



DRAWING LIST

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APPROVAL STAMPS:

No.	Date	Description
4	12/3/2024	Development Plan Re-Submittal
3	9/25/2024	Development Plan Re-Submittal
2	8/22/2024	Development Plan Re-Submittal
1	4/8/2024	Development Plan Submittal

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GENERAL CONTRACTOR

PROJECT LOCATION
Walton Creek Townhomes
 2075 Walton Creek Rd
 Steamboat Springs, CO

DRAWING TITLE

COVER SHEET

SEAL:	DATE: 03/27/20
	DRAWN BY:
	CHECKED BY:
	PROJECT NO:

DRAWING NO:
G100

WALTON CREEK - DEVELOPMENT PLAN SUBMISSION

2075 WALTON CREEK ROAD
 STEAMBOAT SPRINGS, COLORADO 80487

OWNER

MAY RIEGLER PROPERTIES
 2201 WISCONSIN AVENUE NW SUITE 200
 WASHINGTON, DC 20007
 PO BOX 881330
 STEAMBOAT SPRINGS, CO 80488

PROJECT SUMMARY TABLE

GROSS FLOOR AREA:	11,933 GSF (NOT INCLUDING BASEMENTS)		
NET FLOOR AREA:	10,562 NSF (NOT INCLUDING BASEMENTS)		
UNIT SIZE:	1,492 SF AVERAGE		
NUMBER OF UNITS:	8		
ZONING:	MF-3		
FRONTAGE:	WALTON CREEK RD: 248'	APRES SKI WAY: 82'	
USE BREAKDOWN	DESCRIPTION	SQUARE FOOTAGE	# OF UNITS
PRINCIPAL USE	RESIDENTIAL	11,933 FAR SF	8

STANDARDS	ZONE DISTRICT REQMTS	PROPOSED	VARIANCE? (Y/N)
LOT AREA	12,000 SF MIN / NO MAX	28,998 SF(22,865 EFF.)	N
LOT COVERAGE	45% MAX	32.1% (7,333 SF FTFRNT)	N
FLOOR AREA RATIO	50% MAX	50.00% FAR	N
OVERALL BLDG HT	63' MAX (W/ UNDRGRND PRKG)	32'-0"	N
AVERAGE PLATE HT	41' MAX (W/ UNDRGRND PRKG)	20'-4"	N
FRONTAGE AREA HT	N/A		N
FRONT SETBACK	15 FT MIN	COMPLIES	N
SIDE SETBACK	10 FT MIN	COMPLIES	N
REAR SETBACK	10 FT MIN	COMPLIES	N
SECOND STORY INTENSITY	N/A		N
PARKING	15 SPACES MIN	16 SPACES	N
SNOW STORAGE	2,936 SF	3,023 SF	N

BUILDING CODE INFORMATION - 2018 INTERNATIONAL RESIDENTIAL CODE (NON-SPRINKLERED)
 R101.2 SCOPE IRC APPLIES. TOWNHOUSES, NOT MORE THAN 3 STORIES ABOVE GRADE.
 TABLE 302.1 EXTERIOR WALLS FIRE-RESISTANCE RATED WALLS TO BE 1 HOUR
 R302.2.1 DOUBLE WALLS EACH TH SEPARATED BY (2) 1-HOUR RATED WALL ASSEMBLY.
 302.2.2 COMMON WALLS WHEN NO FIRE SPRINKLER IS PROVIDED, COMMON WALL TO BE 2-HR RATED
 R302.2.6 STRUCT. IND. EACH INDIVIDUAL TOWNHOUSE SHALL BE STRUCTURALLY INDEPENDENT.

VICINITY MAP



PROJECT TEAM

OWNER

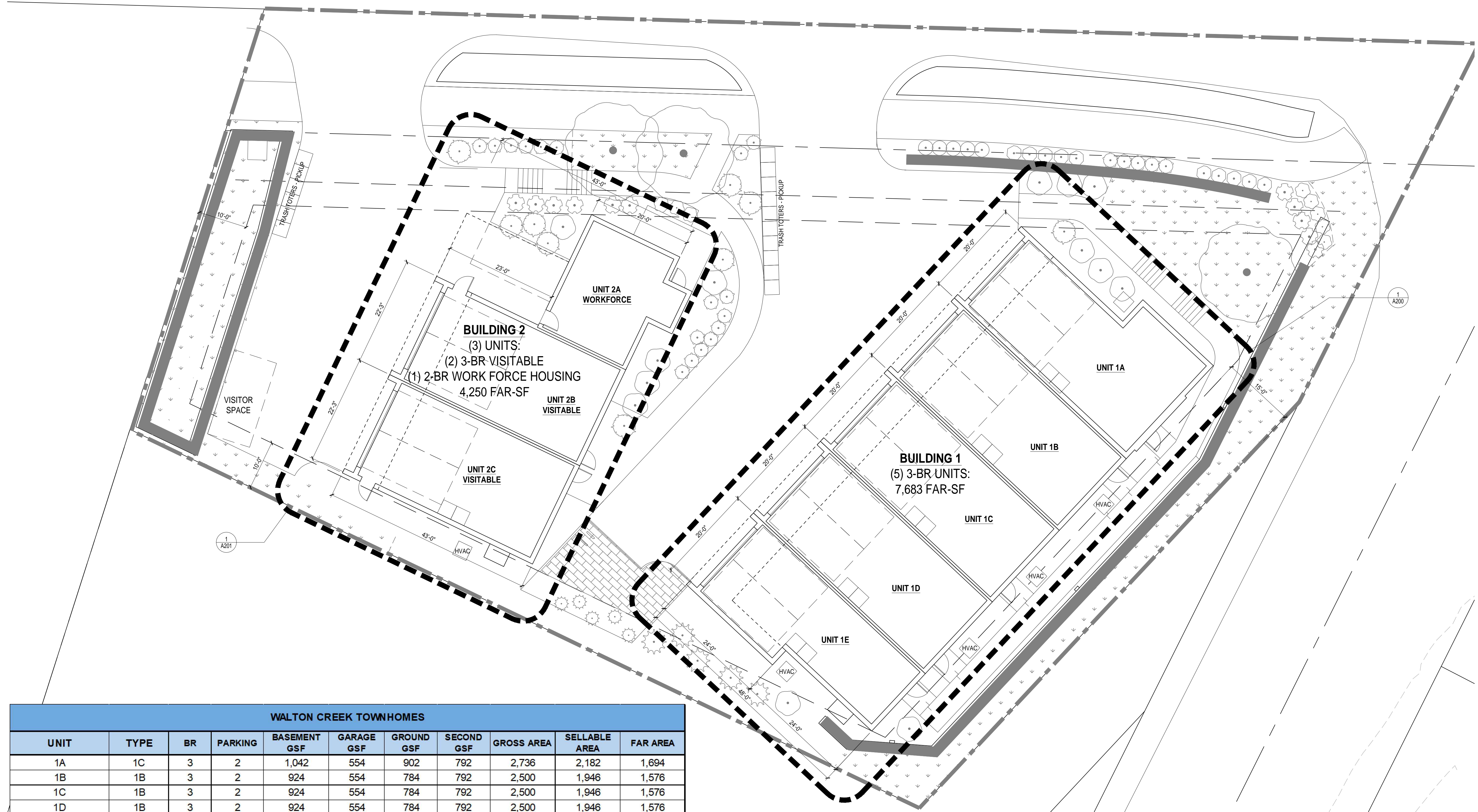
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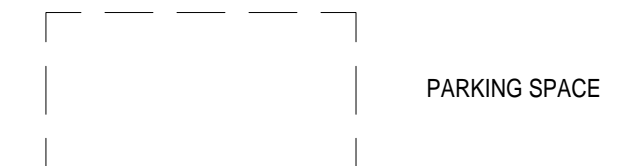


WALTON CREEK TOWNHOMES										
UNIT	TYPE	BR	PARKING	BASEMENT GSF	GARAGE GSF	GROUND GSF	SECOND GSF	GROSS AREA	SELLABLE AREA	FAR AREA
1A	1C	3	2	1,042	554	902	792	2,736	2,182	1,694
1B	1B	3	2	924	554	784	792	2,500	1,946	1,576
1C	1B	3	2	924	554	784	792	2,500	1,946	1,576
1D	1B	3	2	924	554	784	792	2,500	1,946	1,576
1E	1A	3	2	828	519	628	633	2,089	1,570	1,261
2A - WFH	2B	2	1	162	162	551	551	1,264	1,102	1,102
2B - Visitable	2A	3	2	918	529	785	789	2,492	1,963	1,574
2C - Visitable	2A	3	2	918	529	785	789	2,492	1,963	1,574
TOTAL		23	15	6,640	3,955	6,003	5,930	18,573	14,618	11,933

+ 1 Visitor

Property Area	28,998
Effective Site Area	22,865
Allowable FAR	50%
Allowable Area	11,433
WFH Bonus	500
Total Allowable	11,933

