

STEAMBOAT SPRINGS, CO 80487

VOLUME 1

SHEETS INCLUDED IN THIS SECTION

EXISTING CONDITIONS PLAN

C.003	EXISTING CONDITIONS EXHIBIT
C.004	ANTICIPATED CONDITIONS EXHIBIT

SITE PLAN

L 100.1	SITE ILLUSTRATIVE PLAN - SUMMER
L 100.2	SITE ILLUSTRATIVE PLAN - WINTER
L 101	SITE PLAN

ARCHITECTURAL DRAWINGS

A.001	ENTITLEMENTS COVER SHEET
G.020	PERSPECTIVE RENDERINGS
A.099	LEVEL P2 - FLOOR PLAN
A.100	LEVEL P1 - FLOOR PLAN
A.101	LEVEL 1 - FLOOR PLAN
A.102	LEVEL 2 - FLOOR PLAN
A.103	LEVEL 3 - FLOOR PLAN
A.104	LEVEL 4 - FLOOR PLAN
A.105	LEVEL 5 - FLOOR PLAN
A.106	LEVEL 6 - FLOOR PLAN
A.107	LEVEL 7 - FLOOR PLAN
A.108	LEVEL 8 - FLOOR PLAN
A.109	LEVEL 8 MEZZANINE - FLOOR PLAN
A.110	ROOF PLAN
A.111	ROOF SLOPE DIAGRAM
A.112	SUN STUDY
A.201	BUILDING ELEVATION - NORTH
A.202	BUILDING ELEVATION - EAST
A.203	BUILDING ELEVATION - SOUTH
A.204	BUILDING ELEVATION - WEST
A.205	BUILDING ELEVATION - WEST COURTYARD
A.206	BUILDING ELEVATION - EAST COURTYARD
A.207	ENLARGED BUILDING ELEVATION - NORTH RETAIL
A.208a	EXTERIOR AMENITY PUBLIC VS PRIVATE
A.208b	SOUTH PROMENADE RENDERINGS
A.208c	SOUTH PROMENADE RENDERINGS
A.208d	SOUTH PROMENADE RENDERINGS
A.210	GLAZING PERCENTAGE DIAGRAM
A.211	GLAZING PERCENTAGE DIAGRAM
A.212	BUILDING HEIGHTS
A.213	BUILDING STEPBACKS
A.214	BUILDING STEPBACKS
A.215	BUILDING STEPBACKS
A.301	SITE SECTIONS
A.310	BUILDING AXONS

LANDSCAPE PLAN

L301/1	AD-DIV1-418-119- WATER BODY SETBACK / FLOOD DAMAGE PREVENTION DIAGRAM
L301/2	AD-DIV1-406- OFF STREET PARKING
L301/3	AD-DIV1-407- FIRE ACCESS DIAGRAM
L301/4	AD-DIV1-407-408- OFF STREET LOADING / REFUSE MANAGEMENT
L302/1	AD-DIV1-409- SNOW MANAGEMENT DIAGRAM
L302/2	AD-DIV1-414-417- MULTI-THOKE FACILITIES / COMPLETE STREETS
L302/3	AD-DIV1-415- CLEAR VISION SETBACKS
L302/4	AD-DIV1-418- RETAINING WALLS
L303/1	AD-DIV1-440- ENTRY POINT DIAGRAM
L303/2	AD-DIV1-402- CLASSICAPING DIAGRAM
L303/3	AD-216B- LOT COVERAGE DIAGRAM
L304/1	EASEMENT DIAGRAM
L304/2	AD-DIV1-402-13- PUBLIC VS. PRIVATE
L304/3	MAMP - ADA REALM DIAGRAM

GRADING PLAN

GRADING PLAN	
C.420	EAST PROMENADE CENTERLINE PROFILE
L.201	GRADING PLAN
L.201 / 1-6	SITE SECTIONS
L.202	SITE PROFILES

UTILITY PLAN

C.200	UTILITY PLAN
C.220	PRIVATE FIRE HYDRANT PLAN & PROFILE
C.221	FIRE SUPPRESSION & DOMESTIC SERVICE PLAN & PROFILE

LIGHTING PLAN

LI.000	LIGHTING SHEET INDEX
LI.100	A4 DIV-1.405- SITE LIGHTING PHOTOMETRICS
LI.101	POOL LIGHTING PHOTOMETRICS
LI.110	BUILDING ELEVATIONS- NORTH
LI.201	BUILDING ELEVATIONS- EAST
LI.202	BUILDING ELEVATIONS- SOUTH
LI.203	BUILDING ELEVATIONS- WEST
LI.300	BUILDING LIGHTING - CUT SHEETS - 1
LI.301	BUILDING LIGHTING - CUT SHEETS - 2
LI.302	BUILDING LIGHTING - CUT SHEETS - 3

DRAINAGE PLAN

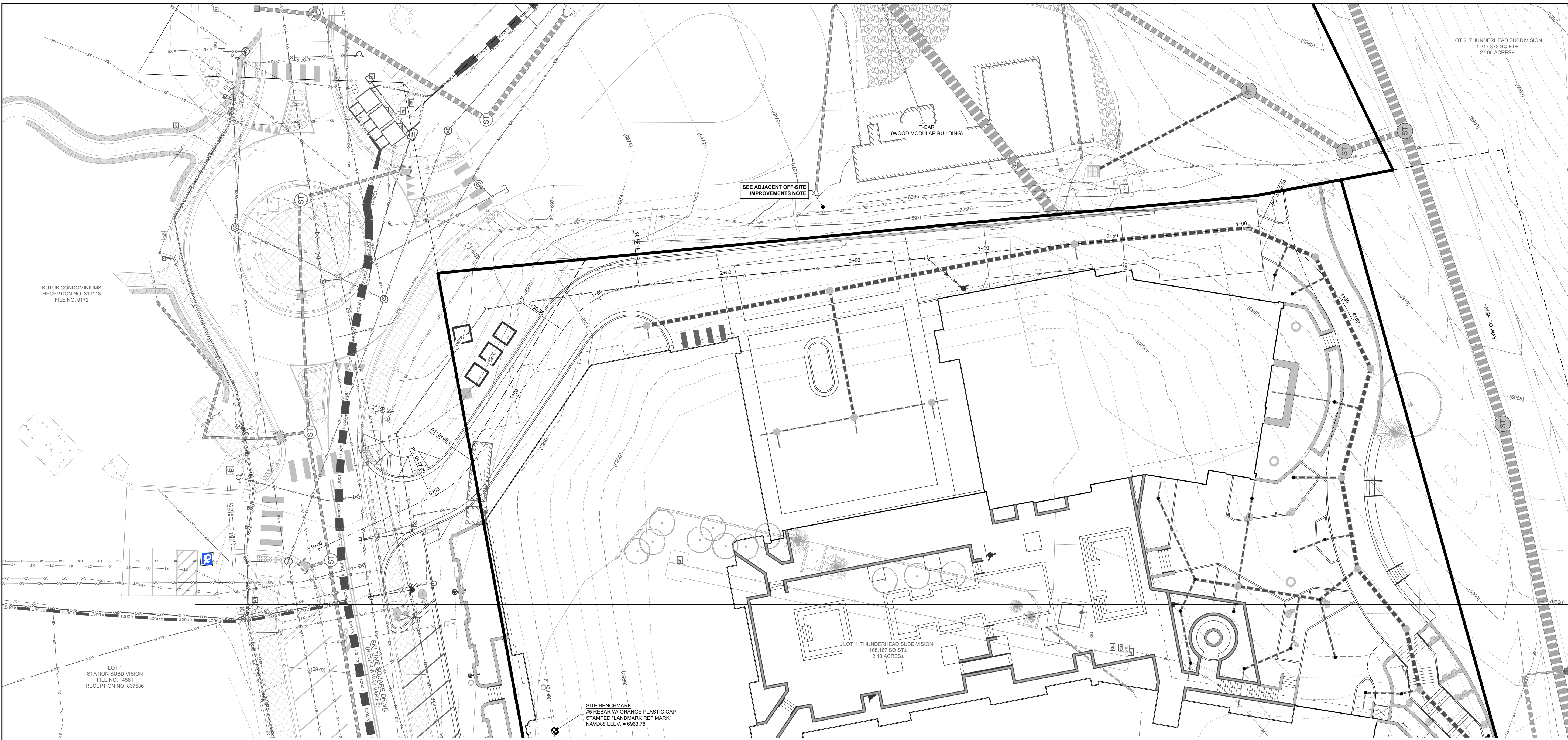
C.300	DRAINAGE PLAN
-------	---------------

