

NOT VALID WITHOUT ORIGINAL
SIGNATURE AND DATE



CONTACT: RYAN SPAUSTAT
PHONE: 970-871-9494
EMAIL: RSPAUSTAT@LANDMARK-CO.COM

SOIL NAIL WALL REMOVAL NOTE:
THE REMOVAL OF THE SOIL NAILS SHOWN IN THESE
PLANS IS BASED ON INFORMATION PROVIDED BY
DENEUVE CONSTRUCTION, WHO HOLDS SOLE
RESPONSIBILITY FOR THE MEANS AND METHODS OF
THEIR REMOVAL. NWCC'S RECOMMENDATIONS, AS
OUTLINE IN THEIR MEMO DATED SEPTEMBER 18, 2024,
SHOULD BE FOLLOWED THROUGHOUT THE SOIL NAIL
REMOVAL AND REPLACEMENT PROCESS.



September 18, 2024

Gorman & Company
Nathaniel Stark, AIA
1060 Bannock Street, Suite 305Steamboat
Springs, Denver, CO 80204
nstark@gormanusa.com

Job Number: 23-12980

Subject: Soil Nail Wall Removal
Recommendations, Lot B, Downtown
Riverview Subdivision, Steamboat
Springs, Colorado.

Nathaniel,

As requested NWCC, Inc. (NWCC) has prepared this report to discuss our recommendations for removing the temporary wall and soil nails that were advanced into the alley located to the northeast of the subject property earlier this year. The alley is located between 3rd Street and 4th Street in Steamboat Springs, Colorado.

Based on our review of the construction plans, as-built details for the temporary soil nail wall, the Soil Nail Wall Demolition Exhibit prepared by Landmark Consultants, and our recent site observations, it appears that the contractor (Deneuve), building the building structure on Lot B, constructed a temporary soil nail wall along the property line running between the subject property and alley to the northeast of the property.

It appears the soil nails installed for the wall have encroached into the alley and 20' ROW approximately 9 to 14 feet horizontally and to depths ranging from 9 to 15 feet below the ground surface in the alley. It also appears that the nails were placed above and below several utility lines that run down the alley.

NWCC believes that there are two options for restoring the alleyway and they are to remove the wall and nails in entirety or cut the soil nails off at the wall and leave the nails in place after the temporary wall is removed.

It should be noted that leaving the soil nails in place will eliminate the risk of damage to the existing utility lines located in the alley and ROW, as well as reduce the disturbance to the alley. The downside for leaving the nails in place is that they will have to be cut and removed from any

Soil Nail Wall Removal Recommendations
Lot B, Riverview Subdivision
Job No.: 23-12890

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future excavations in the alley. Future excavations in the alley will likely be some type of utility line repair or replacement.

After the temporary wall is removed, the attached soil-nails will have to be either removed by excavating to the base/end of the nails or cutting the nails off at the wall and leaving them in place.

If the nails are removed, NWCC recommends that the excavations be backfilled to the original grade with the on-site granular soils or imported, granular fill materials. The fill materials should be placed in 6 to 8 inch loose lifts and be compacted to at least 95% of the maximum modified Proctor density and within 2% of the optimum moisture content determined in accordance with ASTM D-1557.