LEGEND



PARKING SPACE

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GENERAL CONTRACTOR

PROJECT LOCATION

Walton Creek Townhomes
 2075 Walton Creek Rd
 Steamboat Springs, CO

DRAWING TITLE

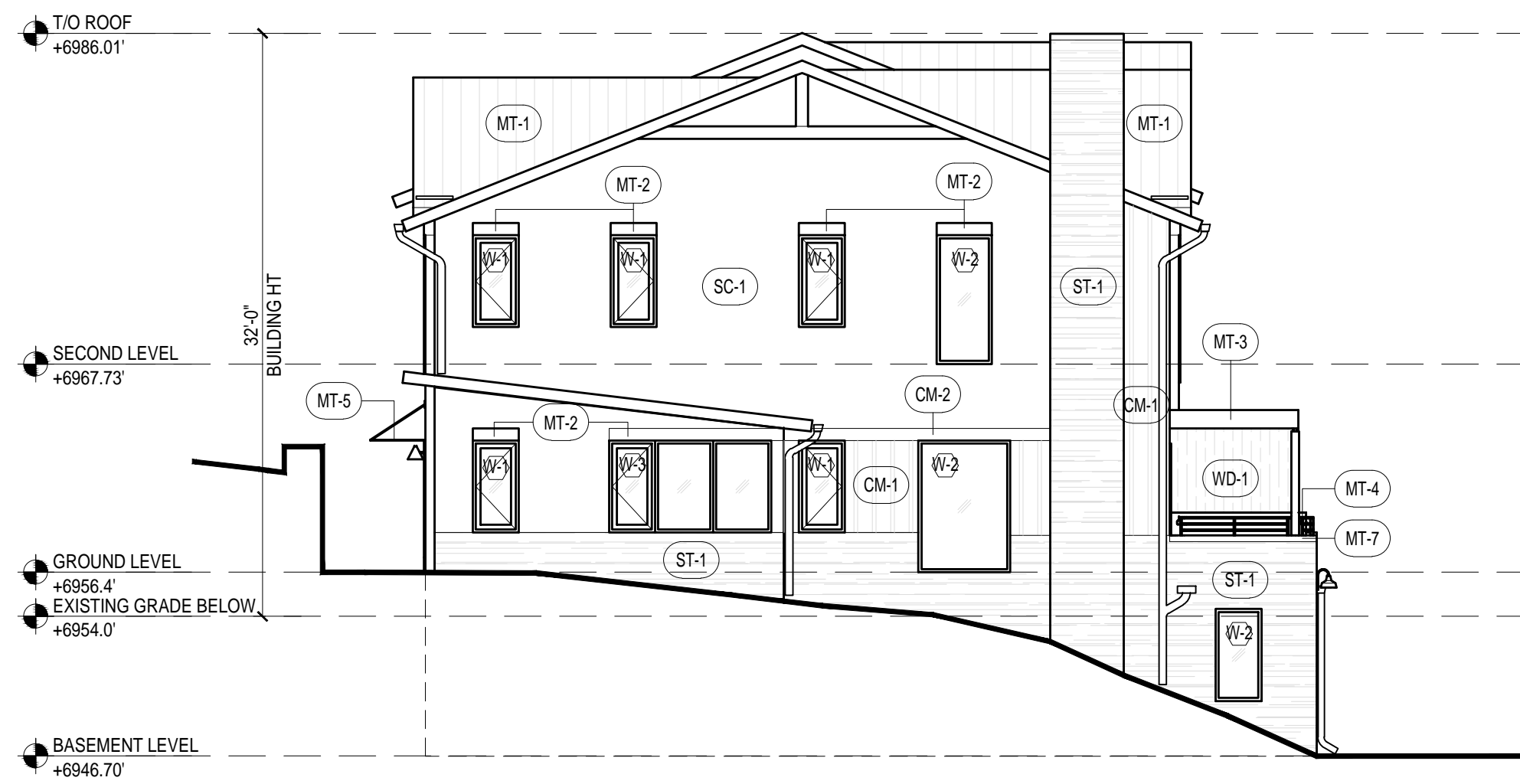
SITE PLAN

SEAL

DATE:
03/27/20
 DRAWN BY:
 CHECKED BY:
 PROJECT NO:

DRAWING NO:

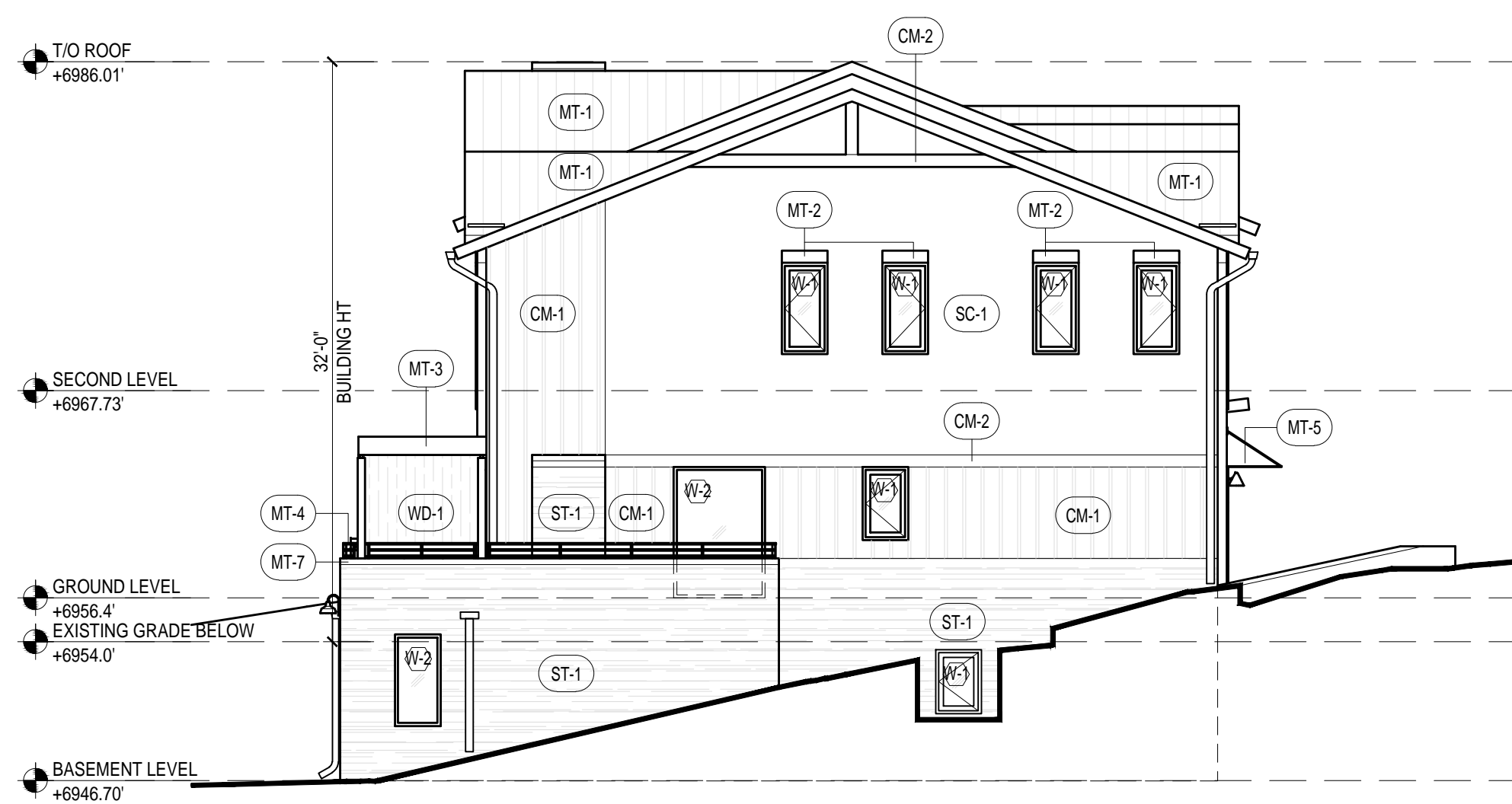
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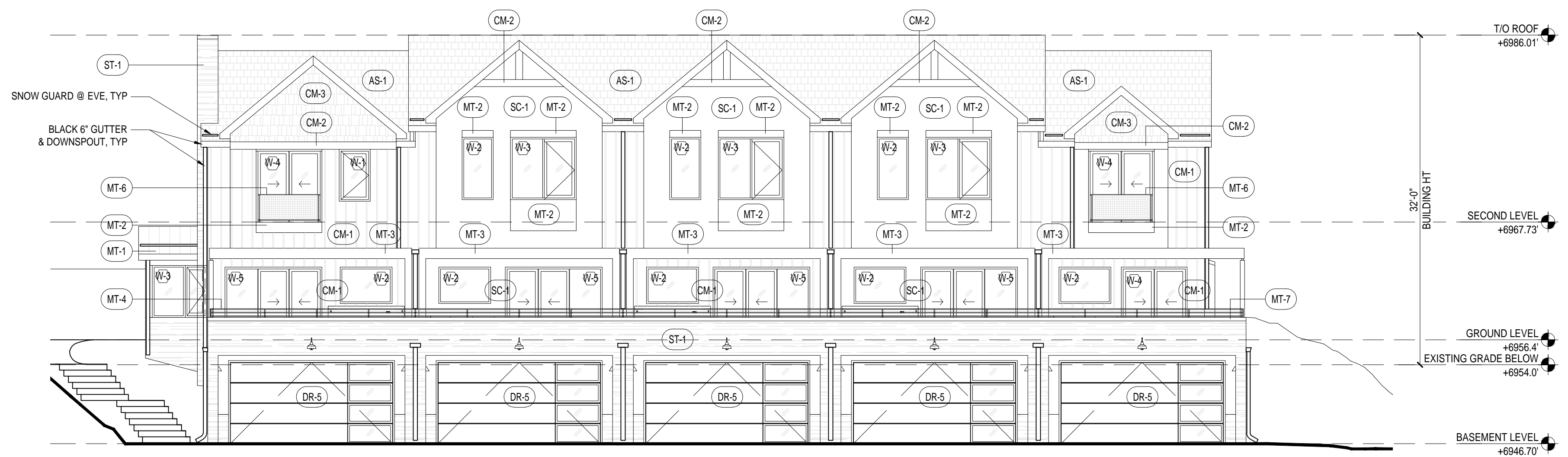
1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



