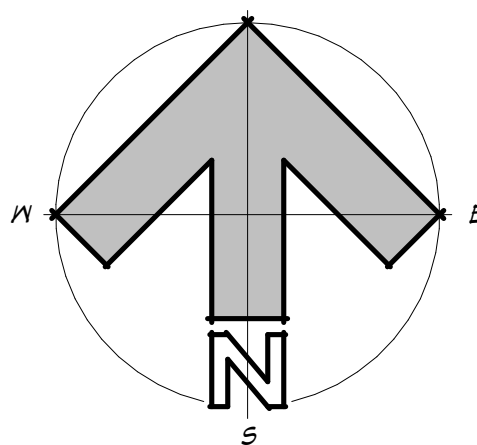
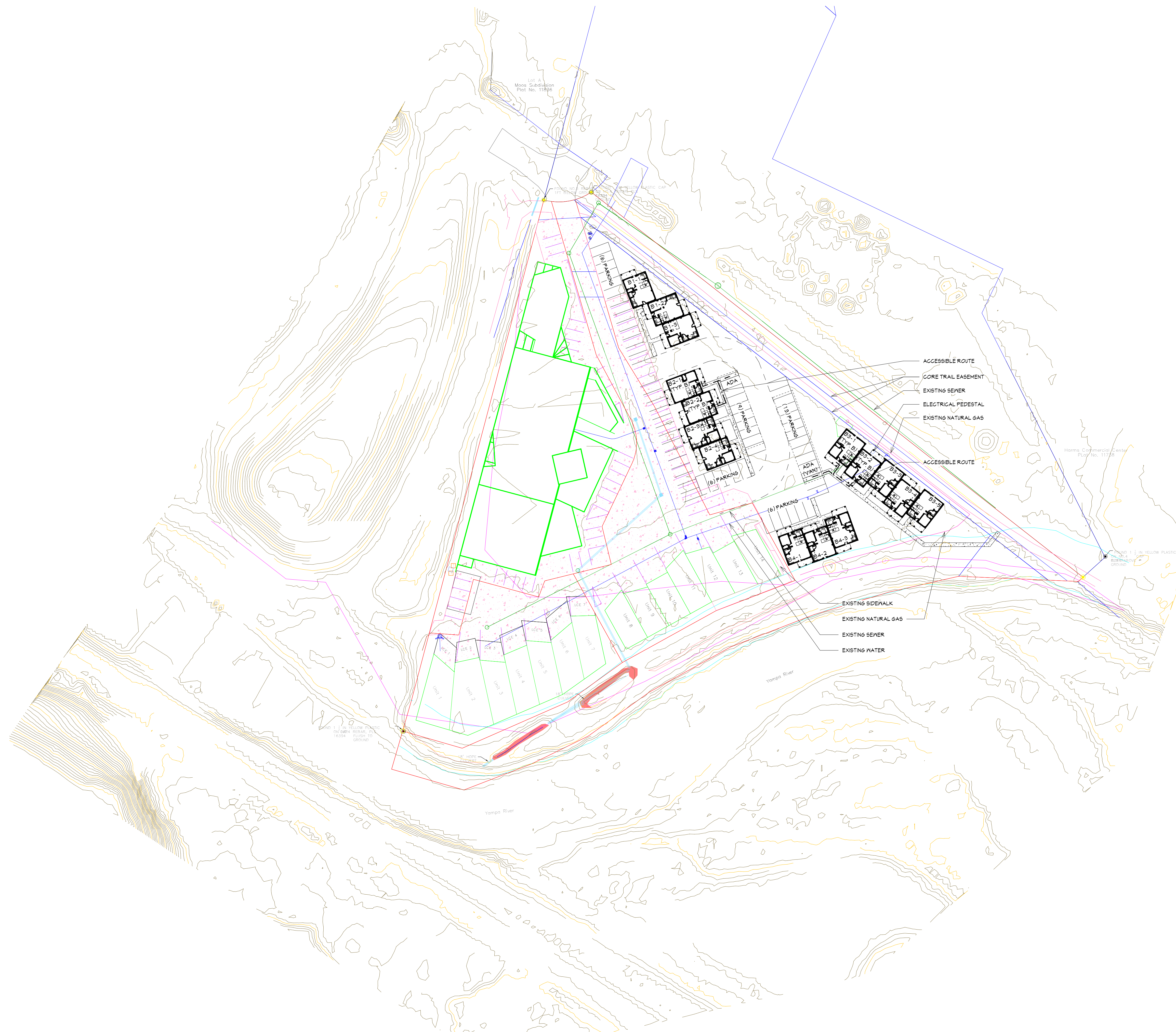
