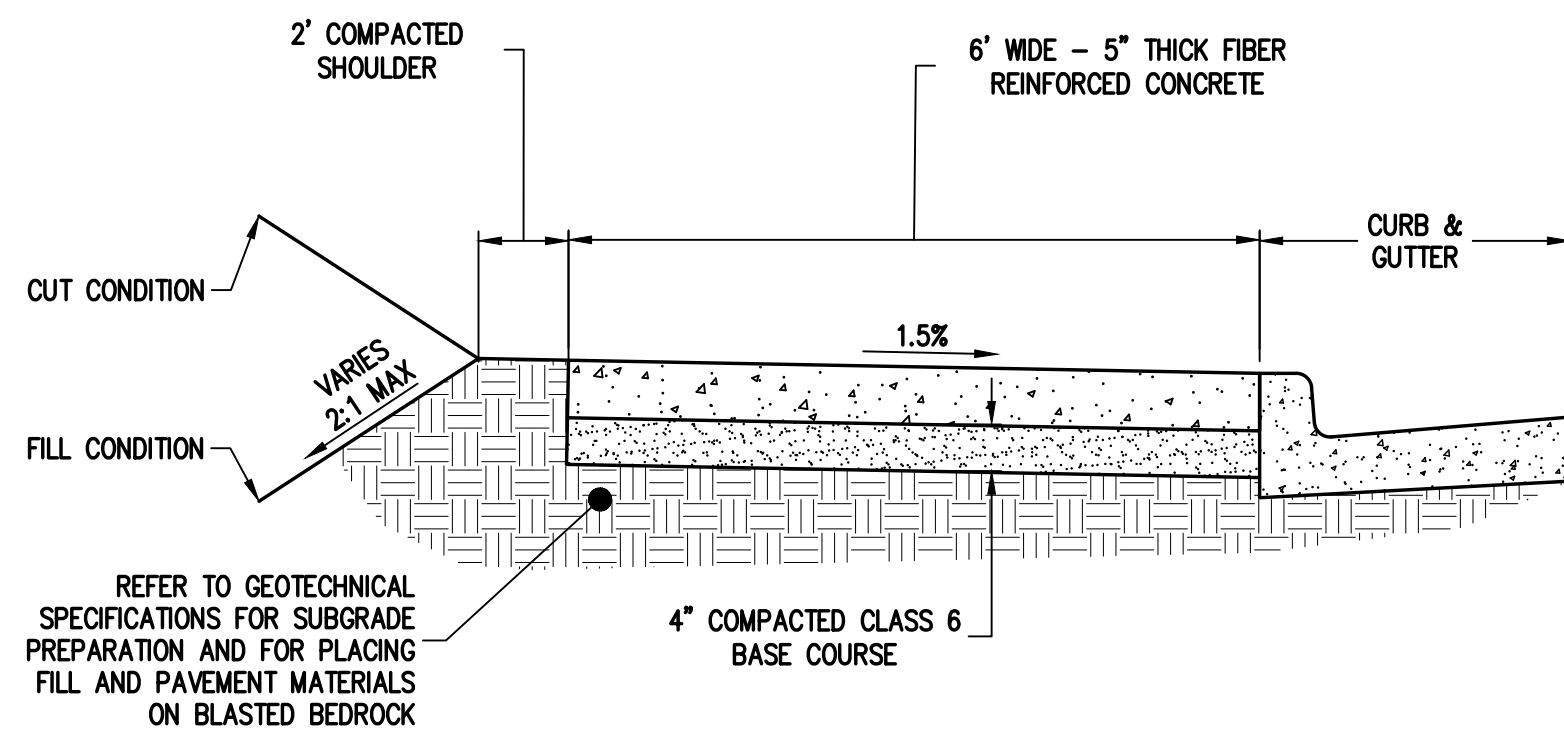
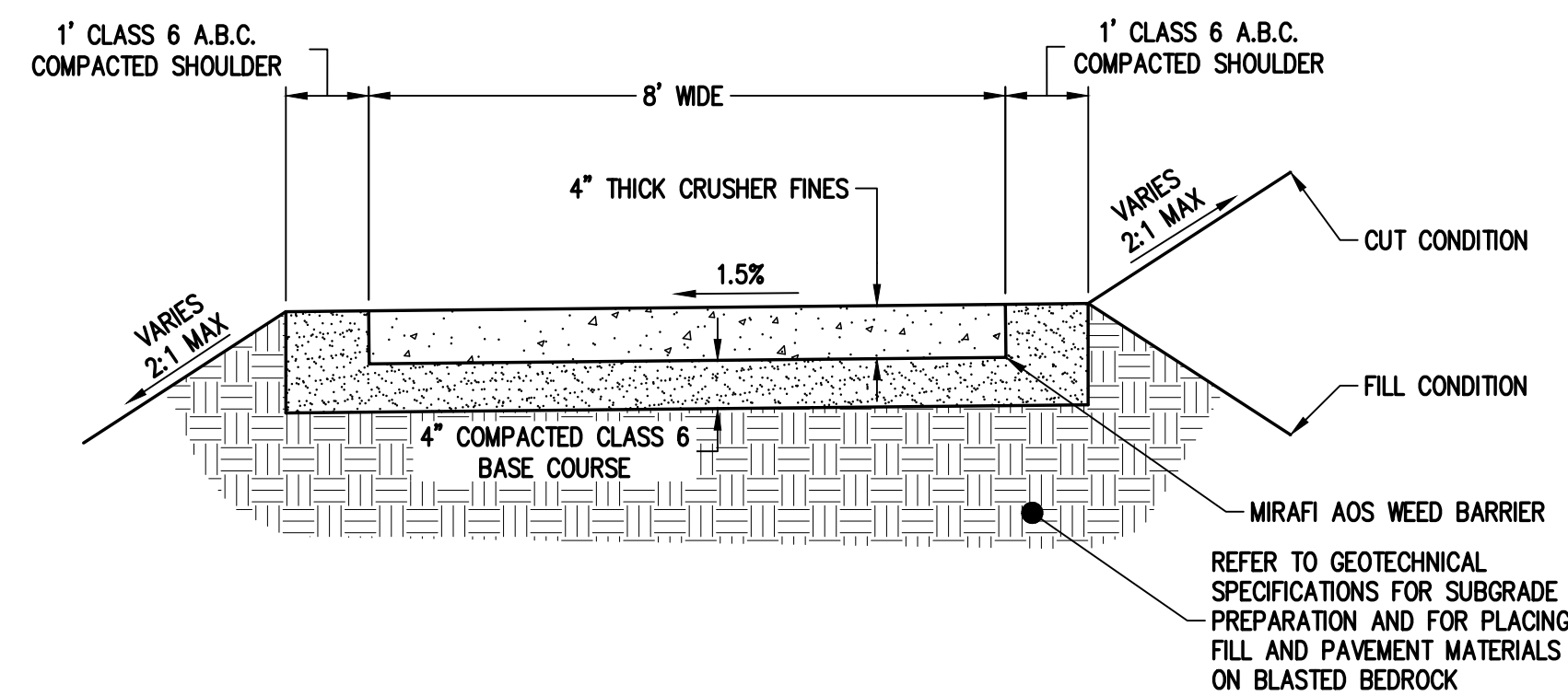