4 WEST ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR MATERIAL LEGEND		
TAG	DESCRIPTION	COLOR
AS-1	ASPHALT SHINGLE	DARK GRAY
CM-1	CEMENTITIOUS SIDING	DARK WOOD-TONE
CM-2	CEMENTITIOUS TRIM	DARK WOOD-TONE
DR-1	PTD FULL GLASS WOOD ENTRY DOOR W/ SIDE LIGHT	RED
DR-2	PTD FULL GLASS WOOD ENTRY DOOR W/ SIDE LIGHT	TEAL
DR-3	PTD FULL GLASS WOOD ENTRY DOOR W/ SIDE LIGHT	BLACK
DR-4	PTD FLAT PANEL WOOD EXTERIOR DOOR	BLACK
DR-5	GARAGE DOOR W/ PARTIAL GLASS	BLACK
MT-1	MTL ROOFING	DARK GRAY
MT-2	PTD METAL TRIM	BLACK
MT-3	PTD METAL CANOPY W/ WOOD INTERIOR	BLACK
MT-4	PTD METAL RAILING	BLACK
MT-5	PTD METAL CANOPY W/ TIE BACKS	BLACK
MT-6	PTD METAL RAILING W/ MTL MESH	BLACK
MT-7	METAL ROOFING	GRAY
SC-1	3-PART STUCCO	GREIGE
ST-1	CULTURED STONE VENEER	GRAY
WD-1	STAINED WOOD PANEL	LIGHT WOOD-TONE

WINDOW LEGEND		
TAG	DESCRIPTION	COLOR
W-1	CASEMENT WINDOW	BLACK
W-2	FIXED WINDOW	BLACK
W-3	CASEMENT FIXED WINDOW	BLACK
W-4	SLIDING DOORS	BLACK
W-5	SLIDING DOORS W/ SIDE LIGHT	BLACK

MATERIAL TEXTURES



ACCENT COLORS



5 LEGENDS
SCALE: NTS

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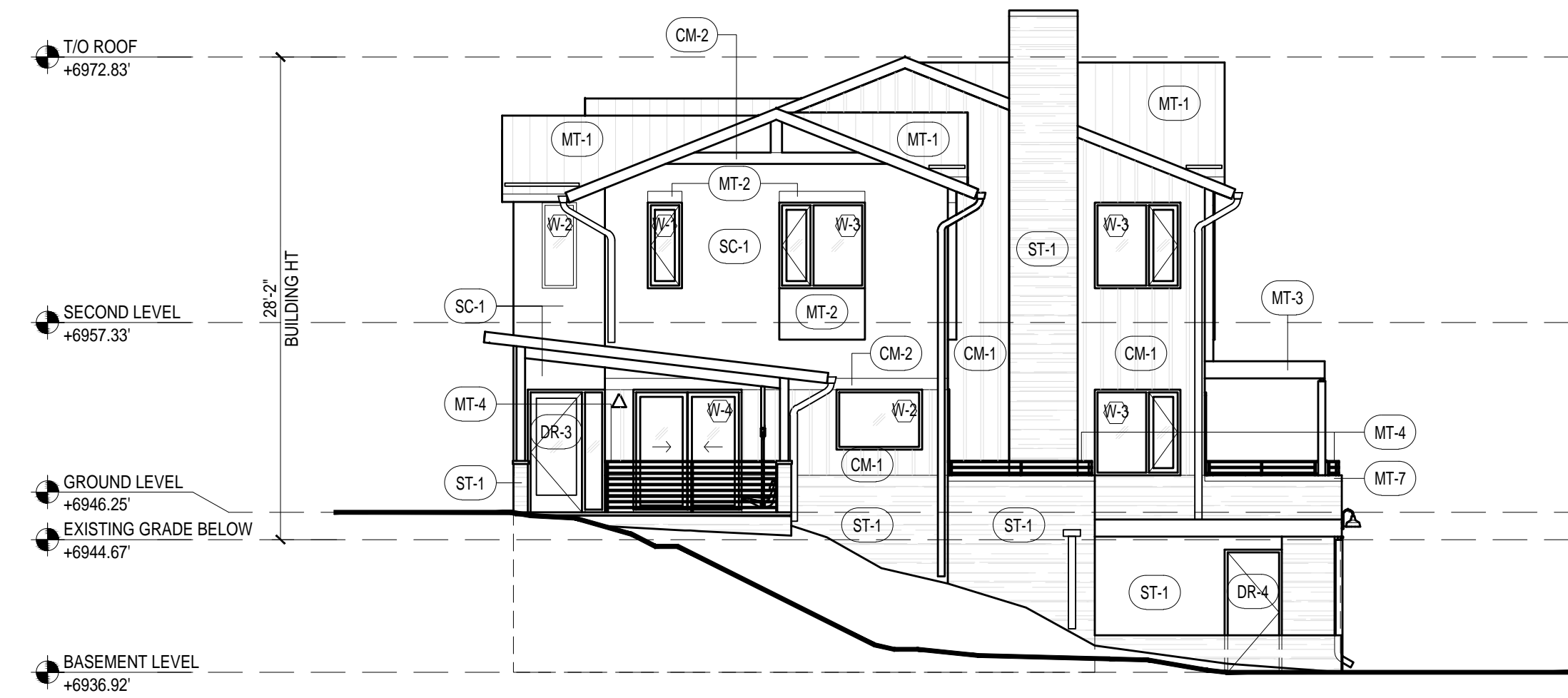
GENERAL CONTRACTOR

PROJECT LOCATION
Walton Creek Townhomes
2075 Walton Creek Rd
Steamboat Springs, CO