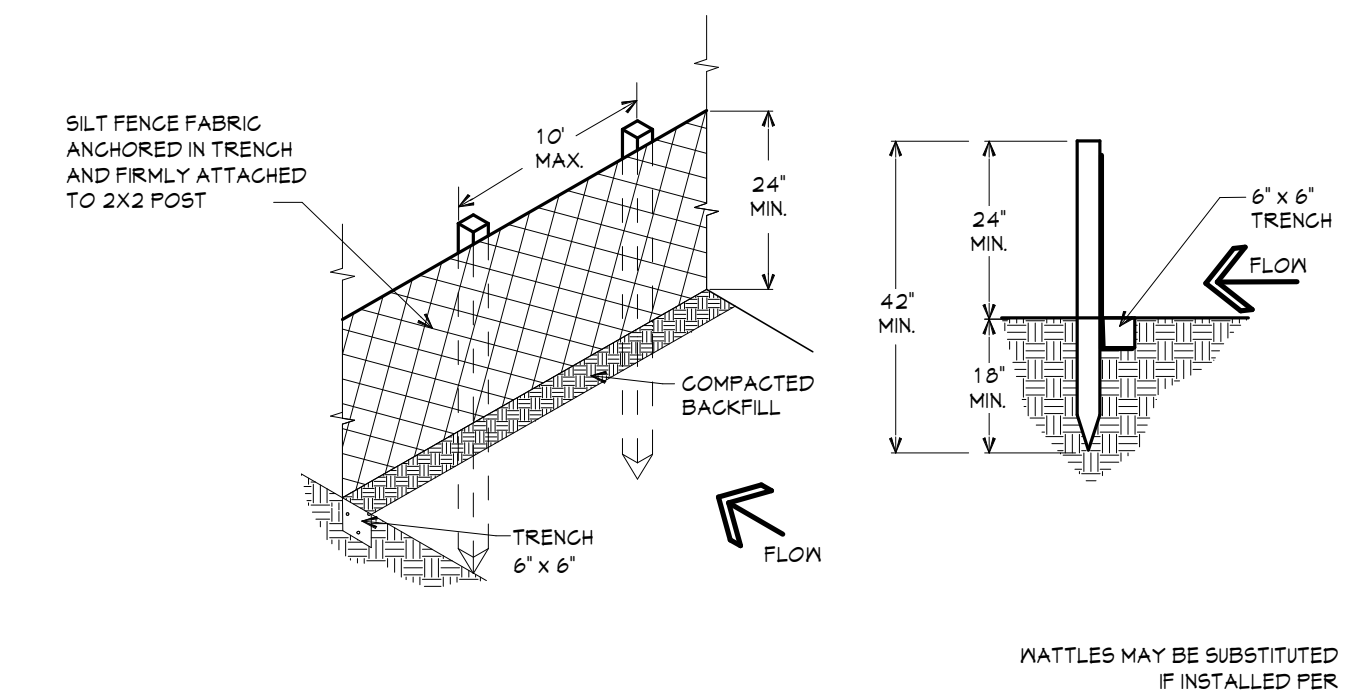