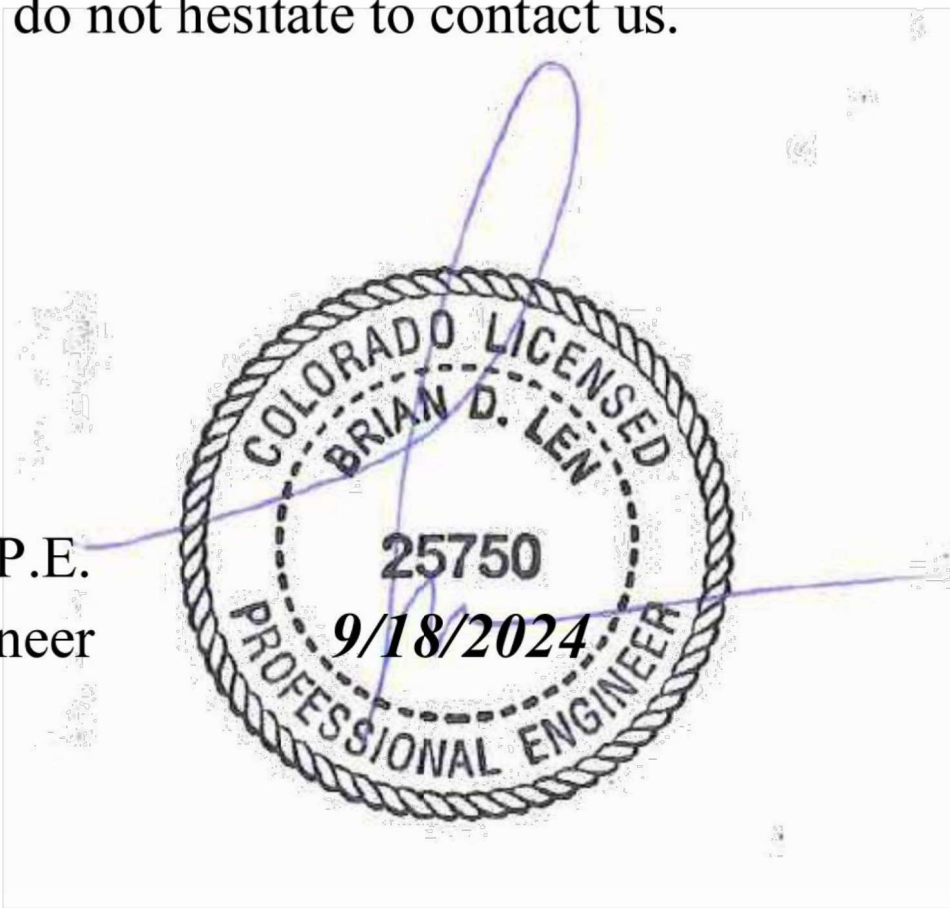
The new fill materials should be properly benched/keyed into the natural soils/existing fill materials exposed at the northeast end of the nails and excavation. The on-site sands and gravels may be used for fill materials after all of the larger cobbles and boulders are removed, and they are properly moisture conditioned. Any imported structural fill materials should meet the Colorado Department of Transportation (CDOT) specifications for Class 1, 5 or 6 aggregate base course or Class I Structure Backfill material.

NWCC should be retained to observe the excavations after the nails have been removed or cut off the wall to confirm the recommendations in this report, as well as test the fill materials placed back within the excavations for compaction.

If you have any questions regarding these recommendations or if NWCC may be of further service, please do not hesitate to contact us.

Sincerely,
NWCC, Inc.

Brian D. Len, P.E.
Principal Engineer



NWCC, Inc.

RIVERVIEW - SITE B
SOIL NAIL WALL REMOVAL
322 RIVERVIEW WAY
STEAMBOAT SPRINGS, COLORADO

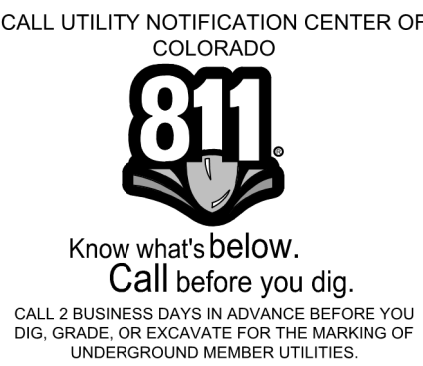
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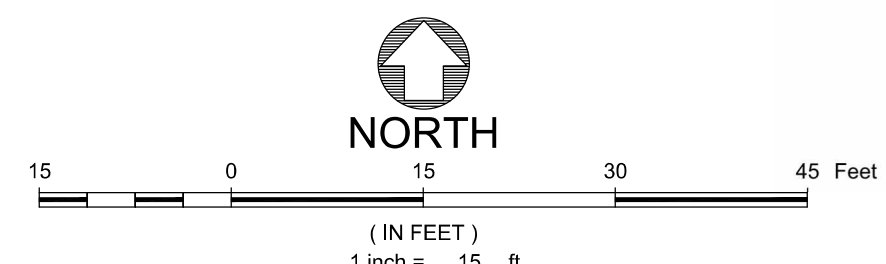
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Drawn by: LANDMARK
Checked by: LANDMARK
Approved by: LANDMARK