DRAWING TITLE
BUILDING 1 - ELEVATIONS

SEAL: _____ DATE: 03/27/20
DRAWN BY: _____
CHECKED BY: _____
PROJECT NO: _____

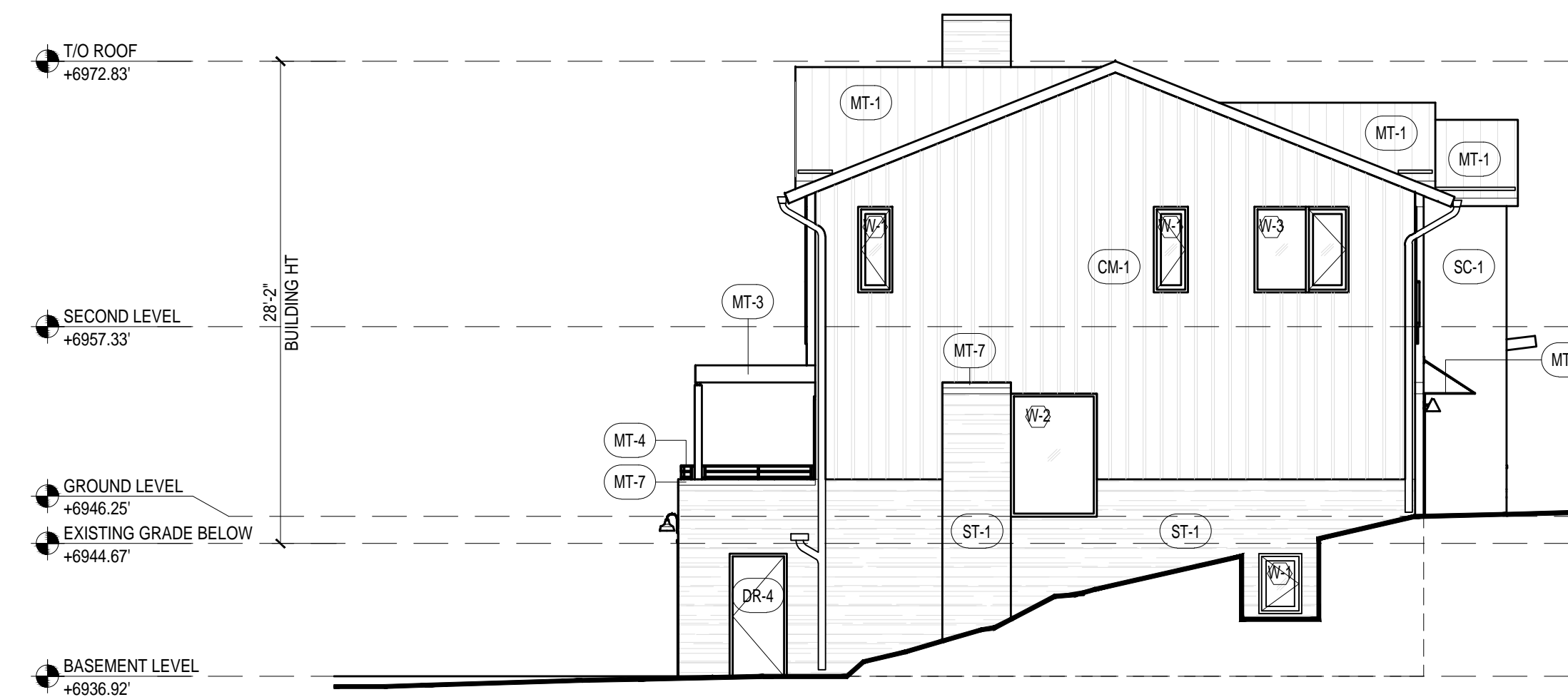
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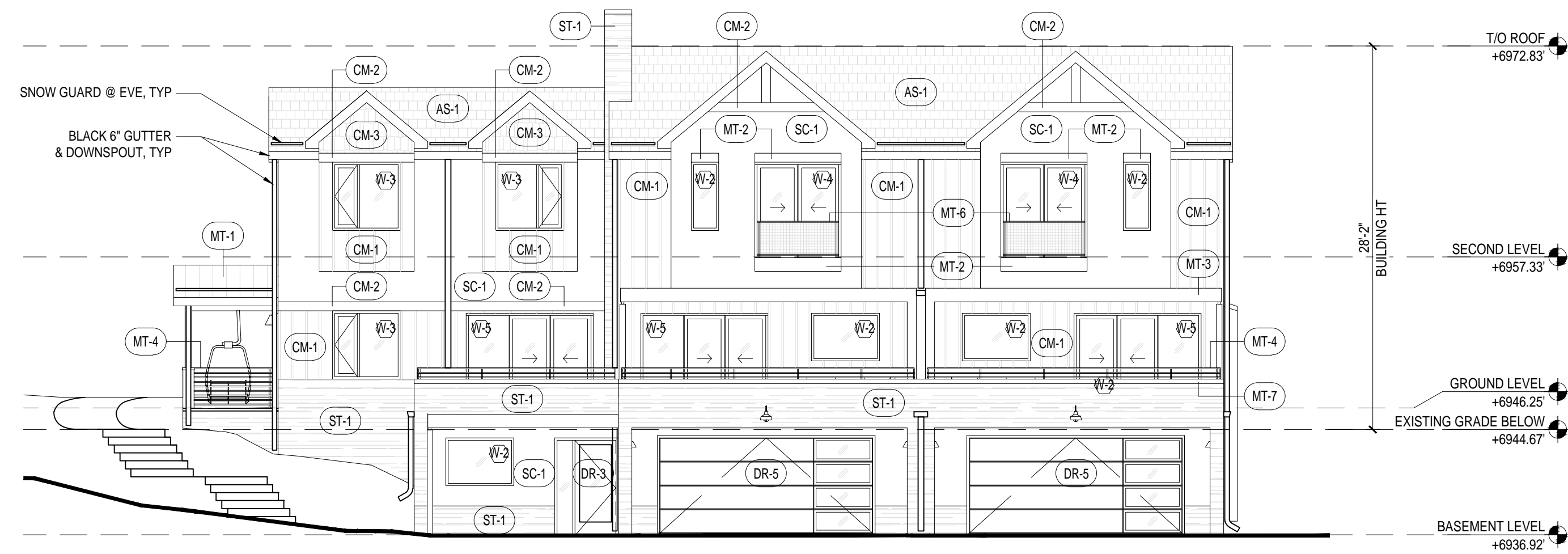
1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

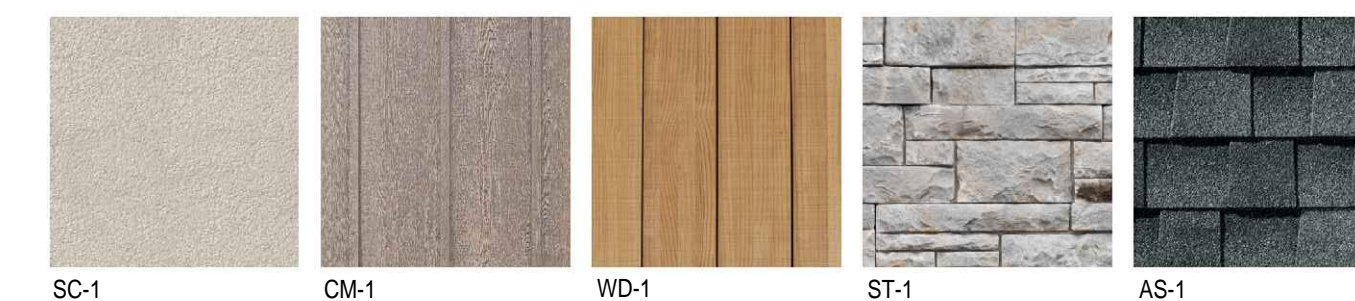


4 WEST ELEVATION
SCALE: 1/8" = 1'-0"

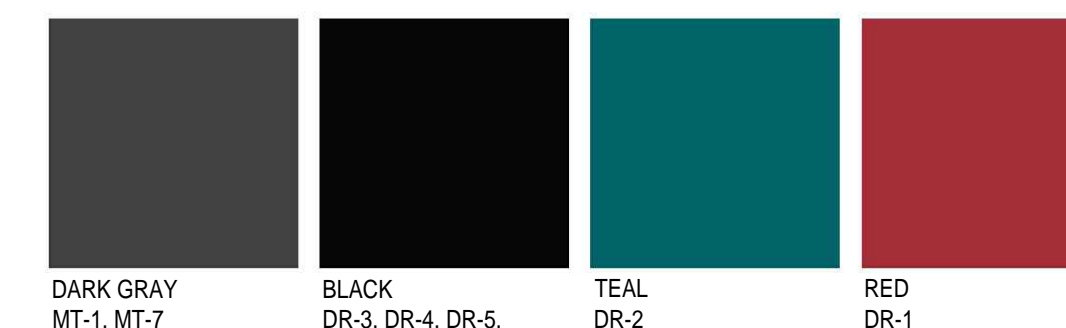
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CM-2	CEMENTITIOUS TRIM	DARK WOOD-TONE
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DR-2	PTD FULL GLASS WOOD ENTRY DOOR W SIDELIGHT	TEAL
DR-3	PTD FULL GLASS WOOD ENTRY DOOR W SIDELIGHT	BLACK
DR-4	PTD FLAT PANEL WOOD EXTERIOR DOOR	BLACK
DR-5	GARAGE DOOR W PARTIAL GLASS	BLACK
MT-1	MTL ROOFING	DARK GRAY
MT-2	PTD METAL TRIM	BLACK
MT-3	PTD METAL CANOPY W WOOD INTERIOR	BLACK
MT-4	PTD METAL RAILING	BLACK
MT-5	PTD METAL CANOPY W TIE BACKS	BLACK
MT-6	PTD METAL RAILING W MTL MESH	BLACK
MT-7	METAL COPING	GRAY
SC-1	3-PART STUCCO	GREIGE
ST-1	CULTURED STONE VENEER	GRAY
WD-1	STAINED WOOD PANEL	LIGHT WOOD-TONE

WINDOW LEGEND		
TAG	DESCRIPTION	COLOR
W-1	CASEMENT WINDOW	BLACK
W-2	FIXED WINDOW	BLACK
W-3	CASEMENT/FIXED WINDOW	BLACK
W-4	SLIDING DOORS	BLACK
W-5	SLIDING DOORS W SIDELIGHT	BLACK

MATERIAL TEXTURES



ACCENT COLORS



5 LEGENDS
SCALE: NTS

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GENERAL CONTRACTOR

PROJECT LOCATION

**Walton Creek
Townhomes**
2075 Walton Creek Rd
Steamboat Springs, CO

DRAWING TITLE

**BUILDING 2 -
ELEVATIONS**

SEAL

DATE:

03/27/20

DRAWN BY:

CHECKED BY:

PROJECT NO:

DRAWING NO:

A301



1 BASEMENT DIAGRAM - SITE PLAN
SCALE: 1" = 10'

DASHED LINE DESIGNATES AREA AT PERIMETER WHERE
BASEMENT STORY IS EXPOSED 3 FEET OR LESS,
MEASURED AS DESCRIBED IN CDC SECTION 801.P.