1 SITE PLAN 1.1
1" = 50'-0"



2 SILT FENCE
1" = 1'-0"



HOUSE BILL 03-1221 DATE TABLES:
(4) TYPE B - MULTISTORY DWELLING UNITS REQUIRED

(1) Accessible dwelling units shall be provided as required in this article, except that this article does not apply to privately funded projects for the construction of a detached residence or residences or to other types of residential property containing less than seven residential units.
For the purposes of determining the number of accessibility points required pursuant to subsection (2) of this section, the accessible dwelling unit types shall have the following point values:

Accessible dwelling unit type:	Accessibility point value per dwelling unit:
Type A dwelling unit	6
Type A multistory dwelling unit	5
Type B dwelling unit	4

Type B multistory dwelling unit 3 SEE SITE PLAN FOR LOCATION OF UNITS

Type B visitable ground floor 1

(2) Residential projects.

(a) A project shall be assigned accessibility points based on the number of units contained within the project as follows:

Number of units within the project	Accessibility points required
0-6	0
7-14	6
15-28	12 SEE SITE PLAN FOR LOCATION OF UNITS
29-42	18
43-57	24

ACCESSIBILITY NOTE FOR (B/C R-2) MULTIFAMILY PROJECTS AND (B/C R-3) TOWNHOUSES REGULATED BY THE
B/C R-2 AND B/C R-3 AS WELL AS SECTION R320.1 OF THE 2019 IBC.

(NOTE: SITES CONTAINING LESS THAN 1 RESIDENTIAL UNITS ARE EXEMPT FROM THE REQUIREMENTS OF COLORADO HOUSE BILL 03-1221.)

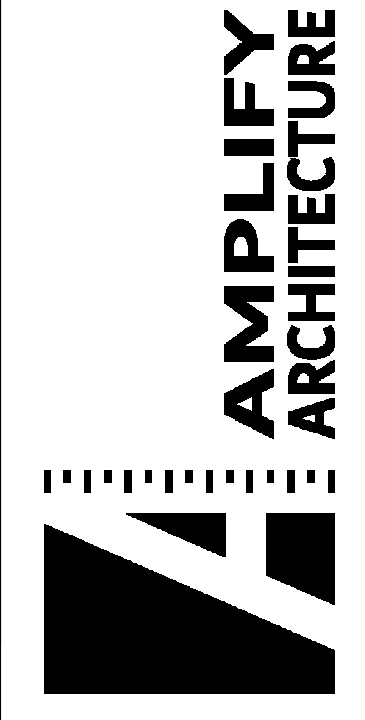
ROUTT COUNTY BUILDING DEPARTMENT ENFORCES HANDICAPPED ACCESSIBILITY REQUIREMENTS BASED ON THE IBC, CHAPTER 11, THE ICC A 111.1-2009. SITES CONTAINING SEVEN OR MORE RESIDENTIAL UNITS ARE REQUIRED BY STATE STATUTES TO COMPLY WITH COLORADO STATE HOUSE BILL 03-1221, ARTICLE 5 - STANDARDS FOR ACCESSIBLE HOUSING (C.R.S. 4-5-101 TO 4-5-106).

THIS SHALL CONSTITUTE A CONTRACT THAT SHALL GUARANTEE TO THE GOVERNING BODY THAT BEFORE THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY THE OVERALL SITE WILL MEET THE ACCESSIBILITY REQUIREMENTS OF STATE HOUSE BILL 03-1221. THE SITE PLAN WILL REFLECT AN IMPLEMENTATION PLAN DEFINING THE APPROPRIATE NUMBER OF ACCESSIBILITY POINT VALUE PER DWELLING UNITS FOR PERSONS WITH DISABILITIES, AS PROVIDED IN C.R.S. 4-5-105. ACCESSIBLE UNITS SHALL BE CONSTRUCTED IN SUCH A MANNER AS TO BE EASILY ACCESSIBLE AND ADAPTABLE FOR PERSONS WITH DISABILITIES AND WILL COMPLY WITH THE MOST CURRENT VERSION OF THE AMERICAN NATIONAL STANDARD FOR THE BUILDING AND FACILITIES PROVIDING ACCESSIBILITY AND USABILITY FOR PHYSICALLY HANDICAPPED PEOPLE, PRECULGATED BY THE AMERICAN NATIONAL STANDARD INSTITUTE, COMMONLY CITED AS ANSI A 111.1 - 1998. OWNER OF PROPERTY FOR THE ABOVE PERMIT: T.B.D.