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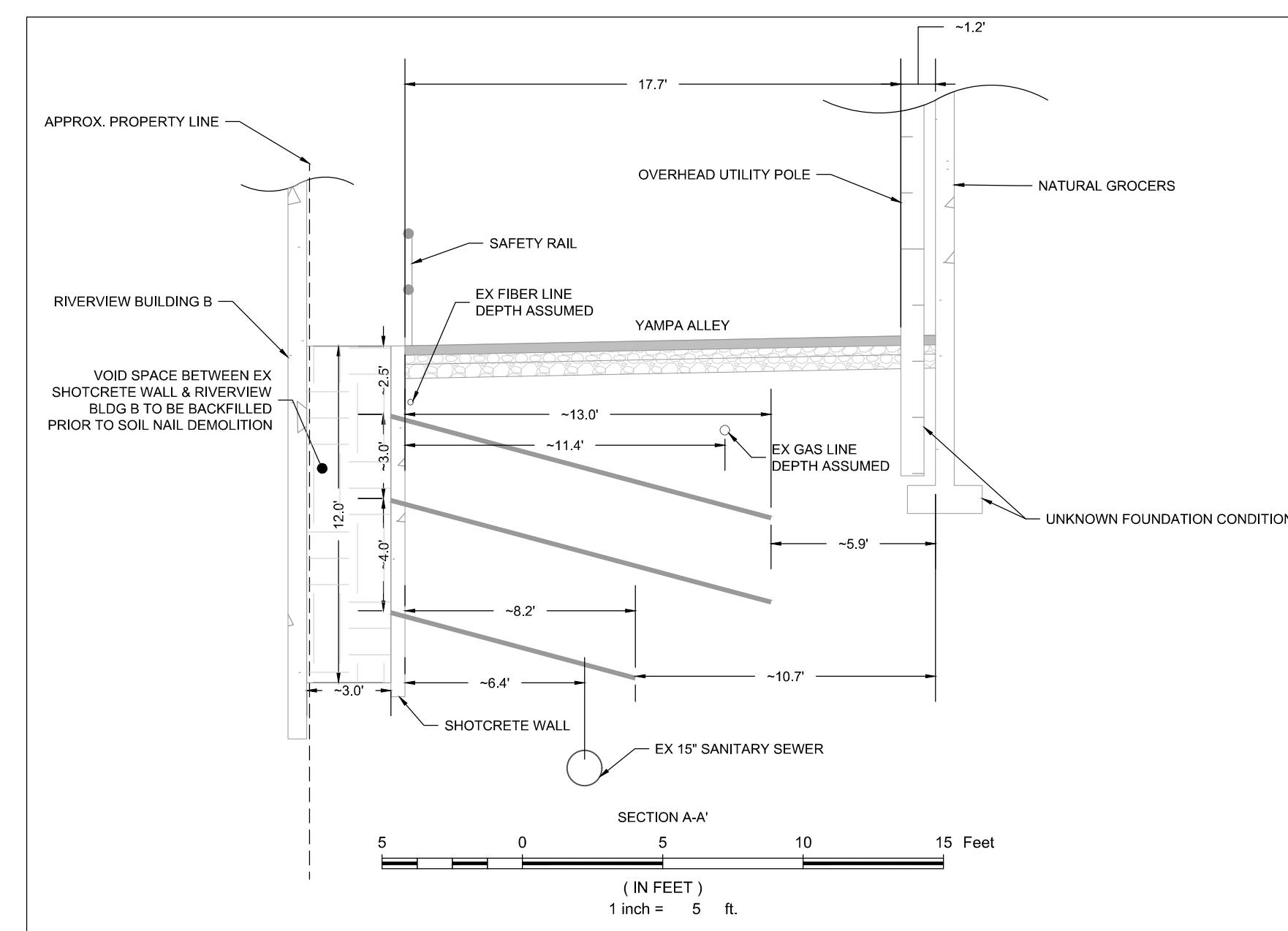