* TRAVEL LANE WIDTH VARIES 10'-12.5' STA 4+25 - 6+08
 **SECTION II-M MOUNTABLE CURB TO BE USED AT AS NOTED

1 ACCESS DRIVE TYPICAL SECTION



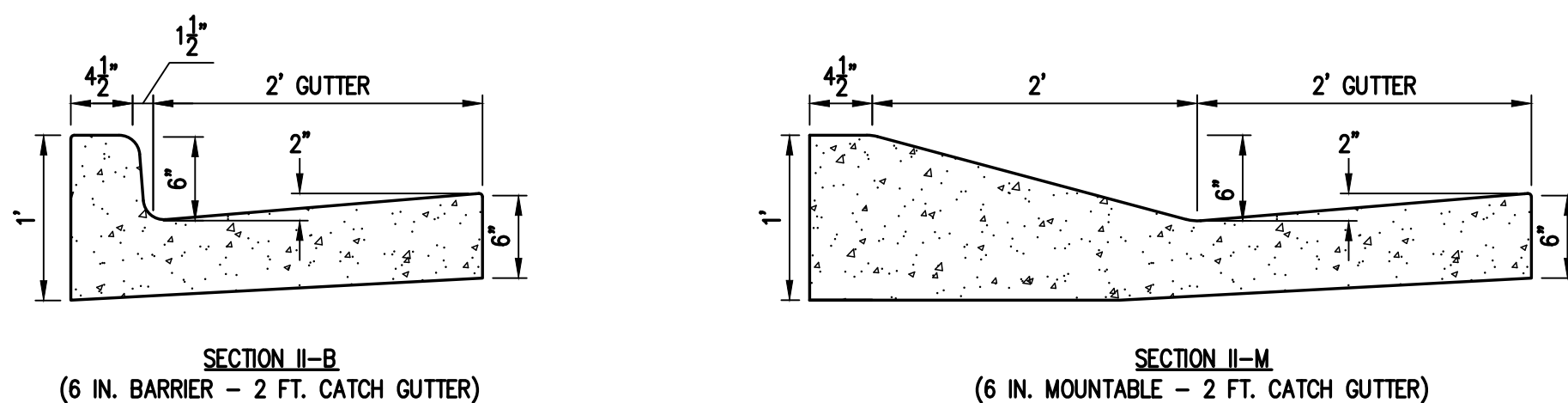
2 CONCRETE SIDEWALK SECTION TYPICAL SECTION
C6 C6 NOT TO SCALE



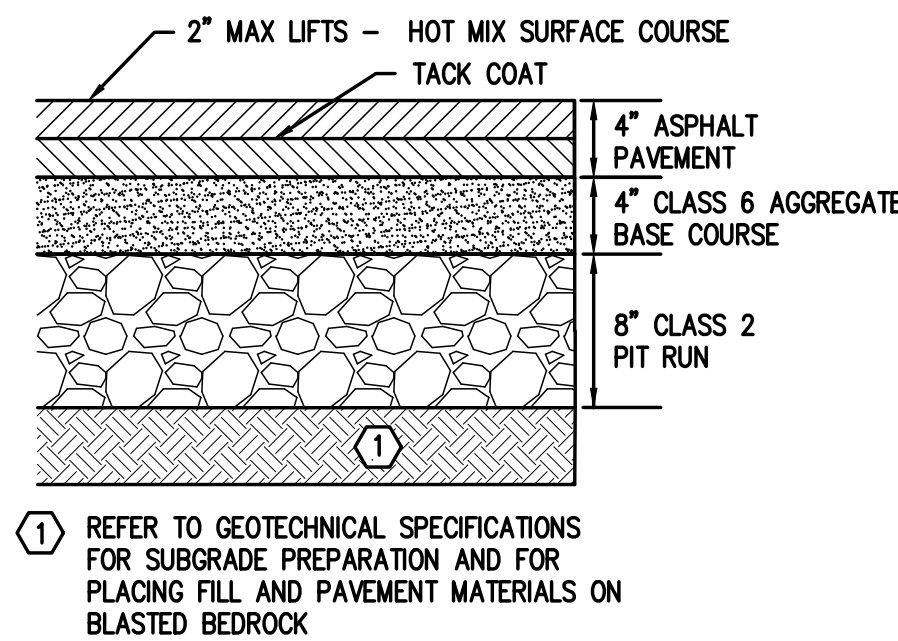
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C6 | C6