STANDARD NOTES

- THIS PLAN SHALL BE KEPT ON SITE AT ALL TIMES AND UPDATED TO REFLECT ANY CHANGES.
- CONCRETE PAVEMENT AND FINISHING MATERIALS SHALL BE CONTAINED ON SITE, REMOVED FROM THE SITE & PROPERLY DISPOSED. MATERIALS SHOULD NOT ENTER STATE HIGHWAYS.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING TEMPORARY EROSION AND SEDIMENT CONTROL DURING CONSTRUCTION & ESTABLISHING ANY REQUIRED PERMANENT BEST MANAGEMENT PRACTICES (BMPs).
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL LOCAL, STATE, AND FEDERAL LAWS & OBTAINING ALL REQUIRED PERMITS.
- CLEARING OR GRADING SHALL NOT BEGIN UNTIL ALL SEDIMENT CONTROL DEVICES HAVE BEEN INSTALLED.
- THE CONTRACTOR SHALL PROMPTLY REMOVE ALL SEDIMENT, MUD & CONSTRUCTION DEBRIS THAT MAY ACCUMULATE IN THE RIGHT OF WAY, PRIVATE PROPERTY, OR WATERWAYS AS A RESULT OF THE CONSTRUCTION ACTIVITIES.
- ALL INGRESS, EGRESS POINTS AND VEHICLE ACCESS POINTS ONTO DISTURBED SITE MUST BE STABILIZED WITH A VEHICLE TRACKING CONTROL PAD. ACCESS SHALL ONLY BE VIA APPROVED LOCATIONS AS SHOWN ON APPROVED GSI.
- SOIL STABILIZATION MEASURES SHALL BE IN PLACE AND AREAS ARE TO BE REVEGETATED:
(1) FOR STOCKPILES IF INACTIVE FOR MORE THAN 90 DAYS.
(2) FOR AREAS OF LAND DISTURBANCE WITHIN ONE GROWING SEASON.
- INLET PROTECTION SHALL BE INSTALLED IN CONJUNCTION WITH STORM DRAIN INLETS WHERE DRAINAGE AREA IS NOT VEGETATED.
- BMPs SHALL BE USED, MODIFIED & MAINTAINED WHENEVER NECESSARY TO REFLECT CURRENT CONDITIONS. BMPs SHALL BE INSPECTED WEEKLY & AFTER EVERY PRECIPITATION EVENT. ACCUMULATED SEDIMENT SHALL BE REMOVED FROM BMPs WHEN THE SEDIMENT LEVEL REACHES 9" THE HEIGHT OF THE BMP.
- EMERGENCY ACCESS MUST BE KEPT OBSTACLE FREE & PASSABLE AT ALL TIMES.
- FOR ANY WORK TO BE DONE IN THE RIGHT OF WAY, COORDINATE WITH THE CITY CONSTRUCTION SITE MANAGER REGARDING SPECIAL PERMITTING. NO WORK SHALL BE CONDUCTED IN THE ROW BETWEEN NOVEMBER 1 AND APRIL 1 WITHOUT PRIOR APPROVAL FROM THE DIRECTOR OF PUBLIC WORKS.
- WHERE REQUIRED AS PART OF THE ROW PERMIT OR WHERE SITE WORK AFFECTS THE PEDESTRIAN OR VEHICLE TRAVEL WAY, TRAFFIC CONTROL SHALL BE INSTALLED. ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- SIDEWALKS ADJACENT TO CONSTRUCTION SITES SHALL BE MAINTAINED FOR PUBLIC USE BY THE CONTRACTOR. IN AREAS WHERE CONSTRUCTION IS TAKING PLACE NEXT TO THE SIDEWALK AND OVERHEAD HAZARDS ARE POSSIBLE, CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING SIDEWALK PROTECTION.
- FIELD LOCATE ALL UTILITIES PRIOR TO ANY CONSTRUCTION ACTIVITIES.
- SURVEY INFORMATION PROVIDED BY FOUR POINTS SURVEYING & ENGINEERING, A MODIFIED BY JAMES DRAFTER SERVICE, INC. FOR USE AS A SITE PLAN.
- THE CONTRACTOR SHOULD PROVIDE A CONSTRUCTION SEQUENCING PLAN FOR EXCAVATION, PALL CONSTRUCTION AND BRACKING AND BACKFILLING FOR THE STEEPER AND MORE SENSITIVE PORTIONS OF THE SITE PRIOR TO STARTING THE EXCAVATIONS OR CONSTRUCTION.
- A REGISTERED PROFESSIONAL ENGINEER EXPERIENCED IN SITE PLAN PREPARATION IN THIS GEOGRAPHIC AREA IS RECOMMENDED FOR SITE GRADING AND DRAINAGE PLAN PREPARATION.

amplifyarch.com
732 LINCOLN AVE. SUITE C
P.O. BOX 774121
STEAMBOAT SPRINGS, CO
970.879.7829

