CITY OF STEAMBOAT SPRINGS, COLORADO

ORDINANCE NO. 2932

AN ORDINANCE AMENDING THE COMMUNITY DEVELOPMENT CODE, CHAPTER 26 OF THE STEAMBOAT SPRINGS REVISED MUNICIPAL CODE, BY AMENDING ARTICLES 2, 3, 4, 6, 7, AND 8 TO CREATE TWO NEW TRADITIONAL NEIGHBORHOOD DEVELOPMENT TRANSECT ZONES (T4-NX AND T5-VC), CREATE A NEW SPECIAL DISTRICT CIVIC (SD-2) TRANSECT ZONE, AMEND EXISTING SPECIAL DISTRICT (SD-1) TRANSECT ZONE, REMOVE LARGE-FORMAT RETAIL OVERLAY, AMEND OTHER ASSOCIATED DEVELOPMENT STANDARDS, AND AMEND CONTENT AND APPROVAL CRITERIA FOR TND REGULATING PLANS, PL20230224.

WHEREAS, the City Council adopted the Community Development Code as Ordinance No. 2624 on November 14, 2017; and

WHEREAS, the City is committed to regular, ongoing review of the Community Development Code so that the provisions contained therein are relevant and applicable to the community at any given point in time; and

WHEREAS, the Community Development Code stipulates that all property located in West Steamboat will be zoned Traditional Neighborhood Development upon annexation into the City; and

WHEREAS, the City Council established goals to partner with Yampa Valley Housing Authority to annex Brown Ranch and adopt policies and legislation that have resulted in built workforce housing; and

WHEREAS, the Planning Commission held a public hearing on September 28, 2023 and recommended City Council adopt the amendment to the Community Development Code.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF STEAMBOAT SPRINGS, COLORADO:

SECTION 1. Article 2 of the Community Development Code shall be amended as noted in Exhibit A.

SECTION 2. Article 3 of the Community Development Code shall be amended as noted in Exhibit A.

SECTION 3. Article 4 of the Community Development Code shall be amended as noted in Exhibit A.

SECTION 4. Article 6 of the Community Development Code shall be amended as noted in Exhibit A.

SECTION 5. Article 7 of the Community Development Code shall be amended as noted in Exhibit A.

SECTION 6. Article 8 of the Community Development Code shall be amended as noted in Exhibit A.

SECTION 7. All ordinances heretofore passed and adopted by the City Council of the City of Steamboat Springs, Colorado, are hereby repealed to the extent that said ordinances, or parts, thereof, are in conflict herewith.

SECTION 8. If any section, subsection, clause, phrase or provision of this Ordinance is, or the application thereof to any person or circumstance, shall to any extent, be held by a court of competent jurisdiction to be invalid, void or unconstitutional, the remaining sections, subsections, clauses, phrases and provisions of this Ordinance, or the application thereof to any person or circumstance, shall remain in full force and shall in no way be affected, impaired or invalidated.

SECTION 9. The City Council hereby finds, determines, and declares that this Ordinance is necessary for the immediate preservation of the public peace, health, and safety.

SECTION 10. This Ordinance shall take five effect (5) days after its publication following final passage, as provided in Section 7.6 of the Steamboat Springs Home Rule Charter.

SECTION 11. A public hearing on this ordinance shall be held on October 17, 2023 at 5:00 P.M. in the Citizens Hall meeting room, Centennial Hall, Steamboat Springs, Colorado.

INTRODUCED, READ AND ORDERED published, as provided by law, by the City Council of the City of Steamboat Springs, at its regular meeting held on the 10th day of October, 2023.

Robin Crossan

Robin Crossan, President
Steamboat Springs City Council

ATTEST:

Julie Franklin Digitally signed by Julie Franklin Date: 2023.10.25 14:29:39 -06'00'

Julie Franklin, CMC
City Clerk

FINALLY READ, PASSED, AND APPROVED this 17th day of October, 2023.

Robin Crossan

Robin Crossan, President
Steamboat Springs City Council

ATTEST:

Julie Franklin Digitally signed by Julie Franklin Date: 2023.10.25 14:29:49 -06'00'

Julie Franklin, CMC
City Clerk

EXHIBIT A

PART 1 Amend CDC Article 2, Sections 200.C, 227, 228, 229, 230, 231, 232, 233, and 235 as follows:

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231 T5 Transect Zones ~~Neighborhood Center (T4-NC)~~

232 Special Districts ~~Town Core (T5-TC)~~

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236 Entry Corridor Overlay (EC)

237 Airport Overlay (AO)

238 Short-Term Rental Overlay (STR)

200 ZONE DISTRICTS ESTABLISHED

200.A Purpose

The purpose of this Article is to enable the use and development of land that is compatible with other uses and development, in terms of mass, scale, and impacts, in defined geographic areas of the City and that implements the policies of the Community Plan and other adopted plans.

200.B Intent

The intent of this Article is to establish zone districts that are applied to properties within the City in a planned and orderly pattern and to apply appropriate standards within each zone district to ensure negative impacts of development are minimized.

200.C Zone Districts

The following zone districts are established by this CDC:

1. **Standard Zone Districts**
    a. Open Space and Recreation (OR)
    b. Residential Estate - One (RE-1)
    c. Residential Estate - Two (RE-2)
    d. Residential Neighborhood - One (RN-1)
    e. Residential Neighborhood - Two (RN-2)
    f. Residential Neighborhood - Three (RN-3)
    g. Residential Neighborhood - Four (RN-4)
    h. Residential Old Town (RO)
    i. Resort Residential - One (RR-1)
    j. Resort Residential - Two (RR-2)
    k. Manufactured Home (MH)
    l. Multiple-Family - One (MF-1)
    m. Multiple-Family - Two (MF-2)
    n. Multiple-Family - Three (MF-3)
    o. Gondola - One (G-1)
    p. Gondola - Two(G-2)
    q. Commercial Old Town (CO)
    r. Commercial Yampa - One (CY-1)
    s. Commercial Yampa - Two (CY-2)
    t. Commercial Oak - One (CK-1)
    u. Commercial Oak - Two (CK-2)
    v. Commercial Neighborhood (CN)
    w. Community Commercial (CC)
    x. Commercial Services (CS)
    y. Industrial (I)
2. **Planned Unit Development Districts (PUD)**
3. **Traditional Neighborhood Development (TND) Zone and Transects**
    a. Neighborhood Edge (T2-NE)
    b. Neighborhood General - Low (T3-NG1)
    c. Neighborhood General - Medium (T3-NG2)

d. Neighborhood Mixed (T4-NX)

~~d~~e. Neighborhood Center (T4-NC)

f. Village Core (T5-VC)

~~e~~g. Town Core (T5-TC)

~~f~~h. Special District - Large-Format (SD-1)

i. Special District - Civic (SD-2)

4. **Overlay Zones**

a. Skyline Overlay (SO)

b. ~~Large Format Retail Overlay (LFR)~~Reserved

c. Entry Corridor Overlay (EC)

d. Airport Overlay (AO)

e. Short-Term Rental Overlay (STR)

TND Traditional Neighborhood Development

227 ZONE DISTRICT: TRADITIONAL NEIGHBORHOOD DEVELOPMENT

227.A Purpose

The Traditional Neighborhood Development zone district is intended to provide options and standards for development that emphasize the features of traditional neighborhoods. This zone district accommodates, encourages, and promotes innovatively designed developments, including residential and nonresidential land uses, that form an attractive and harmonious mixed-use development that promotes an interconnected, multi-modal, walkable community. ~~with an internally consistent hierarchy of building and street types~~.

227.B Applicability

1. All property located within the boundary of the West Steamboat Springs Area Plan shall be zoned TND upon annexation.
2. Any property within the City may be zoned TND.

227.C General Requirements

Any development and use of property zoned TND shall comply with the applicable transect zone standards, building type standards, frontage type standards, and parks and open space standards.

227.D Building Type Standards

1. Purpose
   Define the physical form of the built environment within the TND zone district.
2. Applicability
   The TND building type standards apply to all development within the TND zone district as specified in the dimensional standards for the TND transect zones. In circumstances where standards contained in this Section are in conflict with any standards contained elsewhere in Article 4, the standards in this Section shall apply.
3. General Standards
   a. Lots shall be developed according to the specific building type designated on the TND Phase Regulating Plan.
   b. For lots assigned more than one building type, dimensional requirements must be calculated using the building type boundary lines designated in the TND Phase Plan.
4. Building Type Categories
   a. Residential Building Types
      i. Single-Family
      ii. Duplex
      iii. Cottage Court
      iv. Rowhouse
      v. Triplex and Fourplex
      vi. Small Multi-Unit
      vii. Large Multi-Unit
   b. Mixed Use Building Types
      i. Live-Work
      ii. Mixed Mid-Rise
   c. Special Building Types
      i. Large-Format Industrial
      ii. Large-Format Retail
      iii. Civic
5. Use Restrictions for Building Types
   a. In mixed use and special building types, any use allowed in the underlying transect zone is permitted anywhere in the building.
   b. For residential building types in a T2, T3, or T4 transect zone, the following restrictions apply:

i. In the small multi-unit and large multi-unit building types commercial and industrial uses allowed in the underlying transect zone are limited to 25% of the ground story of each building. Commercial and industrial uses are not allowed in the upper stories.

ii. In the single-family, duplex, cottage court, triplex and fourplex, and rowhouse building types, commercial and industrial uses are not allowed.

c. For residential building types in a T5 transect zone, commercial and industrial uses allowed in the underlying transect zone are allowed on the ground story. Commercial and industrial uses are not allowed in the upper stories.

6. Building Type Permissions

Building types are allowed by transect zone as follows.

	Transect Zone								
Building Type	**T2-NE**	**T3-NG1**	**T3-NG2**	**T4-NX**	**T4-NC**	**T5-VC**	**T5-TC**	**SD-1**	**SD-2**
Residential									
Single-Family	A	A	A	A		A			
Duplex	A	A	A	A	A	A			
Cottage Court		A	A	A		A			
Triplex & Fourplex		A	A	A	A	A			
Rowhouse			A	A	A	A			
Small Multi-Unit			A	A	A	A			
Large Multi-Unit				A	A	A			
Mixed Use									
Live-Work				A	A	A			
Mixed Mid-Rise					A	A	A		
Special									
Large-Format Industrial								A	
Large-Format Retail								A	
Civic								A	A

A = Allowed

7. Standards

a. Single-Family

Single-Family

General Description	
The single-family building type consists of a structure that contains one dwelling unit. All units front and are accessed from the street or public open space.	
Building Intensity	
Lot Coverage	60% max.
Building Separation	10' min.
Massing and Composition	
Primary Structure	
Width	35' max.
Overall Height	40' max.
Average Plate Height	28' max.
Accessory Structure	
Width	30'max.
Overall Height	28' max.
Fences and Walls	
Front Yard	Allowed
Side Street Yard	Allowed

b. Duplex

Duplex

General Description	
The duplex building type consists of a structure that contains two dwelling units. All units front and are accessed from the street or public open space.	
Building Intensity	
Lot Coverage	60% max.
Building Separation	10' min.
Massing and Composition	
Primary Structure	
Width	40' max.
Overall Height	40' max.
Average Plate Height	28' max.
Accessory Structure	
Width	30'max.
Overall Height	28' max.
Fences and Walls	
Front Yard	Allowed
Side Street Yard	Allowed

c. Cottage Court

Cottage Court

General Description
The cottage court building type consists of a series of small single-family dwellings or duplexes that are arranged next to each other to form a shared court. Units along a street or public open space may front and be accessed from the street or public open space or the shared courtyard. All the other units front and are accessed from the shared courtyard that is connected to the public right-of-way.

Building Intensity	
Lot Coverage	60% max.
Building Separation	10' min.
Massing and Composition	
Primary Structure	
Width	30' max.
Overall Height	28' max.
Average Plate Height	No max.
Accessory Structure	
Width	30'max.
Overall Height	28' max.
Courtyard	
Width	20' min.
Fences and Walls	
Front Yard	Not allowed
Side Street Yard	Allowed

d. Triplex and Fourplex

Triplex and Fourplex

General Description
The triplex and fourplex building type consists of structures that contain three or four dwelling units, respectively. This building type appears as a large single-family dwelling from the street and may take the form of a mansion apartment. Each unit may have its own individual entry or share a common entry.

Building Intensity	
Lot Coverage	90% max.
Building Separation	10' min.
Massing and Composition	
Primary Structure	
Width	60' max.
Overall Height	55' max.
Average Plate Height	40' max.
Accessory Structure	
Width	30'max.
Overall Height	28' max.
Fences and Walls	
Front Yard	Allowed
Side Street Yard	Allowed

e. Rowhouse

Rowhouse

General Description	
The rowhouse building type consists of attached units that form one building mass. Each unit has its own individual entry and alleys in the rear of the lots provide vehicular access to the garages.	
Building Intensity	
Lot Coverage	80% max.
Building Separation	10' min.
Massing and Composition	
Primary Structure	
Width	120' max.
Overall Height	55' max.
Average Plate Height	40' max.
Individual Unit	
Width	30' max.
Accessory Structure	
Width	30'max.
Overall Height	28' max.
Fences and Walls	
Front Yard	Allowed
Side Street Yard	Allowed

f. Small Multi-Unit

Small Multi-Unit

General Description	
The small multi-unit building type consists of buildings containing five to 12 dwelling units. This building type may take the form of a mansion apartment. The units typically share a common entry accessed from the street or side yard.	
Building Intensity	
Lot Coverage	90% max.
Building Separation	10' min.
Massing and Composition	
Primary Structure	
Width	90' max.
Overall Height	60' max.
Accessory Structure	
Width	30'max.
Overall Height	28' max.
Fences and Walls	
Front Yard	Allowed
Side Street Yard	Allowed

g. Large Multi-Unit

Large Multi-Unit

General Description	
The large multi-unit building type consists of buildings that contain 13 or more dwelling units. The units typically share a common entry that is accessed from the street or a forecourt. Ground floor units may have individual entries that face onto the street.	
Building Intensity	
Lot Coverage	90% max.
Massing and Composition	
Primary Structure	
Width	275' max.
Overall Height	Set by transect
Accessory Structure	
Width	No max.
Overall Height	28' max.
Fences and Walls	
Front Yard	Allowed
Side Street Yard	Allowed

h. Live-Work

Live-Work

General Description
The live-work building type consists of an integrated housing unit and working space within a row house form. Each mixed use unit may have individual entries to both the housing unit and working space.

Building Intensity	
Lot Coverage	95% max.
Building Separation	10' min.
Massing and Composition	
Primary Structure	
Width	120' max.
Overall Height	55' max.
Average Plate Height	40' max.
Individual Unit	
Width	30' max.
Accessory Structure	
Width	30'max.
Overall Height	28' max.
Fences and Walls	
Front Yard	Allowed
Side Street Yard	Allowed

i. Mixed Mid-Rise

Mixed Mid-Rise

General Description
The mixed mid-rise building type consists of a ground floor designed for occupancy by retail, service, or office uses, with upper floors configured for either commercial or residential uses. A common ground level entry that faces the street or side yard provides access to the upper floor uses or to a common courtyard onto which the upper floor uses face.

Building Intensity	
Lot Coverage	100% max.
Massing and Composition	
Primary Structure	
Width	275' max.
Overall Height	Set by transect.
Accessory Structure	
Width	No max.
Overall Height	No max.
Courtyard	
Width	30' min.
Fences and Walls	
Front Yard	Allowed
Side Street Yard	Allowed

j. Large Format Industrial

Large-Format Industrial

General Description	
The large-format industrial building type is designed to accommodate light-industrial uses in compatible configurations with nearby residential neighborhoods. They are designed to internalize potentially conflicting activities (e.g., machinery, unsightly storage, etc.) within courtyards that are largely screened from the street and enclosed warehouse structures.	
Building Intensity	
Lot Coverage	70% max.
Building Separation	15' min.
Massing and Composition	
Width	n/a
Overall Height	40' max.
Fences and Walls	
Front Yard	Allowed
Side Street Yard	Allowed
Access and Parking	
Primary Entrances	
The main entrance to each ground floor nonresidential space shall be accessed directly from the street.	
Entrances to the upper floor uses shall be through a lobby accessed directly from the street.	

k. Large-Format Retail

Large-Format Retail

General Description	
The large-format retail building type accommodates retail uses with large floor areas. It is often wrapped with a liner of a smaller footprint building, with doors and windows facing the street. This building type may be designed as a tall one-story building, or it may include upper floors to accommodate additional commercial uses.	
Building Intensity	
Lot Coverage	100% max.
Massing and Composition	
Width	n/a
Overall Height	55' max.
Courtyard	
Width	30' min.
Fences and Walls	
Front Yard	Allowed
Side Street Yard	Allowed

Civic

General Description
The civic building type is designed to accommodate civic, public, and institutional uses.

Building Intensity	
Lot Coverage	70% max
Massing and Composition	
Width	n/a
Overall Height	55' max
Fences and Walls	
Front Yard	Allowed
Side Street Yard	Allowed

227.E Frontage Type Standards

1. Purpose

a. Define the physical form of the built environment within the TND zone district.
b. Create appropriate interaction between public and private spaces.

2. Applicability

The TND frontage type standards apply to all street-facing entries required by the entrance spacing standards for the TND transect zones.

3. Frontage Type Permissions

Frontage types are allowed by transect zone as follows.

	Transect Zone								
Frontage Type	T2-NE	T3-NG1	T3-NG2	T4-NX	T4-NC	T5-VC	T5-TC	SD-1	SD-2
Porch	A	A	A	A	A	A			
Stoop			A	A	A	A			
Forecourt			A	A	A	A	A	A	A
Shopfront				A	A	A	A	A	A
Gallery					A	A	A	A	A

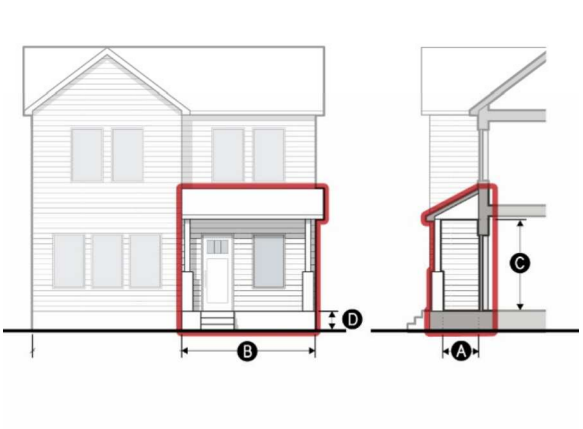
A = Allowed

4. Encroachments

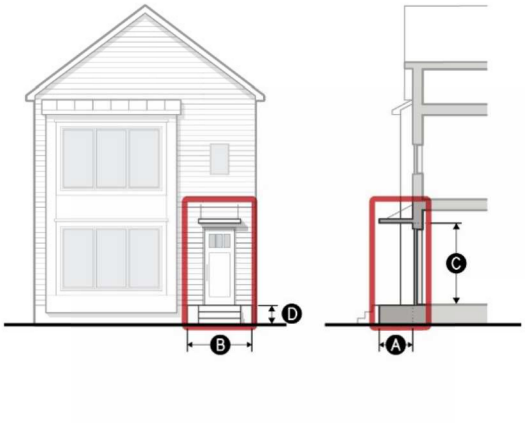
a. A frontage that meets the standards of this Section may encroach into the front and side street setback areas.

b. A frontage that encroaches into a setback area cannot include enclosed space.

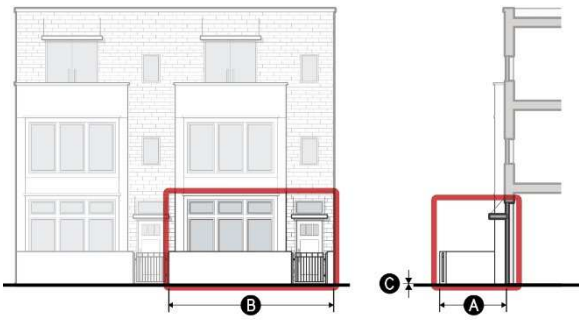
5. Standards



Porch		
Description		
A wide, raised platform, projecting in front of a street-facing entrance, that is entirely covered but not enclosed.		
Dimensional Standards		
Clear Depth	5' min.	A
Width	30% of building width min.	B
Stories	2 max.	
Clear Height	7' min.	C
Finish Floor Level	2' min. / 5' max.	D



Stoop		
Description		
A raised platform accessed from an exterior staircase, providing covered access to a street-facing entrance.		
General Standards		
Stairs from the stoop may lead directly to the sidewalk or may be side loaded.		
The entry door must be covered or recessed to provide shelter from the elements.		
Dimensional Standards		
Depth	3' min.	A
Width	4' max.	B
Stories	1 max.	
Clear Height	7' min.	C
Finish Floor Level	2' min. / 5' max.	D



Forecourt

Description

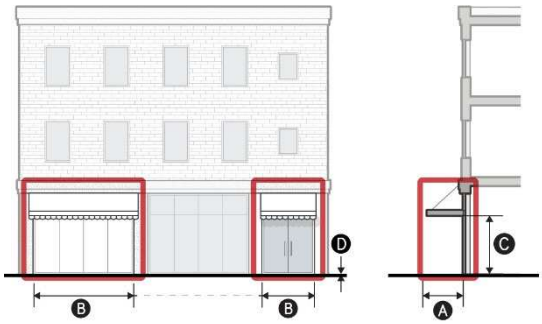
A court space created by a set back portion of the main facade; or a screened yard near sidewalk grade. The space could be used as an entry court or shared garden space for apartment buildings, as an additional shopping or restaurant seating area within commercial areas, or a private space for tenants located on the ground story.