SOFT SURFACE TRAIL TYPICAL SECTION

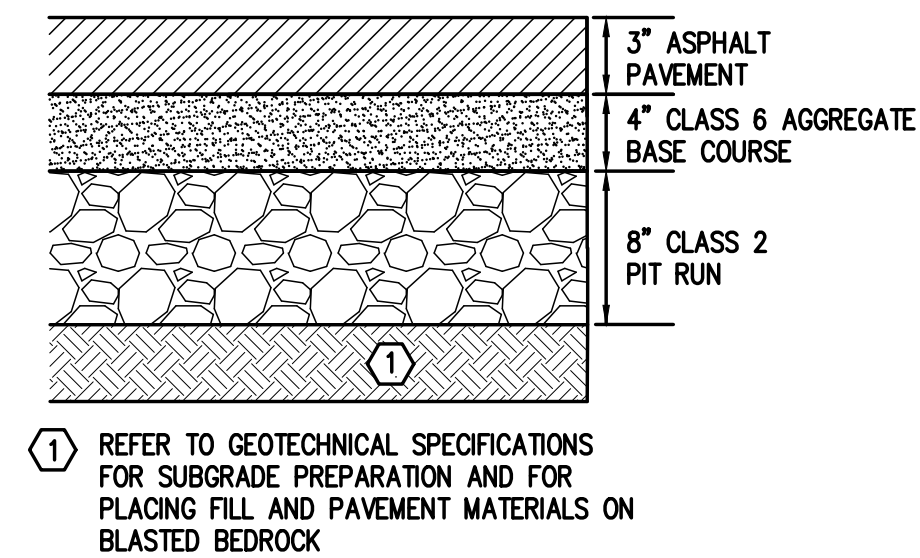
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4 TYPE II CURB & GUTTER
C6 C6 NOT TO SCALE



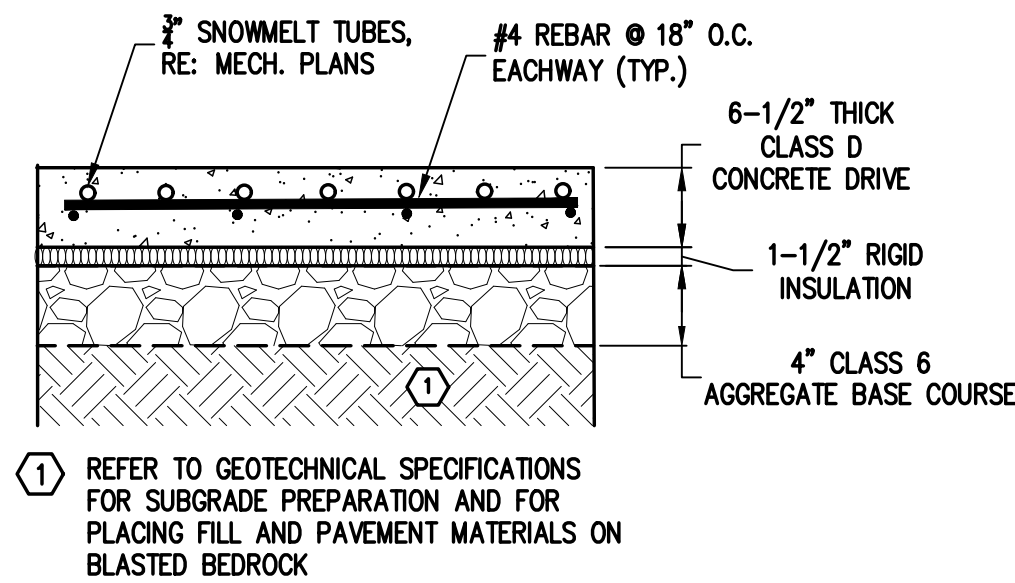
5 ASPHALT PAVEMENT TYPICAL SECTION
C6 C6 NOT TO SCALE



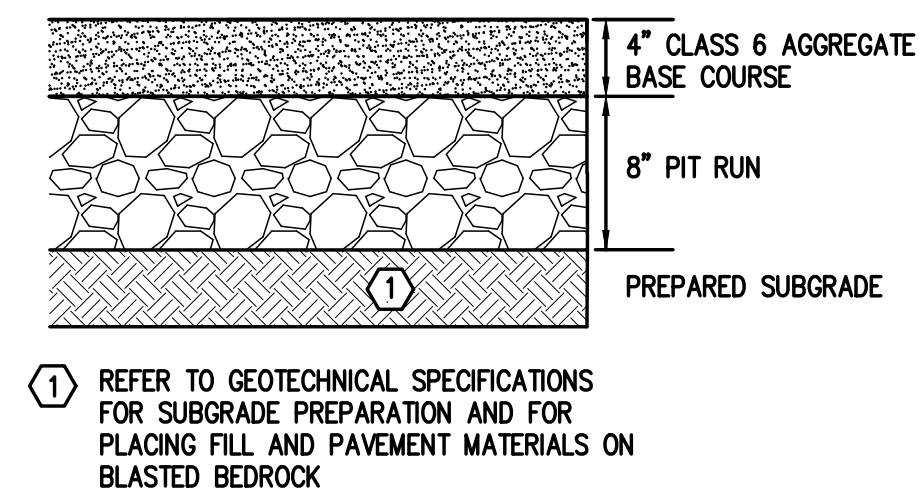
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PARKING STALL ASPHALT SECTION