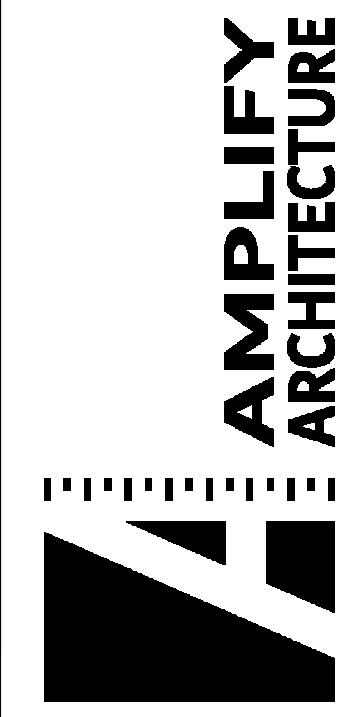
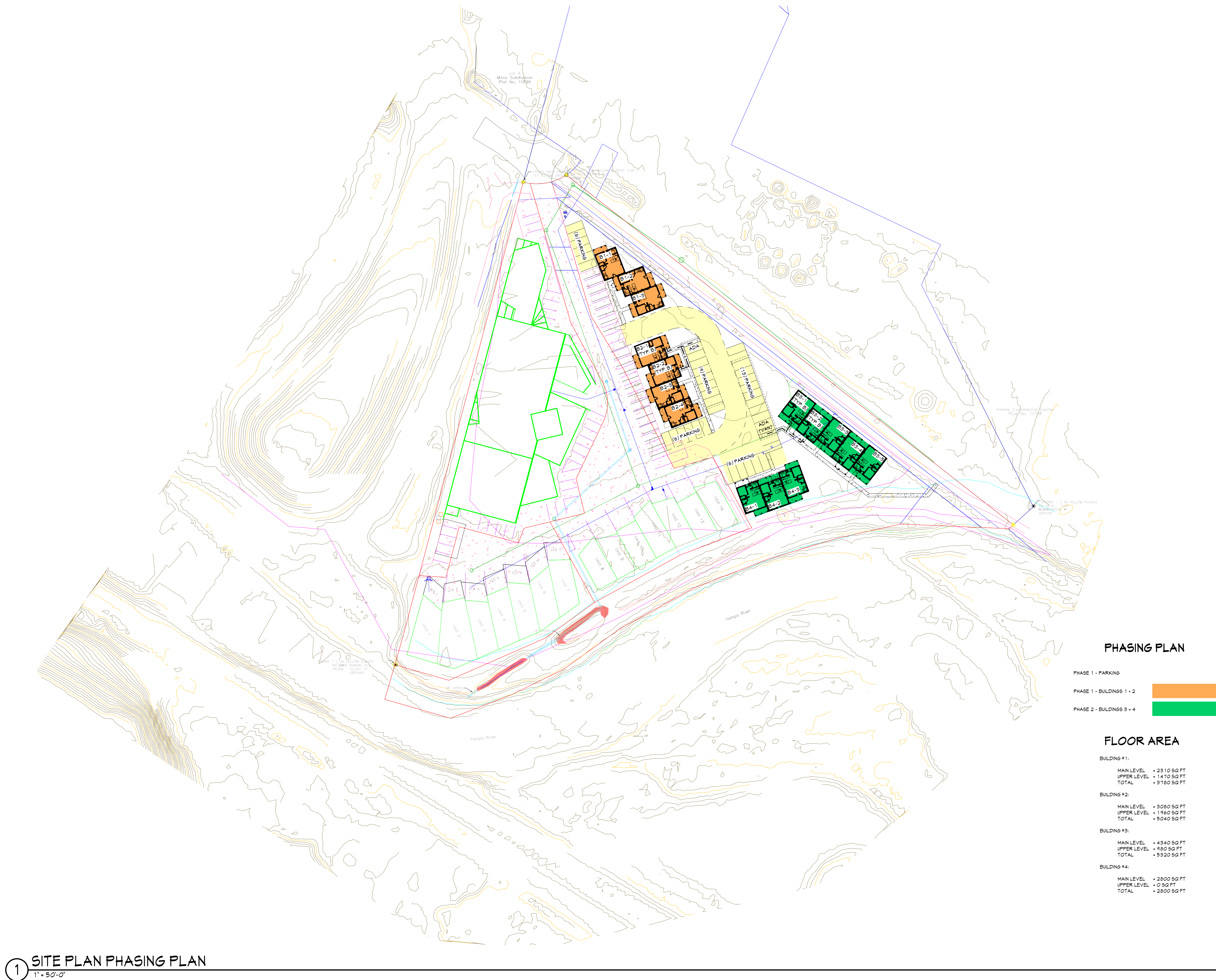


SITE PLAN
BRIDGE LANE
1940/1960 BRIDGE LANE
STEAMBOAT SPRINGS COLORADO
BUILDER # TBD.