BASEMENT LEVEL EXPOSURE CALCULATIONS

BUILDING 1

FACADE	3' OR LESS	PERIMETER	%
EAST	102'	102'	100%
SOUTH	5.2'	48'	10.8%
WEST	43.9'	102'	38%
NORTH	48'	48'	100%
TOTAL	199.1'	300'	66.4%

BUILDING 2

FACADE	3' OR LESS	PERIMETER	%
EAST	69.25'	69.25'	100%
SOUTH	2.6'	43'	6.0%
WEST	46.5'	69.25'	67.1%
NORTH	43'	43'	100%
TOTAL	161.35'	224.5'	71.9%

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DRAWING TITLE
**BASEMENT EXHIBIT
SITE PLAN**

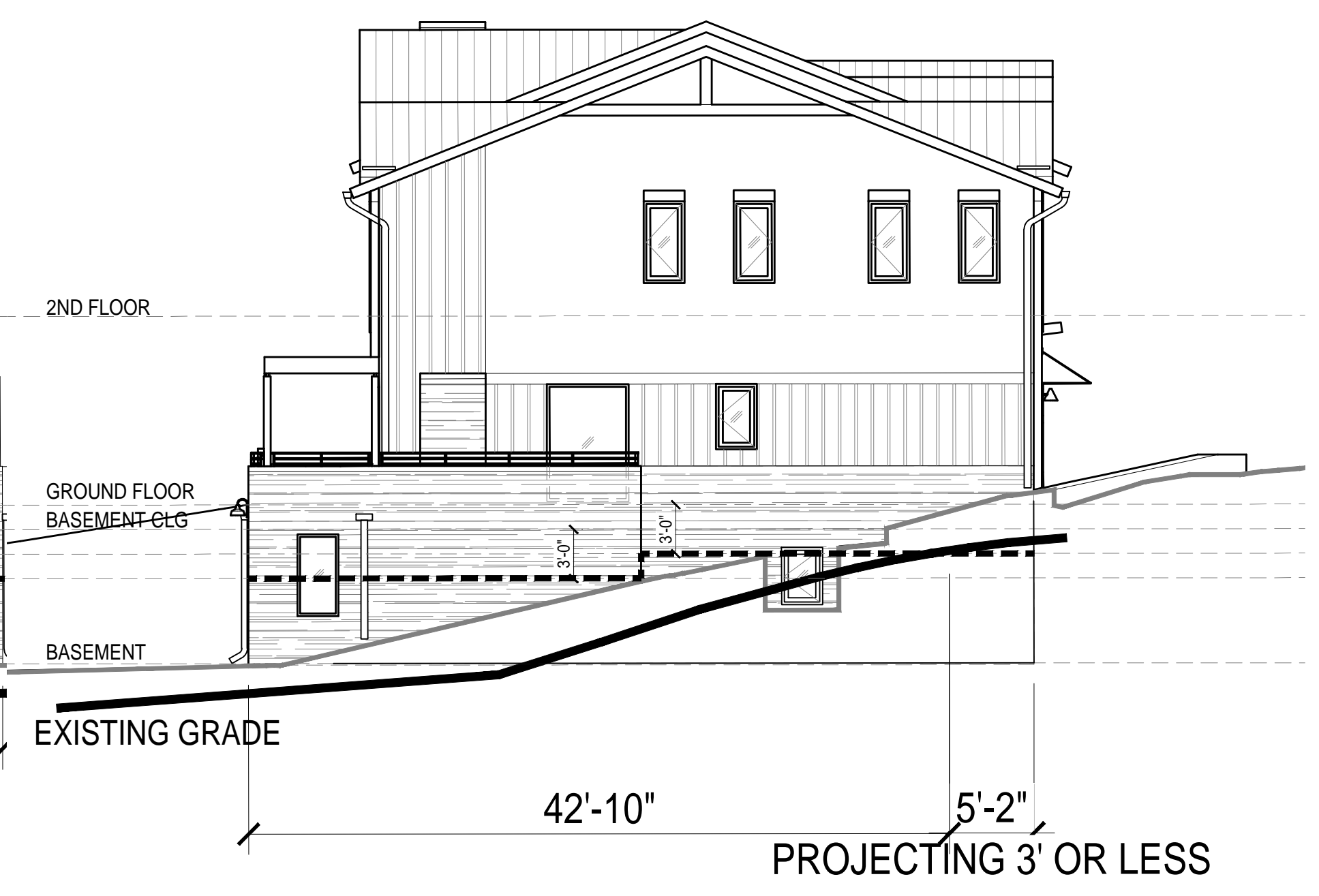
SEAL	DATE: 03/27/20
	DRAWN BY:
	CHECKED BY:
	PROJECT NO:

DRAWING NO:
A302

TO ROOF
 +6986.01'
 SECOND LEVEL
 +6967.73'
 GROUND LEVEL
 +6956.4'
 3' EXPOSED
 +6953.4'
 BASEMENT LEVEL
 +6946.70'



1 WEST BASEMENT DIAGRAM
 SCALE: 1/8" = 1'-0"

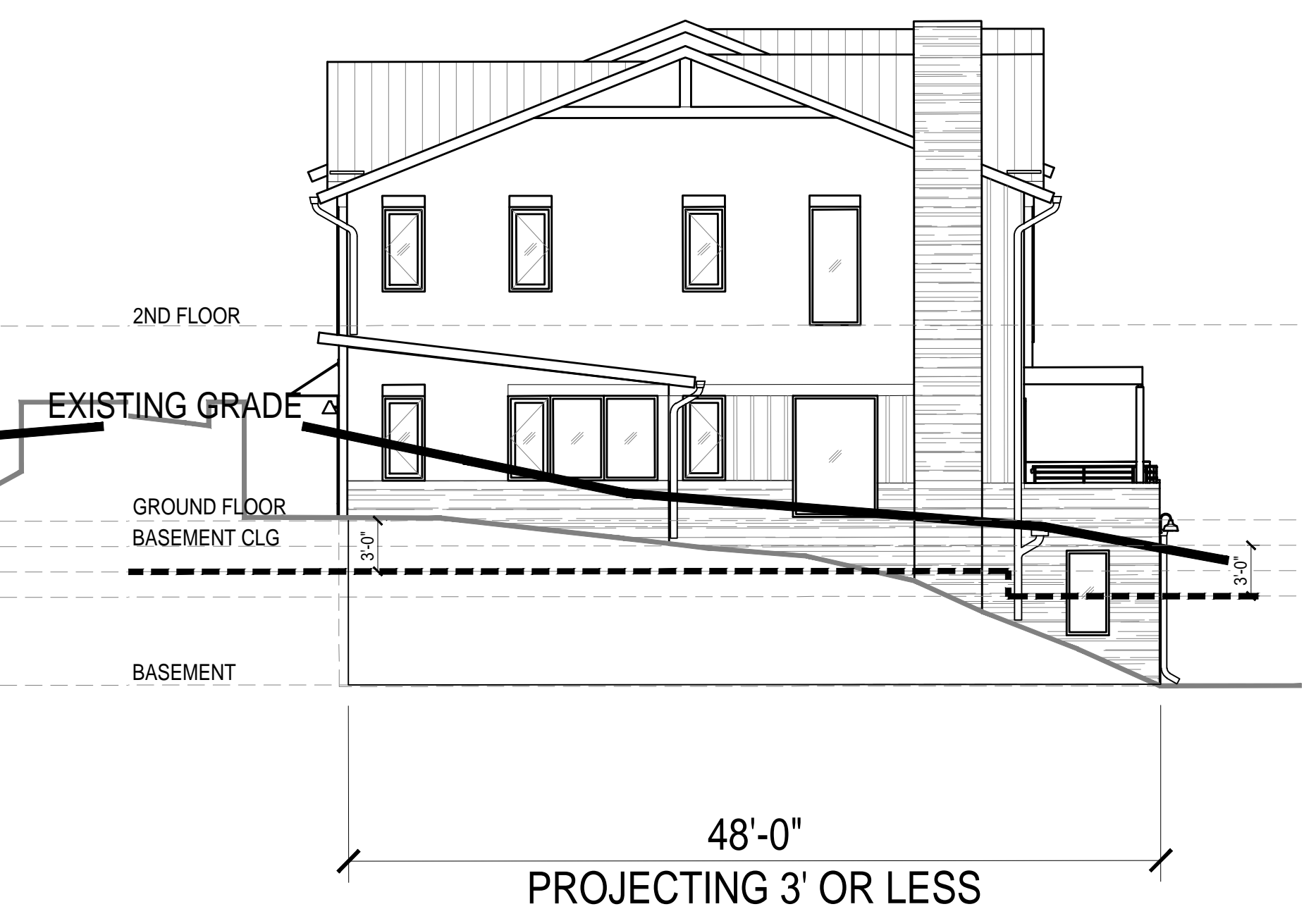


2 SOUTH BASEMENT DIAGRAM
 SCALE: 1/8" = 1'-0"

TO ROOF
 +6986.01'
 SECOND LEVEL
 +6967.73'
 GROUND LEVEL
 +6956.4'
 3' EXPOSED
 +6953.4'
 BASEMENT LEVEL
 +6946.70'



3 EAST BASEMENT DIAGRAM
 SCALE: 1/8" = 1'-0"



4 NORTH BASEMENT DIAGRAM
 SCALE: 1/8" = 1'-0"

**BASEMENT LEVEL EXPOSURE CALCULATIONS
BUILDING 1**

FACADE	3' OR LESS	PERIMETER	%
EAST	102'	102'	100%
SOUTH	5.2'	48'	10.8%
WEST	43.9'	102'	38%
NORTH	48'	48'	100%
TOTAL	199.1'	300'	66.4%

DASHED LINE DESIGNATES 3 FEET BELOW EITHER
 FINISHED FLOOR STORY ABOVE OR FINISHED CEILING
 OF BASEMENT (IF NO STORY ABOVE), TO BE COMPARED
 TO LINE OF EXISTING GRADE.