General Standards

A short wall, hedge, or fence may be placed along the edges of the forecourt.

Dimensional Standards

Depth	8' min.	A
Width	10' max.	B
Stories	n/a	
Clear Height	n/a	
Finish Floor Level	-2' min. / 5' max.	C



Shopfront

Description

A space that provides sheltered access to an at-grade street-facing entrance with an overhead projecting structure such as a awning or a canopy.

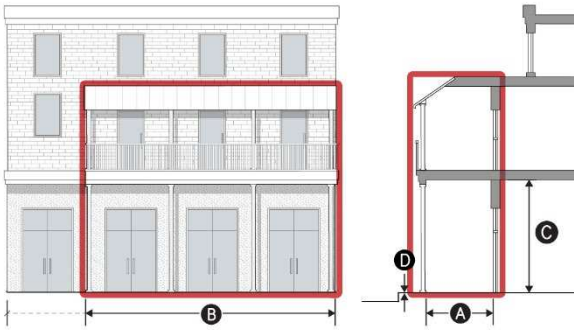
General Standards

A canopy must be a structural, cantilevered, shed roof.

An awning must be canvas or a similar material.

Dimensional Standards

Depth	4' min. / 10' max	A
Width		B
Residential Building Types	25% of building width min.	
Mixed-Use & Special Building Types	50% of building width min.	
Stories	1 max.	
Clear Height	9' min.	C
Finish Floor Level	-2' min. / 5' max.	D



Gallery

Description

A covered passage extending along the outside wall of a building supported by arches or columns that is open on one side.

General Standards

A gallery must extend close enough to the curb so that the pedestrian cannot pass it.

A gallery must have a consistent depth along a frontage.

Dimensional Standards

Depth	10' min.	A
Width	50% of building width min.	B
Stories	2 max.	
Clear Height	9' min.	C
Finish Floor Level	-2' min. / 5' max.	D

227.F Parking and Access Standards

1. Applicability

The TND additional standards apply to all development within the TND zone district. In circumstances where standards contained in this Section are in conflict with any standards contained in Article 4, the standards in this Section shall apply.

2. General Standards

a. On lots with a rear lane or alley, all driveways shall be located on the rear lane or alley.

b. On corner lots without a rear lane or alley, all driveways shall be located on the side street.

c. Parking spaces may be accessed directly from the alley with adequate snow storage.

d. Underground parking may be placed up to the property line.

e. Underground parking must not be visible to pedestrians.

f. Except for designated barrier free parking spaces, no parking spaces for any use shall be required to be individually accessible. Tandem, stacking, and valet parking shall be permitted.

g. A street-facing garage must be positioned at least ten feet behind the front building facade and is limited in width to no more than 40% of any street-facing facade.

h. A street-facing parking lot must be screened between the parking lot and the street for a minimum depth of ten feet with frontage landscaping that meets the standards of Category A in Section 402.D.

i. The combined frontage width of parking lots adjacent to the sidewalk must not exceed 25% of the total block perimeter. This requirement does not apply in the SD-1 and SD-2 transect zones.

3. Off-Site Parking Alternatives and Reductions

a. Off-Block Parking Allowance

i. For any block within the TND district, 50% of the total required parking spaces for all uses located on the block must be located on the same block as the uses served.

ii. For nonresidential uses, all other required spaces must be located within 600 feet walking distance of the lot with the use served.

iii. For residential uses, all other required spaces must be located within 300 feet walking distance of the lot with the use served.

b. Mixed-Use Parking Reductions

i. A reduction in the minimum required off-street parking may be granted for parking facilities that serve multiple uses including residential and nonresidential uses.

ii. The reduction must be based on a shared parking analysis using the Urban Land Institute (ULI) Shared Parking Model.

iii. The shared parking analysis must establish that the subject uses will use the shared parking spaces at different times of the day, week or month. A shared parking analysis shall at a minimum address the intensity and type of activities and the composition of uses; hours of operation of the uses; the rate of turnover for proposed spaces; and the anticipated peak parking and traffic loads for the site.

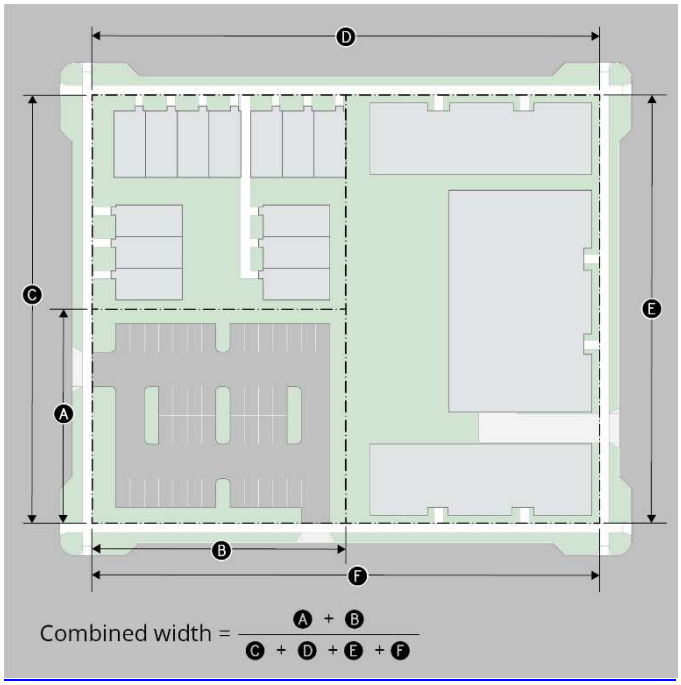
iv. Parking facilities must be within 600 feet walking distance of the lot with the use served.

v. Reserved parking spaces for a specific tenant or dwelling unit may not be included in a shared parking calculation.

c. Measurement

i. Parking Lot Frontage

The combined frontage width of parking lots is measured as the cumulative width along the right-of-way relative to the block perimeter.



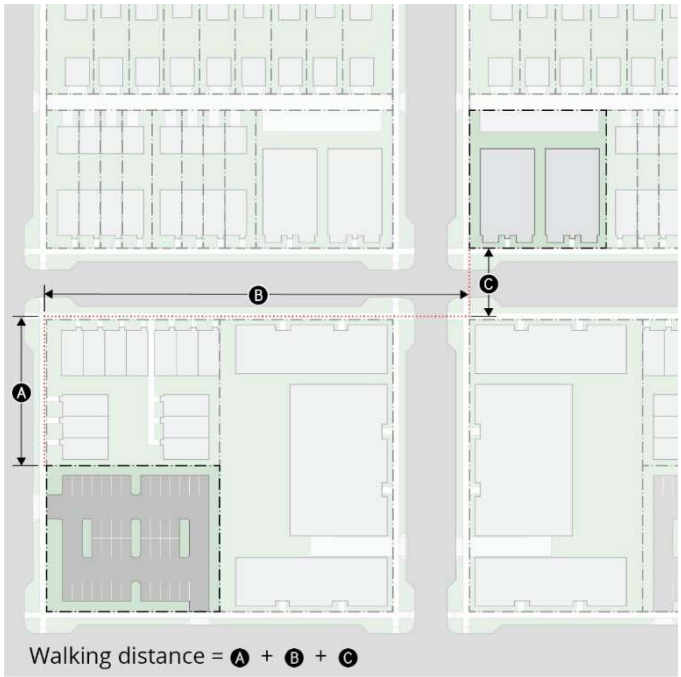
ii. Walking Distance

Walking distance is measured horizontally along the most direct route of travel on the ground in the following manner:

1) Starting at the edge of right-of-way at the nearest corner of lot with the off-site parking lot;

2) Measured along a sidewalk, walkway, or street; and

3) Ending at the edge of right-of-way at the nearest corner of the lot of the use served.



227.G TND Hillside Strategies

1. Purpose

a. Minimize overlot grading in subdivisions and developments.

b. Retain the unique character and gently rolling topography of development sites.

2. Applicability

The TND hillside strategies apply to all development within the TND zone district.

3. Uphill Lots

a. Lots that slope up from the street may utilize a deeper building setback or building-to-line than required by the applicable transect zone in order to set an acceptable and useable finish floor elevation.

b. Front yards may be designed to gently slope up to the building's frontage, or may retain up to four feet of topography with a low masonry wall set directly behind the right-of-way. See Figure 227-1.

c. On deeper lots, elevation of garages and other accessory structures shall be set at or near rear elevations, and rear yards shall be designed to step or terrace up to such structures. See Figure 227-1.

d. On shallower lots in applicable transect zones, allowed building types may utilize "tuck-under" configurations that place garage elevations up to one full story above primary living spaces.

4. Downhill Lots

a. Lots that slope down from the street may utilize a shallower building setback or build-to-line and lower finish floor elevation than required by the applicable transect zone in order to set an acceptable and useable finish floor elevation. See Figure 227-2.

b. On deeper lots, elevation of garages and other accessory structures shall be set at or near rear elevations, and rear yards shall be designed to step or terrace down to such structures. See Figure 227-2.

c. Walk-out basements are strongly encouraged.

d. On shallower lots in applicable transect zones, allowed building types may utilize "tuck-under" configurations that place garage elevations up to one full story below primary living spaces.

5. Cross-Slope Lots

a. Lots with topography running parallel to the street and across lots shall utilize low retaining walls, typically set at side property lines, to transition elevations between lots. See Figure 227-3.

b. In narrow lot configurations, the lateral foundation wall of each house may be used to retain such topography.

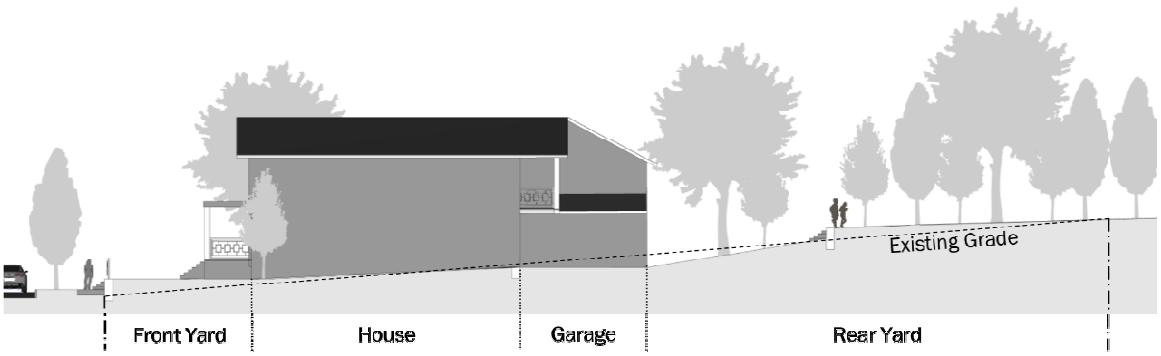
227.H Fences and Walls

1. Fences and walls are allowed in the front and side street yard by building type.

2. A fence in the front or side street yard shall not exceed four feet in height.

3. A wall in the front or side street yard shall not exceed three feet in height.

Figure 227-1. Uphill Lots: Front-Loaded and Alley-Loaded



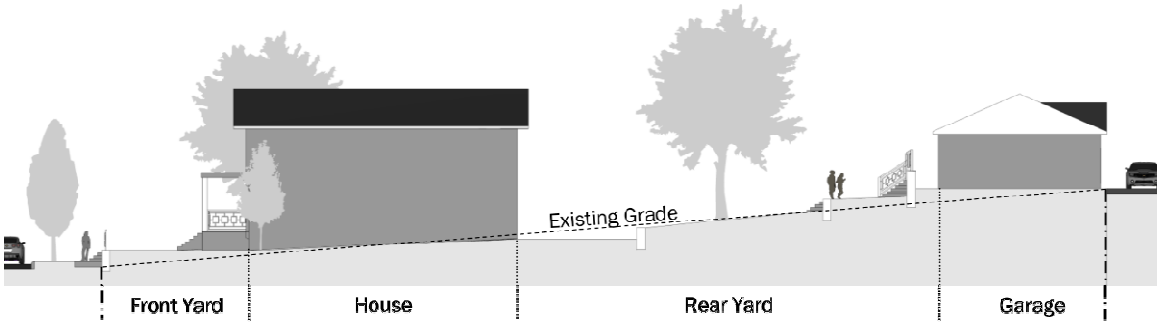
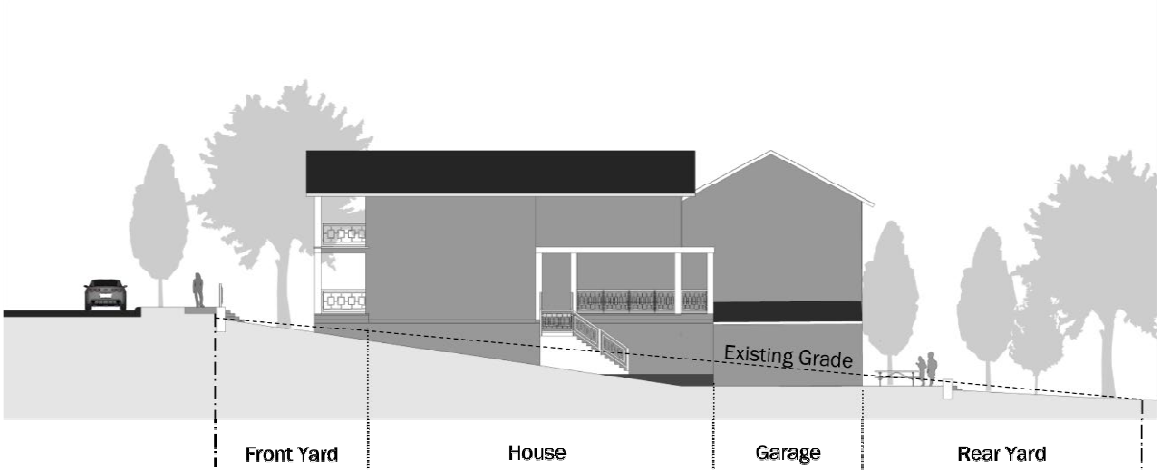


Figure 227-2. Downhill Lots: Front-Loaded and Alley-Loaded



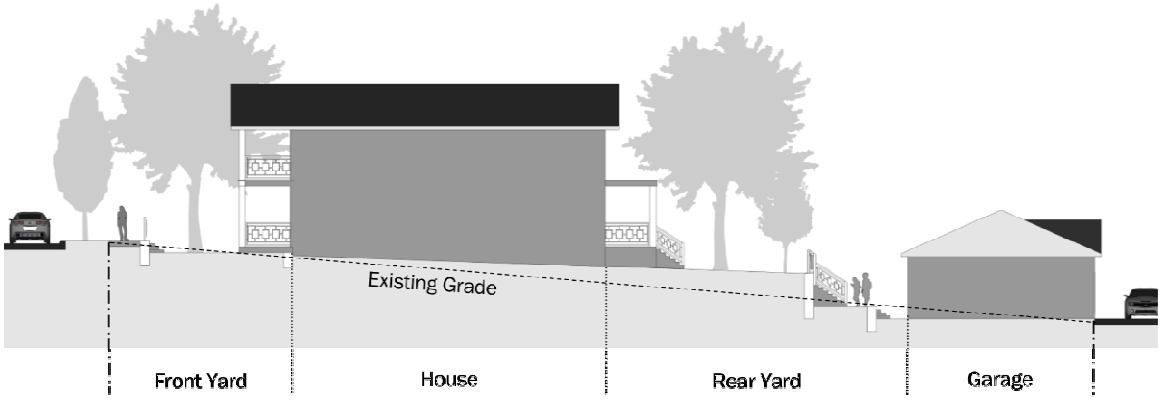
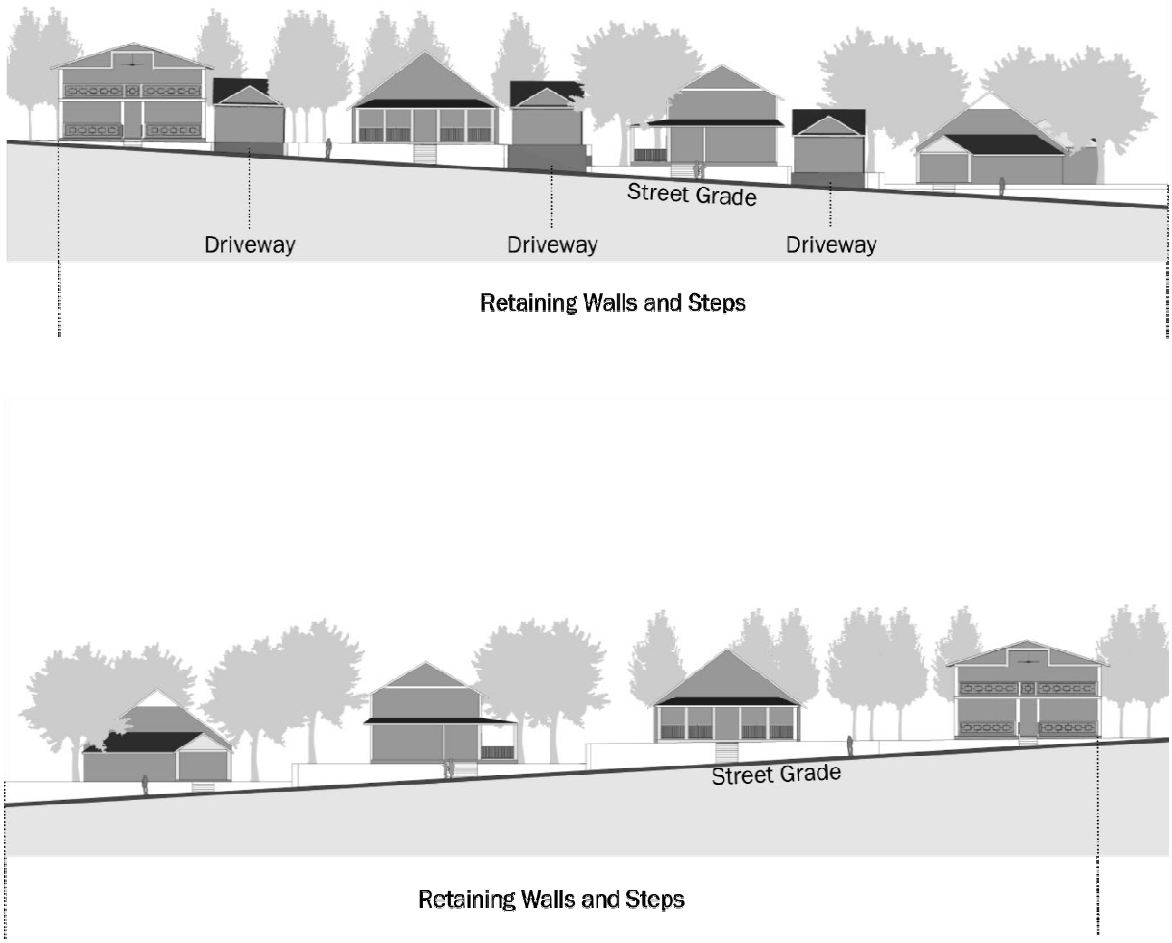


Figure 227-3. Cross-Slope Lots: Front-Loaded and Alley-Loaded



T2-NE Neighborhood Edge

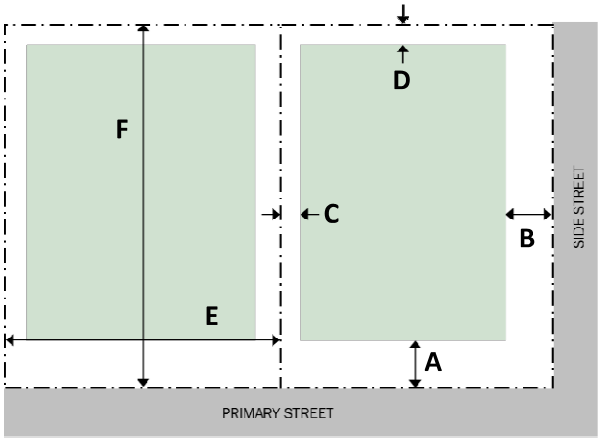
228 T2 TRANSECT ZONES ~~TRANSECT ZONE: NEIGHBORHOOD EDGE~~

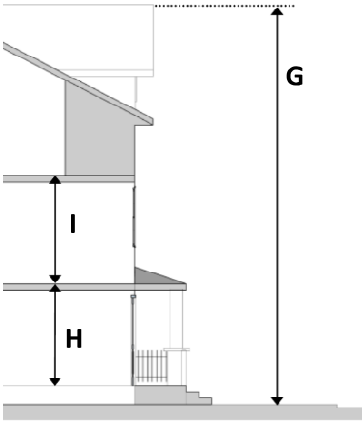
228.A Transect Zone: Neighborhood Edge ~~Purpose~~

1. Purpose

The Neighborhood Edge transect zone is intended to provide an appropriate transition at the edge of the community to the surrounding area. This transect zone accommodates large-lot one-family residential uses as well as large homes within a neighborhood context.

