

# 1965 SKI TIME SQUARE DRIVE

STEAMBOAT SPRINGS, CO 80487

## VOLUME 1

### SHEETS INCLUDED IN THIS SECTION

#### EXISTING CONDITIONS PLAN

C.003	EXISTING CONDITIONS EXHIBIT
C.004	ANTICIPATED CONDITIONS EXHIBIT

#### SITE PLAN

L.100.1	SITE ILLUSTRATIVE PLAN - SUMMER
L.100.2	SITE ILLUSTRATIVE PLAN - WINTER
L.101	SITE PLAN

#### ARCHITECTURAL DRAWINGS

G.001	ENTITLEMENTS COVER SHEET
G.020	PERSPECTIVE RENDERINGS
A.099	LEVEL P2 - FLOOR PLAN
A.100	LEVEL P1 - FLOOR PLAN
A.101	LEVEL 1 - FLOOR PLAN
A.102	LEVEL 2 - FLOOR PLAN
A.103	LEVEL 3 - FLOOR PLAN
A.104	LEVEL 4 - FLOOR PLAN
A.105	LEVEL 5 - FLOOR PLAN
A.106	LEVEL 6 - FLOOR PLAN
A.107	LEVEL 7 - FLOOR PLAN
A.108	LEVEL 8 - FLOOR PLAN
A.109	LEVEL 8 MEZZANINE - FLOOR PLAN
A.110	ROOF PLAN
A.111	ROOF SLOPE DIAGRAM
A.112	SUN STUDY
A.201	BUILDING ELEVATION - NORTH
A.202	BUILDING ELEVATION - EAST
A.203	BUILDING ELEVATION - SOUTH
A.204	BUILDING ELEVATION - WEST
A.205	BUILDING ELEVATION - WEST COURTYARD
A.206	BUILDING ELEVATION - EAST COURTYARD
A.207	ENLARGED BUILDING ELEVATION - NORTH RETAIL
A.208a	EXTERIOR AMENITY PUBLIC VS PRIVATE
A.208b	SOUTH PROMENADE RENDERINGS
A.208c	SOUTH PROMENADE RENDERINGS
A.208d	SOUTH PROMENADE RENDERINGS
A.210	GLAZING PERCENTAGE DIAGRAM
A.211	GLAZING PERCENTAGE DIAGRAM
A.212	BUILDING HEIGHTS
A.213	BUILDING STEPBACKS
A.214	BUILDING STEPBACKS
A.215	BUILDING STEPBACKS
A.301	SITE SECTIONS
A.310	BUILDING AXONS

#### LANDSCAPE PLAN

L.301 / 1	A4.DIV-1.401 & 419 - WATER BODY SETBACK / FLOOD DAMAGE PREVENTION DIAGRAM
L.301 / 2	A4.DIV-1.406 - OFF STREET PARKING
L.301 / 3	A4.DIV-1.407 - FIRE ACCESS DIAGRAM
L.301 / 4	A4.DIV-1.408 - OFF STREET LOADING / REFUSE MANAGEMENT
L.302 / 1	A4.DIV-1.409 - SNOW MANAGEMENT DIAGRAM
L.302 / 2	A4.DIV-1.414 & 417 - MULTI-MODE FACILITIES / COMPLETE STREETS
L.302 / 3	A4.DIV-1.415 - CLEAR VISION SETBACKS
L.302 / 4	A4.DIV-1.416 - RETAINING WALLS
L.303 / 1	A4.DIV-1.440 - ENTRY POINT DIAGRAM
L.303 / 2	A4.DIV-1.402 - LANDSCAPING DIAGRAM
L.303 / 3	A2.216.B - LOT COVERAGE DIAGRAM
L.304 / 1	EASEMENT DIAGRAM
L.304 / 2	A4.DIV-2.440.C.1.b - PUBLIC VS. PRIVATE
L.304 / 3	MAINF - ADA REALM DIAGRAM