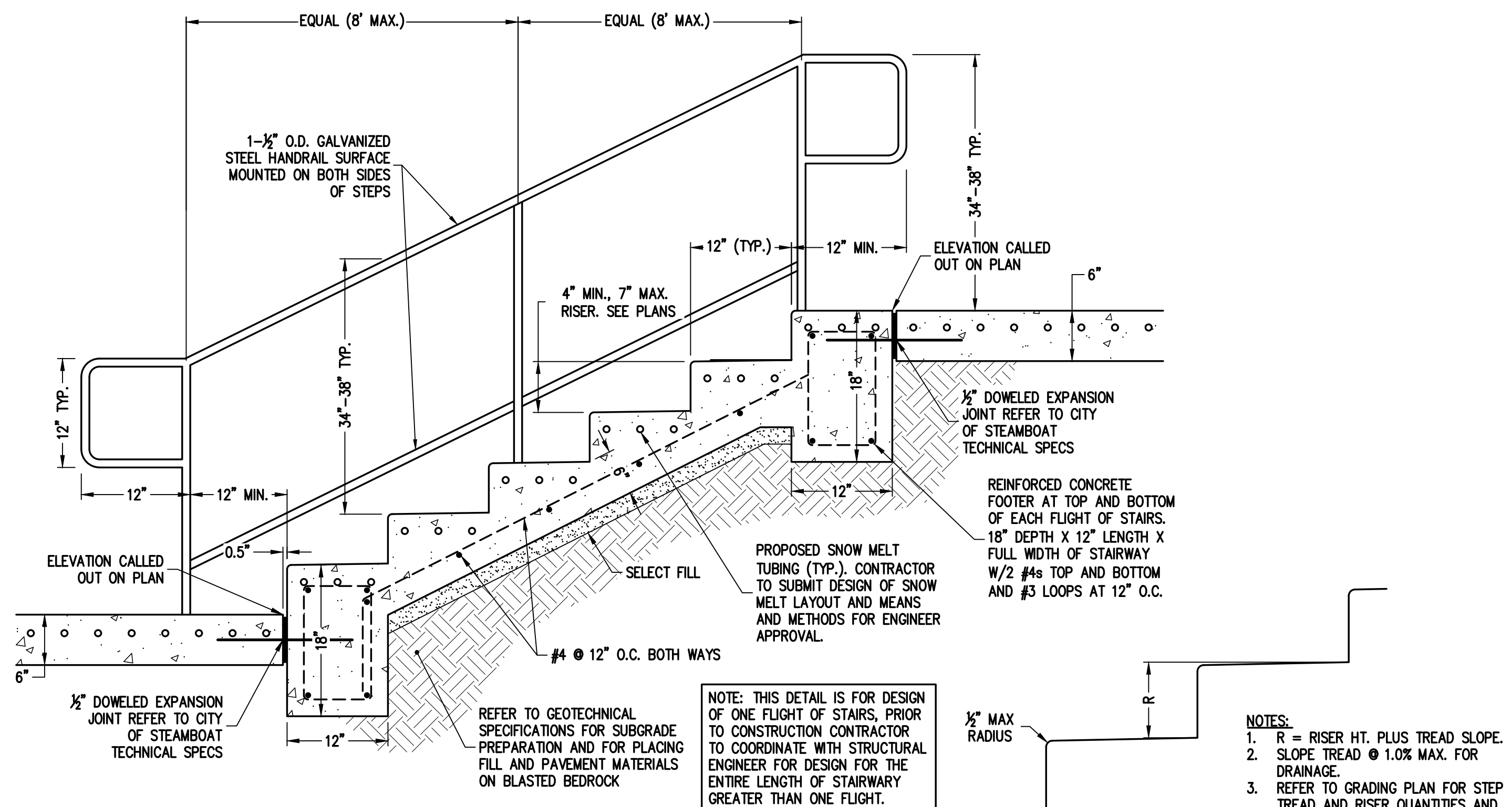
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7 HEATED CONCRETE PAVEMENT TYPICAL SECTION