2.~~228.B~~ **Dimensional Standards** (See below and next page.)





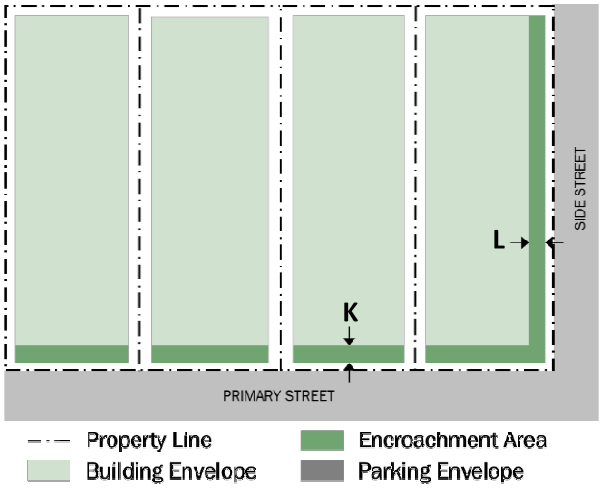
Property Line
Building Envelope

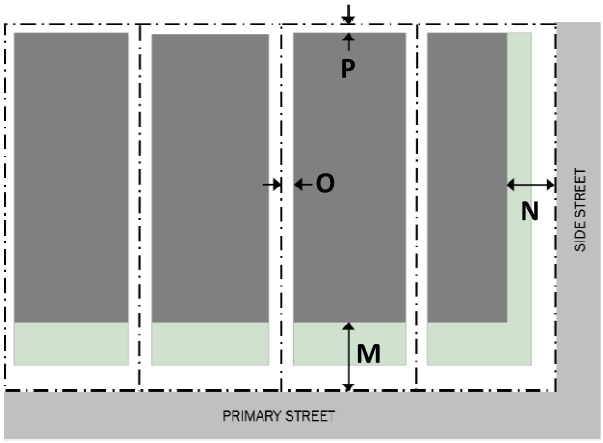
Building Placement		
Lot Line Setbacks ~~(Principal and Accessory Buildings)~~		
Front		A
Up-Slope/Cross-Slope Lots	30' min. 40' max.	
Down-Slope Lots	20' min. 40' max.	
Side Street		B
Up-Slope/Down-Slope Lots	30' min. 35' max.	
Cross-Slope Lots (street low)	30' min. 35' max.	
Cross-Slope Lots (street high)	20' min. 30' max.	
Side	15' min.	C
Rear	15' min.	D
Lot Size		
Width~~1~~	120' min.	E
Depth~~1~~	120' min.	F
Area	14,400 sf min. 2 acre max.	

Building Form		
Building Height		
Principal Building		
Overall Height	35' max.	G
Ground Story ~~Floor~~ Height	9' min.	H
Upper Story ~~Floor~~ Height	8' min.	I
Accessory Building		
Overall Height	28' max.	G
~~**Building Type~~~~2~~**		
~~Allowed Residential Types~~	~~Single Family~~~~3~~ ~~Duplex~~	

~~1 The above graphics are not intended to illustrate how building height, lot width, or lot depth is measured. Refer to Section 801 for rules of measurement.~~
~~2 Refer to Section 424 for TND building type standards. Additional building types for specialized uses may be approved by the Planning Director upon a finding that they are compatible with the transect zone.~~
~~3 Excludes manufactured homes.~~

T2-NE Neighborhood Edge





Frontage ~~Types and Encroachments~~		
Transparency		
Ground Story	20%	
Upper Story	15%	
Encroachments		
Front	12' max.	J
Side Street/Civic Space	12' max.	K
Side	5' max.	L
Rear	5' max.	M
~~Frontage Type~~		
~~Allowed Frontage Types~~	~~Common Yard~~	-
-	~~Porch~~	-

Parking Lot Placement		
Lot Line Setbacks		
Front	50' min.	N
Side Street	40' min.	O
Side	15' min.	P
Rear	15' min.	Q

~~Refer to Section 423 for TND frontage type standards.~~

T3-NG1 Neighborhood General - Low

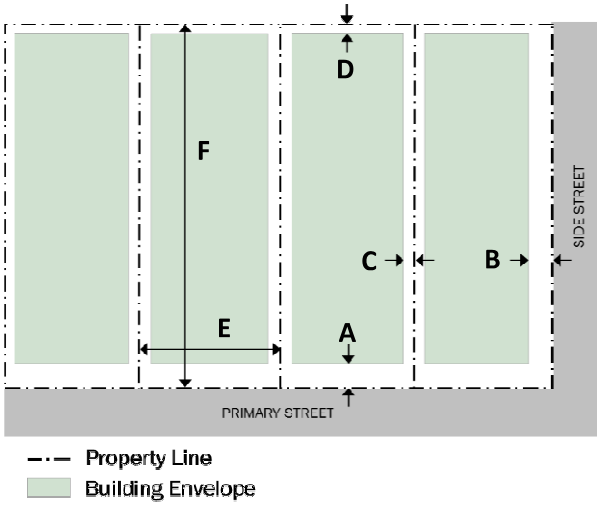
229 T3 TRANSECT ZONES ~~TRANSECT ZONE: NEIGHBORHOOD GENERAL - LOW~~

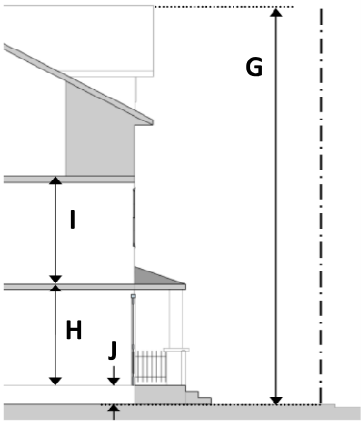
229.A Transect Zone: Neighborhood General – Low ~~Purpose~~

1. Purpose

The Neighborhood General - Low transect zone is intended to supply the core residential fabric within neighborhoods. This transect zone accommodates a variety of single-family, duplex, and limited multiple-family housing to enable a wide diversity of residential uses on small to large lots.

2.~~229.B~~ **Dimensional Standards** (See below and next page.)





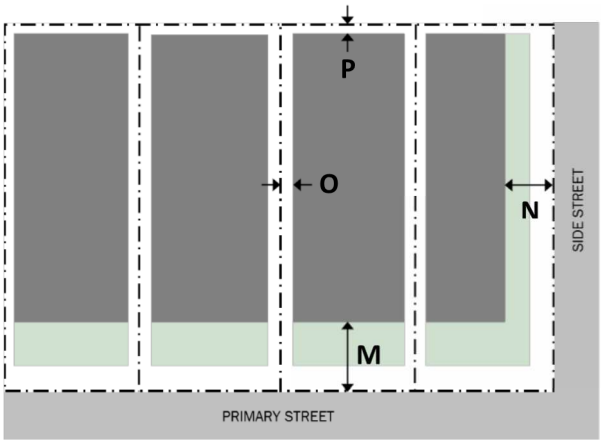
Building Placement		
Lot Line Setbacks ~~(Principal and Accessory Buildings)~~		
Front	15' min. 25' max.	A
Side Street	10' min. 20' max.	B
Side	7.5' min.	C
Rear	5' min.	D
Lot Size		
Width~~1~~	50' min. 150' max.	E
Depth~~1~~	100' min. 200' max.	F
Area	5,000 sf min. 24,000 sf max.	

Building Form		
Building Height~~1~~		
Principal Building		
Overall Height	35' max.	G
Ground ~~Floor~~ Story Height	9' min.	H
Upper ~~Floor~~ Story Height	8' min.	I
~~Ground Floor~~ Finish Floor Level~~2~~	2' min. 5' max	J
- ~~Up Slope/Cross Slope Lots~~		~~18" min.~~
- ~~Down Slope Lots~~		~~06" min.~~
Accessory Building		
Overall Height	28' max.	H

~~Building Type~~~~3~~	
~~Allowed Residential Types~~	
~~Single-Family~~~~4~~	
- ~~Duplex~~	-
- ~~Triplex~~	-
- ~~Fourplex~~	-
- ~~Bungalow Court~~	

~~1. The above graphics are not intended to illustrate how building height, lot width, or lot depth is measured. Refer to Section 801 for rules of measurement.~~
~~2. Not applicable to accessible units.~~
~~3. Refer to Section 424 for TND building type standards. Additional building types for specialized uses may be approved by the Planning Director upon a finding that they are compatible with the transect zone.~~ ~~4. Excludes manufactured homes.~~

T3-NG1 Neighborhood General - Low



Frontage ~~Types and Encroachments~~		
Transparency		
Ground Story	20%	
Upper Story	15%	
Encroachments		
Front	12' max.	**K**
Side Street/Civic Space	12' max.	**L**
Side if Setback ≥10'	5' max.	
Rear if Setback ≥10'	5' max.	
~~Frontage Type[5]~~		
~~Allowed Frontage Types~~	~~Common Yard~~	~~-~~
~~-~~	~~Porch~~	~~-~~

Parking Lot Placement		
Lot Line Setbacks		
Front	50' min.	**M**
Side Street	20' min.	**N**
Side	7.5' min.	**O**
Rear	5' min.	**P**

~~[5] Refer to Section 423 for TND frontage type standards.~~

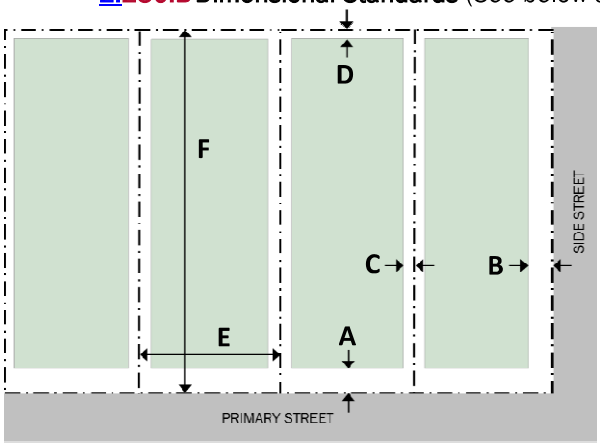
T3-NG2 Neighborhood General - Medium

229.B ~~230~~ Transect Zone: Neighborhood General - Medium

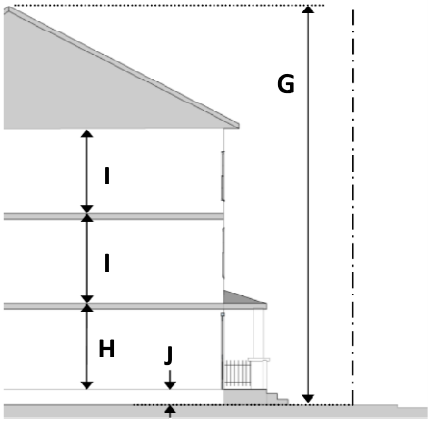
1.~~230.A~~ Purpose

The Neighborhood General - Medium transect zone is intended to supply residential fabric at greater densities within neighborhoods. This transect zone accommodates a variety of single-family, duplex, and multiple-family housing to enable a wide diversity of residential uses on small and medium lots.

2.~~230.B~~ Dimensional Standards (See below and next page.)



Property Line
Building Envelope



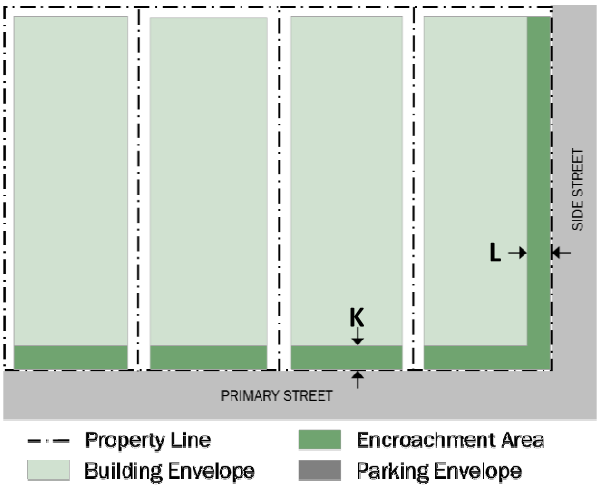
Building Placement		
Lot Line Setbacks ~~(Principal and Accessory Buildings)~~		
Front	10' min. ~~15'~~ 20' max.	A
Side Street	5' min. ~~10'~~15' max.	B
Side	5' min.	C
Rear	5' min.	D
Lot Size		
Width~~1~~	35' min. 150' max.	E
Depth~~1~~	50' min. 150' max.	F
Area	2,625 sf min. 15,000 sf max.	

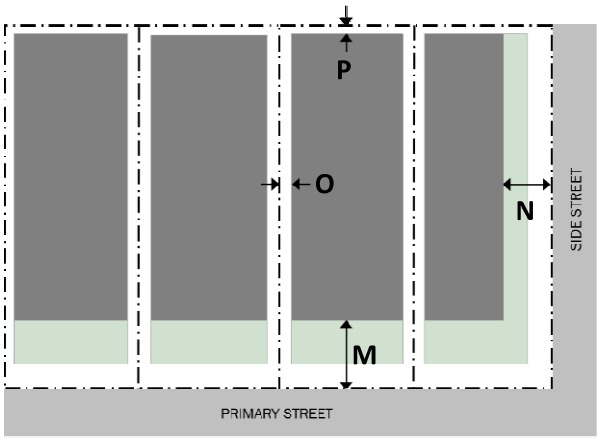
Building Form		
Building Height~~1~~		
Principal Building		
Overall Height	40' max.	G
Ground Story ~~Floor~~ Height	9' min.	H
Upper Story ~~Floor~~ Height	8' min.	I
~~Ground Floor~~ Finish Floor Level~~2~~	2' min. 5' max.	J
- ~~Up Slope/Cross Slope Lots~~	~~18" min.~~	-
- ~~Down Slope Lots~~	~~06" min.~~	-
Accessory Building		
Overall Height	28' max.	H

~~Building Type~~~~3~~		
~~Allowed Residential Types~~		
	~~Single-Family~~~~4~~	-
-	~~Duplex~~	-
-	~~Triplex~~	-
-	~~Fourplex~~	-
-	~~Rowhouse~~	-
-	~~5-8 Units~~	-
-	~~Bungalow Court~~	

~~1 The above graphics are not intended to illustrate how building height, lot width, or lot depth is measured. Refer to Section 801 for rules of measurement.~~
~~2 Not applicable to accessible units.~~
~~3 Refer to Section 424 for TND building type standards. Additional building types for specialized uses may be approved by the Planning Director upon a finding that they are compatible with the transect zone.~~

T3-NG2 Neighborhood General - Medium





Frontage ~~Types and Encroachments~~		
Transparency		
Ground Story	20%	
Upper Story	15%	
Encroachments		
Front	10' max.	K
Side Street	10' max.	L
Side if Setback ≥10'	5' max.	
Rear if Setback ≥10'	5' max.	
~~Frontage Type[5]~~		
~~Allowed Frontage Types~~	~~Common Yard~~	~~-~~
~~-~~	~~Porch~~	~~-~~
~~-~~	~~Forecourt~~	~~-~~
~~-~~	~~Stoop~~	~~-~~

Parking Lot Placement		
Lot Line Setbacks		
Front	40' min.	M
Side Street	10' min.	N
Side	5' min.	O
Rear	5' min.	P

~~[5] Excludes manufactured homes.~~
~~[6] Refer to Section 423 for TND frontage type standards.~~

T4-NX Neighborhood Mixed

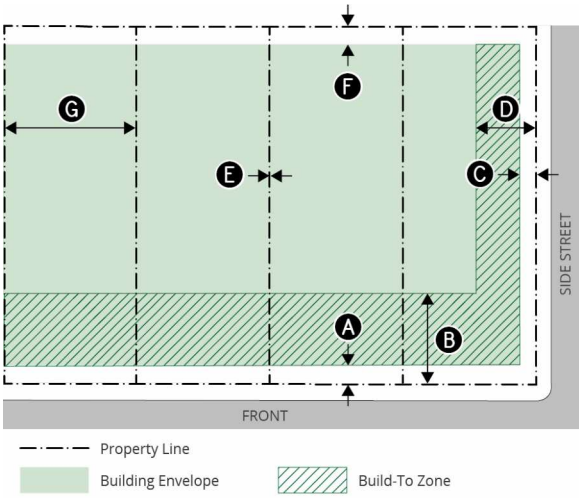
230 T4 TRANSECT ZONES

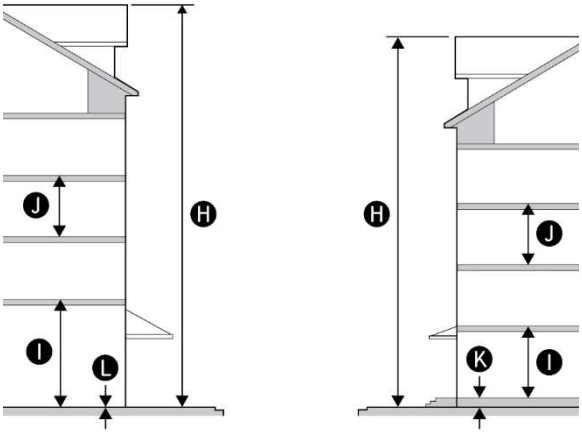
230.A Transect Zone: Neighborhood Mixed

1. Purpose

The Neighborhood Mixed transect zone is intended to supply a wide diversity of residential housing types. This transect zone accommodates locally-serving retail and services on corners lots and the ground-floor of multi-unit buildings. This transect zone emphasizes pedestrian-friendly design and multi-modal access.

2. Dimensional Standards (See below and next page.)

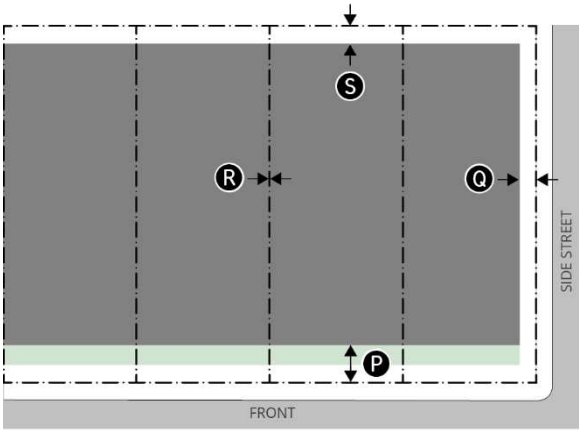




Building Placement		
Lot Line Setbacks		
Front	5' min.	A
	20' max.	B
Side Street	5' min.	C
	15' max.	D
Side	0' min.	E
Rear	5' min.	F
Build-To Width		
Front	65% min.	
Side Street	40% min.	
Lot Size		
Width	15' min.	G
Depth	no min.	
Area	no min.	

Building Form		
Building Height		
Principal Building		
Overall Height	60' max.	H
Ground Story Height	10' min.	I
Upper Story Height	9' min.	J
Finish Floor Level		
Residential	2' min./ 5' max.	K
Nonresidential	-2' min / 5' max.	L
Accessory Building		
Overall Height	28' max.	

T4-NX Neighborhood Mixed



Frontage		
Active Depth		
Depth	9' min.	M
Transparency		
Ground Story	35% min.	
Upper Story	20% min.	
Entrance Spacing		
Front	50' max.	N
Side Street	70' max.	M
Encroachments		
See Section 227.E		

Parking Lot Placement		
Lot Line Setbacks		
Front	10' min.	O
Side Street	5' min.	P
Side	0' min.	Q
Rear	5' min.	R

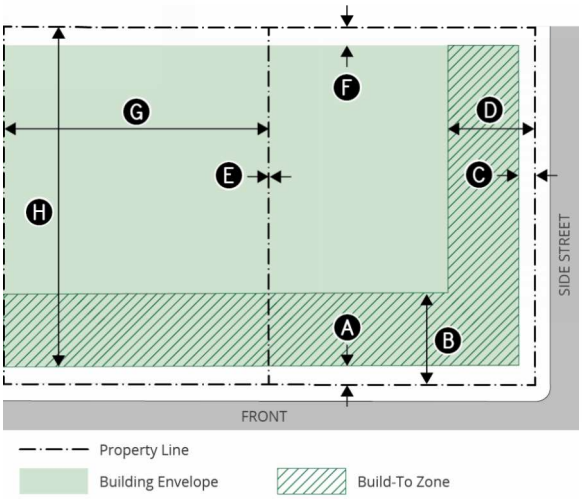
T4-NC Neighborhood Center

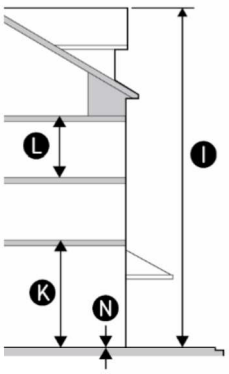
230.B ~~231~~ Transect Zone: Neighborhood Center

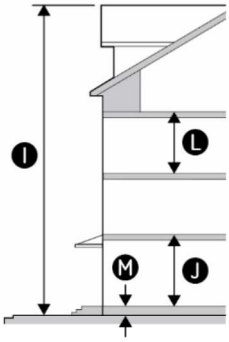
1.~~231.A~~ Purpose

The Neighborhood Center transect zone is a mixed-use zone intended to provide a choice of higher density housing units and locally-serving retail within walking distance of where residents live. This transect zone emphasizes pedestrian-friendly design and multi-modal access.