Job # 24009
File 24009C10
Date 16DEC24
Drawn KPO
Checked KPO
Revised 05MAY25

Sheet Number
C1
SHEET 1 OF 16

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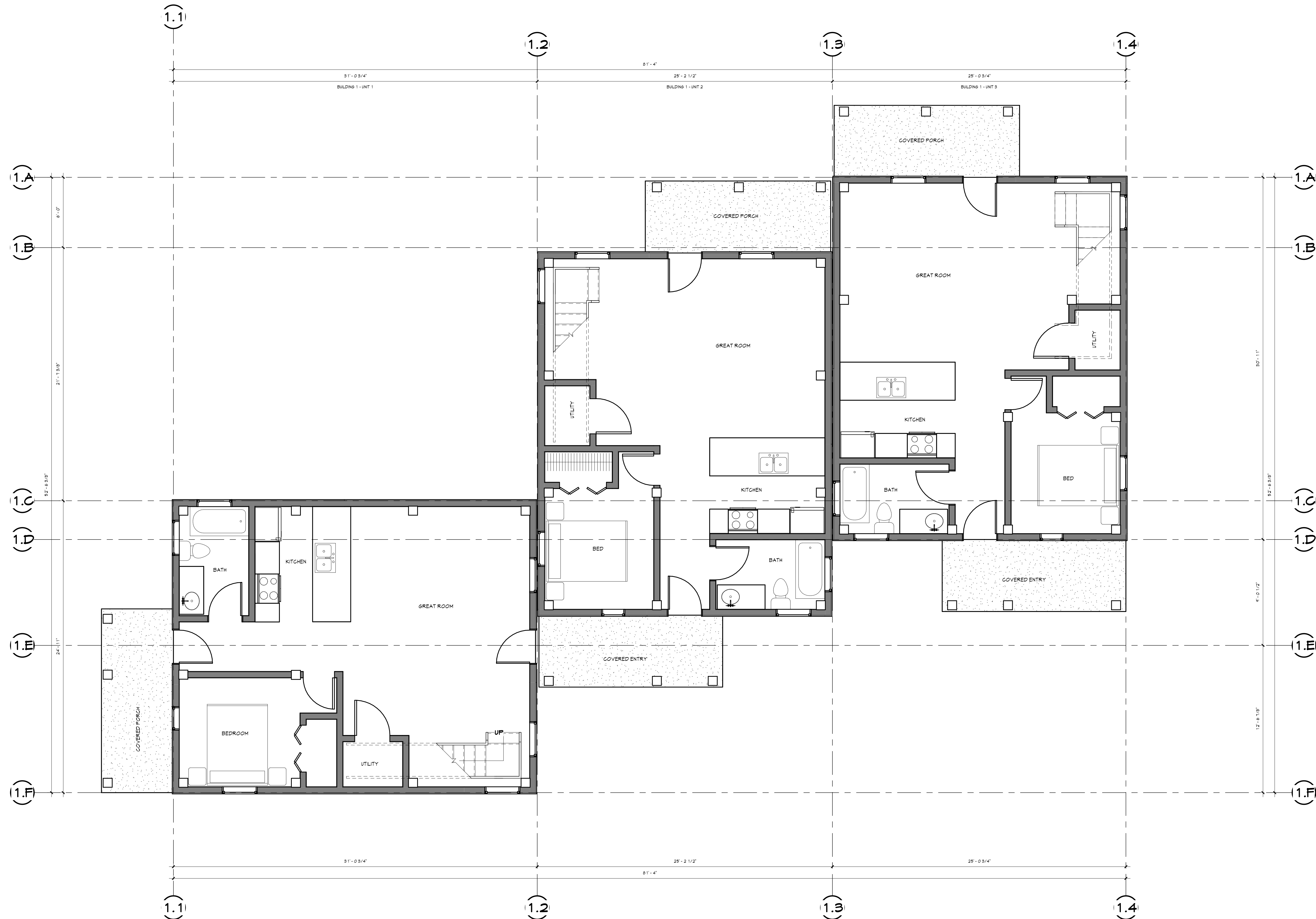
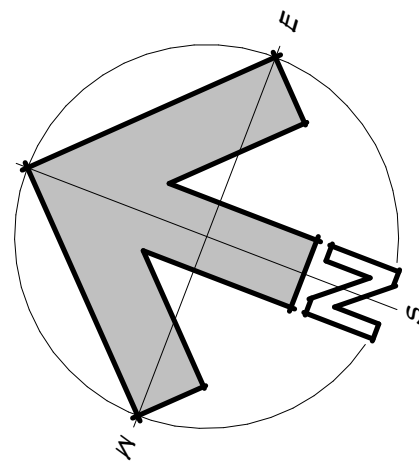
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SITE PLAN - PHASING
BRIDGE LANE
1940/1960 BRIDGE LANE
STEAMBOAT SPRINGS COLORADO
BUILDER # TBD.