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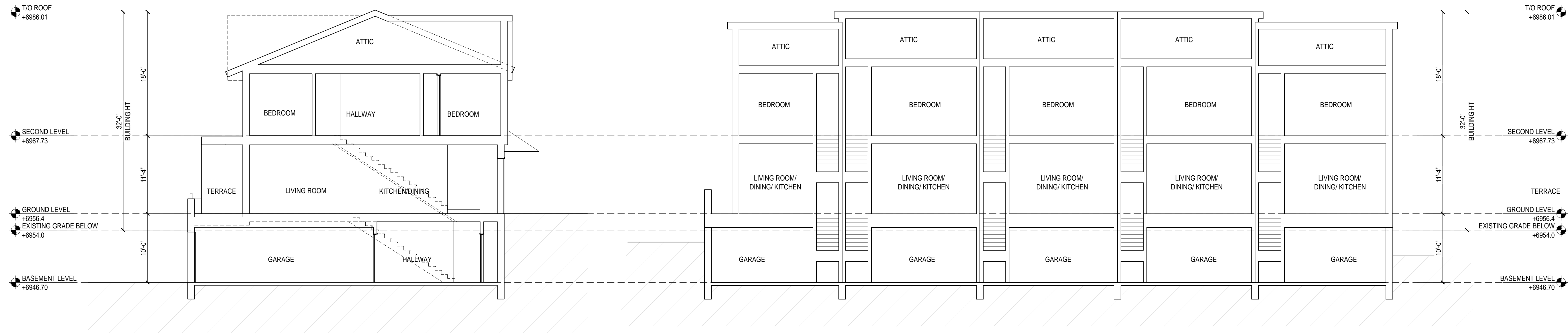
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PROJECT LOCATION
**Walton Creek
Townhomes**
 2075 Walton Creek Rd
 Steamboat Springs, CO

DRAWING TITLE
**BUILDING 1
BASEMENT EXHIBIT**

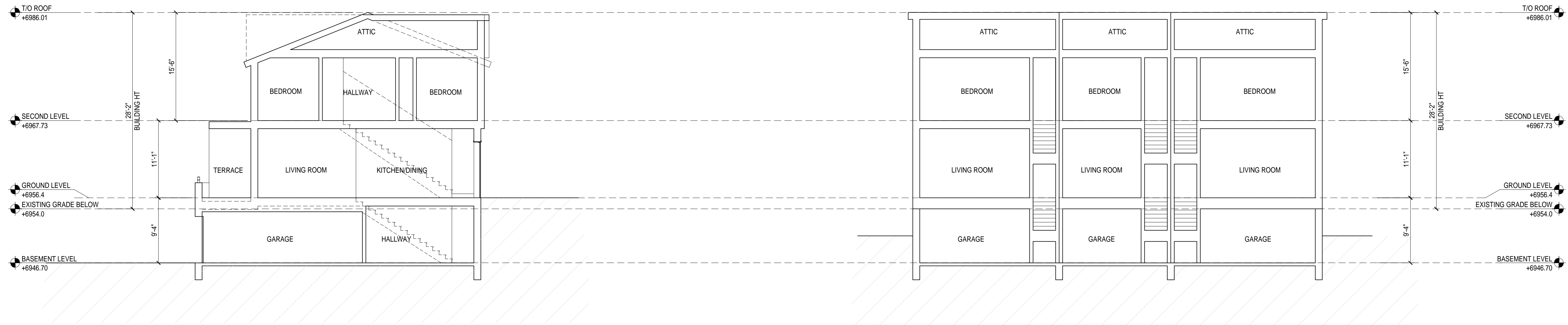
SEAL: _____ DATE: 03/27/20
 DRAWN BY: _____
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 PROJECT NO: _____

DRAWING NO:
A303



1 BUILDING 1 TRANSVERSE SECTION
SCALE: 1/8" = 1'-0"

2 BUILDING 1 LONGITUDINAL SECTION
SCALE: 1/8" = 1'-0"



3 BUILDING 2 TRANSVERSE SECTION
SCALE: 1/8" = 1'-0"

4 BUILDING 2 LONGITUDINAL SECTION
SCALE: 1/8" = 1'-0"

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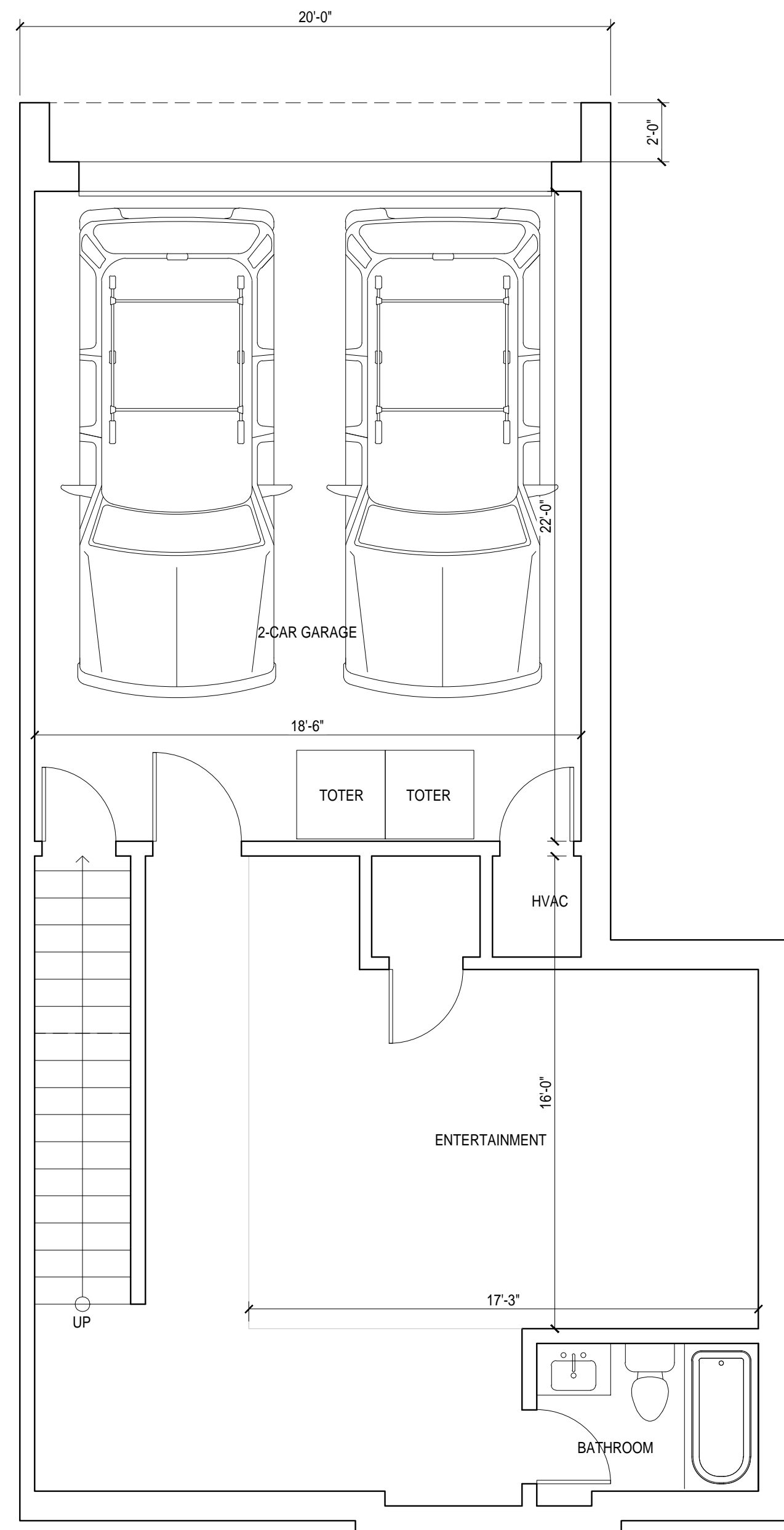
GENERAL CONTRACTOR

PROJECT LOCATION
Walton Creek Townhomes
2075 Walton Creek Rd
Steamboat Springs, CO