2.~~231.B~~ Dimensional Standards (See below and next page.)





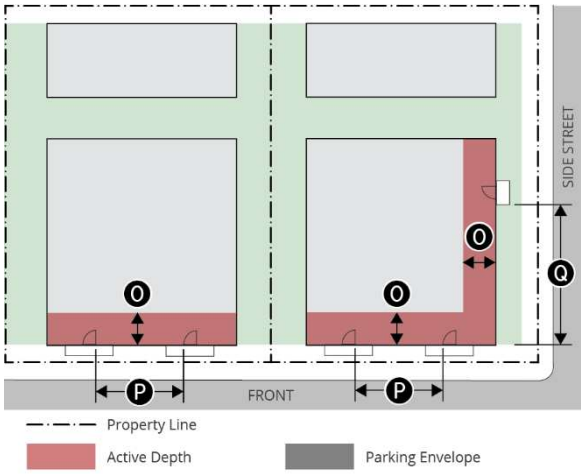


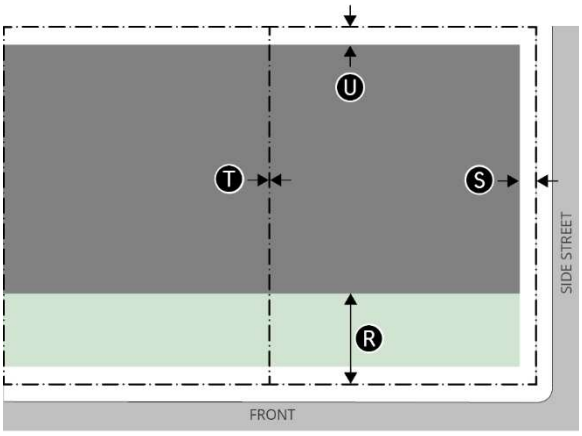
Building Placement		
Lot Line Setbacks ~~(Principal and Accessory Buildings)~~		
Front	~~0'~~5' min.	A
~~Ground Floor Commercial~~	~~0'~~15' max.	B
- ~~Ground Floor Residential~~	~~10' max.~~	-
Side Street	~~0'~~ 5' min.	C
- ~~Ground Floor Commercial~~	~~0'~~ 15' max.	D
- ~~Ground Floor Residential~~	~~10' max.~~	-
Side	0' min.	E
Rear	5' min.	F
Build-To Width ~~Line Defined by Building~~		
Front	75% min.	
Side Street	50% min.	
~~From Primary Street Corner~~	~~30' min.~~	~~E~~
Lot Size		
Width~~1~~	25' min.	G
	150' max.	
Depth~~1~~	50' min.	H
	200' max.	
Area	1,250 sf min.	
	30,000 sf max.	

Building Form		
Building Height~~1~~		
Principal Building		
Overall Height	16' min.	~~H~~
	45' max.	I
Ground Story ~~Floor~~ Height		~~I~~
Commercial	14' min.	J
Residential	~~9'~~ 10' min.	K
Upper Story ~~Floor~~ Height	~~8'~~ 9' min.~~2~~	L
~~Ground Floor~~ Finish Floor Level~~3~~		~~K~~
- ~~Commercial~~	~~06" max.~~	-
Residential	~~18"~~ 2' min./5' max. M	
Nonresidential	-2' min. / 5' max. N	
Accessory Building		
Overall Height	28' max.	~~H~~
~~Entries~~4		
~~Distance Between Entries~~	-	-
- ~~To Ground Floor~~	~~050' max.~~5	
- ~~To Upper Floor(s)~~	~~100' max.~~	-

~~- The above graphics are not intended to illustrate how building height, lot width, or lot depth is measured. Refer to Section 801 for rules of measurement.~~
~~- May be 6'8" min. at a knee wall.~~
~~- Not applicable to accessible units.~~
~~- All upper floors shall have a primary entrance along the front. Service entries are prohibited along the front.~~
~~- May be 75' max. if one entry is a corner entry.~~

T4-NC Neighborhood Center





Frontage ~~Building Form (continued)~~		
Active Depth ~~Pedestrian-Active Building Frontage~~		
Depth	9' ~~20'~~ min.	O
Transparency		
Ground Story	35%	
Upper Story	20%	
Entrance Spacing		
Front	50' max.	P
Side Street	70' max.	Q
~~Building Type[6]~~		
~~Allowed Residential Types~~	~~Duplex~~	-
-	~~Triplex/Fourplex~~	
-	~~Rowhouse~~	-
-	~~5-8 Units~~	-
-	~~9+ Units~~	-
~~Allowed Mixed-Use Types~~	~~Work/Live~~	-
-	~~Commercial Block~~	
~~Allowed Special Types~~	~~Large Format Retail[7]~~	
~~Frontage Types and Encroachments~~		
Encroachments[8]		
See Section 227.E ~~Front~~	~~to sidewalk~~	~~L~~
~~Side Street~~	~~to sidewalk~~	~~M~~

~~Frontage Type[9]~~		
~~Allowed Frontage Types~~	~~Porch~~	-
-	~~Forecourt~~	-
-	~~Stoop~~	-
-	~~Shopfront~~	-
-	~~Gallery~~	-

Parking Lot Placement		
Lot Line Setbacks		
Front	20' min.	R
Side Street	5' min.	S
Side	0' min.	T
Rear	5' min.	U

~~•Refer to Section 424 for TND building type standards.~~
~~Additional building types for specialized uses may be approved by the Planning Director upon a finding that they are compatible with the transect zone.~~
~~•In Large Format Retail Overlay Zone only.~~
~~•Encroachments extending into any right of way shall not shed snow into the right of way. Encroachments shall not extend beyond a curb or into a rear lane or alley right of way.~~
~~•Refer to Section 423 for TND frontage type standards.~~

T5-VC Village Core

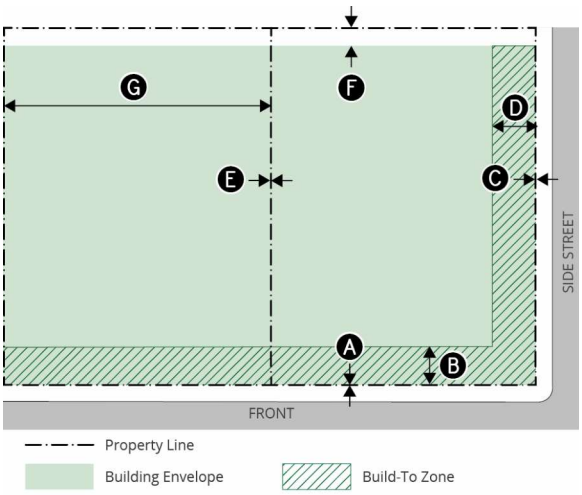
231 T5 TRANSECT ZONES

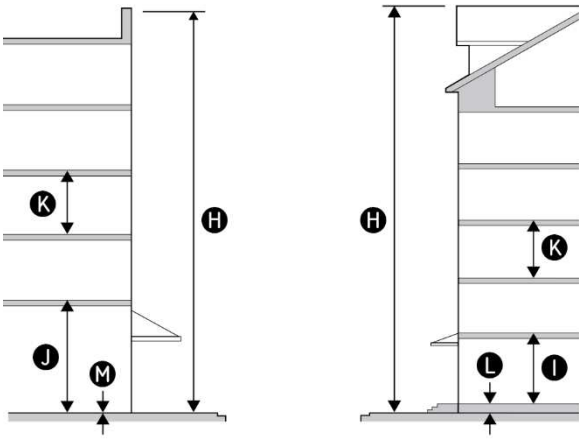
231.A Transect Zone: Village Core

1. Purpose

The Town Core transect zone is a mixed-use zone intended to provide a choice of higher density housing units, regional-serving retail, and supporting commercial uses at or near primary intersections. This transect zone emphasizes pedestrian-friendly design and multi-modal access.

2. Dimensional Standards (See below and next page.)

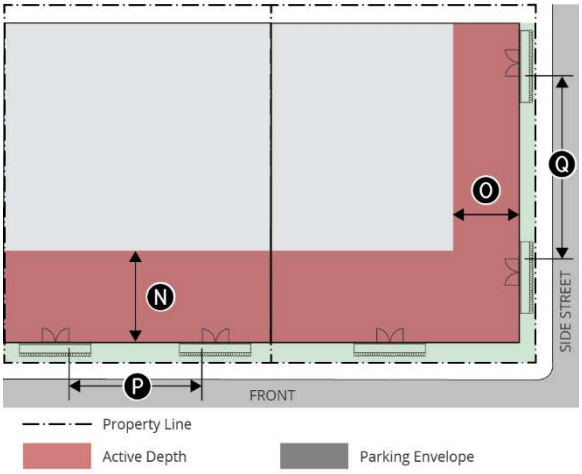


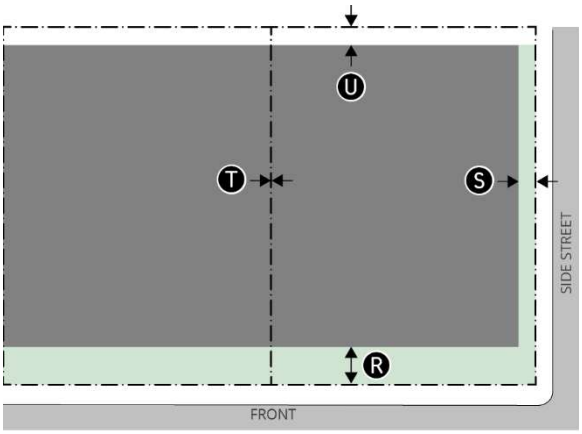


Building Placement		
Lot Line Setbacks		
Front	0' min.	A
	12' max.	B
Side Street	0' min.	C
	12' max.	D
Side	0' min.	E
Rear	5' min.	F
Build-To Width		
Front	75% min.	
Side Street	45% min.	
Lot Size		
Width	15' min.	G
Depth	no min.	
Area	no min.	

Building Form		
Building Height		
Overall Height	75' max.	H
Ground Story Height		
Residential	9' min.	I
Nonresidential	14' min.	J
Upper Story Height	9' min.	K
Finish Floor Level		
Residential	2' min. / 5' max.	L
Nonresidential	-2' min. / 5' max.	M

T5-VC Village Core





Frontage		
Active Depth		
Depth		
Front		N
Residential	9' min.	
Nonresidential	25' min.	
Side Street	9' min.	O
Transparency		
Ground Story		
Residential	35% min.	
Nonresidential	50 % min.	
Upper Story	20% min.	
Entrance Spacing		
Front	50' max.	P
Side Street	70' max.	Q
Encroachments		
See Section 227.E		

Parking Lot Placement		
Lot Line Setbacks		
Front	10' min.	R
Side Street	5' min.	S
Side	0' min.	T
Rear	5' min.	U

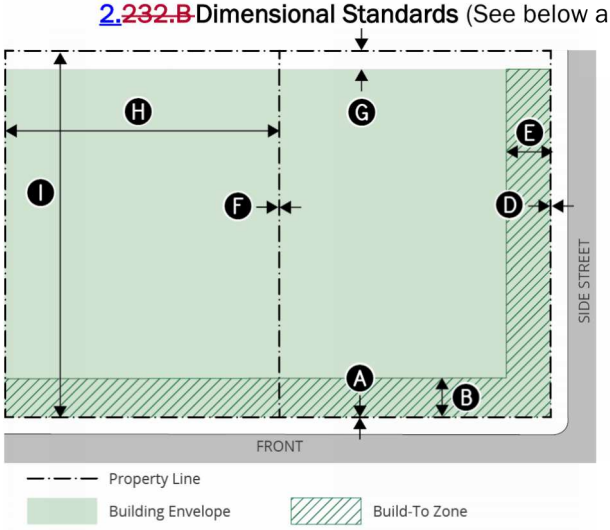
T5-TC Town Core

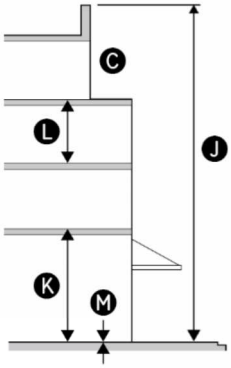
231.B ~~232~~ Transect Zone: Town Core

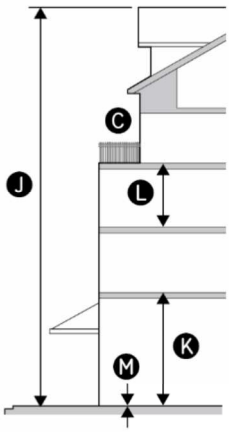
1.~~232.A~~ Purpose

The Town Core transect zone is a mixed-use zone intended to provide a choice of higher density housing units, regional-serving retail, and supporting commercial uses at or near primary intersections. This transect zone emphasizes pedestrian-friendly design and multi-modal access.

2.~~232.B~~ Dimensional Standards (See below and next page.)







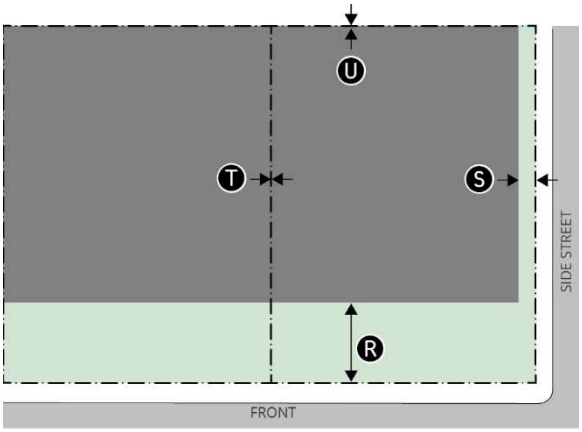
Building Placement			
Lot Line Setbacks ~~(Principal and Accessory Buildings)~~			
Front			~~A~~
	Third Floor and Below	0' min.	A
		10' max.	B
	Fourth Floor and Above	15' min.	~~B~~C
Side Street			~~C~~
	Third Floor and Below	0' min.	D
		10' max.	E
	Fourth Floor and Above	15' min.	B
Side		0' min.	~~D~~F
Rear		5' min.	~~E~~G
Build-To Width ~~Line Defined by Building~~			
Front		75% min.	
Side Street		75% min.	
~~From Primary Street Corner~~		~~30' min.~~	~~F~~
Lot Size			
Width~~1~~		25' min.	~~G~~H
Depth~~1~~		50' min.	~~H~~I
Area		no min.	
-	~~no max.~~	-	

Building Form			
Building Height[1]			
Overall Height		22' min.	
		55' max.	J
Ground Story ~~Floor~~ Height		14' min.	K
Upper Story ~~Floor~~ Height		~~8'~~ 9' min.	L
~~Ground Floor Finish Level~~	~~6" max.~~		~~L~~
Finish Floor Level		-2 min. / 5' max.	M
~~**Footprint**~~			
~~Width~~	~~200' max.~~	-	
~~Depth~~	~~200' max.~~	-	
~~**Entries[2]**~~			
~~Distance Between Entries~~	-	-	
- ~~To Ground Floor~~	~~100' max.[3]~~		
- ~~To Upper Floor(s)~~	~~100' max.~~	-	

~~1 The above graphics are not intended to illustrate how building height, lot width, or lot depth is measured. Refer to Section 801 for rules of measurement.~~
~~2 All upper floors shall have a primary entrance along the front. Service entries are prohibited along the front.~~

[a] ~~May be 150' max. if one entry is a corner entry.~~

T5-TC Town Core



Frontage ~~Building Form (continued)~~		
Active Depth ~~Pedestrian-Active Building Frontage~~		
Depth	~~50' min.~~	
Front	25' min.	N
Side Street	15 min.	O
Transparency		
Ground Story		
Residential	35%	
Nonresidential	50%	
Upper Story	20%	
Entrance Spacing		
Front	50' max.	P
Side Street	70' max.	Q
~~Building Type[4]~~		
~~Allowed Mixed-Use Type~~	~~Commercial Block~~	
~~Allowed Special Type~~	~~Large-Format Retail[5]~~	
~~Frontage Types and Encroachments~~		
Encroachments~~[6]~~		
See Section 227.E ~~Front~~	~~to sidewalk~~	~~M~~
~~Side Street~~	~~to sidewalk~~	~~N~~
~~Frontage Type[7]~~		
~~Allowed Frontage Types~~	~~Forecourt~~	-
-	~~Shopfront~~	-
-	~~Gallery~~	-

Parking Lot Placement		
Lot Line Setbacks		
Front	20' min.	R
Side Street	5' min.	S
Side	0' min.	T
Rear	0' min.	U

~~[4] Refer to Section 424 for TND building type standards. Additional building types for specialized uses may be approved by the Planning Director upon a finding that they are compatible with the transect zone.~~
~~[5] In Large Format Retail Overlay Zone only.~~
~~[6] Encroachments extending into any right-of-way shall not shed snow into the right-of-way. Encroachments shall not extend beyond a curb or into a rear lane or alley right-of-way.~~
~~[7] Refer to Section 423 for TND frontage type standards.~~

SD-1 Special District - Large-Format

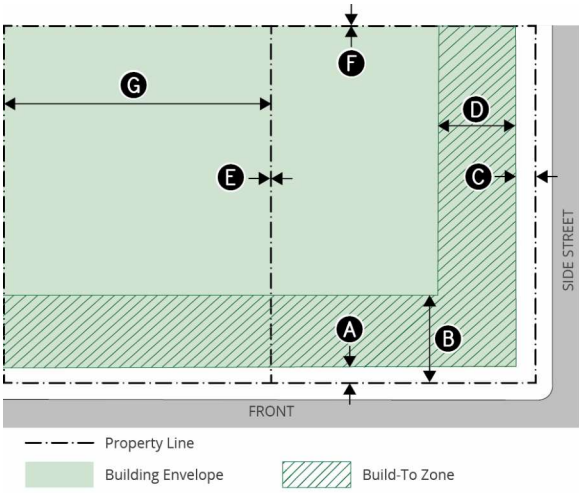
233232 TRANSECT ZONE: SPECIAL DISTRICT TRANSECT ZONES

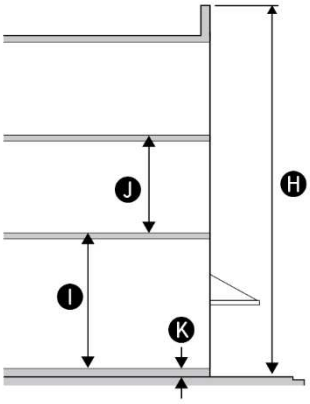
233232.A Transect Zone: Special District - Large-Format Purpose

1. Purpose

The Special District transect zone is intended to provide an area for uses and building types that may not be appropriate in other transect zones. This transect zone accommodates public, institutional, large- format retail and limited industrial uses. within a pedestrian-oriented area adjacent to a Neighborhood Center.

2.233.B **Dimensional Standards** (See below and next page.)



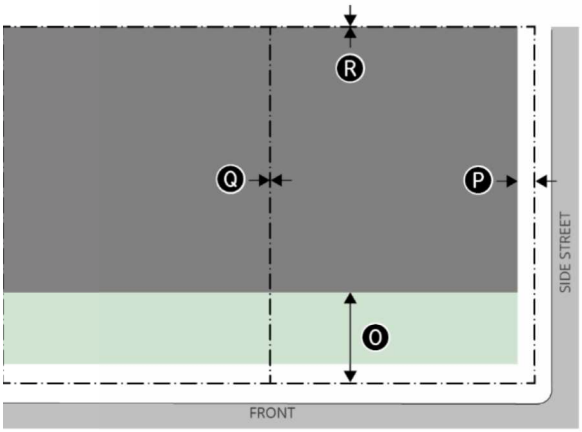


Building Placement		
Lot Line Setbacks (Principal and Accessory Buildings)		
Front	0' 5'min.	A
	0'20' max.	B
Side Street	0' 5' min.	C
	0' 20' max.	D
Side	0' min.	E
Rear	0' min.	F
Build-To Width Line Defined by Building		
Front	50% min.	
Side Street	50% 40% min.	
From Primary Street Corner	30' min.	E
Lot Size		
Width[1]	200' max.50' min.	G
Depth[1]	150' max.no min.	G
Area	no min.	
-	no max.	-

Building Form		
Building Height[1]		
Overall Height	40'55' max.	H
Ground Story Floor Height	12' min.	I
Upper Story Floor Height	8'9' min.	J
Ground Floor Finish Level	6" max.	K
Finish Floor Level	-2 min. / 5' max	K
Footprint		
Width	150' max.	-
Entries[2]		
Distance Between Entries	-	-
- To Ground Floor	100' max.[3]	
- To Upper Floor(s)	100' max.	-

- The above graphics are not intended to illustrate how building height, lot width, or lot depth is measured. Refer to Section 801 for rules of measurement.
- All upper floors shall have a primary entrance along the front. Service entries are prohibited along the front.
- May be 150' max. if one entry is a corner entry.