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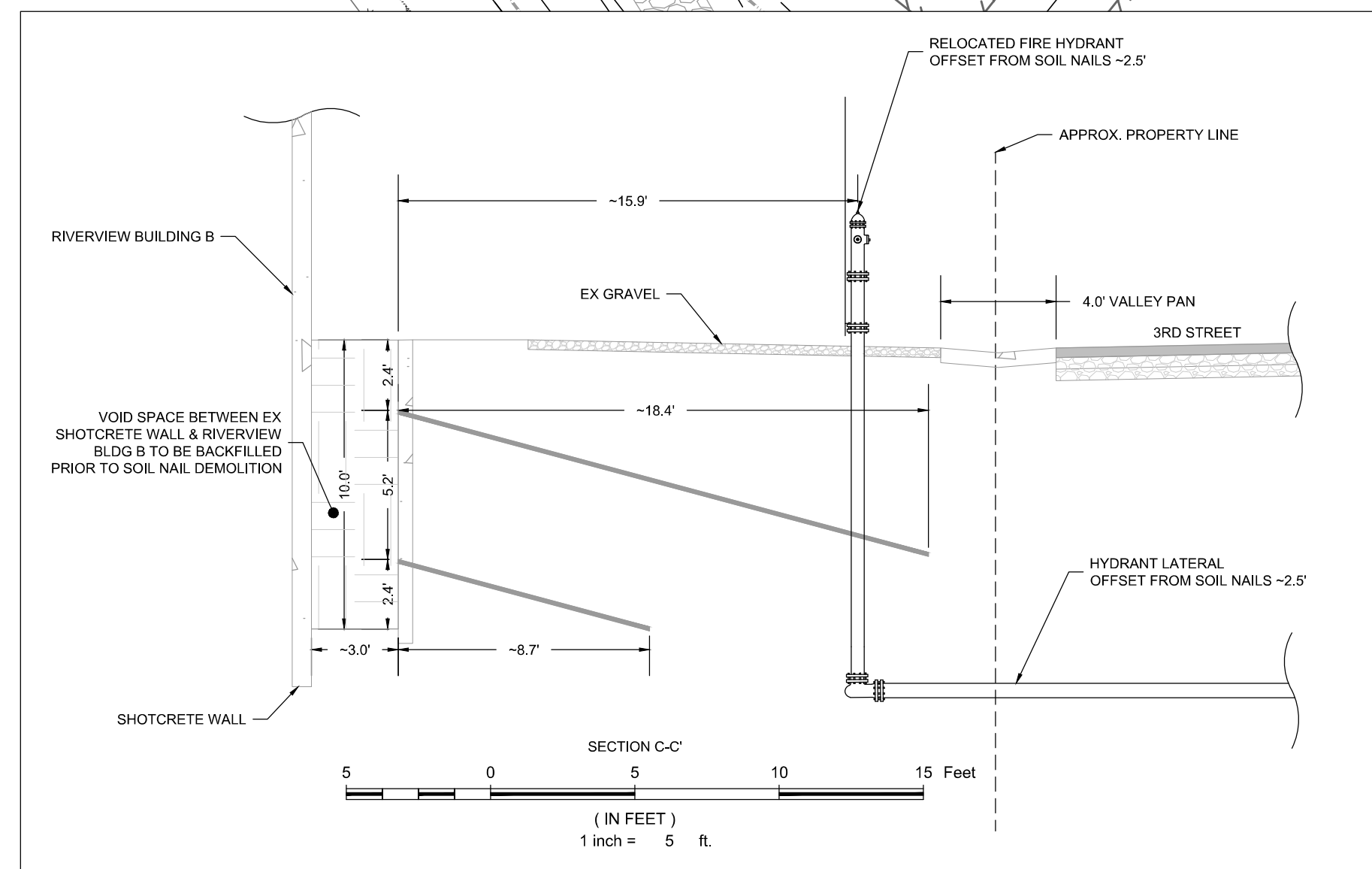
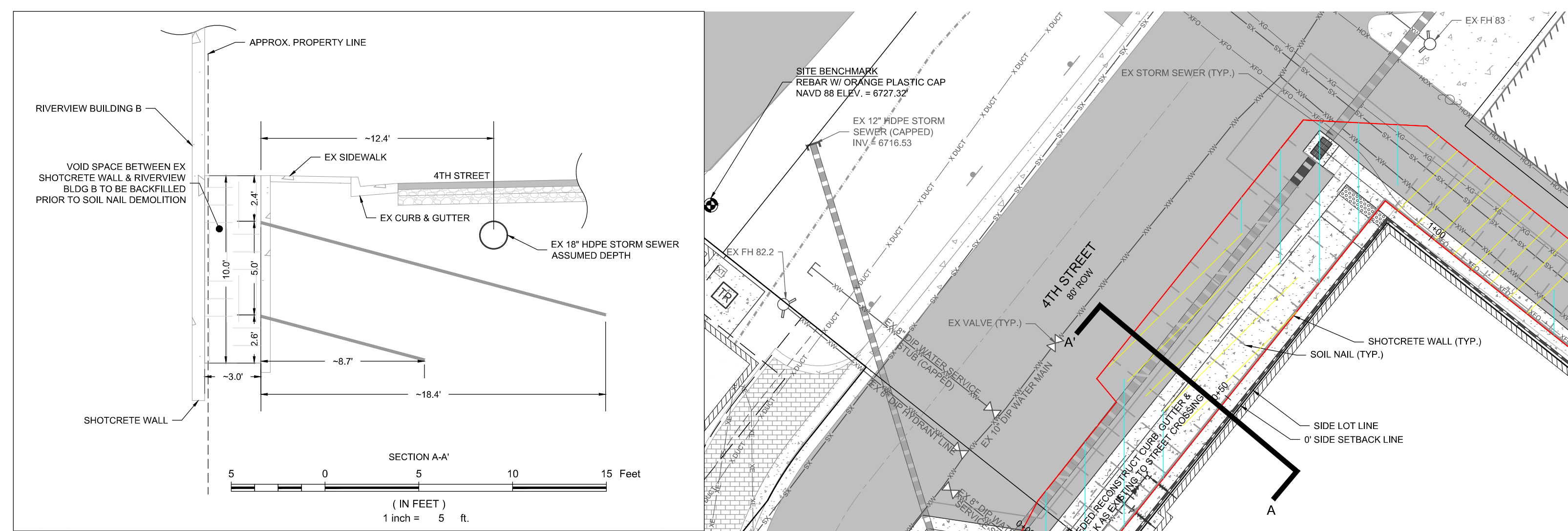