#### GRADING PLAN

C.420	EAST PROMENADE CENTERLINE PROFILE
L.201	GRADING PLAN
L.201 / 1-6	SITE SECTIONS
L.202	SITE PROFILES

#### UTILITY PLAN

C.200	UTILITY PLAN
C.220	PRIVATE FIRE HYDRANT PLAN & PROFILE
C.221	FIRE SUPPRESSION & DOMESTIC SERVICE PLAN & PROFILE

#### LIGHTING PLAN

LI.000	LIGHTING SHEET INDEX
LI.100	A4.DIV-1.405 - SITE LIGHTING PHOTOMETRICS
LI.101	POOL LIGHTING PHOTOMETRICS
LI.200	BUILDING ELEVATIONS - NORTH
LI.201	BUILDING ELEVATIONS - EAST
LI.202	BUILDING ELEVATIONS - SOUTH
LI.203	BUILDING ELEVATIONS - WEST
LI.300	BUILDING LIGHTING - CUT SHEETS - 1
LI.301	BUILDING LIGHTING - CUT SHEETS - 2
LI.302	BUILDING LIGHTING - CUT SHEETS - 3

#### DRAINAGE PLAN

C.300	DRAINAGE PLAN
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#### FIRE CODE ANALYSIS

L.401	FIRE CODE ANALYSIS
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CONNECTIONS (TYP.)

ECT ALL ROOF/FOUNDATION  
AINS TO INTERNAL STORM  
ORK. DO NOT CONNECT TO  
" STORM BYPASS (TYP.)

YP.)

OF/FOUNDATION DRAIN CONNECTIONS (TYP.)

