

# 1965 SKI TIME SQUARE DRIVE

STEAMBOAT SPRINGS, CO 80487

## VOLUME 1

### SHEETS INCLUDED IN THIS SECTION

EXISTING CONDITIONS PLAN	
C.003	EXISTING CONDITIONS EXHIBIT
C.004	ANTICIPATED CONDITIONS EXHIBIT

SITE PLAN	
L.100.1	SITE ILLUSTRATIVE PLAN - SUMMER
L.100.2	SITE ILLUSTRATIVE PLAN - WINTER
L.101	SITE PLAN

ARCHITECTURAL DRAWINGS	
G.001	ENTITLEMENTS COVER SHEET
G.020	PERSPECTIVE RENDERINGS
A.099	LEVEL P2 - FLOOR PLAN
A.100	LEVEL P1 - FLOOR PLAN
A.101	LEVEL 1 - FLOOR PLAN
A.102	LEVEL 2 - FLOOR PLAN
A.103	LEVEL 3 - FLOOR PLAN
A.104	LEVEL 4 - FLOOR PLAN
A.105	LEVEL 5 - FLOOR PLAN
A.106	LEVEL 6 - FLOOR PLAN
A.107	LEVEL 7 - FLOOR PLAN
A.108	LEVEL 8 - FLOOR PLAN
A.109	LEVEL 8 MEZZANINE - FLOOR PLAN
A.110	ROOF PLAN
A.111	ROOF SLOPE DIAGRAM
A.112	SUN STUDY
A.201	BUILDING ELEVATION - NORTH
A.202	BUILDING ELEVATION - EAST
A.203	BUILDING ELEVATION - SOUTH
A.204	BUILDING ELEVATION - WEST
A.205	BUILDING ELEVATION - WEST COURTYARD
A.206	BUILDING ELEVATION - EAST COURTYARD
A.207	ENLARGED BUILDING ELEVATION - NORTH RETAIL
A.208a	EXTERIOR AMENITY PUBLIC VS PRIVATE
A.208b	SOUTH PROMENADE RENDERINGS
A.208c	SOUTH PROMENADE RENDERINGS
A.208d	SOUTH PROMENADE RENDERINGS
A.210	GLAZING PERCENTAGE DIAGRAM
A.211	GLAZING PERCENTAGE DIAGRAM
A.212	BUILDING HEIGHTS
A.213	BUILDING STEPBACKS
A.214	BUILDING STEPBACKS
A.215	BUILDING STEPBACKS
A.301	SITE SECTIONS
A.310	BUILDING AXONS

LANDSCAPE PLAN	
L.301.1	A4 DIV-1.401 & 419 - WATER BODY SETBACK / FLOOD DAMAGE PREVENTION DIAGRAM
L.301.2	A4 DIV-1.406 - OFF STREET PARKING
L.301.3	A4 DIV-1.407 - FIRE ACCESS DIAGRAM
L.301.4	A4 DIV-1.407.408 - OFF STREET LOADING / REFUSE MANAGEMENT
L.302.1	A4 DIV-1.409 - SNOW MANAGEMENT DIAGRAM
L.302.2	A4 DIV-1.414 & 417 - MULTI-MODE FACILITIES / COMPLETE STREETS
L.302.3	A4 DIV-1.415 - CLEAR VISION SETBACKS
L.302.4	A4 DIV-1.416 - RETAINING WALLS
L.303.1	A4 DIV-1.440 - ENTRY POINT DIAGRAM
L.303.2	A4 DIV-1.402 - LANDSCAPING DIAGRAM
L.303.3	A2.216.B - LOT COVERAGE DIAGRAM
L.304.1	EASEMENT DIAGRAM
L.304.2	A4 DIV-2.440.C.1.b - PUBLIC VS. PRIVATE
L.304.3	MMMP - ADA REALM DIAGRAM

GRADING PLAN	
C.420	EAST PROMENADE CENTERLINE PROFILE
L.201	GRADING PLAN
L.201.1-6	SITE SECTIONS
L.202	SITE PROFILES

UTILITY PLAN	
C.200	UTILITY PLAN
C.220	PRIVATE FIRE HYDRANT PLAN & PROFILE
C.221	FIRE SUPPRESSION & DOMESTIC SERVICE PLAN & PROFILE