FIRE CODE ANALYSIS

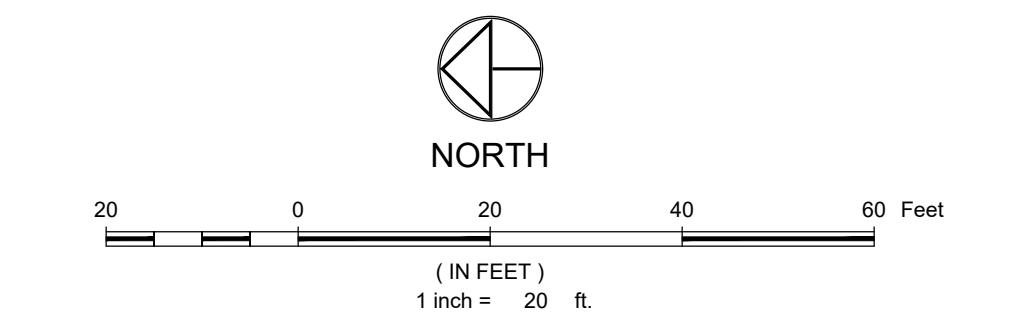
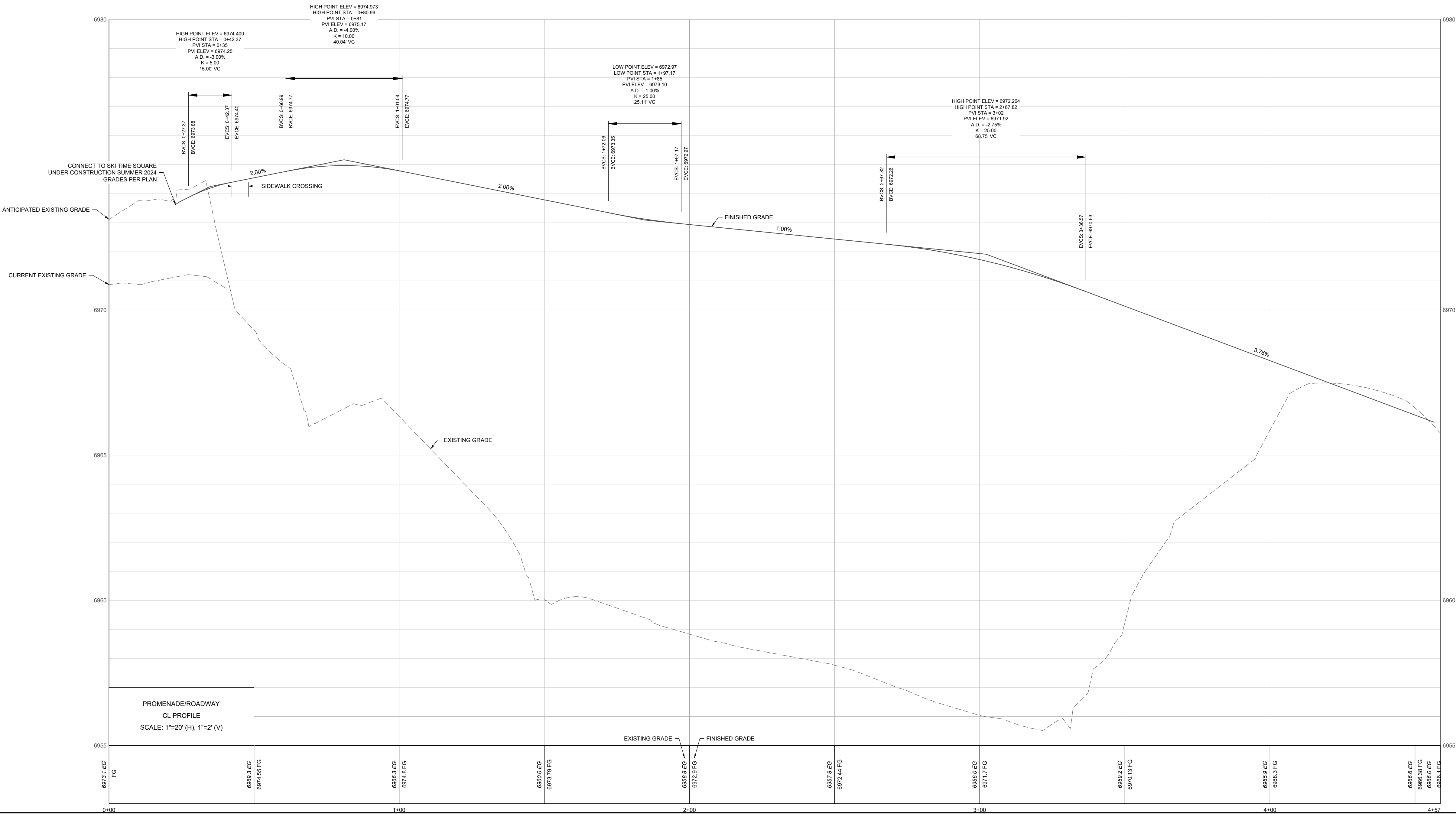
L401	FIRE CODE ANALYSIS
------	--------------------

GRADING PLAN

DEVELOPMENT PLAN



WEST PROMENADE PLAN & PROFILE



UTILITY PLAN LEGEND:



NOTES:

- THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK. BEFORE COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UNKNOWN UNDERGROUND UTILITIES.
- EXISTING UNDERGROUND AND OVERHEAD PUBLIC AND PRIVATE UTILITIES AS SHOWN ARE INDICATED ACCORDING TO THE BEST INFORMATION MADE AVAILABLE TO THE ENGINEER. THE ENGINEER DOES NOT GUARANTEE NOR IS RESPONSIBLE FOR THE ACCURACY OF SUCH INFORMATION. EXISTING UTILITY MANS AND SERVICES MAY NOT BE STRAIGHT LINES OR AS INDICATED ON THESE DRAWINGS. CONTRACTOR TO VERIFY EXISTING HORIZONTAL AND VERTICAL LOCATIONS PRIOR TO CONSTRUCTION.
- ALL SEWER CONSTRUCTION SHALL BE PER MOUNT WERNER WATER STANDARD SPECIFICATIONS, LATEST EDITION.
- MAINTAIN 12" HORIZONTAL AND 18" VERTICAL MINIMUM SEPARATION BETWEEN ALL SANITARY SEWER MANS, WATER MANS & SERVICES.
- MANHOLES LOCATED OUTSIDE OF THE ROADWAY SHALL PROTRUDE 1' ABOVE EXISTING GRADE TO REDUCE INFILTRATION. GRADE SURFACE TO DRAIN AROUND/AWAY FROM MANHOLE RIMS.
- ALL MANHOLES LOCATED IN THE ROADWAY SHALL HAVE RIM ELEVATIONS ADJUSTED TO 2" BELOW FINISHED GRADE. IF NECESSARY, CONE SECTIONS SHALL BE ROTATED TO PREVENT LIDS BEING LOCATED WITHIN VEHICLE OR BICYCLE WHEEL PATHS.
- SEWER SERVICE SHALL HAVE A MINIMUM OF 4'-FT OF COVER.
- WATER SERVICE SHALL HAVE A MINIMUM OF 7'-FT OF COVER.
- ALL WATER PIPE SHALL BE INSTALLED WITH A #10 SOLID COPPER WIRE COATED WITH 45 MIL POLYETHYLENE FOR LOCATING PURPOSES. "GLENN TEST STATIONS" BY VALCO, INC. TRACER WIRE TEST STATIONS SHALL BE INSTALLED ADJACENT TO ALL FIRE HYDRANTS. ADJUSTMENTS MAY BE REQUIRED.
- ALL MATERIALS USED FOR BACKFILL SHALL BE FREE FROM REFUSE ORGANIC MATERIAL, CORBELS, BOLLERS, LARGE ROCKS OR STONES OR FROZEN SOILS GREATER THAN 6-INCHES IN DIAMETER.
- BEDDING AND SHADING MATERIALS SHALL ONLY BE 3/4-INCH WASHED OR SCREENED ROCK. 3/4-INCH MINUS, SQUEEGEE OR REJECT SAND, OR CLASS 8 AGGREGATE BASE COURSE IS NOT ALLOWED.
- PROPOSED GRADING INFORMATION IS NOT PART OF LANDMARK'S SCOPE AND HAS BEEN PROVIDED BY OTHERS.

ADJACENT AND OFF-SITE IMPROVEMENTS NOTE:

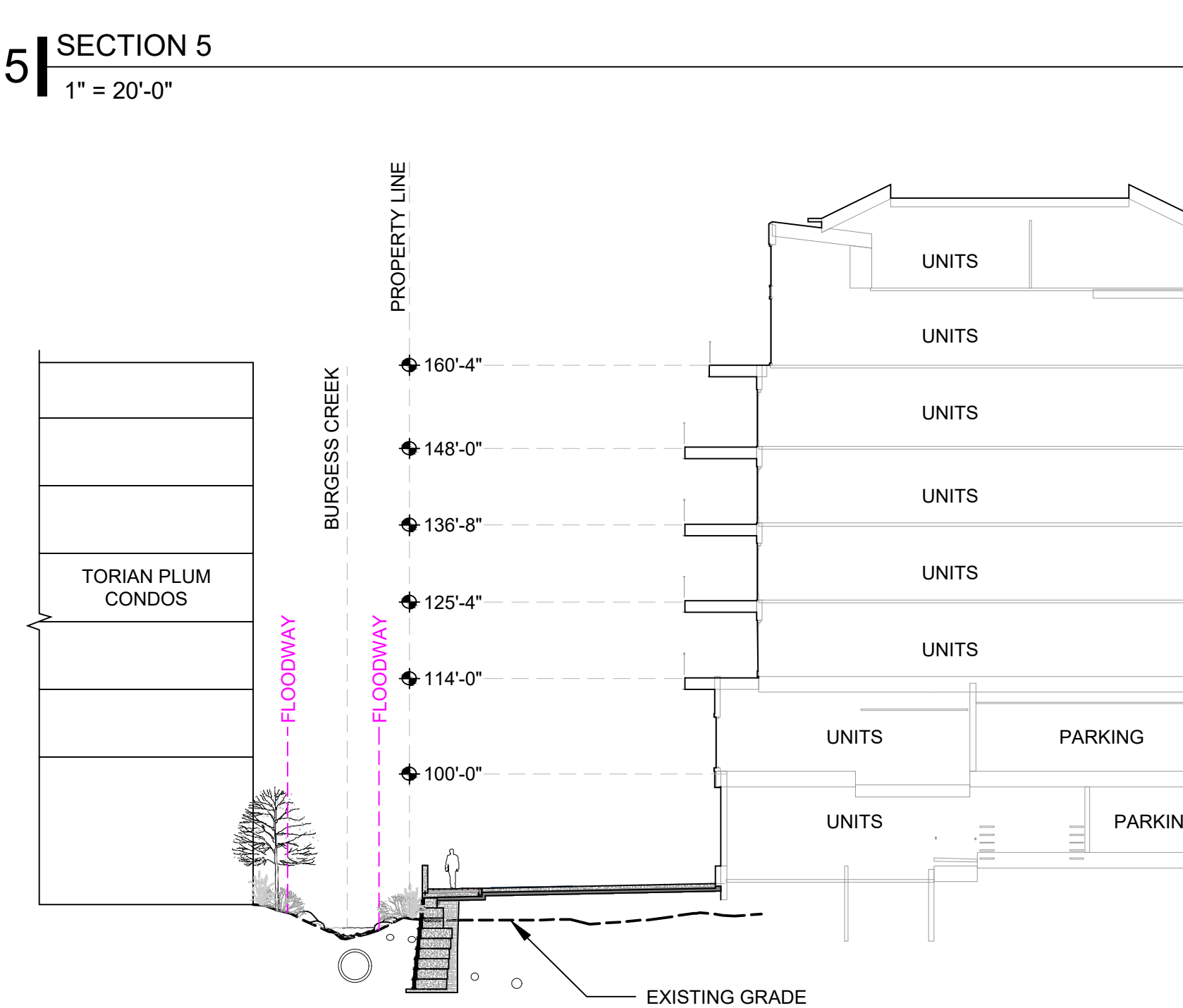
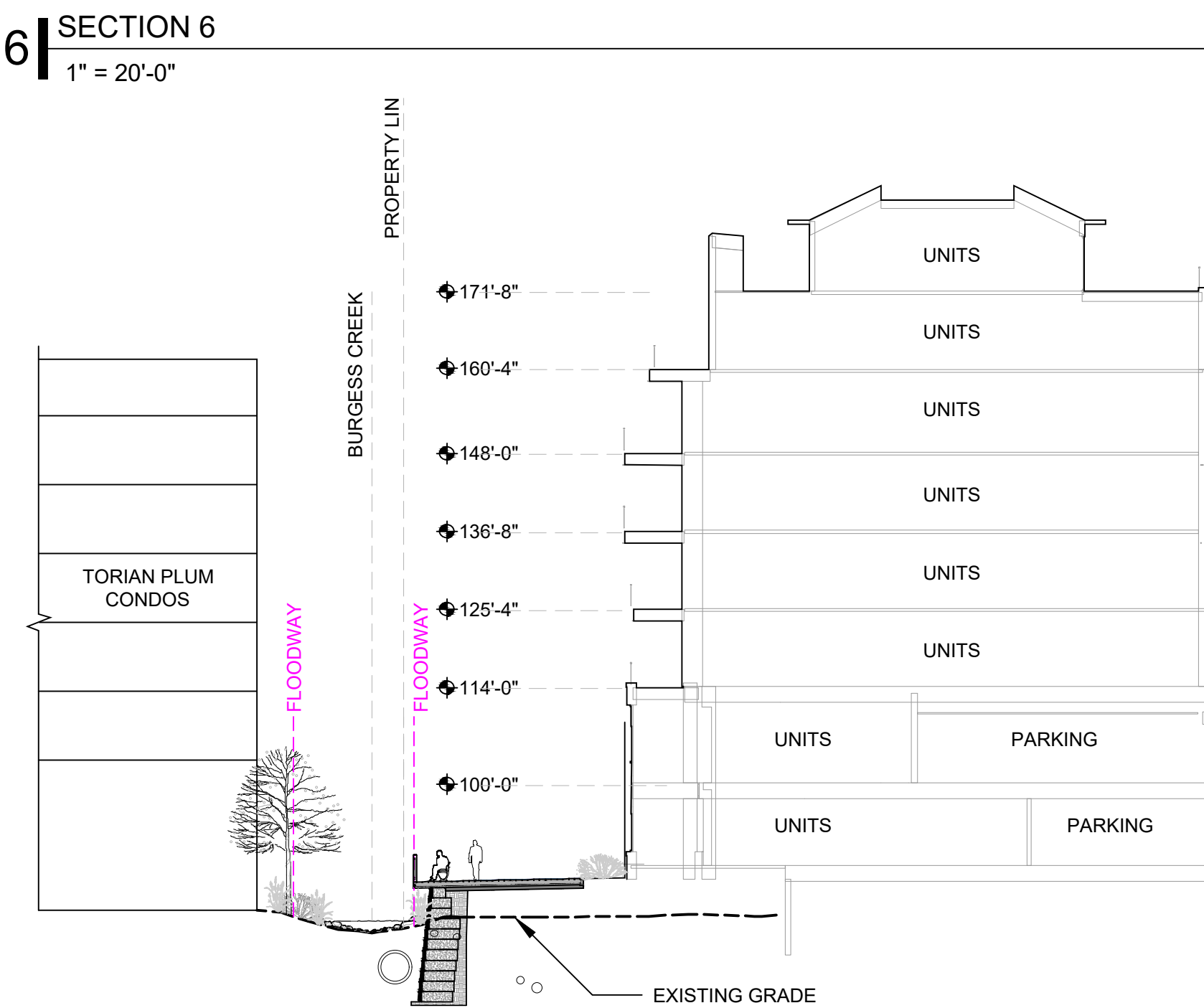
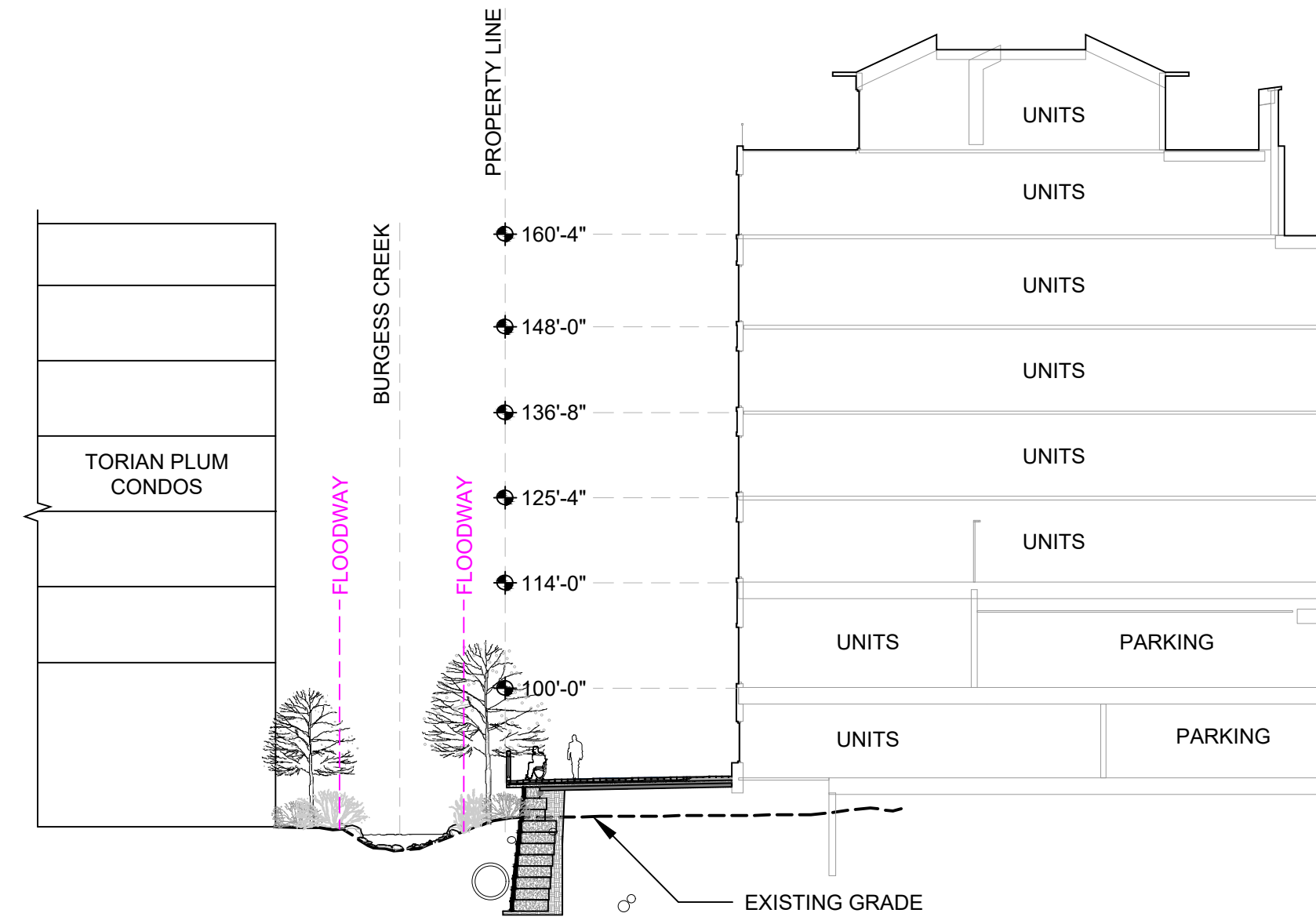
THERE ARE IMPROVEMENTS SHOWN THAT EXTEND BEYOND THE PROPERTY LIMITS OF THIS APPLICATION. EASEMENTS AND/OR AGREEMENTS WILL BE REQUIRED TO CONSTRUCT, OPERATE AND MAINTAIN SUCH IMPROVEMENTS. CHANGES MAY BE REQUIRED BASED ON THE FINAL TERMS AND CONDITIONS. NOTIFY LANDMARK OF ANY AND ALL REQUIREMENTS NECESSARY FOR DESIGN AND CONSTRUCTION OF THE SCOPES OF WORK.