Job # 24.001
File 24001C20
Date 28OCT24
Drawn KPO
Checked KPO
Revised 05MAY25
Revised

Sheet Number
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SHEET 2 OF 16

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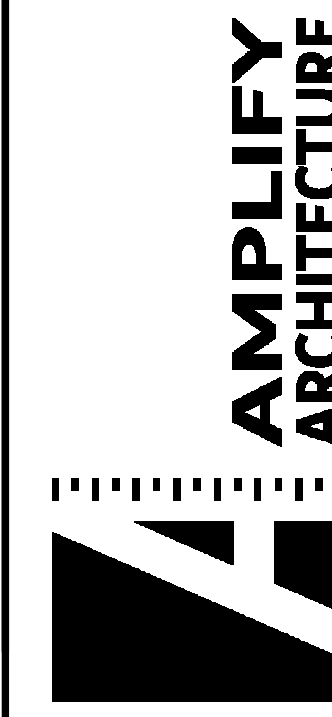
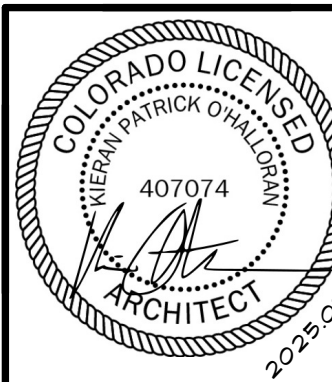
1 MAIN LEVEL BD 1 PLAN
1/4" = 1'-0"

MAIN LEVEL FLOOR AREA PER UNIT = 1710 SQ. FT.
MAIN LEVEL TOTAL FLOOR AREA BUILDING #1 = 2310 SQ. FT.

MAIN LEVEL BUILDING 1 FLOOR PLAN
BRIDGE LANE
1940/1960 BRIDGE LANE
STEAMBOAT SPRINGS COLORADO
BUILDER # TBD.