8 GRAVEL PARKING TYPICAL SECTION
C6 C6 NOT TO SCALE



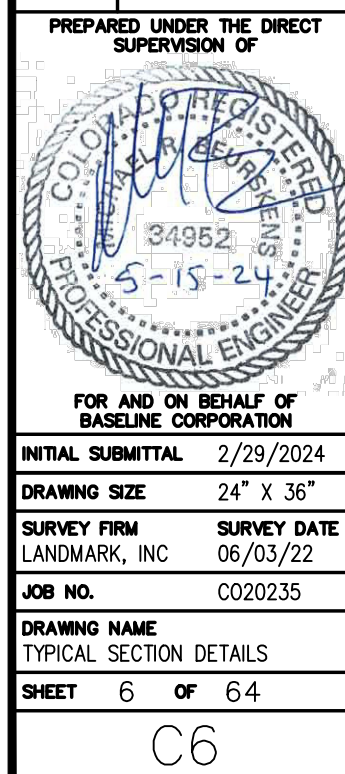
9
C6 C6

CONCRETE STEP & RAILING DETAIL
NOT TO SCALE

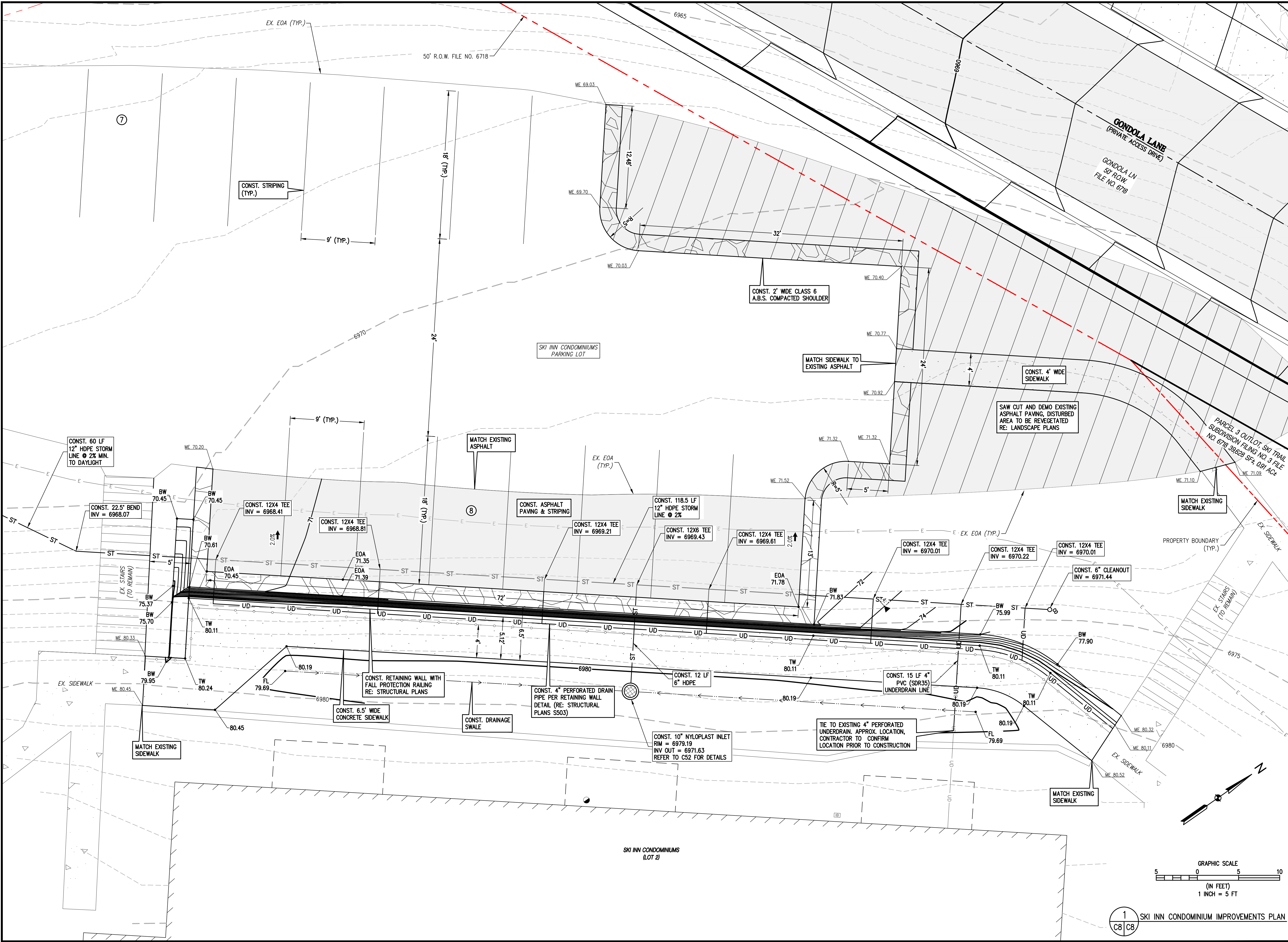
NOTES:

1. R = RISER HT. PLUS TREAD SLOPE
2. SLOPE TREAD @ 1.0% MAX. FOR DRAINAGE.
3. REFER TO GRADING PLAN FOR STEP TREAD AND RISER QUANTITIES AND DIMENSIONS.
4. STAIR FINISH SHALL BE A NON-SLIP HORIZONTAL BROOM FINISH.

REVISION DESCRIPTION	PREPARED BY	DATE	APPROVED BY
INITIAL SUBMITTAL FOR CITY REVIEW	SMB	2/29/2024	SMB
CITY COMMENTS	SMB	5/15/2024	TJM
			BY MRB



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DESIGNED BY
SMB

PREPARED BY
SMB

DATE
2/29/2024

INITIAL SUBMITTAL FOR CITY REVIEW

REVISION DESCRIPTION

CITY COMMENTS

DESIGNED BY
TJM

DRAWN BY
TJM

CHECKED BY
MRB

DATE
5/15/2024

ROUTE COUNTY

CITY OF STEAMBOAT SPRINGS

THE ASTRID
2410 SKI TRAIL LANE
SKI INN CONDOMINIUM IMPROVEMENTS PLAN

FOR AND ON BEHALF OF
BASELINE CORPORATION

34952
5-15-24
PROFESSIONAL ENGINEER

FOR AND ON BEHALF OF
BASELINE CORPORATION

INITIAL SUBMITTAL 2/29/2024

DRAWING SIZE 24" X 36"

SURVEY FIRM LANDMARK, INC.

SURVEY DATE 06/03/22

JOB NO. C020235

DRAWING NAME
SKI INN CONDOMINIUM IMPROVEMENTS PLAN

SHEET 8 OF 64

C8

O:\C020235 Astrid-Edgemont Ph2\Drawings\Construction Documents\20235 SNOW STORAGE PLAN-CD.dwg, 5/15/2024 2:29:02 PM, Steve Batchelder