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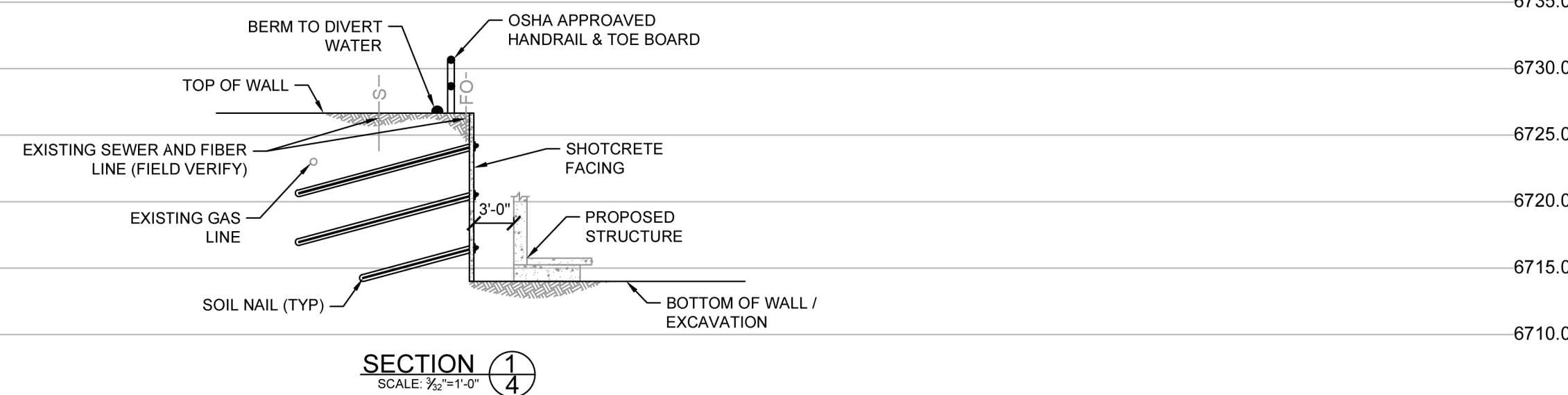
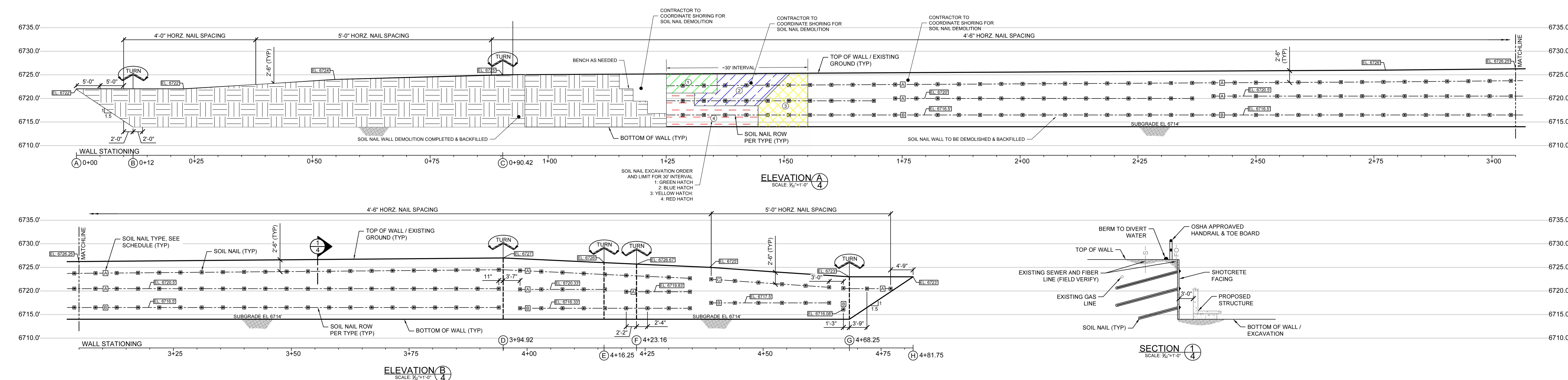