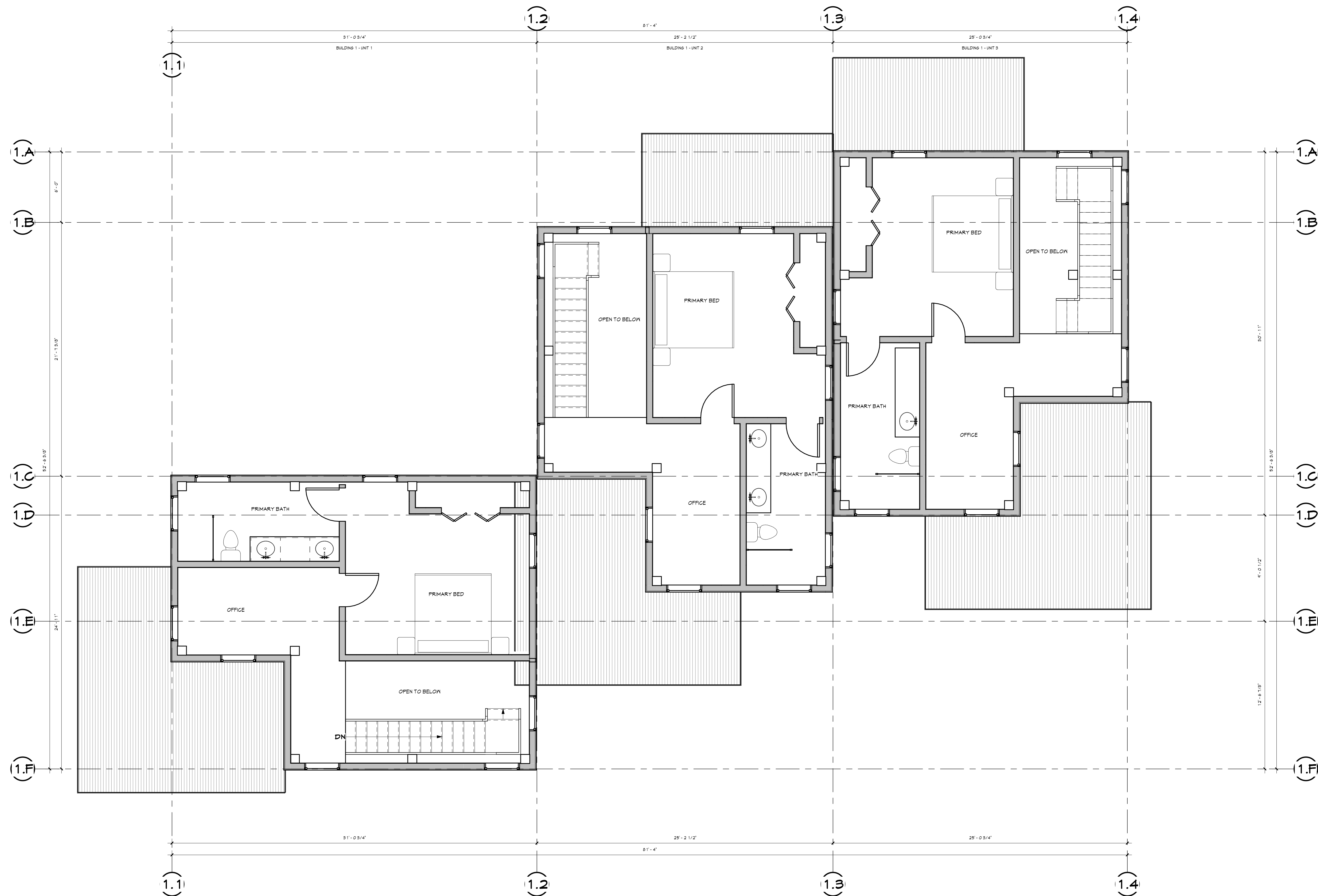
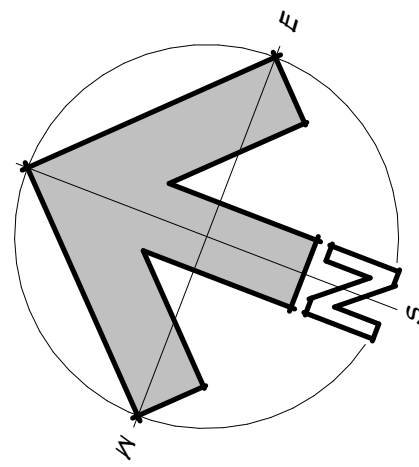
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Revised 05MAY25
Revised

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SHEET 3 OF 16



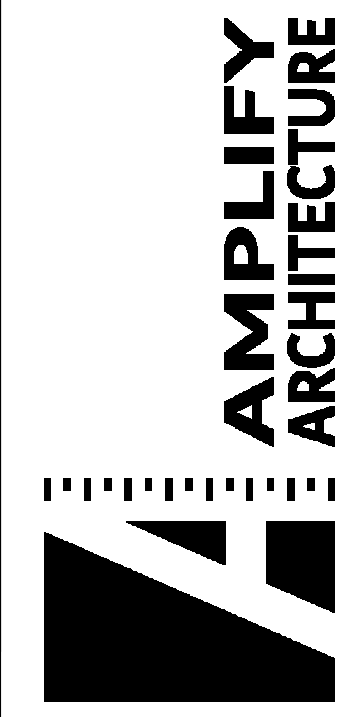
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1 UPPER LEVEL BD 1 PLAN
1/4" = 1'-0"

UPPER LEVEL FLOOR AREA PER UNIT = 540 SQ. FT.
UPPER LEVEL TOTAL FLOOR AREA BUILDING #1 = 1620 SQ. FT.



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UPPER LEVEL BUILDING 1 FLOOR PLAN
BRIDGE LANE
1940/1960 BRIDGE LANE
STEAMBOAT SPRINGS COLORADO
BUILDER # TBD.

Job # 24.009
File 24009A12
Date 16DEC24
Drawn KPO
Checked KPO
Revised 05MAY25
Revised

Sheet Number
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SHEET 4 OF 16