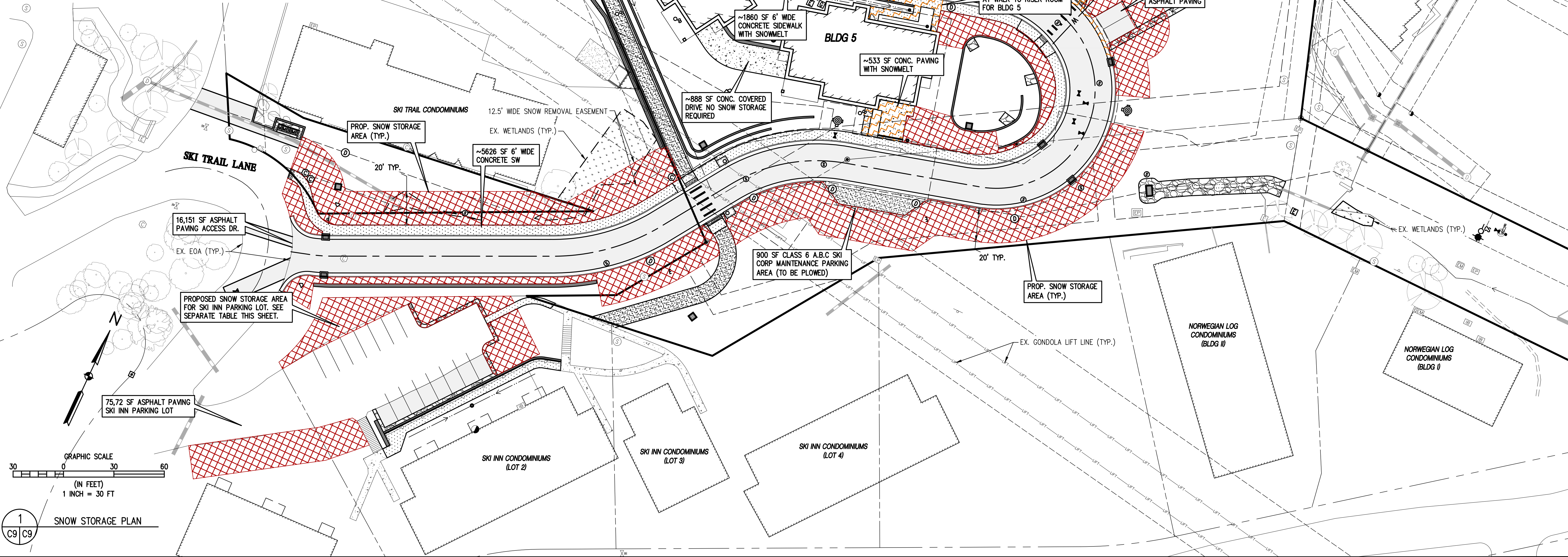
SNOW STORAGE TABLE		
REQUIRED AREA	STANDARD	AREA (SF)
MINIMUM AREA	1SF PER 2SF OF PAVED AREA	13,179
ADDITIONS:		
TREES IN SNOW STORAGE	+ 30 SF PER EVERGREEN TREE	0
UP-SLOPING SNOW STORAGE	+ 66% (EQUAL TO AVERAGE SLOPE)	5817
REDUCTIONS:		
DOWN-SLOPING SNOW STORAGE	-0% (EQUAL TO AVERAGE SLOPE)	0
LOTS WITH AVERAGE ELEVATION < 6750'	-25%	0
REQUIRED SNOW STORAGE AREA = MINIMUM AREA + ADDITIONS - REDUCTIONS		18,995
PROPOSED STORAGE AREA =		20,573

SKI INN SNOW STORAGE TABLE		
REQUIRED AREA	STANDARD	AREA (SF)
MINIMUM AREA	1SF PER 2SF OF PAVED AREA	3,786
ADDITIONS:		
TREES IN SNOW STORAGE	+ 30 SF PER EVERGREEN TREE	0
UP-SLOPING SNOW STORAGE	+ 10% (EQUAL TO AVERAGE SLOPE)	379
REDUCTIONS:		
DOWN-SLOPING SNOW STORAGE	0% (EQUAL TO AVERAGE SLOPE)	-
LOTS WITH AVERAGE ELEVATION < 6750'	-25%	0
REQUIRED SNOW STORAGE AREA = MINIMUM AREA + ADDITIONS - REDUCTIONS		4,165
PROPOSED STORAGE AREA =		5,520

LEGEND

	SNOW STORAGE AREA
	SNOWMELT AREA
	ASPHALT PAVING
	CONCRETE PAVING
	SIDEWALK PAVING
	GRAVEL PAVING

NOTE: REFER TO ARCHITECTURAL AND MECHANICAL ENGINEER PLANS FOR SNOW MELT DESIGN.



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CHECKED BY: MRB

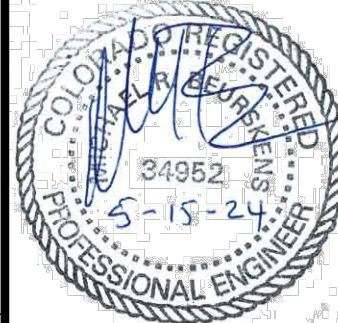
DATE: 2/29/2024
PREPARED BY: SMB
CITY COMMENTS: 5/15/2024