SD-1 Special District - Large Format



~~Building Form (continued)~~		
~~Building Type[4]~~		
~~Determined at time of platting~~		
Frontage ~~Types and Encroachments~~		
Active Depth		
Depth	15'	L
Entrance Spacing		
Front	70' max.	M
Side Street	100' max.	N
Encroachments[5]		
See Section 227.E		
~~Frontage Type[6]~~		
~~Allowed Frontage Types~~	~~Shopfront~~	~~-~~
~~-~~	~~Gallery~~	~~-~~
~~-~~	~~Loading Dock~~	~~-~~

Parking Lot Placement		
Lot Line Setbacks		
Front	20' min.	O
Side Street	5' min.	P
Side	0' min.	Q
Rear	0' min.	R

~~• Refer to Section 424 for TND building type standards. Additional building types for specialized uses may be approved by the Planning Director upon a finding that they are compatible with the transect zone.~~
~~• Encroachments extending into any right-of-way shall not shed snow into the right-of-way. Encroachments shall not extend beyond a curb or into a rear lane or alley right-of-way.~~
~~•Refer to Section 423 for TND frontage type standards.~~

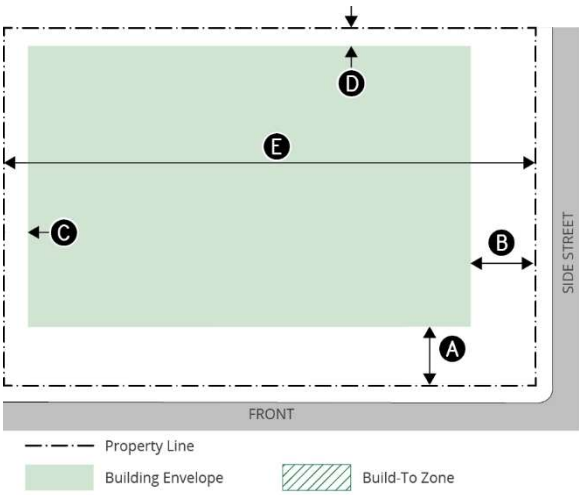
1. Additional Standards
   a. Alleys required by subdivision standards may function as drive aisles within shared surface parking areas.
   b. Off-street loading areas, service areas, and trash disposal facilities shall not face front or side streets or public open spaces.

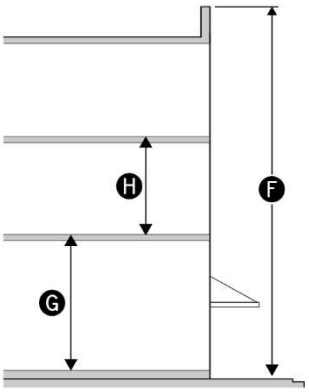
SD-2 Special District - Civic

232.B Transect Zone: Special District - Civic

1. **Purpose**
   The Special District transect zone is intended to provide an area for uses and building types that may not be appropriate in other transect zones. This transect zone accommodates civic, public, and institutional, uses.

2. **Dimensional Standards** (See below and next page.)

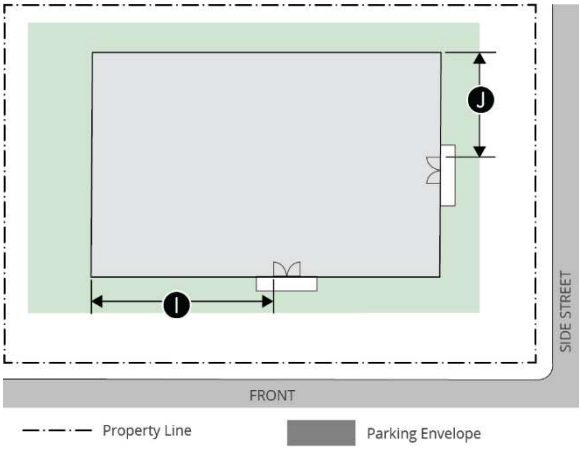


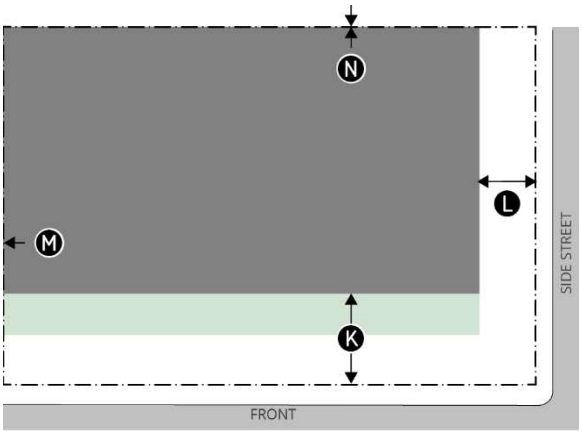


Building Placement		
Lot Line Setbacks		
Front	10'	A
Side Street	10'	B
Side	5'	C
Rear	5'	D
Lot Size		
Width	50 min.	E
Depth	no min.	
Area	10,000 min.	

Building Form		
Building Height		
Overall Height	55' max.	F
Ground Story Height	12' min.	G
Upper Story Height	9' min.	H

SD-2 Special District - Civic





Frontage		
Entrance Spacing		
Front	200' max.	I
Side	250' max.	J
Encroachments		
See Section 227.E		

Parking Lot Placement		
Lot Line Setbacks		
Front	20' min.	K
Side Street	5' min.	L
Side	0' min.	M
Rear	0' min.	N

233 RESERVED

~~235 OVERLAY ZONE: LARGE-FORMAT RETAIL OVERLAY~~RESERVED

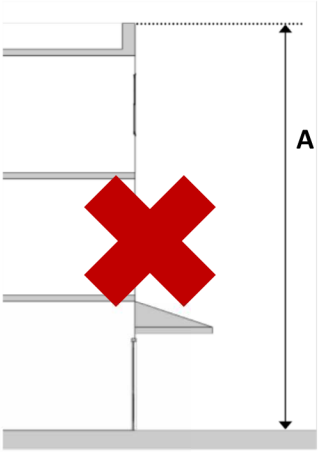
~~235.A Purpose~~

~~The Large Format Retail Overlay zone is intended to designate an area within the Traditional Neighborhood Development zone district that is appropriate for and can accommodate large-format retail development.~~

~~235.B Dimensional Standards~~

~~The dimensional standards of the underlying transect zone shall apply unless specifically modified by the Large Format Retail Overlay zone as noted below.~~

~~**Building Placement**~~		
~~**Lot Size**~~		
~~Area~~	~~no max.~~	-
~~**Building Form**~~		
~~**Building Height**~~		
~~Overall Height [a]~~	~~24' min.~~	~~A~~
-	~~55' max~~	-
~~**Other Standard**~~		
~~**Building Intensity**~~		
~~Lot Coverage [a]~~	~~100% max.~~	-
~~**Frontage Types**~~		
~~**Frontage Type [a]**~~		
~~Allowed Frontage Types~~	~~Shopfront~~	-
-	~~Gallery~~	-
-	~~Loading Dock~~	-



~~[a] Standards only apply to the large format retail building type.~~
~~Refer to Section 424 for TND building type standards.~~
~~[a] Refer to Section 423 for TND frontage type standards.~~

~~235.C Additional Standards~~

~~The following development and design standards are in addition to the standards in Section 422 for large format retail development.~~

1. ~~Development shall reinforce the urban character of the surrounding neighborhood and continue a connected system of walkable street frontages by maintaining a consistent urban frontage.~~
2. ~~Alleys required by subdivision standards may function as drive aisles within shared surface parking areas.~~
3. ~~Off street loading areas, service areas, and trash disposal facilities shall not face front or side streets or public open spaces.~~

PART 2 Amend CDC Article 3, Tables 300-1, 300-2, 300-3 and Sections 302.H.4, 302.H.8, 303.B.3, and 306.C.2 as follows:

Table 300-1. Permitted Use Matrix — Principal Uses

Use Category		Zone Districts																	TND Transects								
Specific Use	Required Parking [1 2] (spaces)	OR	RE	RN	RO	RR	MH	MF	G-1	G-2	CO	CY	CK-1	CK-2	CN	CC	CS	I	T2-NE	T3-NG1	T3-NG2	T4-NX	T4-NC	T5-VC	T5-TC	SD-1	SD-2
Residential Use Classification																											
Household Living																											
Manufactured Home Park	2 per du						L																				
Multiple-Family Residential	*1 bds:* 1.5 per du [3] *2-3 bds:* 2 per du [3] *>3 bds:* 2+(1 per bedroom>3) per du[3]			C	C	R		R	L	L	L	L	L	L		L	C	L		L	L	R	L	R	L		
	CO, CY, CK, CN *<2,000 sf:* 1.5 per du [3] *2,000-3,000 sf:* 2 per du [3] *>3,000 sf:* 2.5 per du [3]																										
	RR-1 *Above-ground parking:* 1 per du *Underground parking:* 0.75 per du																										
	RR-2, G *Above-ground parking:* 1 per du *Underground parking:* 0.5 per du																										
	TND *<1 bds:* 1 per du *1 bds:* 1.5 per du *2+ bds:* 2 per du																										
One-Family Residential	2 per du [3]		R	R	R	C	R	C				C	R	R	R				R	R	R	R		R			
Two-Family Residential	2 per du [3]			R	R	C		C	C			C	R	R	R				R	R	R	R	C	R			
Workforce Unit	1 per du	C				L-P	L-P	L-P	L-P	L-P	L-P	L-P	L-P	L-P	L-P	L-P	L-P	L-P				L-P	L-P	L-P	L-P		
	CO, CY, CK, CN 1 per du (2 spaces waived)																										
Group Living																											
Dormitory	1 per 4 residents							C	C		C					C	C	L				C	C	R	C		
Group Home for Older Adults	2+(1 per 4 residents)		L-P	L-P	L-P			L-P				L-P	L-P	L-P	L-P				L-P	L-P	L-P	L-P	L-P	L-P	L-P		
Nursing Care Facility	1 per 4 residents							C					C	C	C	R			C	C	C	C	C	R	C	~~C~~	C
Residential Care Facility, Large	1 per 4 residents							C					C	C	C	R			C	C	C	C	C	R	C	~~C~~	C
Residential Care Facility, Small	2+(1 per 4 residents)		L-P	L-P	L-P			L-P				L-P	L-P	L-P	L-P				L-P	L-P	L-P	L-P	L-P	L-P	L-P		
Shelter House	2+(1 per 4 adult residents)			C	L-P			L-P											C	C	C	L-P	C	L-P	C		

Table 300-1. Permitted Use Matrix — Principal Uses (continued)

Use Category		Zone Districts																	TND Transects								
Specific Use	Required Parking [1 2] (spaces)	OR	RE	RN	RO	RR	MH	MF	G-1	G-2	CO	CY	CK-1	CK-2	CN	CC	CS	I	T2-NE	T3-NG1	T3-NG2	T4-NX	T4-NC	T5-VC	T5-TC	SD-1	SD-2
Commercial Use Classification																											
Adult-Oriented Business	Per business type (retail, tavern, etc.)																	C									
Arts, Recreation, and Entertainment																											
Amusement, Indoor	1 per 300 sf *Bowling alley:* 2 per lane	C			C			C	C	R	R	L	C	L	L	R	C					R	R	R	R	R	
Amusement, Outdoor	10+(20 per acre >0.5 acre)	C							C	C		C	C	C	C	C	C	C								R	
Campground	1 per campsite	C																									
Golf Course	6 per golf hole	C																									
Health and Recreation Center	1 per 200 sf	C						C	C	C	C					C	C					R	R	R	R		
Membership Organization	1 per 4 persons of max. capacity								C	C	C	C	R	R	R	L	L					R	R	R	R		
Movie Theater	1 per 4 seats									L	L												L	L	L		
Performance Venue	1 per 4 seats	C							R	R	R	R	R	R	R	R	R						R	R	R		
Stadium [7]	1 per 6 seats	C							C							C	C	C									
Studio, Instruction	1 per 300 sf								R	R	R	R	R	R	R	R	R	R					R	R	R		
Studio, Production	1 per 500 sf								R	R	R	R	R	R	R	R	R	R					R	R	R		
Eating and Drinking Establishments																											
Brewpub	1 per 150 sf G-2, CO, CY, CK, CN, T4-NX, T5-VC 1 per 900 sf								C	L	L	L	C	L	L	L	L					L	L	L	L		
Mobile Food Unit	Per Section 302.D.2	C				C			C	L-P	L-P	L-P	C	L-P	L-P	L-P	L-P	L-P				L-P	C	L-P	L-P		
Restaurant/Tavern	1 per 150 sf G-2, CO, CY, CK, CN, T4-NX, T5-VC 1 per 900 sf								C	L	L	L	C	L	L	L	L	C				L	L	L	L		
Restaurant, Drive-Through	1 per 150 sf															L	L								C		
Restaurant, Take-Out	4+(1 per 100 sf >400 sf) G-2, CO, CY, CK, CN, T4-NX, T5-VC n/a								C	L	L	L		L	L	L	L	C				L	L	L	L		

Table 300-1. Permitted Use Matrix — Principal Uses (continued)

Use Category		Zone Districts																	TND Transects								
Specific Use	Required Parking [1 2] (spaces)	OR	RE	RN	RO	RR	MH	MF	G-1	G-2	CO	CY	CK-1	CK-2	CN	CC	CS	I	T2-NE	T3-NG1	T3-NG2	T4-NX	T4-NC	T5-VC	T5-TC	SD-1	SD-2
Commercial Use Classification (continued)																											
Lodging																											
Bed and Breakfast	1 per guestroom		C	C	C				C			L	L	L	L				L	L	L						
Hostel	1 per 4 beds					L			L	C	C	L	C	L	L								C		L		
Hotel	1 per guestroom																										
	RR-1 *Underground parking:* 0.75 per guestroom					C			C	R	C	C		C	C	C	C						C		R		
	RR-2, G *Underground parking:* 0.5 per guestroom																										
Short-Term Rental																											
Mobile Vending	n/a	L	L	L	L	L	L	L	C	C	C	C	C	C	C	C	C	L	L	L	L	L	L	L	L	L	L
Office																											
Office, General	1 per 300 sf																										
	G-2, CO, CY, CK, CN, T4-NX, T5-VC 1 per 900 sf								C	L	L	R	R	R	R	R	R	C				R	R	R	R		
Office, Medical/Dental	1 per 200 sf																										
	G-2, CO, CY, CK, CN, T4-NX T5-VC 1 per 900 sf								C	C	L	L	R	R	R	R	R					R	R	R	R		

Table 300-1. Permitted Use Matrix — Principal Uses (continued)

Use Category		Zone Districts																	TND Transects								
Specific Use	Required Parking [1 2] (spaces)	OR	RE	RN	RO	RR	MH	MF	G-1	G-2	CO	CY	CK-1	CK-2	CN	CC	CS	I	T2-NE	T3-NG1	T3-NG2	T4-NX	T4-NC	T5-VC	T5-TC	SD-1	SD-2
Commercial Use Classification (continued)																											
Retail Sales and Service (Non-Vehicle/Equipment Related)																											
Animal Sales and Service	1 per 200 sf											C	C	L-P	L-P	L-P	L-P						L-P	L-P	L-P	L-P	
Animal Hospital	1 per 200 sf															C	C	L-P					C		C	L-P	
Animal Kennel	1 per 700 sf																L-P	L-P						L-P	L-P	L-P	
Bank	1 per 250 sf								C	C	L					R	R						L	L	R		
Funeral Home	1 per 50 sf of assembly area															R	R	R					C		C		
Marijuana Primary Caregiver, Medical		L-P	L-P	L-P	L-P	L-P	L-P	L-P	L-P	L-P	L-P	L-P	L-P	L-P	L-P	C	C	C	L-P	L-P	L-P	C	C	C	C	C	
Marijuana Store	1 per 300 sf								L-P	L-P	L-P	L-P	L-P	L-P		L-P	L-P	L-P						C			
Grocery Store/Market	1 per 300 sf								C	R	R	C	C	C	C	R	R						R	L	R	R	
Large-Format Retail (≤40,000 sf)	1 per 300 sf															C [4]	C [4]						R		R	R	
Large-Format Retail (>40,000 sf)	3 per 1,000 sf																						C [5]		C [5]	R	
Neighborhood Store/Market	1 per 500 sf			L-P	L-P	C			C			L-P	C	L-P	L-P							L	L-P	L	L-P	L	
Retail/Service, Building Supplies	1 per 500 sf																L [6]	L [6]							L [6]	L [6]	
Retail/Service, General Indoor (<3,001 sf)	1 per 300 sf G-2, CO, CY, CK, CN, T4-NX, T5-VC 1 per 900 sf								C	R	R	R	R	R	R	R	R					R	R	R	R	R	
Retail/Service, General Indoor (3,001-8,000 sf)	1 per 300 sf G-2, CO, CY, CK, CN, T4-NX, T5-VC 1 per 900 sf								C	R	R	C	C	C	C	R	R						R	R	R	R	
Retail/Service, General Indoor (8,001-12,000 sf)	1 per 300 sf G-2, CO, CY, CK, CN, T4-NX, T5-VC 1 per 900 sf									C						C	C	C					C	R	R	R	
Retail/Service, Outdoor	1 per 600 sf of display area	C							C	C	C	C	C	C	C	L	L	C					C		L	C	

Table 300-1. Permitted Use Matrix — Principal Uses (continued)

Use Category		Zone Districts																	TND Transects								
Specific Use	Required Parking [1 2] (spaces)	OR	RE	RN	RO	RR	MH	MF	G-1	G-2	CO	CY	CK-1	CK-2	CN	CC	CS	I	T2-NE	T3-NG1	T3-NG2	T4-NX	T4-NC	T5-VC	T5-TC	SD-1	SD-2
Commercial Use Classification (continued)																											
Vehicle/Equipment Sales, Service, Rental, and Repair																											
Automobile Filling Station	3 per fueling station										C					L	L	L					C	C	C		
Automobile Service, Heavy	3 per service bay															C	L-P	L-P								L-P	
Automobile Service, Light	3 per service bay															C	L-P	L-P					L-P	L-P	L-P	L-P	
Automobile Rental	1 per 400 sf								C	C						C	L-P	C							C		
Automobile Sales	1 per 300 sf of indoor sales area																C	C							C		
Automobile Wash	2															L	L	C					C	C	C	C	
Electric Vehicle Charging Station	n/a	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	
Heavy Vehicle/Equipment Sales, Rental, and Service	1 per 500 sf of indoor sales area																C	R									
Vehicle Parking																											
Parking Structure	n/a					C			C	C	C	C	C	C	C	C	C						C	C	C		
Surface Lot	n/a					C			C	C	C	C	C	C	C	C	C					L	C	L	C		
Work/Live, Commercial	2+(1 per 300 sf of work area)																										
	CO, CY, CK, CN 2+(1 per 900 sf of work area)										L-P	L-P	L-P	L-P	L-P	L-P	L-P					R	R	R	R		
Industrial Use Classification																											
Food and Beverage Processing and Manufacturing																											
Alcoholic Beverage Production Facility, Large	1 per 700 sf																L	L									
Alcoholic Beverage Production Facility, Small	1 per 700 sf										L-P	L-P				L-P	L-P	L					L-P		L-P		
Commissary Kitchen	1 per 300 sf													R	R	R	R	R						R			
Food Processing Facility, Large	1 per 500 sf																C	R									
Food Processing Facility, Small	1 per 350 sf													L-P	L-P	L	L	R						L			
Meat Processing Facility	1 per 500 sf																	C								C	

Table 300-1. Permitted Use Matrix — Principal Uses (continued)