LOT 1, 2, 3 & THE EAST HALF OF LOT 4,
BLOCK 25, ORIGINAL TOWN OF
STEAMBOAT SPRINGS

LOT B
322 RIVERVIEW WAY
DOWNTOWN RIVERVIEW
RECEPTION NO. 755286
FILE NO. 14362
36.5854 AC
0.89+ AC
UPPER GARAGE PARKING FFE = 6726.73
LOWER GARAGE PARKING FFE = 6716.73
RE: ARCH. PLANS



SOIL NAIL WALL DEMO PLAN & PROFILE - (STA. 0+00 - 4+81.75)
PROFILE SCALE: 1" = 10' (H) 1" = 10' (V)



SITE PLAN LEGEND:

CENTERLINE	---
BUILDING	---
ROOF LINE/OVERHANG	---
DECK	---
WALL	---
FENCE	---
MAJOR CONTOUR	---
MINOR CONTOUR	---
ADHANT	---
CONCRETE	---
GRAVEL	---
BRICK PAVERS	---
FLASTONE PAVERS	---
ROAD	---
EXTOSWALE	---
CLAVERT W/ END SECTIONS	---
STORM MANHOLE, MANHOLE INLET, GATE INLET AND CURB INLET	---

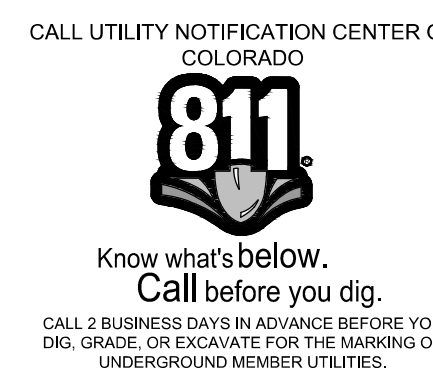
- NOTES:
- THE MEASURED DISTANCES SHOWN HEREON ARE IN U.S. SURVEY FEET.
 - UNDERGROUND IMPROVEMENTS: LOCATIONS FOR UNDERGROUND IMPROVEMENTS ARE SHOWN HEREON PER ONE OR MORE OF THE FOLLOWING: VISIBLE AND APPARENT SURFACE EVIDENCE, AS-BUILT DRAWINGS PROVIDED BY OTHERS, MARKINGS PROVIDED BY COLORADO 811 ONE CALL SERVICES, PRIVATE UNDERGROUND LOCATING SERVICES, OR GIS INFORMATION. ANY METHOD OF SHOWING UNDERGROUND IMPROVEMENTS OR ANY COMBINATION THEREOF, MAY NOT PROVIDE COMPLETE AND ACCURATE LOCATIONS FOR ALL UNDERGROUND IMPROVEMENTS. IF ACCURATE LOCATIONS FOR UNDERGROUND IMPROVEMENTS ARE REQUIRED, THEY WILL HAVE TO BE OBTAINED BY FIELD PHOTOLOGS OF THE IMPROVEMENTS. LANDMARK CONSULTANTS, INC. AND THE SURVEYOR OR ENGINEER OF RECORD SHALL NOT BE LIABLE FOR THE FAILURE TO ACCURATELY AND COMPLETELY DETECT THE LOCATIONS OF UNDERGROUND IMPROVEMENTS.
 - ALL REFERENCES HEREON TO BOOKS, PAGES, FILE, PARCEL ID NUMBERS AND RECEPTION NUMBERS ARE TO PUBLIC DOCUMENTS FILED IN THE RECORDS OF SOUTH COUNTY, COLORADO.
 - PROJECT BENCHMARK: A RECOVERED REBAR W/ ORANGE PLASTIC CAP AS SHOWN HEREON, HAVING AN ELEVATION OF 6727.0' BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1985 (NAVD85) AS SHOWN HEREON.
 - CONTOUR INTERVAL = 1 FOOT
 - SNOW REMOVAL IS THE RESPONSIBILITY OF THE DOWNTOWN RIVERVIEW METRO DISTRICT AND WILL BE MAINTAINED OFFSITE AS REQUIRED.