REVISION DESCRIPTION
INITIAL SUBMITTAL FOR CITY REVIEW
CITY COMMENTS

ROUTE COUNTY

STEAMBOAT ESQUIAR LP
THE ASTRID
2410 SKI TRAIL LANE
SNOW STORAGE PLAN

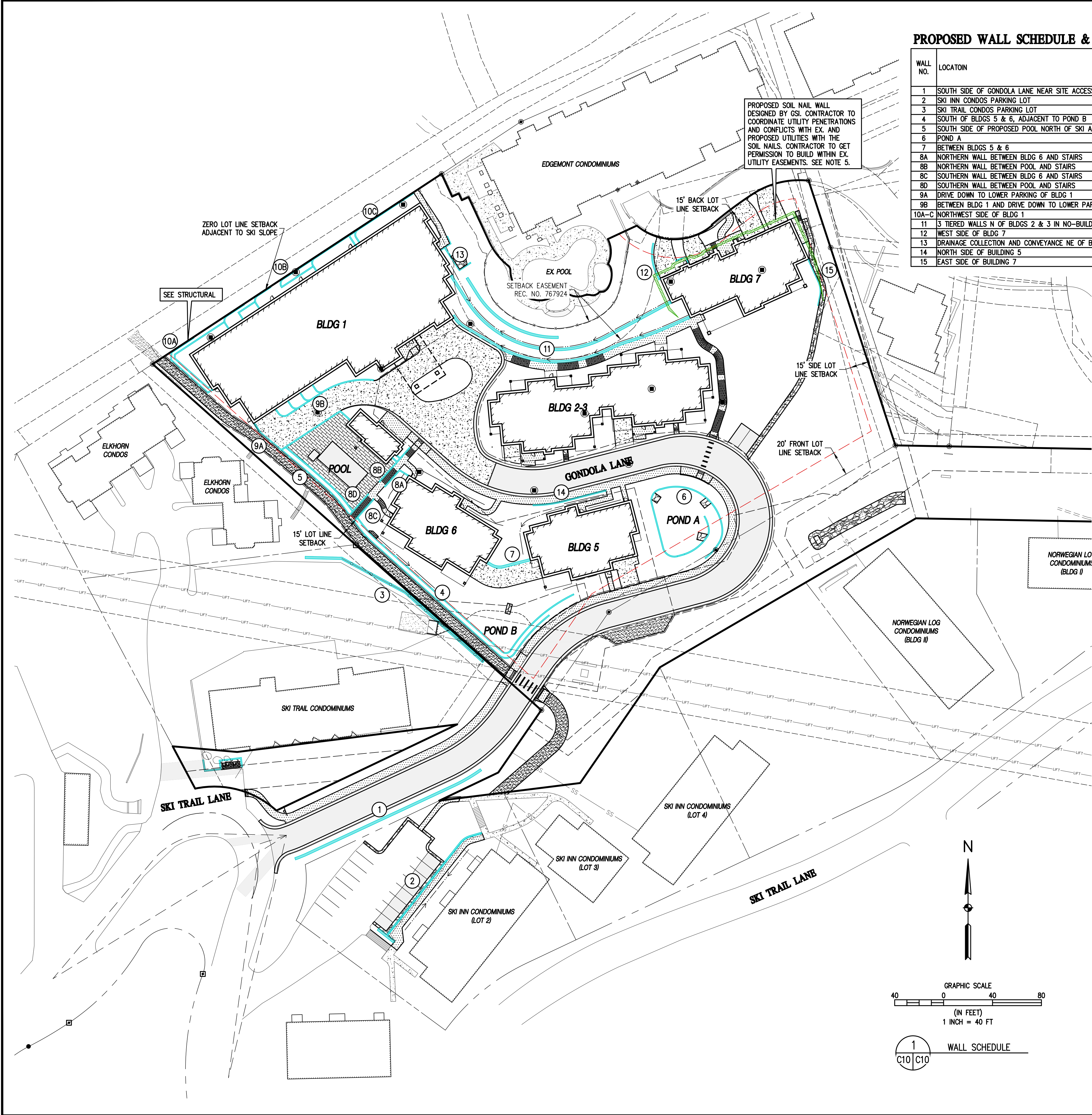
CITY OF STEAMBOAT SPRINGS
PREPARED UNDER THE DIRECT SUPERVISION OF



FOR AND ON BEHALF OF
BASELINE CORPORATION
INITIAL SUBMITTAL: 2/29/2024
DRAWING SIZE: 24" X 36"
SURVEY FIRM: LANDMARK, INC.
SURVEY DATE: 06/03/22
JOB NO.: C020235
DRAWING NAME: SNOW STORAGE PLAN
SHEET 9 OF 64

C9

0:\CO20235 Astrid-Edgemont Ph2\Drawings\Construction Documents\20235 WALL SCHEDULE-CD.dwg, 5/15/2024 2:29:42 PM, Steve Batchelder



PROPOSED WALL SCHEDULE & VARIANCE TABLE

WALL NO.	LOCATON	APPROX. MAX. HEIGHT	TYPE OF WALL	WITHIN LOT LINE SETBACK AREA (YES/NO)	WITHIN BUILDING ENVELOPE (YES/NO)	HEIGHT VARIANCE REQUESTED (YES/NO)	TIERED VARIANCE REQUESTED (YES/NO)
1	SOUTH SIDE OF GONDOLA LANE NEAR SITE ACCESS IN ROW	9'±	CIP WITH STONE VENEER	NO	NO	NO	YES
2	SKI INN CONDOS PARKING LOT	10'±	REDI-ROCK	NO	YES	NO	YES
3	SKI TRAIL CONDOS PARKING LOT	10.5'±	REDI-ROCK	YES	NO	YES	YES
4	SOUTH OF BLDGS 5 & 6, ADJACENT TO POND B	8'±	CIP WITH STONE VENEER	YES	YES	YES	NO
5	SOUTH SIDE OF PROPOSED POOL NORTH OF SKI ACCESS TRAIL	10'±	CIP WITH STONE VENEER	YES	YES	NO	NO
6	POND A	6'±	REDI-ROCK	YES	YES	NO	NO
7	BETWEEN BLDGS 5 & 6	11'±	CIP WITH VENEER	NO	YES	NO	NO
8A	NORTHERN WALL BETWEEN BLDG 6 AND STAIRS	6'±	CIP WITH STONE VENEER	NO	YES	NO	NO
8B	NORTHERN WALL BETWEEN POOL AND STAIRS	11'±	CIP WITH STONE VENEER	NO	YES	NO	NO
8C	SOUTHERN WALL BETWEEN BLDG 6 AND STAIRS	7'±	CIP WITH STONE VENEER	NO	YES	NO	YES
8D	SOUTHERN WALL BETWEEN POOL AND STAIRS	10'±	CIP WITH STONE VENEER	NO	YES	NO	YES
9A	DRIVE DOWN TO LOWER PARKING OF BLDG 1	13'±	CIP WITH STONE VENEER	NO	YES	YES	YES
9B	BETWEEN BLDG 1 AND DRIVE DOWN TO LOWER PARKING	5'±	CIP WITH STONE VENEER	NO	YES	NO	NO
10A-C	NORTHWEST SIDE OF BLDG 1	11'±	CIP WITH VENEER	NO	YES	NO	NO
11	3 TIERED WALLS N OF BLDGS 2 & 3 IN NO-BUILD EASEMENT	24'±	CIP WITH STONE VENEER	NO	YES	YES	YES
12	WEST SIDE OF BLDG 7	6'±	REDI-ROCK	YES	YES	NO	NO
13	DRAINAGE COLLECTION AND CONVEYANCE NE OF BLDG 1	5'±	CIP	NO	YES	NO	NO
14	NORTH SIDE OF BUILDING 5	4'±	CIP	NO	YES	NO	NO
15	EAST SIDE OF BUILDING 7	6'±	REDI-ROCK	NO	YES	NO	NO