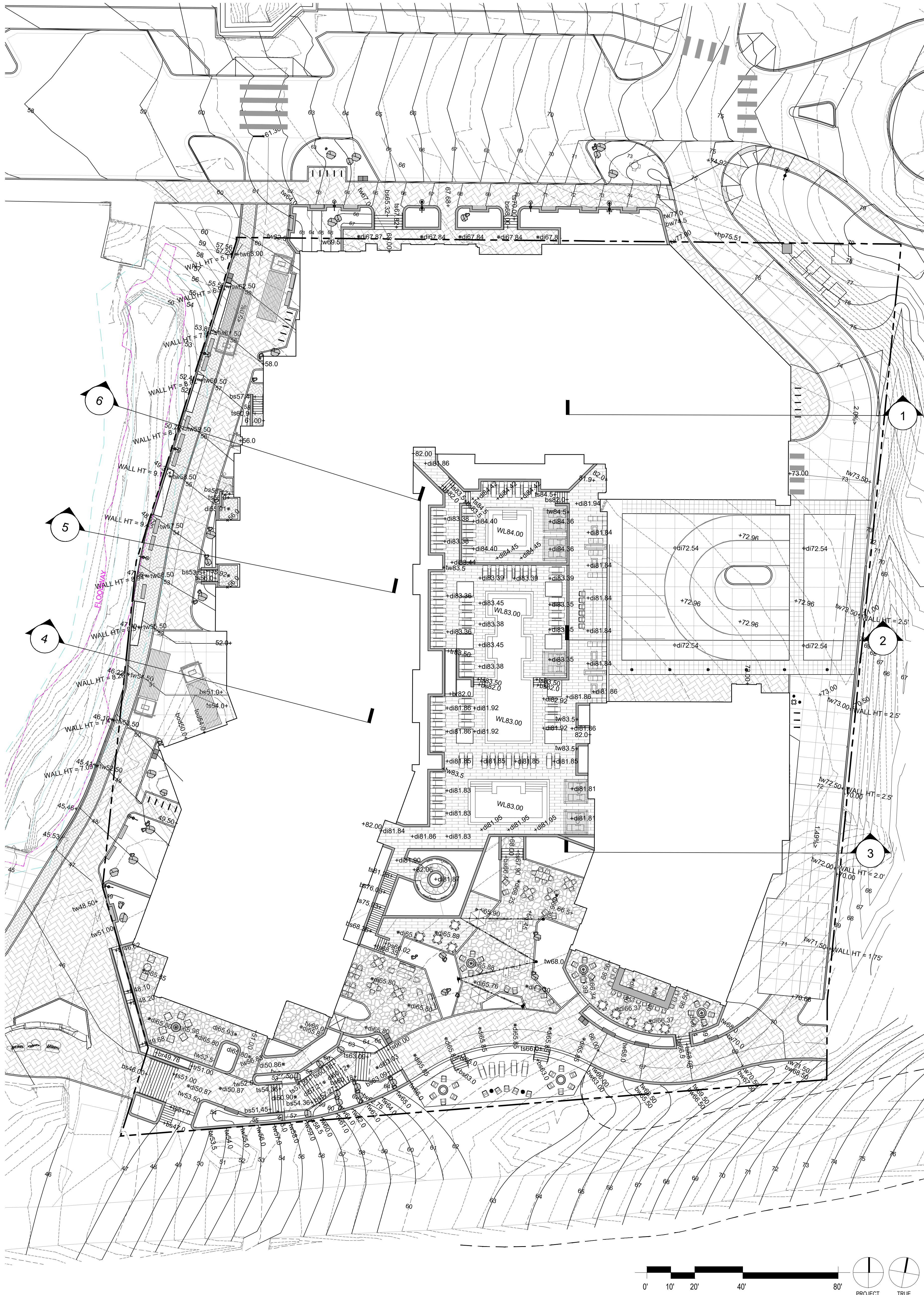
REVISIONS:
NO DATE DESCRIPTION

PROJECT NUMBER:
123134.00
DATE:
11/6/2024
ISSUED FOR:
DP RE-SUBMITTAL #3
SHEET TITLE:
**EAST PROMENADE
CENTERLINE PROFILE**

SHEET NUMBER
C.420



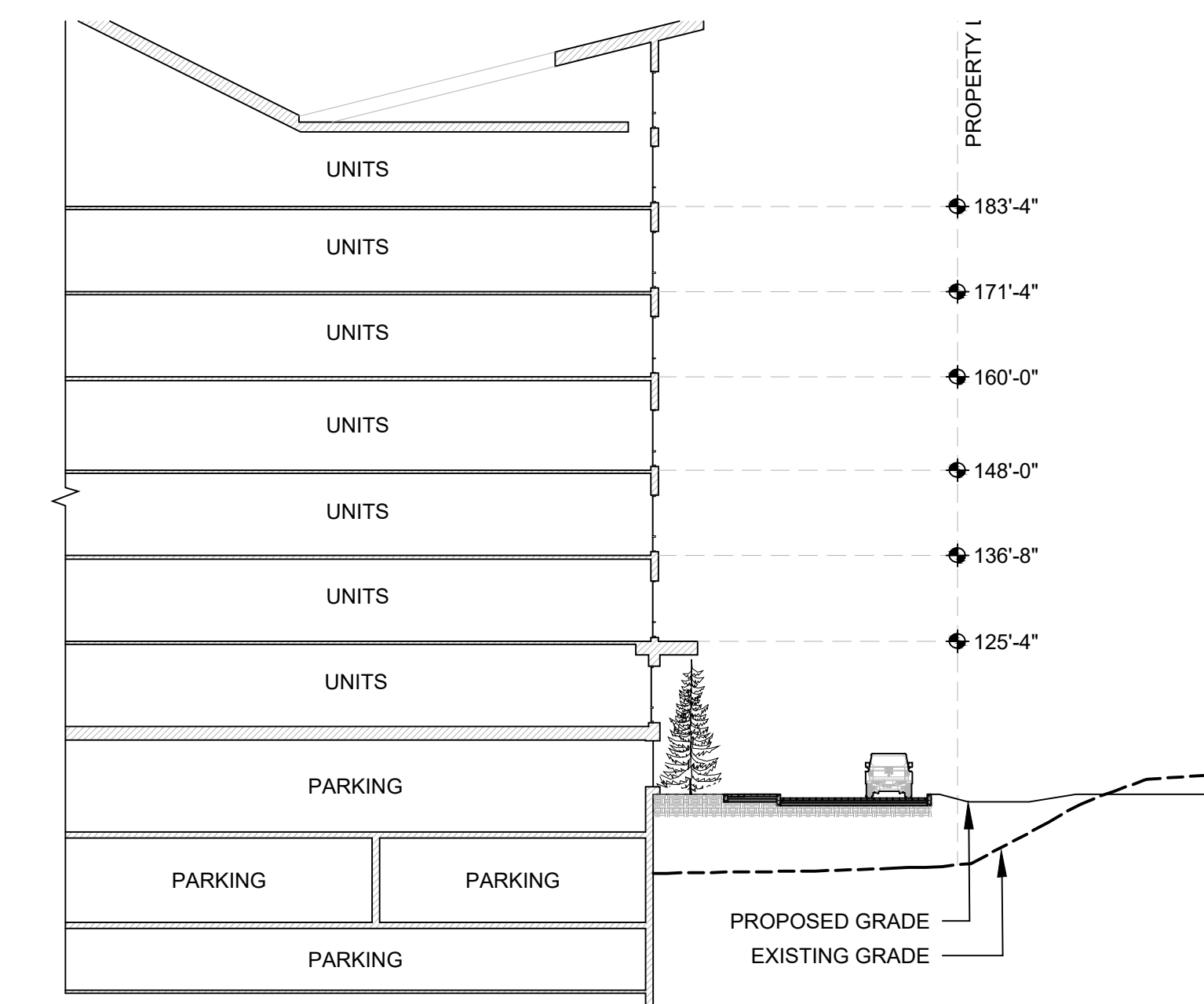
4 | SECTION 4
1" = 20'-0"