Use Category		Zone Districts																	TND Transects								
Specific Use	Required Parking [1 2] (spaces)	OR	RE	RN	RO	RR	MH	MF	G-1	G-2	CO	CY	CK-1	CK-2	CN	CC	CS	I	T2-NE	T3-NG1	T3-NG2	T4-NX	T4-NC	T5-VC	T5-TC	SD-1	SD-2
Industrial Use Classification (continued)																											
Industrial Services																											
Contractor Shop [8]	2 per 3 employees																R	R									
Contractor Equipment/ Materials Yard [8]	2 per 3 employees																C	L-P									
Crematorium	2 per 3 employees															L	L	L									
Marijuana Testing Facility	1 per 500 sf															C	C	C									
Taxidermy	1 per 500 sf																L	L									
Manufacturing and Production																											
Batching Plant, Asphalt or Concrete	2 per 3 employees																	L-P								C	
Craft Manufacturing	1 per 500 sf										L-P	L-P	L-P	L-P	L-P	L-P	L-P	R					L-P	L-P	L-P	L-P	
Industrial, Heavy	1 per 500 sf																	C								C	
Industrial, Light	1 per 500 sf																	L					C	C	C	L	
Marijuana-Infused Products Manufacturing	1 per 500 sf															C	C	C									
Mining	2 per 3 employees																	C									
Transportation																											
Airport																		C									
Freight Terminal	1 per 700 sf																	R									
Transit Service Facility	1 per 700 sf																	R								R	
Waste-Related Services																											
Automobile/Equipment Yard [8]	2 per 3 employees																	C									
Hazardous Material Facility [8]	2 per 3 employees																	C									
Recycling Collection Facility [8]	4+(2 per 3 employees)												C	C	C	L-P	L-P	L-P						C	C	C	
Recycling Processing Facility	2 per 3 employees																C	C							C	C	
Waste Collection Facility	2 per 3 employees																	C								C	

Table 300-1. Permitted Use Matrix — Principal Uses (continued)

Use Category		Zone Districts																	TND Transects								
Specific Use	Required Parking [1 2] (spaces)	OR	RE	RN	RO	RR	MH	MF	G-1	G-2	CO	CY	CK- 1	CK- 2	CN	CC	CS	I	T2-NE	T3-NG1	T3-NG2	T4-NX	T4-NC	T5-VC	T5-TC	SD-1	SD-2
Industrial Use Classification (continued)																											
Wholesale, Storage, Warehouse, and Distribution																											
Outdoor Storage Yard [8]	2 per 3 employees															C	C	L-P								L-P	
Self-Service Storage Facility, Outdoor [8]	5+(1 per 20 units >100)															C	C	L-P								L-P	
Self-Service Storage Facility, Indoor [8]	5+(1 per 20 units >100) G-2 n/a									C						C	C	C								C	
Vehicle Towing Service and Storage Yard [8]	2 per 3 employees																C	L-P									
Warehouse [8]	1 per 800 sf																C	R								R	
Wholesale Facility [8]	1 per 700 sf																C	R									
Work/Live, Industrial	2+(1 per 900 sf of work area)																	L-P				R	R	R	R		
Civic, Public, and Institutional Use Classification																											
Assembly																											
Amenity Space/Structure		R	C	C		R	R	R	R	R	C	C	C	C	C	C				R	R	R	R	R	R	R	R
Religious Assembly	1 per 4 seats		C	C	C	C	C	C			C	C	R	R	R	C	C			C	R	R	R	R	R	R	R
Community/Public Services																											
Child Care Center, Large	1 per employee+1 per 6 children	C	C	C	C	C		C	C	C	C	C	C	C	C	C	C			C	C	L	L	L	L	L	L
Child Care Center, Small	1 per employee+1 per 6 children	C	C	L	L	L	L	L	C		C	L	L	L	L	L	C		L	L	L	L	L	L	L	L	L
Community Center	1 per 300 sf	C			C	C				C	C	C	C	C	C	C	C			C	R	R	R	R	R	R	R
Hospital	1 per 2 beds+parking for medical offices															C	C						C		C		C
Institutional		C	C			C					C					C	C	C				R	C	R	C	C	R
Public Safety Facility	1 per 300 sf	C	C	C	C	C	C	C	C		C	C				C	C	C			C	R	C	R	C	C	R

Table 300-1. Permitted Use Matrix — Principal Uses (continued)

Use Category		Zone Districts																	TND Transects								
Specific Use	Required Parking [1 2] (spaces)	OR	RE	RN	RO	RR	MH	MF	G-1	G-2	CO	CY	CK-1	CK-2	CN	CC	CS	I	T2-NE	T3-NG1	T3-NG2	T4-NX	T4-NC	T5-VC	T5-TC	SD-1	SD-2
Civic, Public, and Institutional Use Classification (continued)																											
Cultural/Special Purpose, Parks, and Open Space																											
Cemetery	n/a	C	C																								
Library	1 per 200 sf	C								C	C	C	C	C	C	C	C	C				R	R	R	R		R
Museum	1 per 200 sf	C				C			C	C	R	R	R	R	R	R						R	R	R	R		R
Open Space - Conservation [8]	n/a	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R
Park, Community	5 per acre	R	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	R	R	R	R	R	R		R	R
Park, Neighborhood	3+(2 per acre >2 acres)	R	R	R	R	R	R	R	R	R		R	R	R	R	R	R	C	R	R	R	R		R		R	R
Park, Pocket	n/a	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R
Plaza	n/a						R	R	R	R	R	R	R	R	R	R	R	R				R	R	R	R	R	R
Sports Complex	1 per 4 seats	C																				C		C			C
Education																											
College/University	1 per 600 sf	R									C	C	C	C	C	C							C	C	C	C	C
Elementary/Secondary School	*K-8 grade:* 2 per classroom *9-12 grade:* 5 per classroom	R	C	C	C			C			C	C	C	C	C	C					C	R	C	R	C	C	R
Vocational/Professional School	1 per 600 sf																C	R						C		R	R
Public Transportation																											
Transit Station		C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C		C	C	C	C	C
Transit Stop	n/a	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R
Utilities																											
Infrastructure, Above Ground[8]	n/a	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C
Infrastructure, Underground [8]	n/a	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R
Telecommunication Facility–Alternative Support Structure	n/a	L-P	L-P	L-P	L-P	L-P	L-P	L-P	L-P	L-P	L-P	L-P	L-P	L-P	L-P	L-P	L-P	L-P	L-P	L-P	L-P	L-P	L-P	L-P	L-P	L-P	L-P
Telecommunication Facility–Co-Located	n/a	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L

Table 300-1. Permitted Use Matrix — Principal Uses (continued)

Use Category / Specific Use	Required Parking [1 2] (spaces)	Zone Districts																	TND Transects								
		OR	RE	RN	RO	RR	MH	MF	G-1	G-2	CO	CY	CK-1	CK-2	CN	CC	CS	I	T2-NE	T3-NG1	T3-NG2	T4-NX	T4-NC	T5-VC	T5-TC	SD-1	SD-2
Civic, Public, and Institutional Use Classification (continued)																											
Utilities (continued)																											
Telecommunication Facility–Stealth Design Structure	n/a	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C
Telecommunication Facility–Tower	n/a	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C
Telecommunication Facility–Small Cell	n/a	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	C
Utility Facility, Major	n/a	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C
Utility Facility, Minor	n/a															C	C	L								L	L
Agricultural and Cultivation Use Classification																											
Agricultural and Cultivation																											
Agriculture	n/a	L	L																L								
Agriculture, Indoor		L	L														L	L	L								
Community Garden	1 per 4 garden plots	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	
Keeping of Farm Animals	n/a	L	L																								
Marijuana Cultivation, Medical/Retail	2 per 3 employees															C	C	C									
Marijuana Cultivation, Private	n/a CC, CS, I 1 per responsible party	L-P	L-P	L-P	L-P	L-P	L-P	L-P	L-P	L-P	L-P	L-P	L-P	L-P	L-P	C	C	C	L-P	L-P	L-P	C	C	C	C	C	
Plant Nursery/ Greenhouse												L	L	L	L	L	L	L				L	L	L	L		

[1] Parking standards contained in the Permitted Use Matrix are minimum requirements except in the CY-1, CC, and CS zone districts. In the CC and CS zone districts, parking standards for commercial uses are maximum requirements unless a parking study demonstrates additional parking is necessary to serve the use. In the CY-1 zone district, parking requirements are waived for all uses except one-family residential, two-family residential, and their accessory uses. Refer to Section 406 for additional off-street parking standards, credits, and reductions.
[2] sf=square feet net floor area; du=dwelling unit; bds=bedrooms per unit
[3] Parking standards for deed restricted affordable housing shall be reduced to one space per dwelling unit.
[4] In CC and CS zone districts, large-format retail 40,000 square feet or less shall only be permitted through the Planned Unit Development process.
[5] Large-format retail greater than 40,000 square feet shall only be permitted in the Large-Format Retail overlay zone.
[6] Building supplies retail/service uses over 12,000 square feet shall be classified and permitted as large-format retail uses.
[7] For properties that are within Subzone B of the AO zone, this use is prohibited.
[8] For properties that are within Subzone D of the AO zone, this use is permitted. Uses not specifically identified as permitted are prohibited. Refer to Section 237 for AO zone standards.

Table 300-2. Permitted Use Matrix — Accessory Uses

Use Category		Zone Districts																	TND Transects								
Specific Use [3]	Required Parking [1 2] (spaces)	OR	RE	RN	RO	RR	MH	MF	G-1	G-2	CO	CO	CK-1	CK-2	CN	CC	CS	I	T2-NE	T3-NG1	T3-NG2	T4-NX	T4-NC	T5-VC	T5-TC	SD-1	SD-2
Accessory Uses [3 4]	n/a	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L
Accessory to All Uses																											
Accessory Antenna	n/a	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L
Keeping of Chickens/Ducks	n/a	L	L	L	L	L-P	L-P	L-P					L-P	L-P	L-P	L-P	L-P	L-P	L	L	L	L-P	L-P	L-P	L-P	L-P	L-P
Keeping of Domestic Animals	n/a	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R
Marijuana Cultivation, Accessory Private	n/a	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L
Minor Utility Structures	n/a	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R
Solar Energy System, Accessory	n/a	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R
Accessory to Residential Uses																											
Day Care Home	2		R	R	R	C	R	C				R	R	R	R				R	R	R	R	R	R	R		
Home Occupation	1+(1 per nonresident employee)		L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L		
Hosted Short-Term Rental [5]		L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L		L		L	L	L
Keeping of Goats	n/a	L	L	L	L	L		L											L	L	L	L	L	L			
Secondary Unit	1 per du		L-P	L-P	L-P	C		L-P				L-P	L-P	L-P	L-P				L-P	L-P	L-P	L-P	L-P	L-P			
Accessory to Nonresidential Uses																											
Outdoor Display [4]									L	L	L	L		L	L	L	L	L				L	L	L	L	L	L
Outdoor Seating									R	R	R	R	C	R	R	R	R	R				R	R	R	R	R	R
Outdoor Storage, Accessory [4]								L-P	L-P	L-P	L-P	L-P	L-P	L-P	L-P	L-P	L-P	L-P						L-P	L-P	L-P	L-P
Tasting/Tap Room	1 per 150 sf																										
	G-2, CO, CY, CK, T4-NX, T5-VC 1 per 900 sf										L	L				L	L	L					L	L	L		

[1] Parking standards contained in the Permitted Use Matrix are minimum requirements except in the CY-1, CC, and CS zone districts. In the CC and CS zone districts, parking standards for commercial uses are maximum requirements unless a parking study demonstrates additional parking is necessary to serve the use. In the CY-1 zone district, parking requirements are waived for all uses except one-family residential, two-family residential, and their accessory uses. Refer to Section 406 for additional off-street parking standards, credits, and reductions.
[2] sf=square feet net floor area
[3] Accessory uses that are not specifically listed in Table 300-2 are subject to the general standards for accessory uses in Section 306.B. Accessory uses specifically listed in Table 300-2 shall be permitted as indicated in the Table and subject to the applicable standards in Section 306.C, Section 306.D, and Section 306.E.
[4] For properties that are within Subzone D of the AO zone, this use is permitted. Refer to Section 237 for AO zone standards.
[5] Per Section 238 STR Overlay zone.

Table 300-3. Permitted Use Matrix — Temporary Uses

Use Category		Zone Districts																	TND Transects								
Specific Use [3]	Required Parking [1 2] CK- CK- (spaces)	OR	RE	RN	RO	RR	MH	MF	G-1	G-2	CO	CY	CK-1	CK-2	CN	CC	CS	I	T2-NE	T3-NG1	T3-NG2	T4-NX	T4-NC	T5-VC	T5-TC	SD-1	SD-2
Temporary Uses [3]	n/a	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C
Construction Trailer	n/a	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L
Farmers' Market	n/a								R	R	R	R	R	R	R							R	R	R	R	R	R
Garage Sale	n/a	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R			
Keeping of Goats, Temporary	n/a	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R
Real Estate Sales Office, Temporary On-Site	n/a	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L	L
Real Estate Sales Trailer	3		L	L		L	L	L	L	L		C	C	C	C	L	L	L	L	L	L	L	L	L	L	L	L
Seasonal Outdoor Sales	n/a										L-P	L-P		L-P	L-P	L-P	L-P					L-P		L-P		L-P	
Temporary Event	per Limited Use Permit	L-P				L-P			L-P	L-P	L-P	L-P	L-P	L-P	L-P	L-P	L-P	L-P				L-P	L-P	L-P	L-P	L-P	L-P

[1] Parking standards contained in the Permitted Use Matrix are minimum requirements except in the CY-1, CC, and CS zone districts. In the CC and CS zone districts, parking standards for commercial uses are maximum requirements unless a parking study demonstrates additional parking is necessary to serve the use. In the CY-1 zone district, parking requirements are waived for all uses except one-family residential, two-family residential, and their accessory uses. Refer to Section 406 for additional off-street parking standards, credits, and reductions.

[2] sf=square feet net floor area

[3] Temporary uses that are not specifically listed in Table 300-3 may be permitted as Conditional Uses in all zone districts. Temporary uses specifically listed in Table 300-3 shall be permitted as indicated in the Table and subject to the applicable standards in Section 307.

302.H Retail Sales and Service Category – Non-Vehicle/Equipment Related

Retail Sales and Service includes commercial uses for the retail sales of new or used products and the provision of services to individuals, households, and businesses.

4. Bank

An indoor institution where money is deposited, kept, lent or exchanged. Bank does not include pawn shops with money lending facilities.

Use Standards:

a. In G and CO zone districts and the T5-VC transect zone, banks shall not exceed 3,000 square feet gross floor area.

b. In G and CO zone districts and T4-NC and T5-VC transect zones, banks shall not include drive-up and drive-through facilities.

8. Retail/Service

An establishment for the retail sale of new or used goods or retail provision of consumer, personal, business, repair, or rental services.

8.1 Grocery Store/Market

An indoor retail establishment primarily for the sale of raw, processed, and packaged food for off-site consumption. A grocery store/market may also sell convenience and household goods and offer accessory consumer, repair, or rental services.

Use Standard:

a. In the T5-VC transect zone, grocery store/market shall not exceed 20,000 square feet net floor area.

303.B Food and Beverage Processing and Manufacturing Category

Food and Beverage Processing and Manufacturing includes uses engaged in the production of prepared food and beverage items for off-site sale and consumption by others.

3. Food Processing Facility

A facility for the preparation, processing, canning, or packaging of food or non-alcoholic beverage products for sale or distribution to wholesale or retail establishments.

Use Standards:

a. In CK-2 and CN zone districts and the T5-VC transect zone, food processing facilities shall include accessory retail sales or a tasting/tap room.

b. Adverse impacts of any baking or coffee roasting shall be minimized in accordance with Section 410.

3.1 Food Processing Facility, Large

A food processing facility that is greater than 3,500 square feet of net floor area.

3.2 Food Processing Facility, Small

A food processing facility that is 3,500 square feet or less of net floor area.

306.C Uses Accessory to All Uses

2. Keeping of Chickens/Ducks

The keeping of chickens or ducks for non-commercial purposes.

Use Standards:

a. A maximum of five hens are permitted per lot or contiguous lots under common ownership. Roosters and drakes are prohibited. Additional hens may be permitted by the Planning Director upon a finding that the applicant has demonstrated the need for additional hens, and that the additional hens will not result in any adverse impacts.

b. Chickens and ducks shall be kept in a secure coop at all times, except when under direct supervision.

c. Coops shall comply with minimum principal structure setbacks.

d. Coops shall be kept in a neat and sanitary condition at all times, and they must be cleaned on a regular basis to prevent offensive odors and attraction of pests.

e. Feed shall be stored in a bear-proof container if located outdoors.

f. In RR, MH, MF, CK, CN, CC, and CS zone districts and T4-NX, T4-NC, T5-TC, T5-VC, SD-1, and SD-2 transect zones, proof of consent is required from any applicable owners' or neighborhood associations.

PART 3 Amend CDC Article 4, Sections 406.B, 423, 424, 425, 435.B, and 436.B as follows:

406 OFF-STREET PARKING

406.A Purpose

1. Prevent a shortage of vehicular parking areas.
2. Require parking areas to be designed, operated, and maintained in a manner that ensures their usefulness, prevents congestion, and protects public safety.
3. Encourage multi-modal transportation.

406.B Applicability

1. Off-street parking standards shall apply to all land use and development in all zone districts unless specifically exempted by this CDC.
2. Nothing in this Section shall be interpreted to repeal any off-street parking regulation imposed pursuant to the Model Traffic Code.
3. Section 406.D and Section 406.E shall not apply to TND transect zones. Refer to Section 227 for parking reductions and alternative compliance in TND transect zones.

~~423 TND FRONTAGE TYPE STANDARDS~~RESERVED

~~423.A Purpose~~

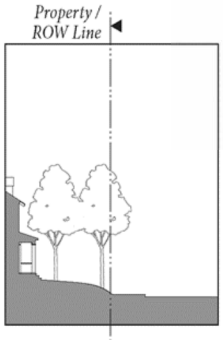
~~1. Define the physical form of the built environment within the TND zone district.~~

~~2. Create appropriate interaction between public and private spaces.~~

~~423.B Applicability~~

~~The TND frontage type standards apply to all development within the TND zone district as specified in the dimensional standards for the TND transect zones.~~

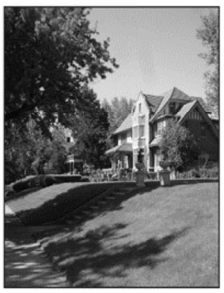
~~423.C Standards~~ ~~(See below and next page.)~~



~~Frontage Type~~

~~Common Yard~~

~~The main facade of the building has a large setback from the property line. The resulting front yard remains largely undefined and is visually continuous with adjacent yards, supporting a common landscape.~~



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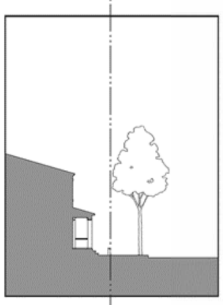
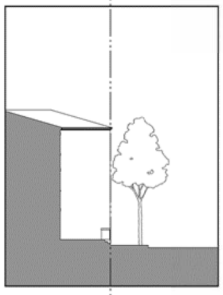


~~Porch~~

~~The main facade of the building may have a small setback from the property line. The resulting front yard may be small and may be defined or undefined by a fence or hedge to spatially maintain the edge of the street. The porch may encroach into the setback to the point that the porch extends to the limits of the encroachment area, but may not extend past the property line. The porch may be one or two stories and may contain enclosed living space on the second story. The porch must have a minimum clear depth of eight feet in order to ensure usability.~~

-



~~Forecourt~~

~~A portion of the main facade of the building is at or near the property line and a small percentage is set back, creating a small court space. The space could be used as an entry court or shared garden space for apartment buildings, or as an additional shopping or restaurant seating area within commercial areas. A short wall, hedge, or fence may be placed along the build to line where it is not defined by a building. The proportions and orientation of these spaces could be carefully considered for solar orientation, protection from prevailing winds, and user comfort, with a minimum width or depth of 12 feet. This frontage type should be used sparingly along a frontage.~~

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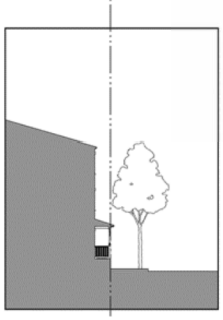
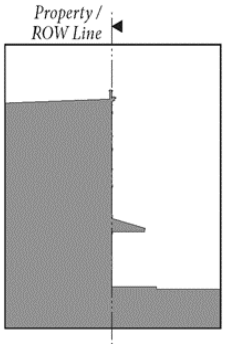


~~Stoop~~

~~The main facade of the building is near the property line and the elevated stoop engages the sidewalk. The stoop should be elevated above the sidewalk to ensure privacy within the building. Stairs from the stoop may lead directly to the sidewalk or may be side loaded. The minimum width and depth of the stoop should be four feet clear. The entry door must be covered or recessed to provide shelter from the elements. Stoops may only be one story in height. This type is appropriate for residential uses with small setbacks.~~



~~Frontage Type (continued)~~

~~Shopfront~~

~~The main facade of the building is at or near the property line and a canopy or awning element overlaps the sidewalk along the majority of the frontage. The canopy is a structural, cantilevered, shed roof, and the awning is canvas or a similar material and is often retractable. The covering is at least four feet from the building to provide adequate protection for pedestrians and may extend up to ten feet from the face of the building. This frontage type is only appropriate for spaces that have, or are designed to accommodate, retail and commercial uses because of the lack of a raised ground story.~~

