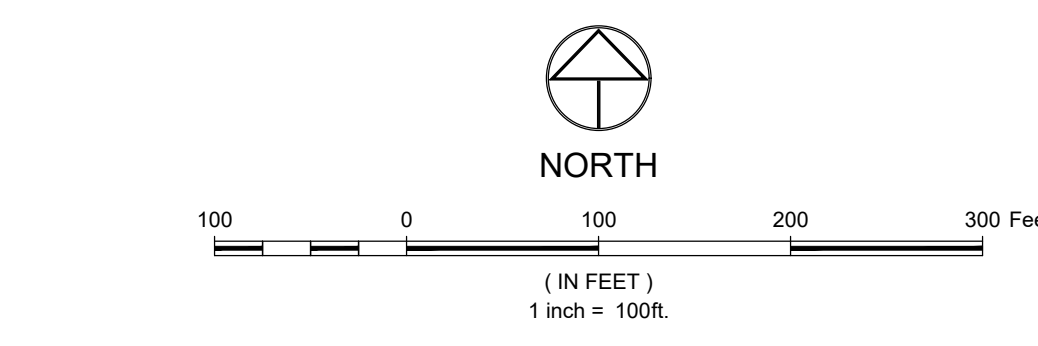
[illegible]



PROPERTY BOUNDARY	
ADJACENT PROPERTY BOUNDARY	
EASEMENT	
PROPERTY MONUMENT AS NOTED	●
[TC15] = REFERENCE TO TITLE COMMITMENT. SEE NOTE 2	[TC15]
EASEMENT SHOWN BASED ON PREVIOUS SURVEY INFORMATION (SEE NOTE 2)	<u>FROM PREVIOUS</u>
LIMITS OF FLOOD ZONE AE (SEE NOTE 5)	
BUILDING	
WALL	
FENCE	
MAJOR CONTOUR	6800
MINOR CONTOUR	
ASPHALT	
CONCRETE	
CONCRETE CURB W/ P/W	
BRICK PAVERS	
GRAVEL	
ROCK/ BOULDERS/ RIP RAP	
SIGN	●
SANITARY SEWER LINE MARKER	⌚
MANHOLE AND CLEANOUT	⌚
SEPTIC TANK LD AND VENT PIPE	⌚
WATER LINE MAKER, FIRE HYDRANT	⌚
GAS VALVE, CURB STOP & METER	⌚
FIRE DEPT. CONNECTION, YARD HYDRANT,	⌚
VENT PIPE, WATER MANHOLE AND WELL	⌚
GAS LINE MARKER, VALVE, MANHOLE/VAULT,	⌚
METER AND SHUTOFF	⌚
CABLE LINE MARKER, VAULT AND PEDESTAL	⌚
FIBER OPTIC LINE MARKER, VAULT & PEDESTAL	⌚
TELEPHONE LINE MARKER, VAULT,	⌚
PEDESTAL AND MANHOLE	⌚
ELECTRIC LINE MARKER, TRANSFORMER,	⌚
METER AND SECONDARY PEDESTAL	⌚
ELECTRIC MANHOLE, OUTLET,	⌚
GENERATOR AND JUNCTION BOX	⌚
LIGHT POLE, STREET LIGHT, TRAFFIC SIGNAL	⌚
TRAFFIC CONTROL VAULT AND CABINET	⌚
OVERHEAD UTILITY LINE	⌚
GUY POLE, UTILITY POLE & GUY WIRE	⌚
EDGE OF WATER	
ORDINARY HIGH WATER MARK (SEE NOTE 13)	
DITCH/SWALE	
STORM SEWER SCALED TO PIPE DIMENSION	
LOCATION FOR INFORMATION ONLY	
STORM MANHOLE, MANHOLE INLET,	
GRATE INLET AND CURB INLET	
STUMP, BOULDER AND IRRIGATION VALVE BOX	
CONIFEROUS AND DECIDUOUS TREE	
(SCALED TO APPROXIMATE DRIFLINE)	
CONIFEROUS AND DECIDUOUS SHRUB	
(SCALED TO APPROXIMATE DRIFLINE)	