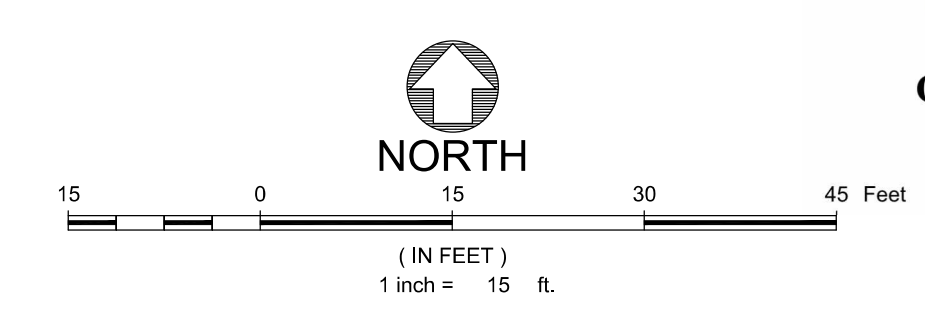
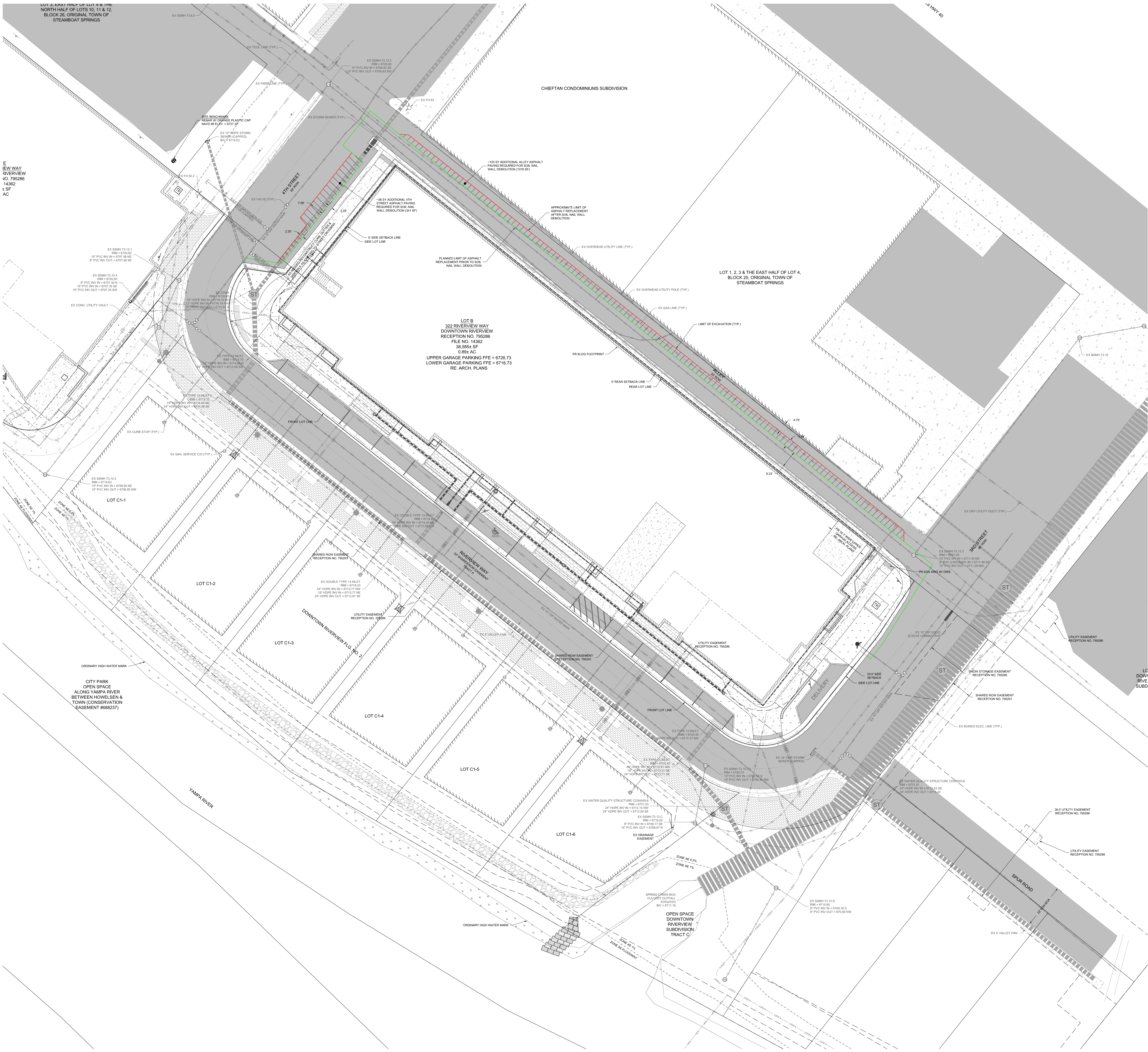
RIVERVIEW - SITE B
SOIL NAIL WALL REMOVAL
322 RIVERVIEW WAY
STEAMBOAT SPRINGS, COLORADO