LIGHTING PLAN	
LI.000	LIGHTING SHEET INDEX
LI.100	A4 DIV-1.405 - SITE LIGHTING PHOTOMETRICS
LI.101	POOL LIGHTING PHOTOMETRICS
LI.200	BUILDING ELEVATIONS - NORTH
LI.201	BUILDING ELEVATIONS - EAST
LI.202	BUILDING ELEVATIONS - SOUTH
LI.203	BUILDING ELEVATIONS - WEST
LI.300	BUILDING LIGHTING - CUT SHEETS - 1
LI.301	BUILDING LIGHTING - CUT SHEETS - 2
LI.302	BUILDING LIGHTING - CUT SHEETS - 3

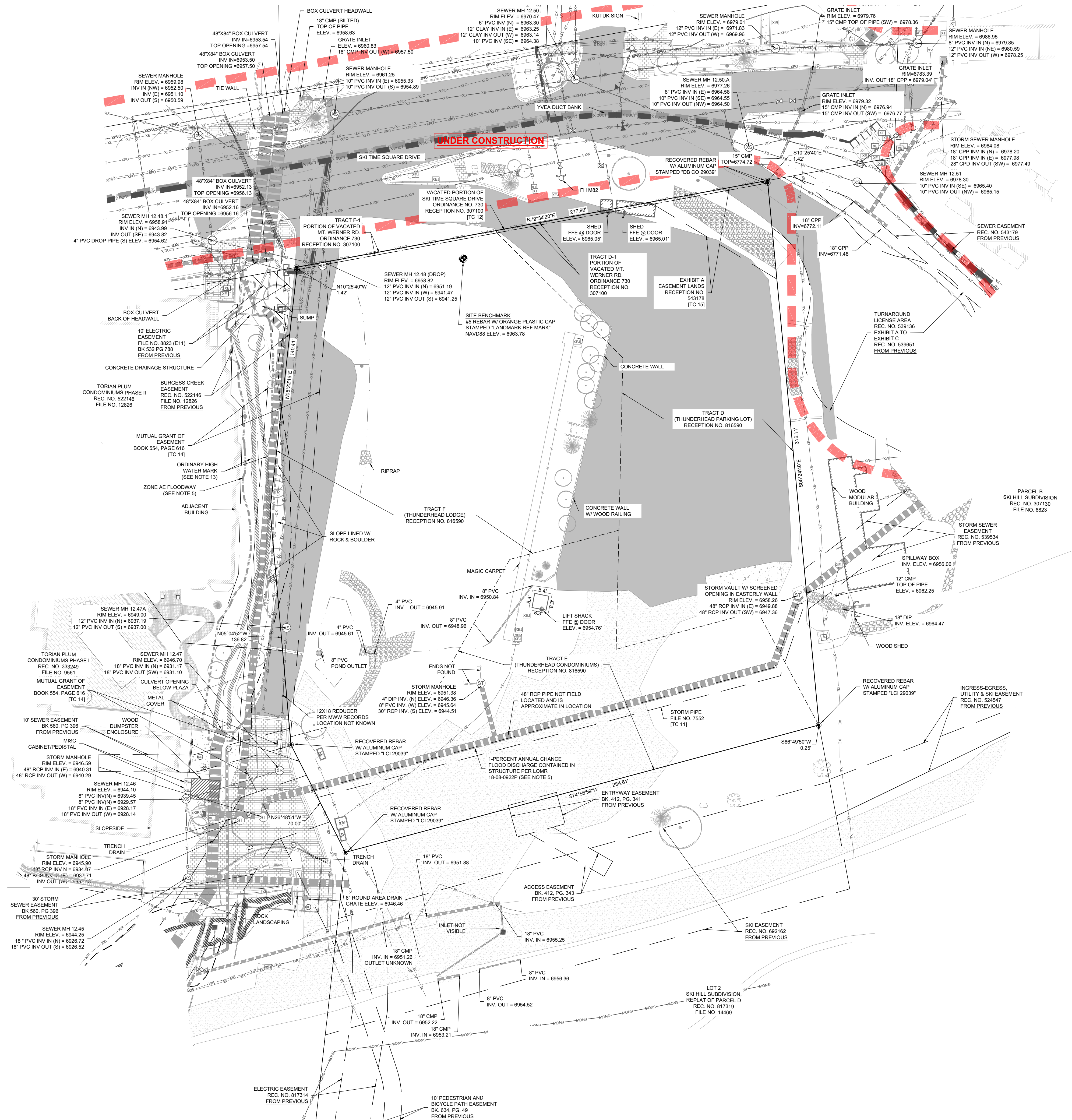
DRAINAGE PLAN	
C.300	DRAINAGE PLAN

FIRE CODE ANALYSIS	
L.401	FIRE CODE ANALYSIS

# EXISTING CONDITIONS

## DEVELOPMENT PLAN





EXISTING CONDITIONS LEGEND:



NOTES:

- THIS MAP DOES NOT REPRESENT A MONUMENTED LAND SURVEY. IT IS INTENDED ONLY TO DEPICT THAT INFORMATION REQUESTED BY OUR CLIENT.
- LAND TITLE GUARANTEE COMPANY TITLE COMMITMENT ORDER NO. ABC30331979, COMMITMENT DATE: 07/25/2023 WAS RELIED UPON TO DETERMINE OWNERSHIP AND EASEMENTS OF RECORD SHOWN ON THIS EXISTING CONDITIONS MAP UNLESS NOTED OTHERWISE. EASEMENTS NOTED "FROM PREVIOUS" ARE SHOWN BASED ON PREVIOUS SURVEYING PERFORMED IN THE AREA BY LANDMARK CONSULTANTS, INC. NO REPRESENTATION IS MADE BY LANDMARK CONSULTANTS, INC. OR THE SURVEYOR OF RECORD THAT ALL EASEMENTS SHOWN HEREON ARE STILL EXISTANT, OR THAT ALL EASEMENTS OF RECORD WITHIN THE MAPPING AREA ARE SHOWN OR NOTED HEREON.
- BASIS OF HORIZONTAL CONTROL: THE 2011 ITERATION OF THE COLORADO COORDINATE SYSTEM OF 1983 NORTH ZONE, NAD83(2011) COLORADO NORTH, SCALED TO GROUND ABOUT A POINT HAVING COORDINATES OF 1412535.68, 2638559.05 AND A SCALE FACTOR OF 1.0003690183.
- UNITS SHOWN HEREON ARE IN US SURVEY FEET AND THE STANDARD OF DISTANCE ACCURACY FOR THIS MAP HAS BEEN DETERMINED TO BE GREATER THAN 1:10,000.
- FLOOD ZONE INFORMATION IS SHOWN HEREON PER LETTER OF MAP REVISION 13-08-0214P, EFFECTIVE JULY 8, 2013, AND LETTER OF MAP REVISION LOWR 13-08-0922P, EFFECTIVE JULY 29, 2019.
- SITE BENCHMARK: A SET #5 REBAR WITH ORANGE PLASTIC CAP HAVING AN ELEVATION OF 6963.78 BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AS SHOWN HEREON.
- CONTOUR INTERVAL = 1 FEET
- UNDERGROUND IMPROVEMENTS: LOCATIONS FOR UNDERGROUND IMPROVEMENTS ARE SHOWN HEREON PER ONE OR MORE OF THE FOLLOWING, VISIBLE AND APPARENT SURFACE EVIDENCE, AS-BUILT DRAWINGS PROVIDED BY OTHERS, MARKINGS PROVIDED BY COLORADO 811 ONE CALL SERVICES, PRIVATE UNDERGROUND LOCATING SERVICES, OR GIS INFORMATION. ANY METHOD OF SHOWING UNDERGROUND IMPROVEMENTS, OR ANY COMBINATION THEREOF, MAY NOT PROVIDE COMPLETE AND ACCURATE LOCATIONS FOR ALL UNDERGROUND IMPROVEMENTS. IF ACCURATE LOCATIONS FOR UNDERGROUND IMPROVEMENTS ARE REQUIRED, THEY WILL HAVE TO BE VERIFIED BY FIELD POT-HOLING OF THE IMPROVEMENTS. LANDMARK CONSULTANTS, INC. AND THE SURVEYOR OR ENGINEER OF RECORD SHALL NOT BE LIABLE FOR THE FAILURE TO ACCURATELY AND COMPLETELY DEPICT THE LOCATIONS OF UNDERGROUND IMPROVEMENTS.
- ALL REFERENCES HEREON TO BOOKS, PAGES, FILES AND RECEPTION NUMBERS ARE TO PUBLIC DOCUMENTS FILED IN THE RECORDS OF ROUTT COUNTY, COLORADO.
- THE LAST FIELD INSPECTION OF THE SITE WAS ON 8/17/2023.
- DRAWING PLOTS TO SCALE ON 24"x36" PAPER.
- WATER AND SEWER INFORMATION SUPPLEMENTED USING MOUNT WERNER WATER RECORD INFORMATION. SOME DISCREPANCIES MAY EXIST.
- ORDINARY HIGH WATER MARK IS SHOWN HEREON PER MARKINGS PROVIDED BY WESTERN BIONOMICS.

PROPERTY DESCRIPTION: THAT PARCEL OF LAND DESCRIBED IN RECEPTION NO. 816590 IN THE ROUTT COUNTY RECORDS, COUNTY OF ROUTT, STATE OF COLORADO.