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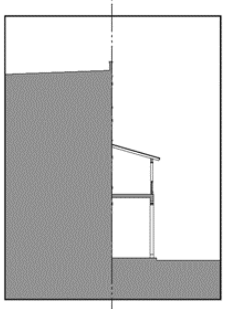

~~Gallery~~

~~The main facade of the building is at the property line, and the gallery element overlaps the sidewalk. This frontage type is intended for buildings with ground floor commercial or retail uses and may be one or two stories. The gallery must extend close enough to the curb so that the pedestrian cannot pass it. Due to the overlap of the right of way, an easement is usually required. The gallery must have a minimum depth of ten feet and a minimum clear height of nine feet to ensure usability. Galleries must have a consistent depth along a frontage. Upper story galleries facing the street must not be used to meet primary circulation requirements.~~

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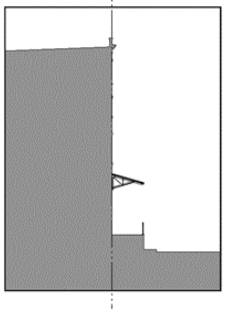


~~Loading Dock~~

~~The main facade of the building is at or near the property line and an elevated platform overlaps the sidewalk. The loading dock must provide adequate sidewalk space below to accommodate pedestrian passage and snow storage requirements. Stairs may be inset or extend down at the end of the loading dock. This frontage type is intended for residential, work/live, and retail uses and may be used as additional restaurant seating. It must have a minimum depth of six feet clear and a finished floor level of 18 inches minimum and four feet maximum to ensure usability.~~

~~424 TND BUILDING TYPE STANDARDS~~RESERVED

~~424.A Purpose~~

~~Define the physical form of the built environment within the TND zone district.~~

~~424.B Applicability~~

~~The TND building type standards apply to all development within the TND zone district as specified in the dimensional standards for the TND transect zones. In circumstances where standards contained in this Section are in conflict with any standards contained elsewhere in Article 4, the standards in this Section shall apply.~~

~~424.C General Standards~~

1. ~~Lots shall be developed according to the specific building type designated at the time of preliminary or final plat.~~
2. ~~Development within the TND zone district may require the inclusion of additional building types for specialized uses that are not explicitly described in this Section but that are still appropriate for the area. Additional building types are subject to review and approval by the Planning Director.~~

~~424.D Parking and Access Standards~~

1. ~~Nonresidential parking requirements may be met using on street spaces located adjacent to the lot. All on-street parking spaces located adjacent to the lot may count toward the required parking.~~
2. ~~Off site nonresidential parking spaces shall be located within 600 feet of the use they serve.~~
3. ~~No parking spaces are required for commercial uses under 500 square feet net floor area.~~
4. ~~Shared parking shall be allowed between land uses with different periods of peak parking and shall be allowed to satisfy 100 percent of the minimum parking requirement for each use, as long as documentation can be provided that the existing or anticipated land uses will have different periods of peak parking demand and the shared parking can accommodate the parking demand for both uses.~~
5. ~~Projects may propose lower minimum parking ratios than required if a parking study is provided that determined the feasibility of reduced parking through the use of effective parking management strategies, such as shared parking configurations, or the provision of alternative transportation resources.~~
6. ~~On lots with a rear lane or alley, all driveways shall be located on the rear lane or alley.~~
7. ~~On corner lots without a rear lane or alley, all driveways shall be located on the side street.~~
8. ~~Parking spaces may be accessed directly from the alley with adequate snow storage.~~
9. ~~Underground parking may be placed up to the property line.~~
10. ~~Underground parking must not be visible to pedestrians.~~
11. ~~Except for designated barrier free parking spaces, no parking spaces for any use shall be required to be individually accessible. Tandem, stacking, and valet parking shall be permitted.~~

~~424.E Multiple Family Residential Building Types~~

~~Refer to Section 424.H, Section 424.I, Section 424.J, Section 424.K, and Section 424.L for specific standards for the following multiple-family residential building types:~~

1. ~~Bungalow Court~~
2. ~~Rowhouse~~
3. ~~Triplex and Fourplex~~
4. ~~5-8 Units~~
5. ~~9+ Units~~

~~424.F Mixed Use Building Types~~

~~Refer to Section 424.M and Section 424.N for specific standards for the following mixed-use building types:~~

1. ~~Work/Live~~
2. ~~Commercial Block~~

~~424.G Special Building Types~~

~~Refer to Section 424.O and Section 424.P for specific standards for the following special building types:~~

1. ~~Limited Industrial~~
2. ~~Large Format Retail~~

~~424.H Bungalow Court~~ ~~(See below.)~~

~~Multiple-Family Residential: Bungalow Court~~

~~General Description~~
~~The bungalow court building type consists of a series of small single-family dwellings or duplexes that are arranged next to each other to form a shared court. Units along a street or public open space may front and be accessed from the street or public open space or the shared courtyard. All the other units front and are accessed from the shared courtyard that is connected to the public right-of-way. This building type may have attached or detached garages that are individually accessible by the units or common parking area located at the rear of the lot. This building enables the insertion of smaller units within a block composed of larger lot depths.~~

~~Building Intensity~~	
~~Lot Coverage~~	~~60% max.~~
~~Building Separation~~	~~10' min.~~
~~Access and Parking~~	
~~Primary Entrances~~	
~~The main entrance to units along the street or public open space shall be oriented to and accessed directly from the street or open space or from the common courtyard.~~	
~~The main entrance to all other units shall be oriented to and accessed directly from the common courtyard or public open space.~~	
~~Parking~~	
~~Residential parking shall be provided within individual or shared garages or surface lots and may be covered or uncovered.~~	
~~Individual garages may be attached as part of a secondary wing or detached as an accessory building.~~	

~~Massing and Composition~~		
~~Building Size~~		
~~Main Body~~	~~-~~	~~-~~
~~- Width~~	~~30' max.~~	~~-~~
~~- Height~~	~~28' max.~~	~~-~~
~~Accessory Structures [1]~~	~~-~~	~~-~~
~~- Width~~	~~26' max.~~	~~-~~
~~- Depth~~	~~26' max.~~	~~-~~
~~- Height~~	~~28' max.~~	~~-~~
~~Façade Composition~~		
~~The front facade of the units along a street or public open space shall face the street or public open space or common courtyard.~~		
~~Landscape and Open Space~~		
~~Size and Location~~		
~~Open space is provided in the form of a common courtyard; no private open space is required.~~		
~~- Courtyard Width~~	~~20' min.~~ [2]	~~-~~
~~- Courtyard Width to Building Height Ratio~~	~~1:1 min.~~	~~-~~
~~Miscellaneous~~		
~~Landscaping shall not be used to separate a front yard from yards on adjacent parcels.~~		
~~Common courtyards shall be landscaped to provide:~~		
~~- Foundation/lawn plantings of drought-tolerant turf, ground covers, and shrubs.~~		
~~- 1 ornamental or flowering tree per 200 sf~~		

~~[1] Accessory structures must allow for 4' clear minimum walk between the accessory structure and the property line.~~
~~[2] Courtyard width and building face to building face dimensions may be increased to accommodate required utility easements.~~

~~424.I Rowhouse (See below.)~~

~~Multiple-Family Residential: Rowhouse~~

~~General Description~~
~~The row house building type consists of 3-6 attached units that form one building mass. Each unit has its own individual entry and alleys in the rear of the lots provide vehicular access to the garages. This building type may only be rear loaded and garages may be attached, detached, or tuck under. This building type provides a higher density unit in a more urban form found in or near neighborhood centers.~~

~~Building Intensity~~	
~~Lot Coverage~~	~~80% max.~~
~~Building Separation~~	~~10' min.~~
~~Access and Parking~~	
~~Primary Entrances~~	
~~The main entrance to each unit shall be oriented to and accessed directly from the street or public open space.~~	
~~Parking~~	
~~Residential parking shall be provided within individual or shared garages or surface lots and may be covered or uncovered.~~	
~~Individual garages may be attached as part of a secondary wing (tuck under parking) or detached as an accessory building.~~	
~~Garages and services shall be accessed from the alley.~~	

~~Massing and Composition~~		
~~Building Size [a]~~		
~~Unit~~	~~-~~	~~-~~
~~- Width~~	~~30' max.~~	~~-~~
~~- Height~~	~~40' max.~~	~~-~~
~~Accessory Structures [a]~~	~~-~~	~~-~~
~~- Width~~	~~26' max.~~	~~-~~
~~- Depth~~	~~30' max.~~	~~-~~
~~- Height~~	~~28' max.~~	~~-~~
~~Façade Composition~~		
~~The facade shall be composed such that the individual units appear to be differentiated.~~		
~~Mansard roof forms are prohibited.~~		
~~Houses on corner lots shall have composed facades facing both streets.~~		
~~Landscape and Open Space~~		
~~Size~~		
~~No private open space is required.~~		
~~Location~~		
~~Any un-built portion of the site must have a 4' min. clear dimension in any direction.~~		
~~Miscellaneous~~		
~~Landscape or 2.5' to 3.5' high fence or stucco or masonry wall may be used to separate a front yard from front yards on adjacent parcels.~~		
~~Front yards shall be landscaped to provide:~~ ~~- Foundation plantings of drought tolerant ground covers and shrubs.~~ ~~- 1 ornamental or flowering tree per unit~~		

~~[a] Groups of rowhouses shall be between 3 and 6 attached units.~~
~~[a] Accessory structures must allow for 4' clear minimum walk between the accessory structure and the property line.~~

~~424.J Triplex and Fourplex~~ ~~(See below.)~~

~~Multiple-Family Residential: Triplex and Fourplex~~

~~General Description~~
~~The triplex and fourplex building type consists of structures that contain three or four dwelling units, respectively. This building type appears as a large single family dwelling from the street and may take the form of a mansion apartment. Each unit may have its own individual entry or share a common entry. Vehicular access to a common parking area is provided from the front or from a rear alley. Parking areas may be covered or uncovered. This building type enables the incorporation of a higher density, multiple-family dwelling into predominantly single-family character, or it provides a higher density multiple family dwelling type in a larger footprint building near a neighborhood center where ground floor commercial uses may not be appropriate.~~

~~Building Intensity~~	
~~Lot Coverage~~	~~90% max.~~
~~Building Separation~~	~~20' min.~~
~~Access and Parking~~	
~~Primary Entrances~~	
~~The main entrance to the building shall be oriented to and accessed directly from the street or public open space.~~	
~~Parking~~	
~~Residential parking shall be provided within individual or shared garages or surface lots and may be covered or uncovered.~~	
~~Garages may be located within the building (structured or tuck-under parking) or detached as an accessory building.~~	
~~Garages and services shall be accessed from the alley where an alley is present.~~	

~~Massing and Composition~~		
~~Building Size~~		
~~Main Body~~	~~-~~	~~-~~
~~- Width~~	~~60' max.~~	~~-~~
~~- Height~~	~~40' max.~~	~~-~~
~~Accessory Structures~~	~~-~~	~~-~~
~~- Depth~~	~~30' max.~~	~~-~~
~~- Height~~	~~28' max.~~	~~-~~
~~Façade Composition~~		
~~Massing and use of exterior materials and architectural elements shall be arranged to give each building the appearance of a large single family dwelling.~~		
~~Mansard roof forms are prohibited.~~		
~~Buildings on corner lots shall have composed facades facing both streets.~~		
~~Landscape and Open Space~~		
~~Size~~		
~~No private open space is required.~~		
~~Location~~		
~~Any un-built portion of the site must have a 4' min. clear dimension in any direction.~~		
~~Miscellaneous~~		
~~Front yards shall be landscaped to provide:~~		
~~- Foundation plantings of drought tolerant ground covers and shrubs.~~		
~~- 1 ornamental or flowering tree per 50'~~		

~~424.K – 5-8 Units~~ ~~(See below.)~~

~~Multiple-Family Residential: 5-8 Units~~

~~General Description~~
~~The 5-8 unit building type consists of buildings containing five to eight dwelling units. This building type is only appropriate for corner lots where a rear wing is able to front on a side street and it may take the form of a mansion apartment. The units typically share a common entry accessed from the street or side yard. Vehicular access to a common parking area is provided from the front or from a rear alley. Parking areas may be covered, uncovered, or provided within the building massing as tuck-under or structured parking. This building type enables the incorporation of a high-density, multiple family building into predominantly single family neighborhoods with minimal impact to the single family character, or it provides a higher density multiple family dwelling type in a larger footprint building near a neighborhood center where ground floor commercial uses may not be appropriate.~~

~~Building Intensity~~	
~~Lot Coverage~~	~~90% max.~~
~~Building Separation~~	~~20' min.~~
~~Access and Parking~~	
~~Primary Entrances~~	
~~The main entrance to the building shall be oriented to and accessed directly from the street or public open space.~~	
~~Parking~~	
~~Residential parking shall be provided within individual or shared garages or surface lots and may be covered or uncovered.~~	
~~Garages may be located within the building (structured or tuck-under parking) or detached as an accessory building.~~	
~~Garages and services shall be accessed from the alley.~~	

~~Massing and Composition~~		
~~Building Size~~ [4]		
~~Main Body~~	~~-~~	~~-~~
~~- Width~~	~~60' max.~~	~~-~~
~~- Height~~	~~45' max.~~	~~-~~
~~Secondary Wings~~		
~~- Width~~	~~60' max.~~	~~-~~
~~- Depth~~	~~40' max.~~	~~-~~
~~- Height~~	~~40' max.~~	~~-~~
~~Accessory Structures~~	~~-~~	~~-~~
~~- Depth~~	~~30' max.~~	~~-~~
~~- Height~~	~~28' max.~~	~~-~~
~~Façade Composition~~		
~~Facades shall be articulated through the incorporation of appropriate regional architectural elements such as balconies, bay or box windows, insets or other relief in the wall plane, porches, dormers, variations in materials, or variations in roof forms.~~		
~~Mansard roof forms are prohibited.~~		
~~Buildings on corner lots shall have composed facades facing both streets.~~		
~~Landscape and Open Space~~		
~~Size~~		
~~No private open space is required.~~		
~~Location~~		
~~Any un-built portion of the building envelope shall have a 10' min. clear dimension in any direction.~~		
~~Miscellaneous~~		
~~Front yards shall be landscaped to provide:~~		
~~- Foundation plantings of drought tolerant ground covers and shrubs.~~		
~~- 1 ornamental or flowering tree per 50'~~		
~~[4] Only one principal building and one accessory building is permitted per lot.~~		

~~424.L 9+ Units (See below.)~~

~~Multiple-Family Residential: 9+ Units~~

~~General Description~~
~~The 9+ unit building type consists of buildings that contain nine or more dwelling units. The units typically share a common entry that is accessed from the street or a forecourt. Ground floor units may have individual entries that face onto the street. Vehicular access to a common parking area is provided from the front or from a rear alley. Parking areas may be covered, uncovered, or provided within the building massing as tuck-under or structured parking. This building type enables the incorporation of a higher density, multiple-family building within a more urban context consisting of larger buildings and larger lots. It provides a higher density multiple family dwelling type in a larger footprint near a neighborhood center where ground floor commercial uses may not be appropriate.~~

~~Building Intensity~~	
~~Lot Coverage~~	~~90% max.~~
~~Access and Parking~~	
~~Primary Entrances~~	
~~The main entrance to the building shall be oriented to and accessed directly from the street or public open space or a forecourt along the street or public open space.~~	
~~Parking~~	
~~Residential parking shall be provided within individual or shared garages or surface lots and may be covered or uncovered.~~	
~~Garages may be located within the building (structured or tuck under parking) or detached as an accessory building.~~	
~~Surface parking shall be screened from the front or side street by a side wing or by a low wall and landscaping.~~	
~~Garages and services shall be accessed from the alley.~~	

~~Massing and Composition~~		
~~Building Size~~ ~~[illegible]~~		
~~Main Body~~	~~-~~	~~-~~
~~- Height~~	~~55' max.~~	~~-~~
~~Secondary Wing~~	~~-~~	~~-~~
~~- Height~~	~~45' max.~~	~~-~~
~~Accessory Structures~~	~~-~~	~~-~~
~~- Depth~~	~~30' max.~~	~~-~~
~~- Height~~	~~28' max.~~	~~-~~
~~Façade Composition~~		
~~Facades shall be articulated through the incorporation of appropriate regional architectural elements such as balconies, bay or box windows, insets or other relief in the wall plane, porches, dormers, variations in materials, or variations in roof forms.~~		
~~Mansard roof forms are prohibited.~~		
~~Buildings on corner lots shall have composed facades facing both streets.~~		
~~Landscape and Open Space~~		
~~Size~~		
~~No private open space is required.~~		
~~Location~~		
~~Any un-built portion of the site must have a 10' min. clear dimension in any direction.~~		
~~Miscellaneous~~		
~~Front yards shall be landscaped to provide:~~		
~~- Foundation plantings of drought-tolerant ground covers and shrubs.~~		
~~- 1 ornamental or flowering tree per 50'~~		
~~•Only one principal building and one accessory building is permitted per lot.~~ ~~• Any building massing wider than 75' shall be designed to read as a series of building massings no wider than 50' each.~~		

~~424.M Work/Live~~ ~~(See below.)~~

~~Mixed Use: Work/Live~~

~~General Description~~
~~The work/live building type consists of an integrated housing unit and working space within a row house form. Each mixed use unit has its own individual entries to both the housing unit and working space. Units may be configured with a zero lot line condition or with a small setback that creates a dooryard condition. Alleys in the rear of the lots provide vehicular access to the garages or parking area. The building type may only be rear loaded, and parking may be provided in individual garages or in a common parking area. Garages may be attached, detached, or tuck-under. This building type provides a higher density dwelling type in a more urban form that is also capable of providing ground floor commercial space found in neighborhood centers or town centers.~~

~~Building Intensity~~	
~~Lot Coverage~~	~~95% max.~~
~~Building Separation~~	~~15' min.~~
~~Access and Parking~~	
~~Primary Entrances~~	
~~The main entrance to the ground floor nonresidential or flex space shall be oriented to and accessed directly from the street.~~	
~~The upper floor dwelling unit may be accessed by a separate entrance and by a stairway.~~	
~~Parking~~	
~~Residential parking shall be provided within individual or shared garages or surface lots and may be covered or uncovered.~~	
~~Garages may be attached as a secondary wing (tuck-under parking) or detached as an accessory building.~~	
~~Garages and services shall be accessed from the alley.~~	

~~Massing and Composition~~		
~~Building Size~~ ~~[a]~~		
~~Main Body~~	~~-~~	~~-~~
~~- Width~~	~~30' max.~~	~~-~~
~~- Height~~	~~45' max.~~	~~-~~
~~Accessory Structures~~ ~~[b]~~		
~~- Width~~	~~26' max.~~	~~-~~
~~- Depth~~	~~30' max.~~	~~-~~
~~- Height~~	~~28' max.~~	~~-~~
~~Façade Composition~~		
~~The facade shall be composed such that the individual units appear to be differentiated.~~		
~~Facades on buildings that are 3 stories or more in height must be articulated to have a recognizable base, middle, and cap.~~		
~~Mansard roof forms are prohibited.~~		
~~Buildings on corner lots shall have composed facades and storefronts facing both streets.~~		
~~A minimum 40% of the total area of the ground floor front façade shall consist of windows and transparent entrances.~~		
~~Landscape and Open Space~~		
~~Size~~		
~~No private open space is required.~~		
~~Location~~		
~~Any un-built portion of the site shall have a 4' min. clear dimension in any direction.~~		
~~Miscellaneous~~		
~~2.5' to 3.5' high fence or stucco or masonry wall may be used at the edge of the sidewalk or setback from the street to create a dooryard within a front setback.~~		

~~[a] Groups of work/live units shall be between 3 and 6 attached units.~~

~~[b] Accessory structures must allow for 4' clear minimum walk between the accessory structure and the property line.~~

~~424.N Commercial Block~~ ~~(See below.)~~

~~Mixed Use: Commercial Block~~

~~General Description~~
~~The commercial block building type consists of a ground floor designed for occupancy by retail, service, or office uses, with upper floors configured for either commercial or residential uses. A common ground level entry that faces the street or side yard provides access to the upper floor uses or to a common courtyard onto which the upper floor uses face. Vehicular access to a common parking area is provided from the front or from a rear alley. Commercial parking is provided on street, in surface lots, or structured parking areas and may be located on site or off site. Residential parking areas may be covered, uncovered, or provided within the building massing as tuck under or structured parking. The building type provides the ground floor commercial space found in neighborhood centers or town centers along with additional upper level commercial space or higher density residential units.~~