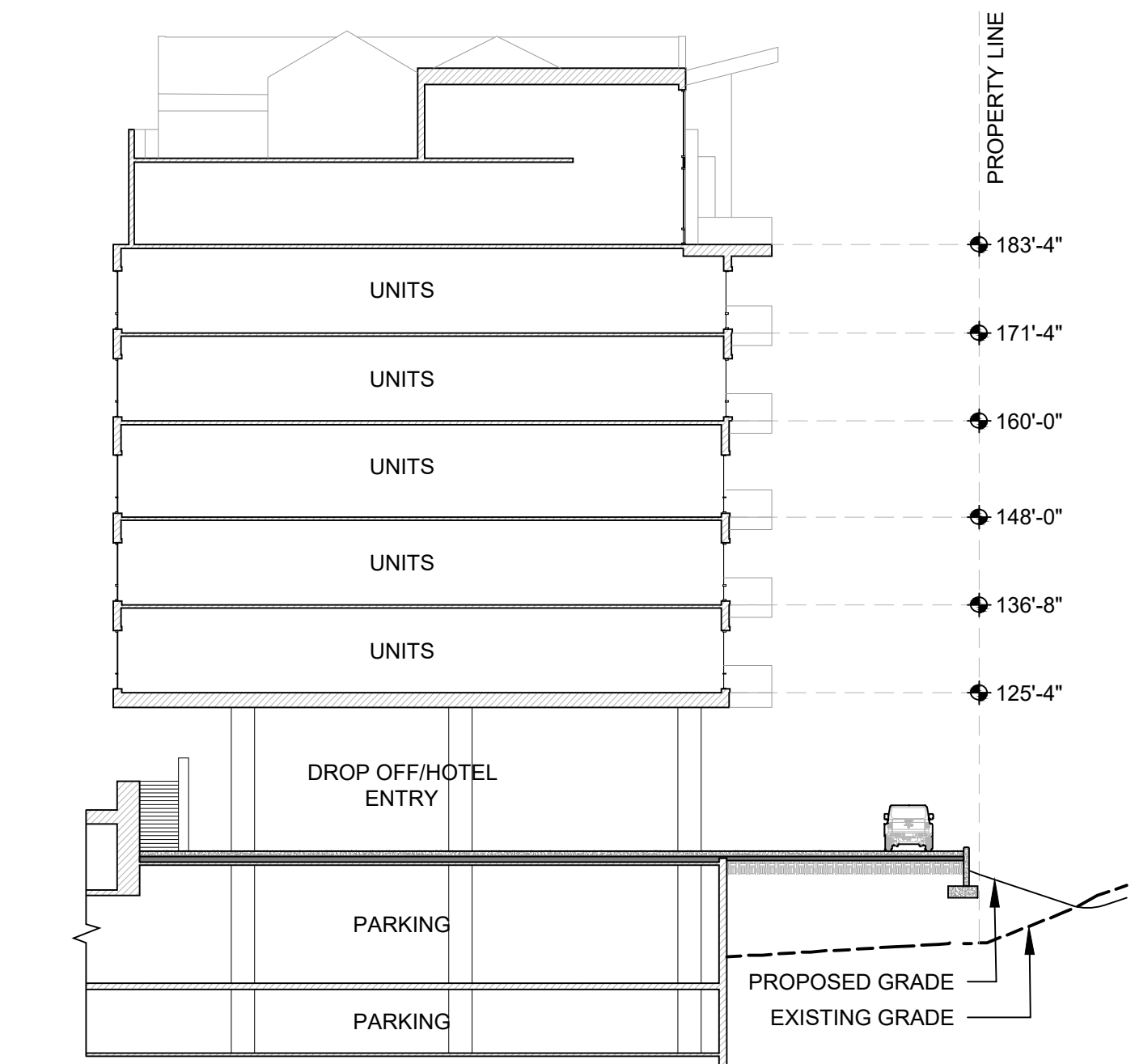
1 | GRADING PLAN
1" = 20'-0"

LEGEND	
DI	DRAIN INLET
HP	HIGH POINT
TS	TOP OF STAIR
BS	BOTTOM OF STAIR
TW	TOP OF WALL
BW	BOTTOM OF WALL
TR	TOP OF RAMP
BR	BOTTOM OF RAMP
- - -	EXISTING CONTOUR
—	PROPOSED CONTOUR