1. THIS MAP DOES NOT REPRESENT A MONUMENTED LAND SURVEY. IT IS INTENDED ONLY TO DEPICT THAT INFORMATION REQUESTED BY OUR CLIENT.
2. LAND TITLE GUARANTEE COMPANY TITLE COMMITMENT ORDER NO. ABC30030179, COMMITMENT DATE: 07/21/2023 WAS RELIED UPON TO DETERMINE OWNERSHIP AND EASEMENTS OF RECORD SHOWN ON THIS EXISTING CONDITIONS MAP UNLESS NOTED OTHERWISE. EASEMENTS NOTED "FROM PREVIOUS" ARE SHOWN BASED ON PREVIOUS SURVEYING PERFORMED IN THE AREA BY LANDMARK CONSULTANTS, INC. NO REPRESENTATION IS MADE BY LANDMARK CONSULTANTS, INC. OR THE SURVEYOR OF RECORD FOR ALL EASEMENTS SHOWN HEREON ARE STILL EXISTANT, OR THAT ALL EASEMENTS OF RECORD WITHIN THE MAPPING AREA ARE SHOWN OR NOTED HEREON.
3. BASIS OF HORIZONTAL CONTROL: THE 2011 ITERATION OF THE COLORADO COORDINATE SYSTEM OF 1983 NORTH ZONE, NAD83(2011) COLORADO NORTH, SCALED TO GROUND ABOUT A POINT HAVING COORDINATES OF 1412535.68 2635559.05 AND A SCALE FACTOR OF 1.0003690183.
4. UNITS SHOWN HEREON ARE IN US SURVEY FEET AND THE STANDARD OF DISTANCE ACCURACY FOR THIS MAP HAS BEEN DETERMINED TO BE GREATER THAN 1:10,000.
5. FLOOD ZONE INFORMATION IS SHOWN HEREON PER LETTER OF MAP REVISION 13-08-0214 EFFECTIVE JULY 8, 2013, AND LETTER OF MAP REVISION 18-08-09227, EFFECTIVE JULY 29, 2019.
6. SITE BENCHMARK: A SET #5 REBAR WITH ORANGE PLASTIC CAP HAVING AN ELEVATION OF 6963.78 BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83) AS SHOWN HEREON.
7. CONTOUR INTERVAL = 1 FEET
8. UNDERGROUND IMPROVEMENTS: LOCATIONS FOR UNDERGROUND IMPROVEMENTS ARE SHOWN HEREON ONE OR MORE OF THE FOLLOWING: VISIBLE AND APPARENT SURFACE EVIDENCE-BUILT OR UNBUILT OR NOTED BY OTHER SOURCES OR LOCATIONS PROVIDED BY COLORADO 811 OR CAN SERVICES, PRIVATE UNDERGROUND LOCATING SERVICES, OR INFORMATION. ANY METHOD OF SHOWING UNDERGROUND IMPROVEMENTS, OR ANY COMBINATION THEREOF, MAY NOT PROVIDE COMPLETE AND ACCURATE LOCATIONS FOR ALL UNDERGROUND IMPROVEMENTS. IF ACCURATE LOCATIONS FOR UNDERGROUND IMPROVEMENTS ARE REQUIRED, THEY WILL HAVE TO BE VERIFIED BY FIELD POTHOLING OF THE IMPROVEMENTS. LANDMARK CONSULTANTS, INC. AND THE SURVEYOR OR ENGINEER OF RECORD SHALL BE RESPONSIBLE FOR ACCURACY TO REASONABLY AND COMPLETELY DEPICT THE LOCATIONS OF UNDERGROUND IMPROVEMENTS.
9. ALL REFERENCES HEREON TO BOOKS, PAGES, FILES AND RECEPTION NUMBERS ARE TO PUBLIC DOCUMENTS FILED IN THE RECORDS OF ROUTT COUNTY, COLORADO.
10. THE LAST FIELD INSPECTION OF THE SITE WAS ON 8/17/2023.
11. DRAWING PLOTS TO SCALE ON 24"x36" PAPER.
12. WATER AND SEWER INFORMATION SUPPLEMENTED USING MOUNT WERNER WATER RECORD INFORMATION. SOME DISCREPANCIES MAY EXIST.
13. ORDINARY HIGH WATER MARK IS SHOWN HEREON PER MARKINGS PROVIDED BY WESTERN BIOLOGICS.

PROPERTY DESCRIPTION: THAT PARCEL OF LAND DESCRIBED IN RECEPTION NO. 816590 IN THE
ROUTT COUNTY RECORDS; COUNTY OF ROUTT, STATE OF COLORADO.

SHEET
C.004

LIMITATIONS OF ACTIONS AGAINST LAND SURVEYORS:
ALL ACTIONS AGAINST ANY LAND SURVEYOR BROUGHT TO RECOVER DAMAGES RESULTING FROM ANY ALLEGED NEGLIGENCE OR DEFECTIVE SURVEYING MUST BE BROUGHT WITHIN THREE YEARS FROM THE DATE OF THE SURVEY. ANY ACTION BROUGHT AFTER THE EXPIRATION OF THE THREE YEAR PERIOD SHALL BE DISMISSED. THE DATE OF THE SURVEY IS THE DATE OF THE COMPLETION OF THE SURVEY, UPON WHICH AN ACTION IS BASED.

NOTICE:
ACCORDING TO COLORADO LAW, A LITIGANT COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED AFTER THE EXPIRATION OF THE THREE YEAR PERIOD. CERTIFICATION SHOWS PERSON

NO.	DATE	BY:	DESCRIPTION
1	9/13/23	BC	WETLANDS ADDITIONS
2	12/19/23	JAG	INTERIOR PARCEL LINES
3	11-5-24	EG	DRT Comments