NOT FOR CONSTRUCTION

THUNDERHEAD BEACH  
1965 SKI TIMES SQUARE  
STEAMBOAT SPRINGS, CO 80487

REVISIONS:		
NO	DATE	DESCRIPTION

PROJECT NUMBER:  
**123134.00**

DATE:  
**11/6/2024**

ISSUED FOR:  
**DP RE-SUBMITTAL #3**

SHEET TITLE:  
**EXISTING CONDITIONS  
EXHIBIT**

SHEET NUMBER  
**C.003**



11/30/2023 2:44:18 PM Autodesk Docs://123134.00 1865 Ski Time Square - Thunderhead/123134\_1865 STS\_THUNDERHEAD\_A23.rvt



EXISTING CONDITIONS LEGEND:

PROPERTY BOUNDARY	---
ADJACENT PROPERTY BOUNDARY	---
EASEMENT	---
SECTION LINE	---
CENTERLINE	---
PROPERTY MONUMENT	---
SECTION CORNER	---
BUILDING	---
ROOF LINE/OVERHANG	---
DECK	---
WALL	---
FENCE	---
MAJOR CONTOUR	---
MINOR CONTOUR	---
ASPHALT	---
CONCRETE	---
GRAVEL	---
SIGN	---
SANITARY SEWER LINE MARKER	---
MANHOLE AND CLEANOUT	---
SEPTIC TANK LID AND VENT PIPE	---
WATER LINE MAKER, FIRE HYDRANT	---
GATE VALVE, CURB STOP & METER	---
FIRE DEPT. CONNECTION, YARD HYDRANT,	---
VENT PIPE, WATER MANHOLE AND WELL	---
GAS LINE MARKER, VALVE, MANHOLE/VAULT,	---
METER AND SHUTOFF	---
PROPANE TANK (BURIED)	---
CABLE LINE MARKER, VAULT AND PEDESTAL	---
DUCT BANK	---
SATELLITE DISH	---
FIBER OPTIC LINE MARKER, VAULT & PEDESTAL	---
TELEPHONE LINE MARKER, VAULT,	---
PEDESTAL AND MANHOLE	---
ELECTRIC LINE MARKER, TRANSFORMER,	---
METER AND SECONDARY PEDESTAL	---
ELECTRIC MANHOLE, OUTLET	---
GENERATOR AND JUNCTION BOX	---
LIGHT POLE, STREET LIGHT, TRAFFIC SIGNAL	---
TRAFFIC CONTROL, VAULT AND CABINET	---
OVERHEAD UTILITY LINE	---
GUY POLE, UTILITY POLE & GUY WIRE	---
EDGE OF WATER	---
DITCH/SWALE	---
CULVERT W/ END SECTIONS	---
STORM MANHOLE, MANHOLE INLET,	---
GRATE INLET AND CURB INLET	---
AIR CONDITIONER, MAILBOX, NEWSSTAND,	---
TRASH CAN, MISC. MANHOLE	---
BOLLARD, BOLLARD W/LIGHT	---
FLAG POLE AND DELINEATOR	---
STUMP, BOULDER AND IRRIGATION VALVE BOX	---
CONFEROUS AND DECIDUOUS TREE	---
(SCALED TO APPROXIMATE DRIPLINE)	---
CONFEROUS AND DECIDUOUS SHRUB	---
(SCALED TO APPROXIMATE DRIPLINE)	---

NOTES:

- ANTICIPATED EXISTING CONDITIONS REFLECTS.
- THE FUTURE EXISTING CONDITIONS AS A RESULT OF THE ONGOING SKI TIME SQUARE DRIVE TURNAROUND & COMPLETE STREET IMPROVEMENTS (BY OTHERS), AND.
- THE IMPROVEMENTS SHOWN ON THE CONCURRENT PRELIMINARY PLAT AS IF THE SUBDIVISION IMPROVEMENTS HAVE BEEN CONSTRUCTED.
- THE INTENT OF THIS EXHIBIT IS TO DIFFERENTIATE THE IMPROVEMENTS SUBJECT TO THE DEVELOPMENT PLAN REVIEW AND REQUIREMENT CRITERIA.



NOT FOR  
CONSTRUCTION

# THUNDERHEAD BEACH

## 1965 SKI TIMES SQUARE

### STEAMBOAT SPRINGS, CO 80487

REVISIONS:

NO	DATE	DESCRIPTION
----	------	-------------

PROJECT NUMBER:  
123134.00

DATE:  
11/6/2024

ISSUED FOR:  
DP RE-SUBMITTAL #3

SHEET TITLE:  
ANTICIPATED  
CONDITIONS EXHIBIT

SHEET NUMBER

C.004