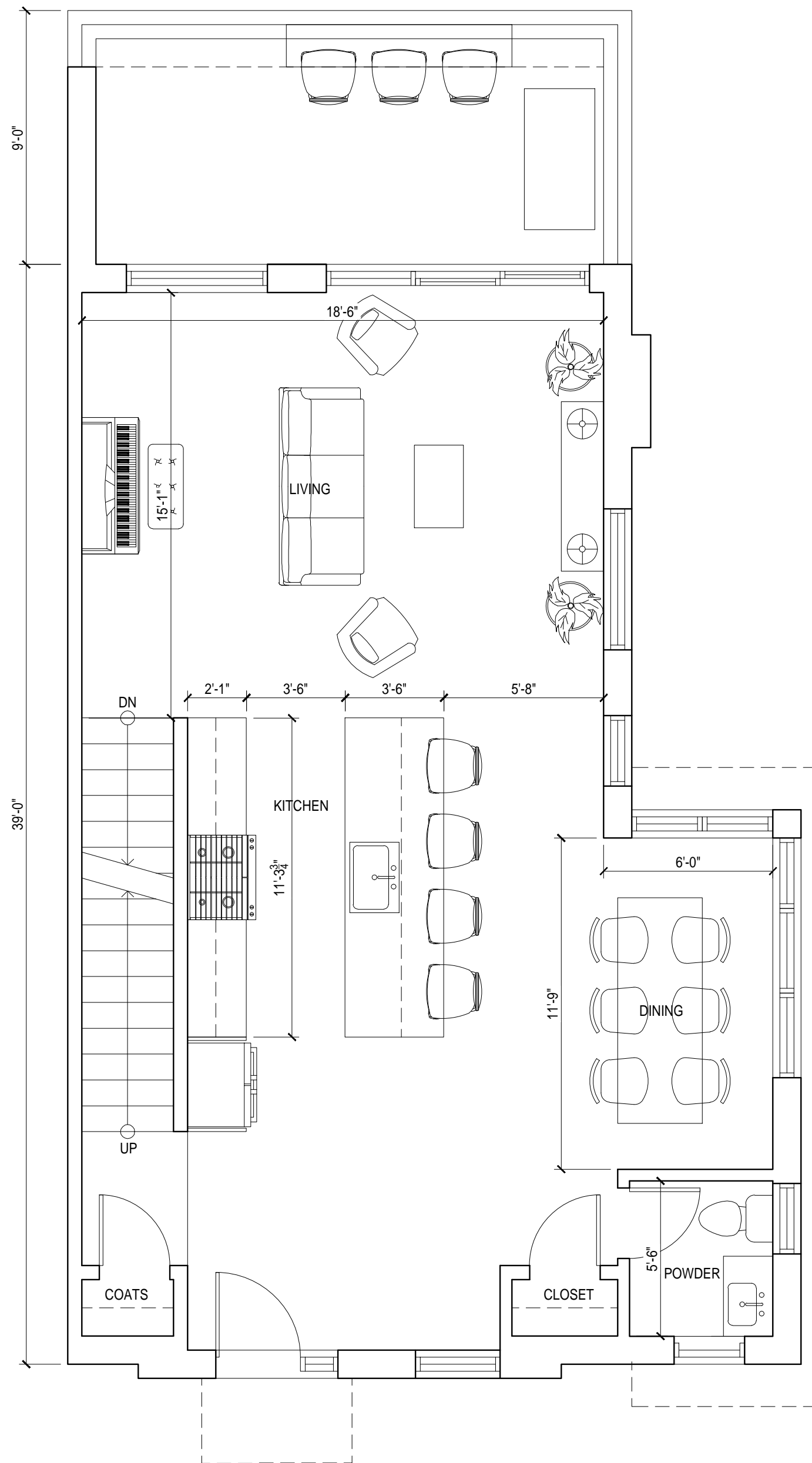
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BUILDING SECTIONS

SEAL	DATE: 03/27/20
	DRAWN BY:
	CHECKED BY:
	PROJECT NO:

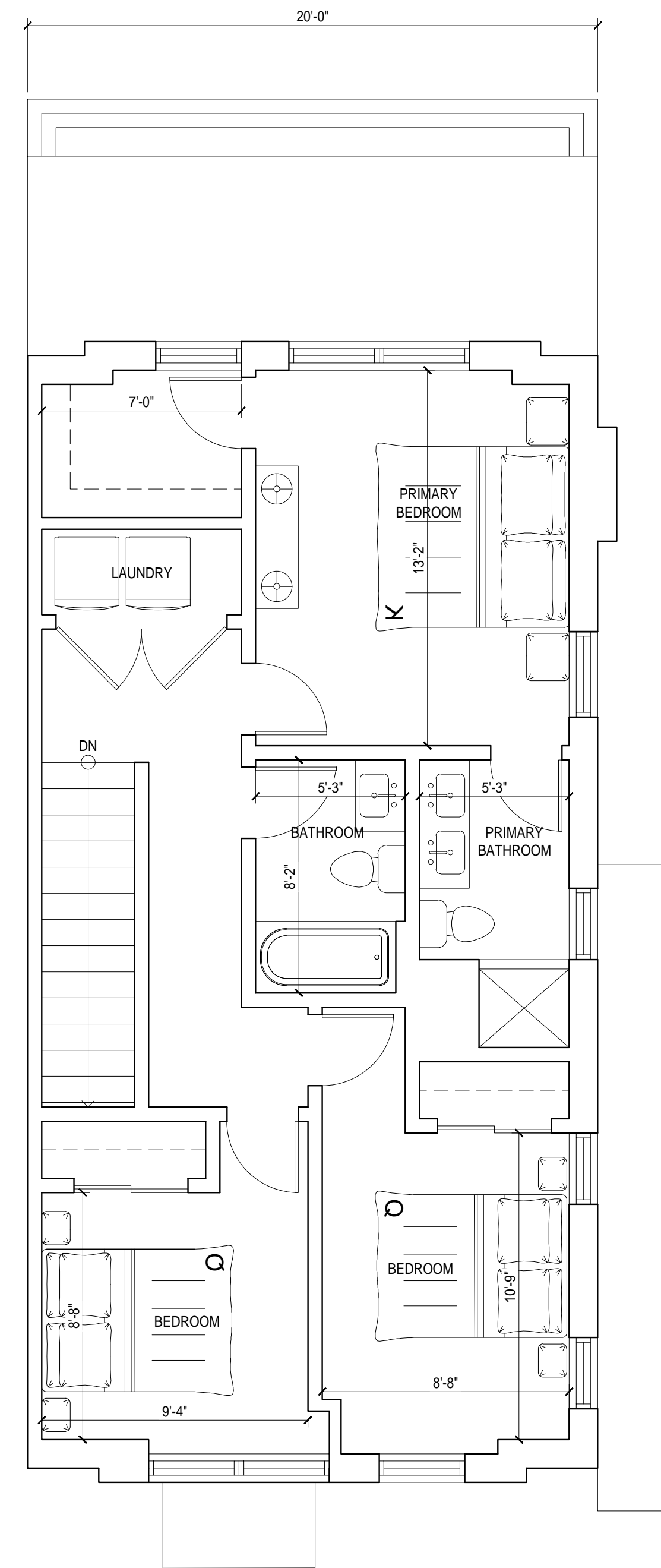
DRAWING NO:
A320



1 BASEMENT LEVEL PLAN
SCALE: 1:10



2 GROUND LEVEL PLAN
SCALE: 1:10



3 SECOND LEVEL PLAN
SCALE: 1:10

APPROVAL STAMPS:

No.	Date	Description
3	12/3/2024	Development Plan Re-Submittal
2	8/22/2024	Development Plan Re-Submittal
1	4/8/2024	Development Plan Submittal

SUBMISSIONS & REVISIONS

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2201 Wisconsin Avenue NW Suite 200
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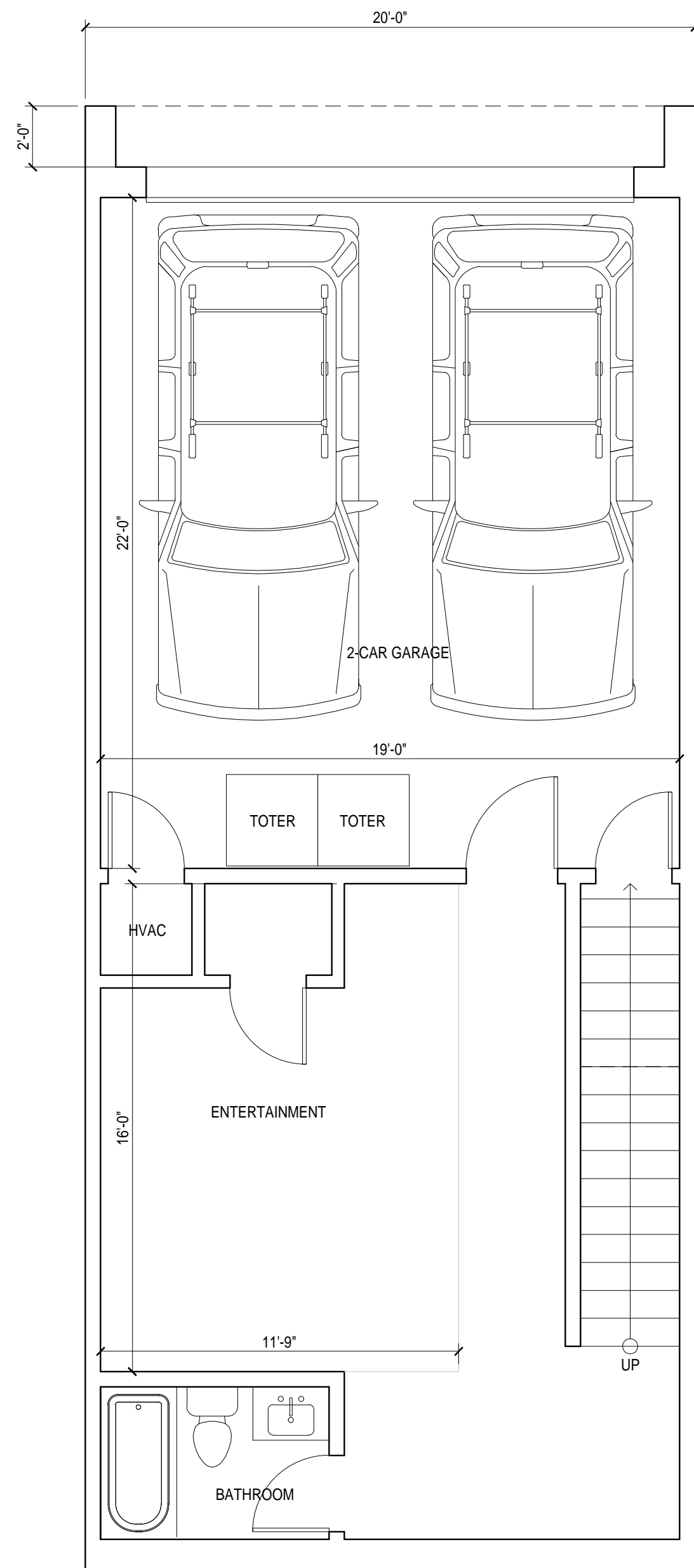
GENERAL CONTRACTOR