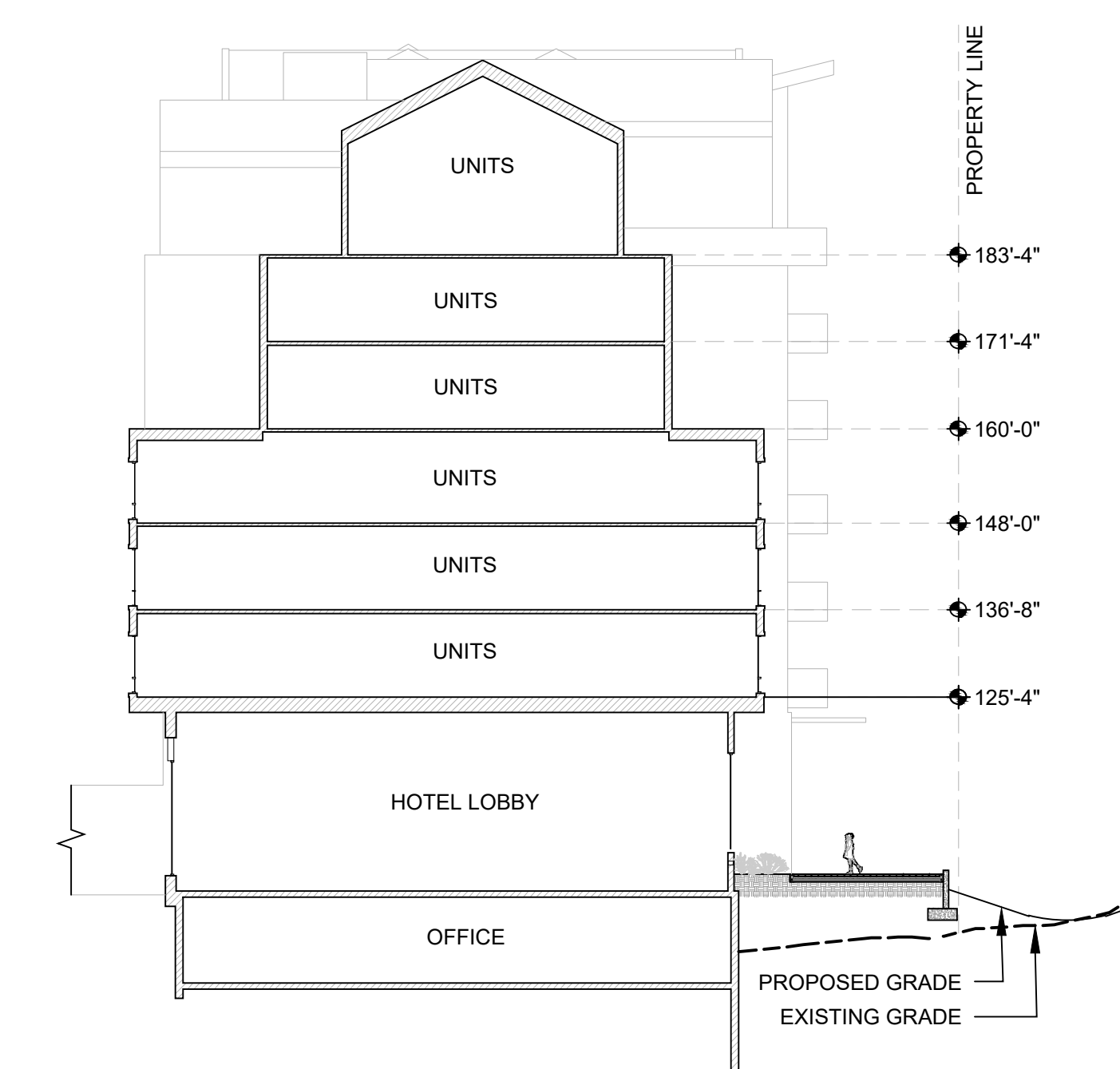
- GRADING NOTES
1. MAXIMUM SLOPE 3:1, MINIMUM SLOPE 2% IN LANDSCAPE AREAS UNLESS OTHERWISE NOTED.
 2. FINAL GRADING TO BE FIELD REVIEWED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLACING TOPSOIL, SEEDING OR PLANTING.
 3. PROVIDE SMOOTH, CONTINUOUS TRANSITIONS BETWEEN SLOPES UNLESS OTHERWISE NOTED OR INDICATED IN THE DRAWINGS.
 4. PROVIDE 2% CROSS SLOPE ON ALL WALKS UNLESS OTHERWISE NOTED.
 5. ALL FINISHED GRADES ARE TO MEET AND BLEND SMOOTHLY WITH EXISTING GRADES AT THE PROJECT LIMIT OF WORK.



1 | SECTION 1
1" = 20'-0"



2 | SECTION 2
1" = 20'-0"



3 | SECTION 3
1" = 20'-0"



CONFLUENCE
3457 RINGSBY CT, UNIT 223
DENVER, CO 80216
PH: (303) 433-7100
www.thinkconfluence.com