- NOTES:
- BUILDING ENVELOPE IS CONSIDERED TO BE ALL AREA INSIDE THE LOT LINE SETBACK.
 - WALL 6 IS PROPOSED WITHIN LOT LINE SETBACK AND OUTSIDE OF LOT LINE SETBACK. PORTION WITHIN LOT LINE SETBACK IS LESS THAN 6' IN HEIGHT.
 - WALL 7 IS BEING CONSIDERED AS PART OF THE STRUCTURE OF BUILDINGS 5 & 6 AND NOT APPLICABLE TO CDC SECTION 418 REQUIREMENTS.
 - SEE STRUCTURAL PLANS FOR RETAINING WALL DETAIL AND ARCHITECTURAL PLANS FOR FALL PROTECTION RAILING.
 - FOR BLUE COLORED WALLS, STRUCTURAL DESIGN IS BY JVA. FOR GREEN COLORED WALLS, STRUCTURAL DESIGN IS BY GSI (WALL NOT INCLUDED IN ABOVE SCHEDULE).

STEAMBOAT SPRINGS COMMUNITY DEVELOPMENT CODE
SECTION 418

418 RETAINING WALLS

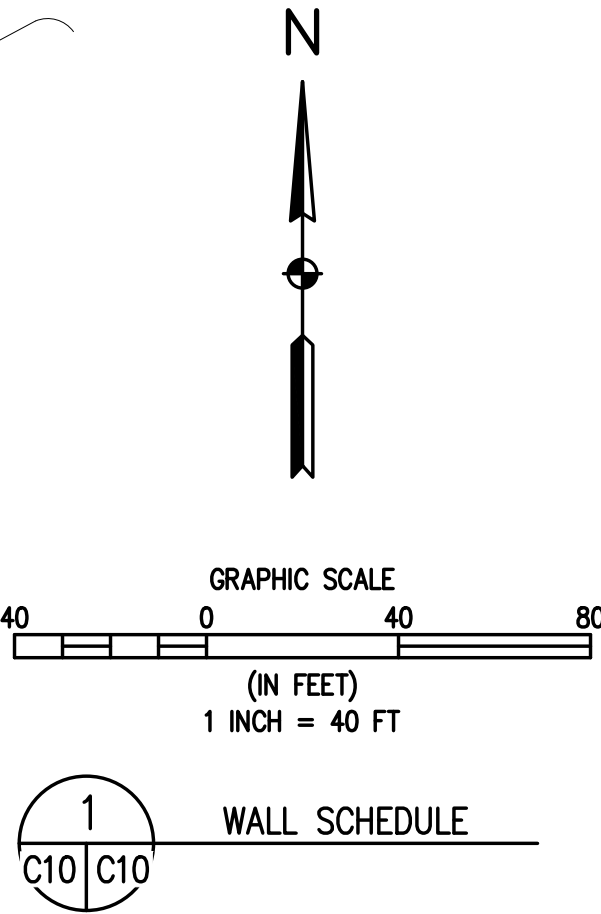
- 418.A Purpose**
Minimize the impact of retaining walls on adjacent properties.
- 418.B Applicability**
Retaining wall standards shall apply to all development in all zone districts unless specifically exempted by this CDC.
- 418.C Standards**
- Retaining walls shall not be located within a drainage or utility easement without an approved revocable permit.
 - The maximum overall height of a retaining wall, as measured from the lowest point of final grade at the base of the retaining wall to the top of the wall, shall be in accordance with Table 418-1.

Table 418-1. Retaining Wall Height

Location	Height
Within Lot Line Setback Area	6' max. ¹
Within Building Envelope	11' max.

¹ Retaining walls exceeding 6 feet in height within a required lot line setback on an existing platted lot may be permitted by the Planning Director upon a finding that the applicant has demonstrated the wall height is necessary to achieve driveway access to the lot.

- Retaining walls over six feet in height shall be designed and constructed with a minimum of two stepped vertical wall segments. Stepped wall segments shall:
 - Not exceed six feet in height; and
 - Have a horizontal offset of at least three feet from the face of each wall segment.



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CHECKED BY
MRB

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SMB

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REVISION DESCRIPTION

INITIAL SUBMITTAL FOR CITY REVIEW

CITY COMMENTS

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SURVEY FIRM LANDMARK, INC

SURVEY DATE 06/03/22

JOB NO. C020235

DRAWING NAME WALL SCHEDULE

SHEET 10 OF 64

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