PROJECT LOCATION
Walton Creek Townhomes
2075 Walton Creek Rd
Steamboat Springs, CO

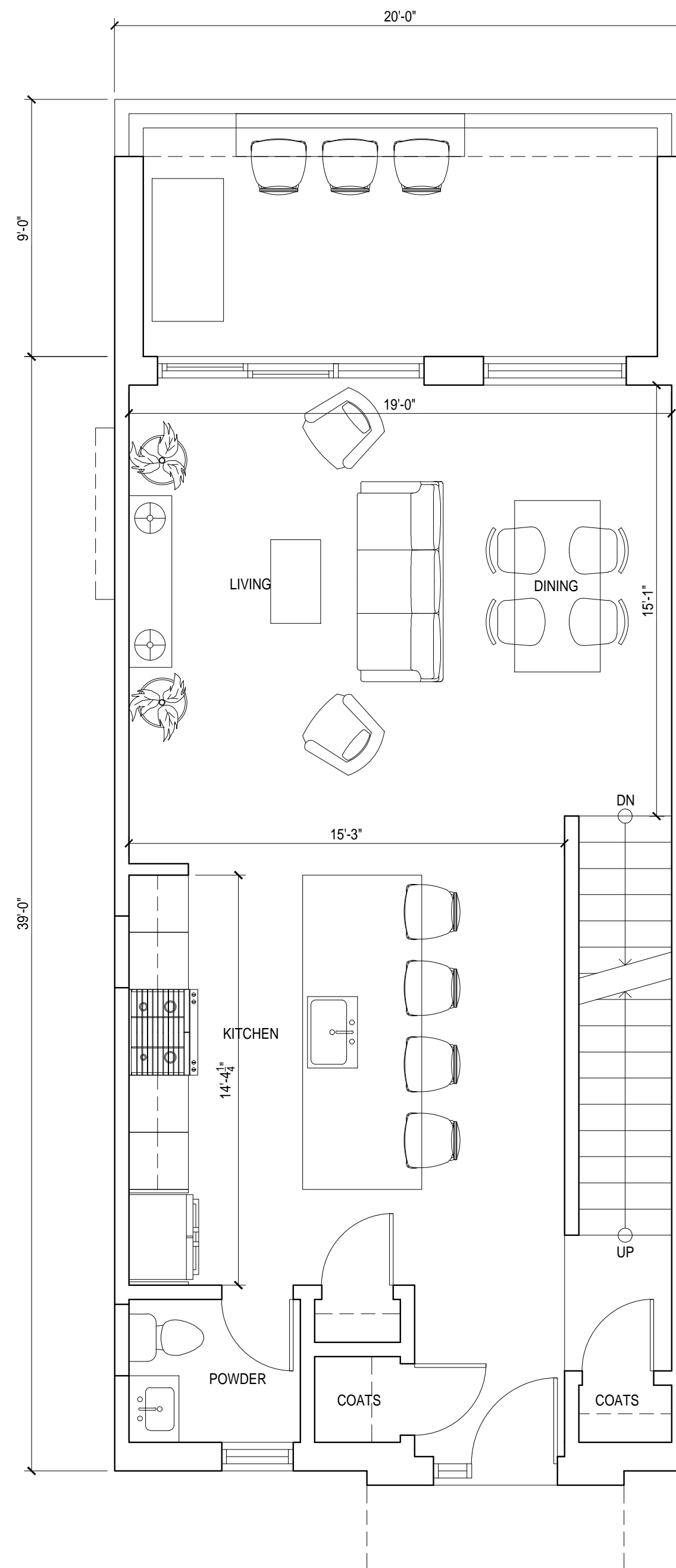
DRAWING TITLE
UNIT 1A ENLARGED PLANS

SEAL	DATE: 03/27/20
	DRAWN BY:
	CHECKED BY:
	PROJECT NO:

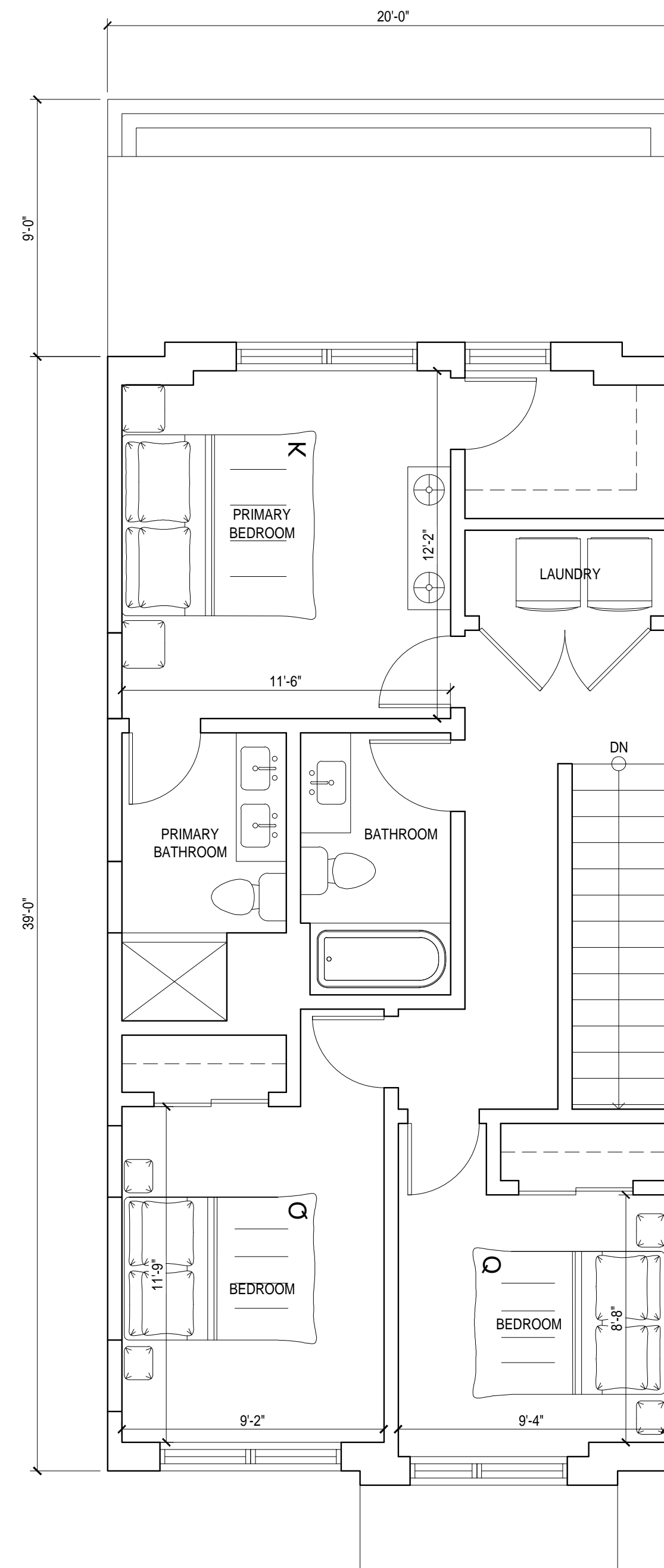
DRAWING NO:
A401



1 BASEMENT LEVEL PLAN
SCALE: 1:10



2 GROUND LEVEL PLAN
SCALE: 1:10



3 SECOND LEVEL PLAN
SCALE: 1:10

APPROVAL STAMPS:

No.	Date	Description
3	12/3/2024	Development Plan Re-Submittal
2	8/22/2024	Development Plan Re-Submittal
1	4/8/2024	Development Plan Submittal

SUBMISSIONS & REVISIONS

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GENERAL CONTRACTOR

PROJECT LOCATION
Walton Creek Townhomes
2075 Walton Creek Rd
Steamboat Springs, CO

DRAWING TITLE
UNITS 1B, 1C, 1D ENLARGED PLANS

SEAL	DATE:
	03/27/20
	DRAWN BY:
	CHECKED BY:
	PROJECT NO:

DRAWING NO:
A402