NOT FOR
CONSTRUCTION

THUNDERHEAD BEACH

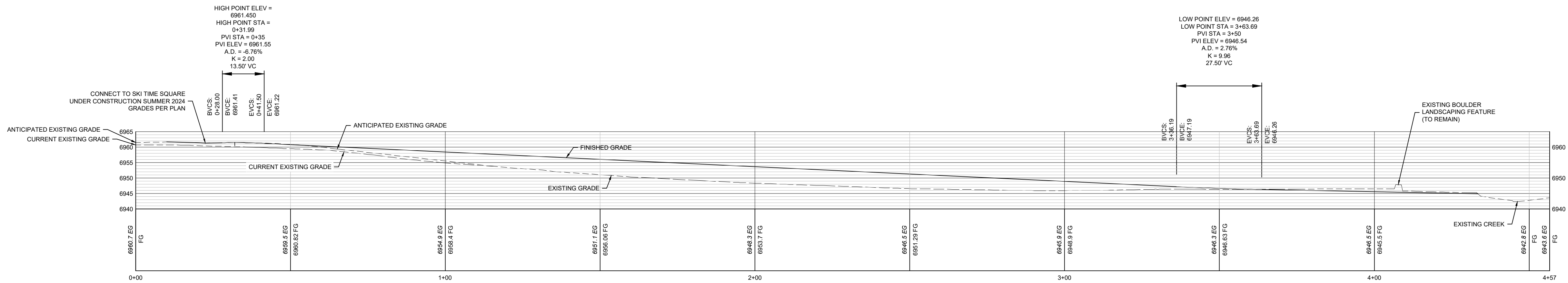
1965 SKI TIME SQUARE

STEAMBOAT SPRINGS, CO 80487

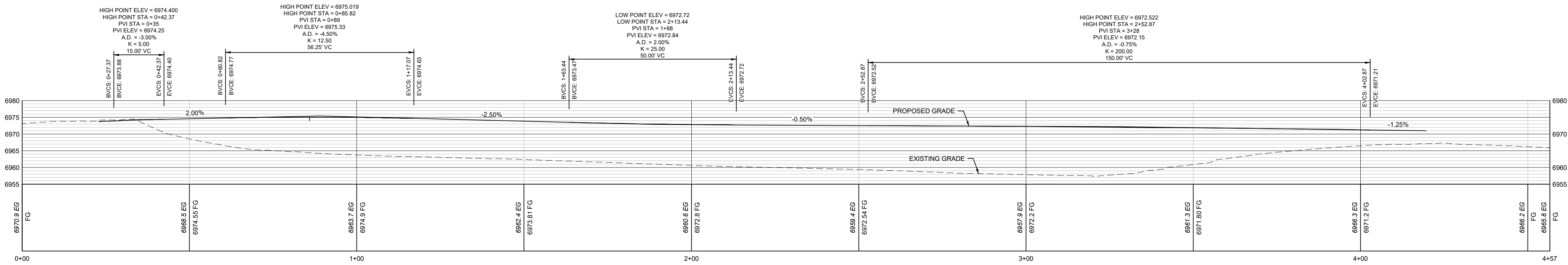
REVISIONS:		
NO	DATE	DESCRIPTION

PROJECT NUMBER:
123134.00
DATE:
11/05/2024
ISSUED FOR:
DEVELOPMENT PLAN - REV 3
SHEET TITLE:
GRADING PLAN

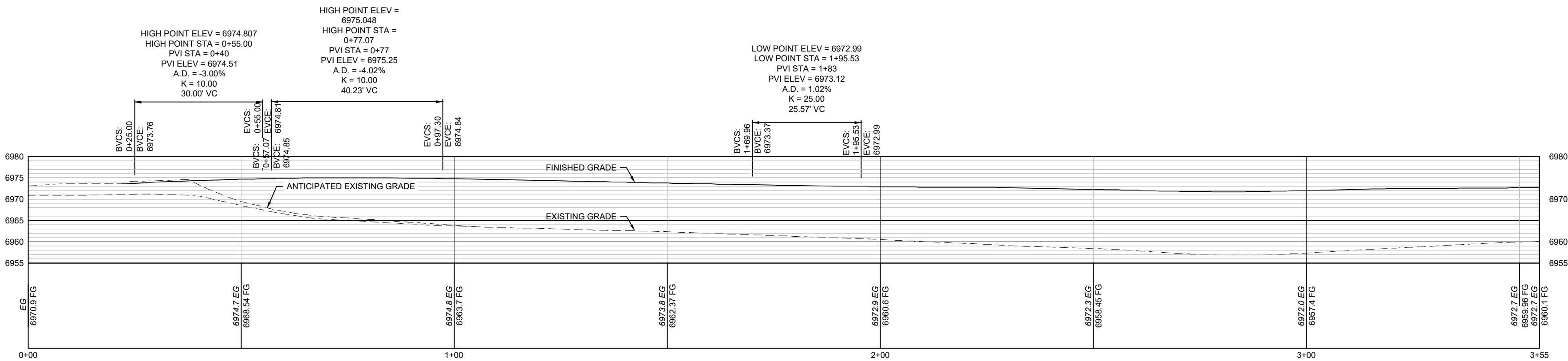
SHEET NUMBER
L.201



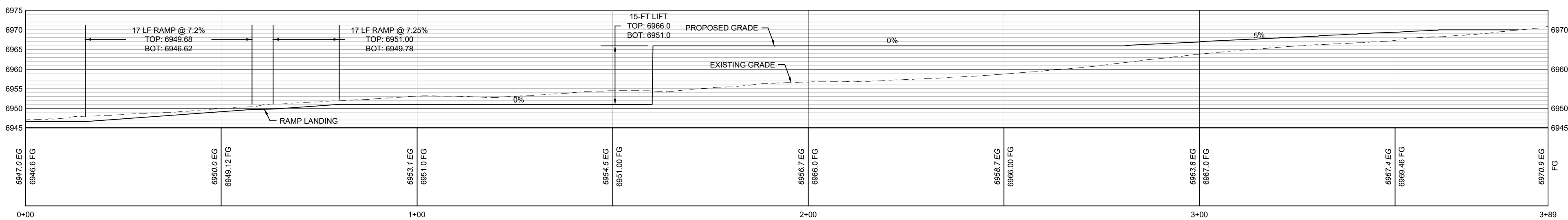
1 WEST PROMENADE PROFILE
1" = 20'-0"



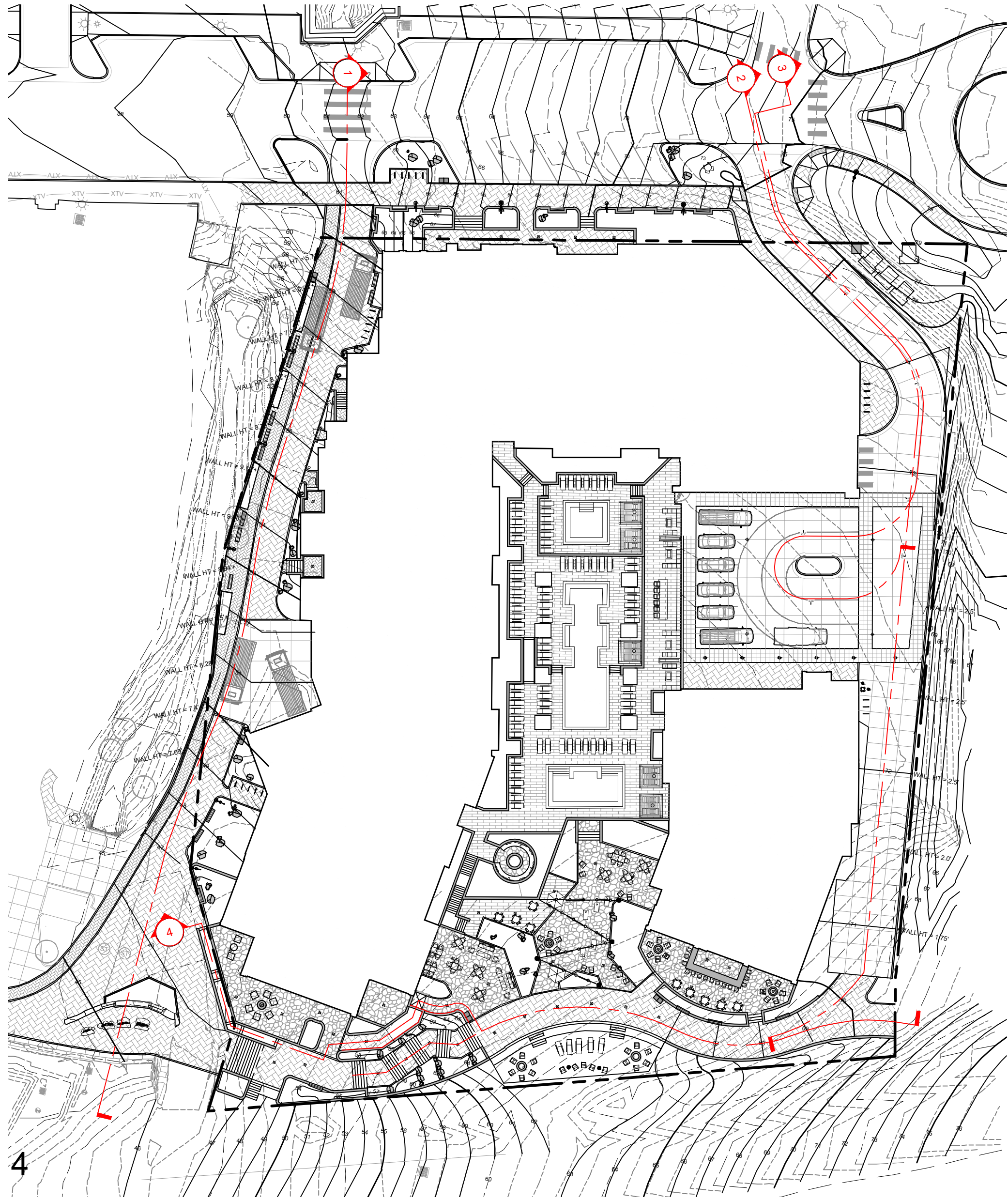
2 EAST PROMENADE PROFILE
1" = 20'-0"



3 INTERNAL PRIVATE ACCESS PROFILE
1" = 20'-0"



4 SOUTH PROMENADE PROFILE
1" = 20'-0"



4 SITE PLAN
1" = 40'-0"



CONFLUENCE
3457 RINGSBY CT, UNIT 223
DENVER, CO 80216
PH: (303) 433-7100
www.thinkconfluence.com

NOT FOR
CONSTRUCTION

THUNDERHEAD BEACH
1965 SKI TIME SQUARE
STEAMBOAT SPRINGS, CO 80487

REVISIONS:
NO DATE DESCRIPTION

PROJECT NUMBER:
123134.00
DATE:
11/05/2024
ISSUED FOR:
DEVELOPMENT PLAN - REV 3
SHEET TITLE:
SITE PROFILES

SHEET NUMBER

L.202