED WITH A VEHICLE TRACKING CONTROL PAD. ACCESS SHALL ONLY BE VIA APPROVED LOCATIONS AS SHOWN ON APPROVED CSMP.

8. SOIL STABILIZATION MEASURES SHALL BE IN PLACE AND AREAS ARE TO BE REVEGETATED:

(1) FOR STOCKPILES, IF INACTIVE FOR MORE THAN 30 DAYS

(2) FOR AREAS OF LAND DISTURBANCE WITHIN ONE GROWING SEASON.

9. INLET PROTECTION SHALL BE INSTALLED IN CONJUNCTION WITH STORM DRAIN INLETS WHERE

DRAINAGE AREA IS NOT VEGETATED. 10. BMPS SHALL BE USED, MODIFIED & MAINTAINED WHENEVER NECESSARY TO REFLECT CURRENT CONDITIONS. BMPS SHALL BE INSPECTED WEEKLY & AFTER EVERY PRECIPITATION EVENT.
ACCUMULATED SEDIMENT SHALL BE REMOVED FROM BMPS WHEN THE SEDIMENT LEVEL REACHES ½ THE HEIGHT OF THE BMP. 1 1. EMERGENCY ACCESS MUST BE KEPT OBSTACLE FREE & PASSABLE AT ALL TIMES.

12. FOR ANY WORK TO BE DONE IN THE RIGHT OF WAY, COORDINATE WITH THE CITY CONSTRUCTION SITE MANAGER REGARDING SPECIAL PERMITTING. NO WORK SHALL BE CONDUCTED IN THE ROW BETWEEN NOVEMBER 1 AND APRIL 1 WITHOUT PRIOR APPROVAL FROM THE DIRECTOR OF PUBLIC WORKS. 13. WHERE REQUIRED AS PART OF THE ROW PERMIT OR WHERE SITE WORK AFFECTS THE PEDESTRIAN OR VEHICLE TRAVEL WAY, TRAFFIC CONTROL SHALL BE INSTALLED. ALL TRAFFIC

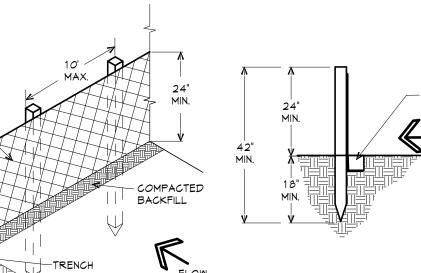
CONTROL SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, 14. SIDEWALKS ADJACENT TO CONSTRUCTION SITES SHALL BE MAINTAINED FOR PUBLIC USE BY THE CONTRACTOR. IN AREAS WHERE CONSTRUCTION IS TAKING PLACE NEXT TO THE SIDEWALK AND OVERHEAD HAZARDS ARE POSSIBLE, CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND

MAINTAINING SIDEMALK PROTECTION.

15. FIELD LOCATE ALL UTILITIES PRIOR TO ANY CONSTRUCTION ACTIVITIES.

16. SURVEY INFORMATION PROVIDED BY FOUR POINTS SURVEYING & ENGINEERING, & MODIFIED BY JAKES DRAFTING SERVICE, INC. FOR USE AS A SITE PLAN 17. THE CONTRACTOR SHOULD PROVIDE A CONSTRUCTION SEQUENCING PLAN FOR EXCAVATION, WALL CONSTRUCTION AND BRACING AND BACKFILLING FOR THE STEEPER AND MORE SENSITIVE PORTIONS OF THE SITE PRIOR TO STARTING THE EXCAVATIONS OR CONSTRUCTION. 18. A REGISTERED PROFESSIONAL ENGINEER EXPERIENCED IN SITE PLAN PREPARATION IN THIS GEOGRAPHIC AREA IS RECOMMENDED FOR SITE GRADING AND DRAINAGE PLAN PREPARATION.

SILT FENCE FABRIC ANCHORED IN TRENCH AND FIRMLY ATTACHED TO 2X2 POST



MATTLES MAY BE SUBSTITUTED IF INSTALLED PER MANUFACTURERS INSTRUCTIONS

SITE PLAN 1.1

ACCESSIBLE ROUTE

EXISTING SEMER

EXISTING SIDEWALK

EXISTING SEMER

- EXISTING WATER

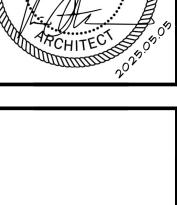
EXISTING NATURAL GAS -

- CORE TRAIL EASEMENT

- ELECTRICAL PEDESTAL

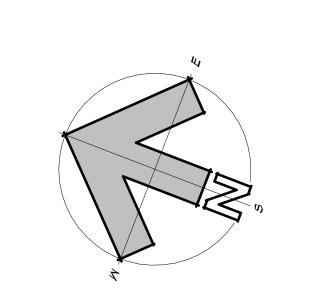
EXISTING NATURAL GAS



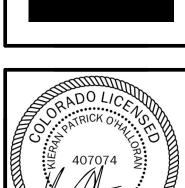


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File 24009C20
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Checked KPO
Rel'd 05MAY25
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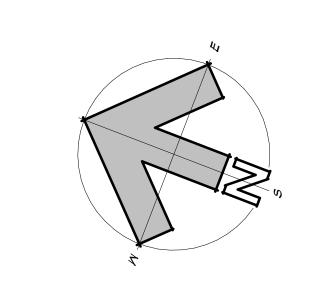
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Job # 24.009
File 24009A12
Date 16DEC24
Drawn KPO
Checked KPO
Rel'd 05MAY25 Reved

Sheet Number