Issue Dates:	DATE	DESCRIPTION
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Project No.	2000-0622
Plot Date:	11/1/2024 12:11:28 PM
Drawn by:	LANDMARK
Checked by:	LANDMARK
Approved by:	LANDMARK

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Sheet Title
DEMOLITION PLAN, PROFILE & CROSS SECTIONS

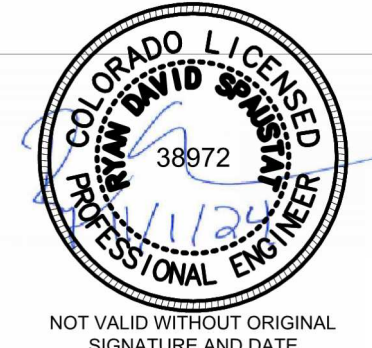




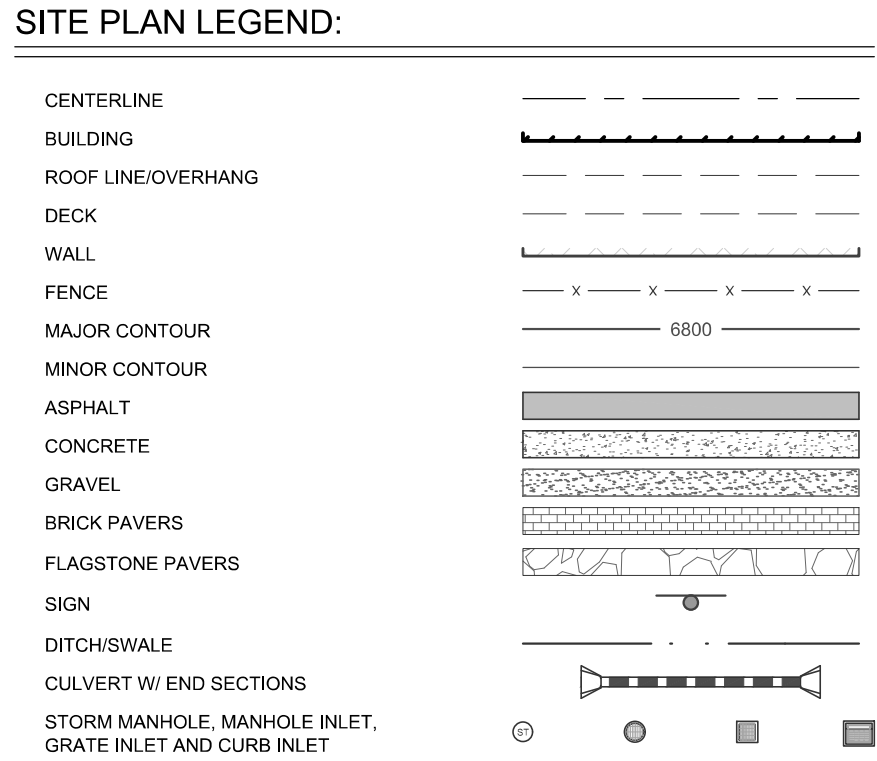
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GORMAN
GORMAN ARCHITECTURAL, LLC.

STEAMBOAT OFFICE
24 5TH STREET, SUITE B
STEAMBOAT SPRINGS, CO 80487



LANDMARK
CONSULTANTS, INC.
OWN ENGINEERS (SURVEYORS)
CONTACT: RYAN SPALSTAUT
PHONE: 970-871-9454
EMAIL: RSPALSTAUT@LANDMARK-CO.COM



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RIVERVIEW - SITE B SOIL NAIL WALL REMOVAL

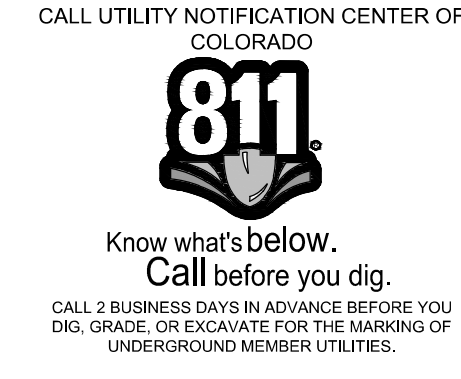
322 RIVERVIEW WAY
STEAMBOAT SPRINGS, COLORADO

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Checked by: LANDMARK
Approved by: LANDMARK

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Sheet Title SITE PLAN



Sheet No. C.100