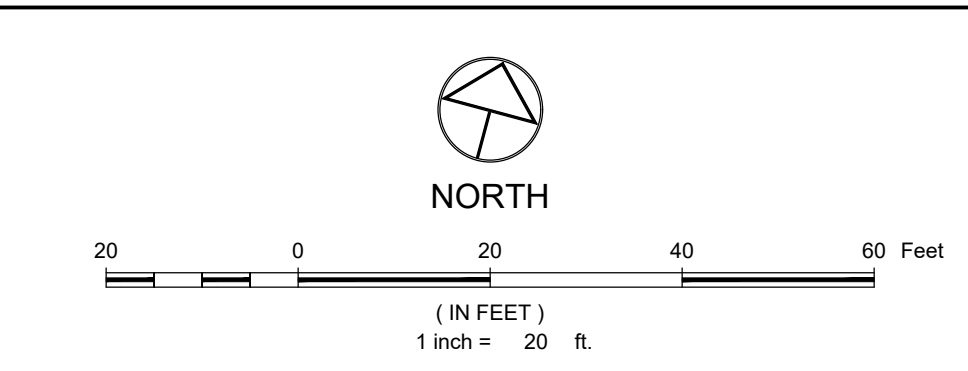
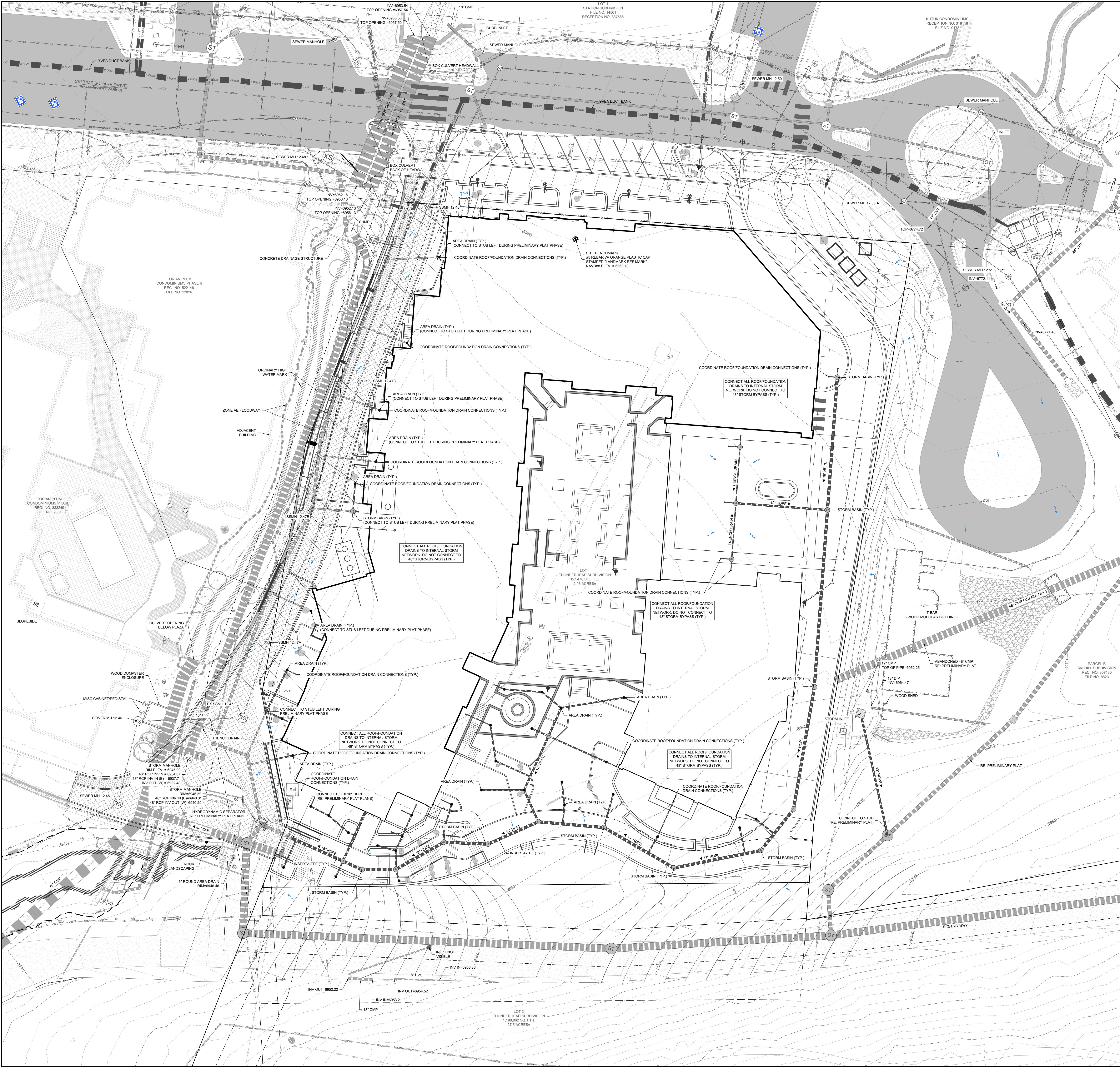
ALL ROOF/FOUNDATION  
O INTERNAL STORM  
O NOT CONNECT TO  
M BYPASS (TYP.)

ORDINATE ROOF/FOUNDATION  
AIN CONNECTIONS (TYP.)

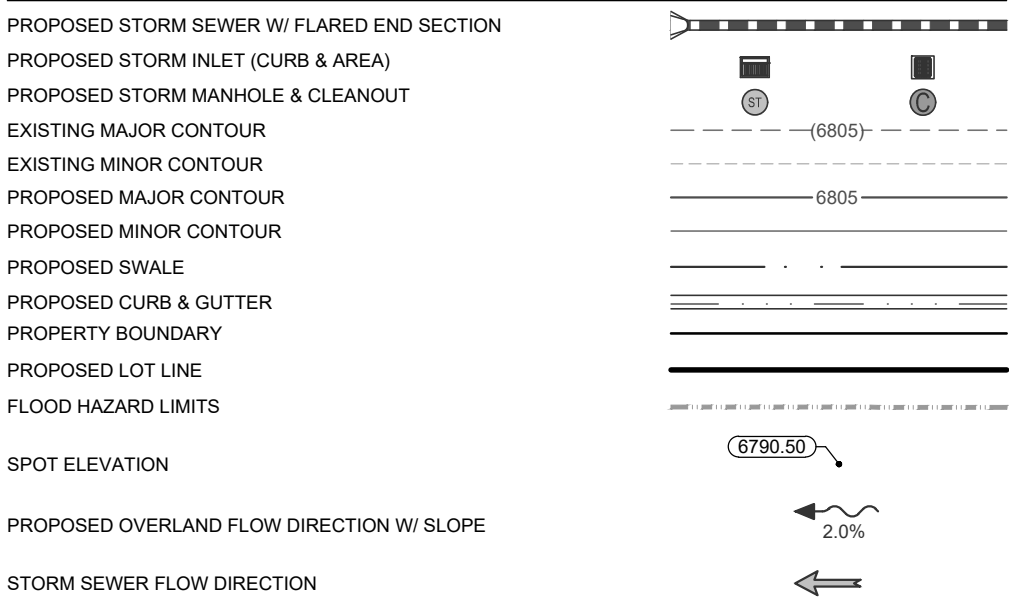
P.)

# DRAINAGE PLAN

## DEVELOPMENT PLAN



GRADING PLAN LEGEND:



ADJACENT AND OFF-SITE IMPROVEMENTS NOTE:

THERE ARE IMPROVEMENTS SHOWN THAT EXTEND BEYOND THE PROPERTY LIMITS OF THIS APPLICATION. EASEMENTS AND/OR AGREEMENTS WILL BE REQUIRED TO CONSTRUCT, OPERATE AND MAINTAIN SUCH IMPROVEMENTS. CHANGES MAY BE REQUIRED BASED ON THE FINAL TERMS AND CONDITIONS. NOTIFY LANDMARK OF ANY AND ALL REQUIREMENTS NECESSARY FOR DESIGN AND CONSTRUCTION OF THE SCOPES OF WORK.

NOTES:

1. THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK. BEFORE COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UNKNOWN UNDERGROUND UTILITIES.
2. PROJECT BENCHMARK: RECOVERED NO.5 REBAR W/ YELLOW PLASTIC CAP STAMPED "LS 1321" 0.1' BELOW GRAD, NAVD83 ELEV. = 6794.25
3. ELEVATIONS FOR IMPROVEMENTS THAT ARE CONTROLLED BY ADJACENT EXISTING FACILITIES (SUCH AS PROPOSED GUTTERS ALONG EXISTING ASPHALT) MAY REQUIRE ADJUSTMENT BASED ON ACTUAL CONDITIONS. COORDINATE WITH ENGINEER TO ENSURE A CONSISTENT SECTION WITH SMOOTH TRANSITIONS WHERE NECESSARY.
4. SEE SOILS REPORT FOR PAVEMENT, SUBGRADE AND MATERIAL PREPARATION, DESIGN AND RECOMMENDATIONS.
5. ALL CURB SPOTS SHOWN ARE FLOWLINE ELEVATIONS, UNLESS NOTED OTHERWISE. ALL OTHER SPOTS ARE FINISHED GRADE ELEVATIONS.
6. PROPOSED GRADING INFORMATION IS NOT PART OF LANDMARK'S SCOPE AND HAS BEEN PROVIDED BY OTHERS.



REVISIONS:		
NO	DATE	DESCRIPTION

PROJECT NUMBER:  
**123134.00**

DATE:  
**11/6/2024**

ISSUED FOR:  
**DP RE-SUBMITTAL #3**

SHEET TITLE:  
**DRAINAGE PLAN**

SHEET NUMBER  
**C.300**