~~Building Intensity~~	
~~Lot Coverage~~	~~100% max.~~
~~Access and Parking~~	
~~Primary Entrances~~	
~~The main entrance to the ground floor commercial space shall be oriented to and accessed directly from the street or paseo.~~	
~~Entrance to the residential portions of the building shall be through a street level lobby or through a podium lobby accessible from a street or through a side yard.~~	
~~Parking~~	
~~Residential parking shall be accommodated in an underground or aboveground garage, surface or tuck-under parking and may be covered or uncovered.~~	
~~Commercial parking shall be provided on street, in surface lots, or structured parking areas and may be located on site or off site.~~	
~~Dwellings have indirect access to their parking stalls.~~	

~~Massing and Composition~~		
~~Building Size~~		
~~Main Body~~	~~-~~	~~-~~
~~- Width~~	~~50' min.~~	~~-~~
~~- Height~~	~~55' max.~~	~~-~~
~~Façade Composition~~		
~~Facades on buildings that are 3 stories or more in height must be articulated to have a recognizable base, middle, and cap.~~		
~~A minimum 40% of the total area of the ground floor front façade along a public street shall consist of windows and transparent entrances.~~		
~~Flat roof forms are permitted if located behind a parapet.~~		
~~Mansard roof forms are prohibited.~~		
~~Buildings on corner lots shall have composed facades and storefronts facing both streets.~~		
~~Landscape and Open Space~~		
~~Size~~		
~~No private open space is required.~~		
~~If a courtyard or podium courtyard is provided:~~		
~~- Courtyard Minimum Dimension~~		~~-~~
~~- Long Axis runs East West~~	~~30' min.~~	~~-~~
~~- Long Axis runs North-South~~	~~20' min.~~	~~-~~
~~- Courtyard Width to Building Height Ratio~~	~~>1:1~~	~~-~~
~~Location~~		
~~Any un-built portion of the building envelope must have a 10' min. clear dimension in any direction.~~		
~~Miscellaneous~~		
~~Courtyards must integrate landscaping.~~		
~~-Buildings may be composed of a series of attached rectilinear forms or one dominant volume.~~ ~~- Any building massing wider than 80' shall be designed to read as a series of buildings no wider than 50' each.~~		

~~424.0 Limited Industrial~~ ~~(See below.)~~

~~Special: Limited Industrial~~

~~General Description~~
~~The limited industrial building type is designed to accommodate limited residential, light-industrial, commercial, and service-oriented uses in compatible configurations with nearby residential neighborhoods. They are designed to internalize potentially conflicting activities (e.g., machinery, unsightly storage, etc.) within courtyards that are largely screened from the street and enclosed warehouse structures.~~

~~Building Intensity~~	
~~Lot Coverage~~	~~70% max.~~
~~Building Separation~~	~~15' min.~~
~~Access and Parking~~	
~~Primary Entrances~~	
~~The main entrance to each ground floor nonresidential space shall be accessed directly from the street.~~	
~~Entrances to the upper floor uses shall be through a lobby accessed directly from the street.~~	
~~Parking~~	
~~Residential parking shall be provided within individual or shared garages or surface lots and may be covered or uncovered.~~	
~~Nonresidential parking is provided on street, in surface lots, or structured parking areas and may be located on-site or off site.~~	

~~Massing and Composition~~		
~~Building Size 1 2~~		
~~Main Body~~	~~-~~	~~-~~
~~- Width (as percent of lot width)~~	~~50% min.~~	~~-~~
~~- Height~~	~~40' max.~~	~~-~~
~~Façade Composition~~		
~~Mansard roof forms are prohibited.~~		
~~Landscape and Open Space~~		
~~Size~~		
~~No private open space is required.~~		
~~Location~~		
~~Any un-built portion of the building envelope shall have a 10' min. clear dimension in any direction.~~		
~~Miscellaneous~~		
~~Side yard trees shall be placed to partially screen views of parking areas from neighboring properties.~~		
~~·Buildings shall be composed of simple rectilinear forms.~~ ~~· Principal and accessory buildings shall be organized to form interior courtyards around parking areas, work spaces, and other open spaces.~~		

~~424.P – Large Format Retail~~ ~~(See below.)~~

~~Special: Large-Format Retail~~

~~General Description~~
~~The large-format retail building type is only permitted within the LFR overlay zone indicated on an approved Regulating Plan. The building type accommodates retail uses with large floor areas. It is often wrapped with a liner of a smaller footprint building, with doors and windows facing the street. This building type may be designed as a tall one story building, or it may include upper floors to accommodate additional commercial or residential uses. Commercial parking is provided in on site or off site surface or structural parking areas. Residential parking areas must be provided in secure and separate areas from commercial parking.~~

~~Building Intensity~~	
~~Lot Coverage~~	~~100% max.~~
~~Access and Parking~~	
~~Primary Entrances~~	
~~The main entrance to each ground floor commercial space shall be oriented to and accessed directly from the street or paseo.~~	
~~Entrance to any residential portions of the building shall be through a street level lobby or through a podium lobby accessible from a street or public open space or through a side yard.~~	
~~Parking~~	
~~Residential parking shall be accommodated in an underground or above grade garage, surface or tuck-under parking and may be covered or uncovered.~~	
~~Residential parking shall be provided in a secure and separate area from the commercial parking.~~	
~~Commercial parking is provided on street, in surface lots, or structured parking areas and may be located on site or off site.~~	
~~Dwellings may have indirect access to their parking stalls.~~	

~~Massing and Composition~~		
~~Building Size~~ ~~[illegible]~~		
~~Main Body~~	~~-~~	~~-~~
~~- Width (as percent of lot width)~~	~~75% min.~~	~~-~~
~~- Depth~~	~~60' min.~~	~~-~~
~~- Height~~	~~24' min.~~	~~-~~
~~- -~~	~~55' max.~~	~~-~~
~~Façade Composition~~		
~~Facades on buildings that are 3 stories or more in height must be articulated to have a recognizable base, middle, and cap.~~		
~~A minimum 40% of the total area of the ground floor front façade along a public street shall consist of windows and transparent entrances.~~		
~~Long, blank facades are prohibited.~~		
~~Flat roof forms are permitted if located behind a parapet.~~		
~~Mansard roof forms are prohibited.~~		
~~Buildings on corner lots shall have composed facades and storefronts facing both streets.~~		
~~Landscape and Open Space~~		
~~Size~~		
~~No private open space is required.~~		
~~If a courtyard is provided:~~		
~~- Courtyard Minimum Dimension~~		~~-~~
~~- Long Axis runs East West~~	~~30' min.~~	~~-~~
~~- Long Axis runs North-South~~	~~20' min.~~	~~-~~
~~- Courtyard Width to Building Height Ratio~~	~~>1:1~~	~~-~~
~~Location~~		
~~Any un-built portion of the building envelope must have a 10' min. clear dimension in any direction.~~		
~~Miscellaneous~~		
~~Courtyards must integrate landscaping or potted plants.~~		
~~- Buildings may be composed of one dominant volume.~~ ~~- Any building wider than 80' shall be designed to read as a series of buildings no wider than 50' each.~~		

~~425 TND HILLSIDE STRATEGIES~~RESERVED

~~425.A Purpose~~

~~1. Minimize overlot grading in subdivisions and developments.~~

~~2. Retain the unique character and gently rolling topography of development sites.~~

~~425.B Applicability~~

~~The TND hillside strategies apply to all development within the TND zone district.~~

~~425.C Uphill Lots~~

~~1. Lots that slope up from the street may utilize a deeper building setback or building to line than required by the applicable transect zone in order to set an acceptable and useable finish floor elevation.~~

~~2. Front yards may be designed to gently slope up to the building's frontage, or may retain up to four feet of topography with a low masonry wall set directly behind the right of way. See Figure 425-1.~~

~~3. On deeper lots, elevation of garages and other accessory structures shall be set at or near rear elevations, and rear yards shall be designed to step or terrace up to such structures. See Figure 425-1.~~

~~4. On shallower lots in applicable transect zones, allowed building types may utilize "tuck-under" configurations that place garage elevations up to one full story above primary living spaces.~~

~~425.D Downhill Lots~~

~~1. Lots that slope down from the street may utilize a shallower building setback or build to line and lower finish floor elevation than required by the applicable transect zone in order to set an acceptable and useable finish floor elevation. See Figure 425-2.~~

~~2. On deeper lots, elevation of garages and other accessory structures shall be set at or near rear elevations, and rear yards shall be designed to step or terrace down to such structures. See Figure 425-2.~~

~~3. Walk-out basements are strongly encouraged.~~

~~4. On shallower lots in applicable transect zones, allowed building types may utilize "tuck-under" configurations that place garage elevations up to one full story below primary living spaces.~~

~~425.E Cross Slope Lots~~

~~1. Lots with topography running parallel to the street and across lots shall utilize low retaining walls, typically set at side property lines, to transition elevations between lots. See Figure 425-3.~~

~~2. In narrow lot configurations, the lateral foundation wall of each house may be used to retain such topography.~~

DIVISION 2 | COMMUNITY DESIGN STANDARDS

435 ORGANIZATION OF STANDARDS

435.A Overall Purpose and Intent

1. **Purpose**
   The purpose of this Division is to:

   a. Define the desired scale and character of development within the city while not dictating any particular architectural style.

   b. Ensure development that contributes to the overall quality and livability of the community.

   c. Ensure a built environment that is comfortable, attractive, engaging.

   d. Recognize the community's unique western character and its role as the traditional regional center for business, entertainment, and recreation.

2. **Intent**
   The intent of this Division is to:

   a. Guide the desired scale and character of development within the City, regardless of architectural style, by focusing on urban design elements, including the placement, orientation, massing, scale, and materials of buildings.

   b. Recognize distinct differences in the traditional as well as the desired character of different areas of the City.

   c. Promote the construction of high quality buildings that will maintain their quality over time and that are functional and respectful of local climate conditions.

435.B Applicability

Community design standards in this Division apply to the following types of development and zone districts within the City. Specific applicability and purpose statements are provided within each Section.

1. Duplexes – All Districts except TND transect zones
2. Multiple-Family Residential Buildings – CC, CS, MF and CN Zone Districts
3. Commercial and Mixed Use Buildings – CC, CS, CN and MF Zone Districts
4. Entry Corridor (EC) Overlay Zone District
5. Base Area - RR and G Zone Districts
6. Commercial Old Town (CO) Zone District
7. Commercial Yampa-One (CY-1) Zone District (River frontage)
8. Commercial Yampa-Two (CY-2) Zone District
9. Commercial Oak (CK) Zone District

435.C Exemptions

Development approved by the Historic Preservation Commission in accordance with the Secretary of the Interior Standards shall be exempt from the Community Design Standards in this Division.

436 DUPLEX DESIGN STANDARDS

436.A Purpose

1. Mitigate the impact and predominance of residential garages facing public streets.
2. Avoid proliferation of repetitive, mirror-image duplexes by promoting architectural design variation.

436.B Applicability

These community design standards apply to all duplexes in all zone districts except TND transect zones.

PART 4 Amend CDC Article 6, Sections 602.A, 605, 606.D, 606.I, and 606.K as follows:

602.A Useable Lot Area

1. Lots shall have a minimum contiguous useable lot area equal to the maximum lot coverage (%) multiplied by the minimum lot area (square feet) of the applicable zone district.

   Minimum contiguous useable lot area = maximum lot coverage x minimum lot area

2. In RR-2, G-2, CC, CS, and I zone districts and T4-NX, T5-VC, T5-TC and SD-1 transect zones, where there is no minimum lot area standard, minimum contiguous useable lot area shall be equal to the maximum lot coverage (%) multiplied by the gross lot area (square feet) of the lot.

   Minimum contiguous useable lot area = maximum lot coverage x gross lot area

3. The following areas of lots shall be designated as unbuildable on the subdivision plat unless the Director grants an exemption per Section 602.D.4:

   a. Areas where the existing slope exceeds 30 percent; or

   b. Areas with unstable slopes; or

   c. Wetlands.

4. The Planning Director and the Director of Public Works may grant an exemption to Section 602.D.3 based upon a finding that both of the following conditions exist:

   a. The exemption will result in significant reduction in the undesirable impacts of development; and

   b. The useable land area on the lot is not appropriate for development due to one or more of the following:

      i. Geologic or soil instability; or

      ii. Negative impacts to environmentally sensitive areas; or

      iii. Inability to provide basic utilities to the building envelope; or

      iv. Inability to provide reasonable vehicular access to the building envelope; or

      v. Negative impacts to visually sensitive areas; or

      vi. Excessive cut and fill necessary.

605 STANDARDS FOR SUBDIVISIONS IN TND TRANSECT ZONES

605.A Applicability

The following standards shall apply to all subdivisions in TND transect zones. In circumstances where standards contained in this Section are in conflict with any standards contained in Section 602, the standards in this Section shall apply.

605.B Exemptions

1. A Final Plat reviewed through the Replat process shall be exempt from all standards in this Section.
2. A Final Plat reviewed through the Condominium/Townhome Plat process that results in four or fewer townhome lots or condominium units shall be exempt from all standards in this Section.
3. A Final Plat reviewed through the Condominium/Townhome Plat process that results in more than four townhome lots or condominium units shall be exempt from the standards contained in Section 605.C, 605.D, 605.E, and 605.G.

605.C General Standards

1. Land shall be subdivided into a network of interconnected streets, blocks, and publicly accessible open spaces.

~~2. Subdivision of land areas smaller than 20 acres or larger than 160 acres shall not be permitted. This standard shall not apply in the following circumstances:~~

~~a. Lots that are smaller than 20 acres that were created through a previous TND subdivisions; or~~

~~b. Lots that are located outside of the West Steamboat Springs Area Plan study area.~~

~~3~~2. Gated communities and other residential developments designed to appear or function as walled-off areas, disconnected and isolated from the rest of the community, are prohibited.

~~4~~3. Public access and visibility to public parks and civic uses shall be provided and maintained. Public access, such as bicycle and pedestrian paths, shall be provided, where possible, for natural open spaces including creeks and drainages.

~~5~~4. Transitions between TND transect zones shall occur midblock or across streets, alleys, or rear lanes in accordance with Table 605-1.

Table 605-1. Transect Zone Transitions

	T2-NE	T3-NG1	T3-NG2	T4-NX	T4-NC	T5-VC	T5-TC2	SD-1	SD-2	OR
T2-NE		S	R		R		R	R	R	S, R, M
T3-NG1			R		R		R	R	R	S, R, M
T3-NG2				S, R, M	R		R	R	R	S, R, M
T4-NX					S, R, M	S, R, M	S, R, M	S, R, M	S, R, M	S, R, M
T4-NC						S, R, M	S, R, M	S, R, M	S, R, M	S, R, M
T5-VC							S, R, M	S, R, M	S, R, M	S, R, M
T5-TC								S, R, M	S, R, M	S, R, M
SD-1									S, R, M	S, R, M
SD-2										S, R, M

S = Across streets R = Across alleys or rear lanes M = Midblock Blank=Prohibited

605.D Lots

1. Lots shall be classified for specific building types as described in Section ~~424~~227.D.
2. Lots shall be graded in accordance with the hillside strategies as described in Section ~~425~~227.G.

605.E Blocks

~~1. Standards~~

~~a~~1. Blocks shall comply with the block face, block perimeter, and building type mix standards of Table 605-2.

Table 605-2. Block Face, Perimeter, and Building Type Mix

Transect Zone	Standard
Block Face [1]	
T2-NE, T3-NG1, T3-NG2	300' min. 600' max.
T4-NX, T4-NC, T5-VC, T5-TC, SD-1, SD-2	150' min. 400' max.
Block Perimeter [1]	
T2-NE, T3-NG1	2,000 max.
T3-NG2, T4-NX, T4-NC, T5-VC, T5-TC, SD	1,600' max.
Building Types per Block	
T2-NE, T5-TC, SD-1, SD-2	no requirement
T3-NG1	2 min.
T3-NG2, T4-NX, T4-NC, T5-VC	3 min. [2]

[1] Variances to block face and perimeter in TND subdivisions shall not be the authority of the Director of Public Works and shall only be approved through the Variance process.
[2] Alternative compliance: Two building types are permitted on a block that includes a large multi-unit or mixed mid-rise building type. ~~Fewer building types may be permitted on block faces that consist completely of mixed-use or large format retail building types.~~

2~~b~~. Blocks shall be in compliance with the intersection standards established for TND street types in accordance with City Engineering Standards.

3. A publicly accessible greenway with continuous pedestrian and bicycle facilities that connect to at least one street may be considered streets when calculating block face and block perimeter length.

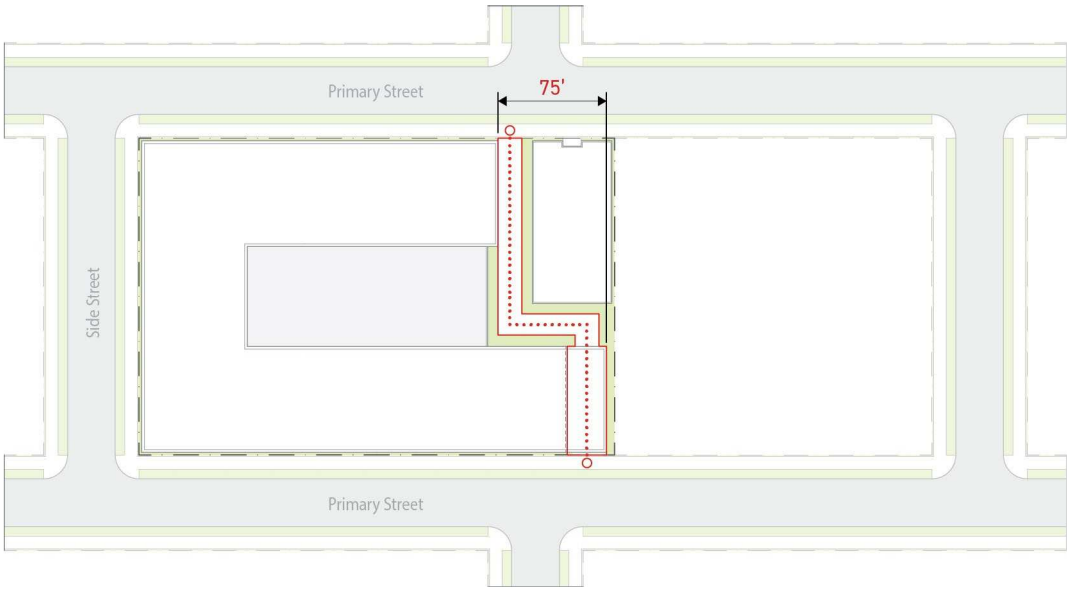
4. Where the block is bisected by a pedestrian connection that meets the following standards, the maximum block perimeter and block length may be increased by 25 percent:

   a. The pedestrian passageway must connect from the public sidewalk on the primary street through the lot to a publicly accessible sidewalk, alley, other public way, or easement abutting the opposing lot line.

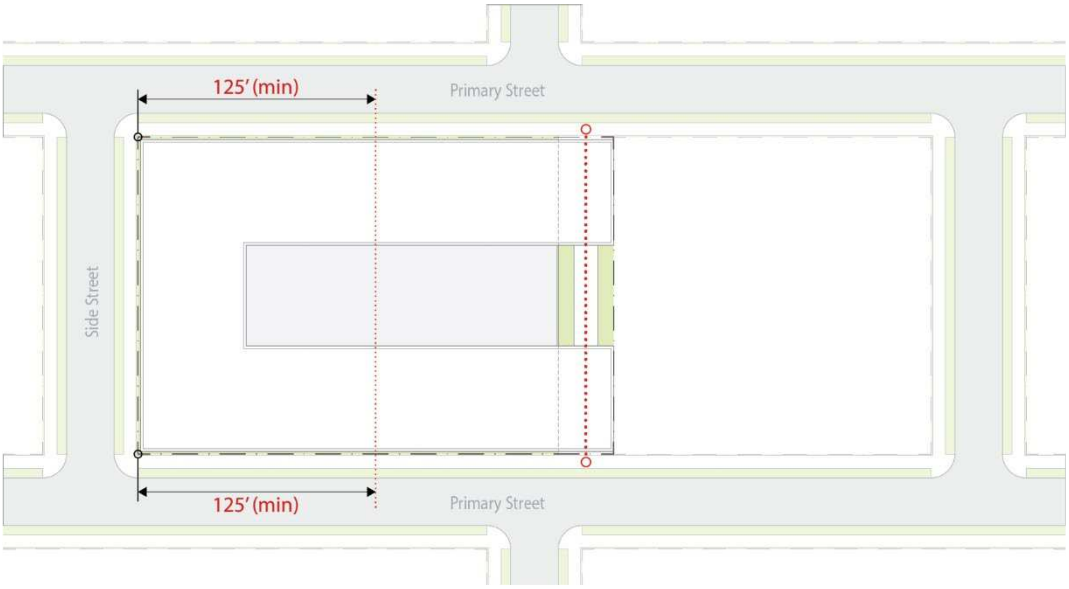
   b. The pedestrian passageway may be uncovered or covered. Uncovered portions must be at least 15 feet wide and covered portions must be at least 25 feet wide.

c. The pedestrian passageway must have a minimum clear height of 15 feet, with the exception of required lighting and trees.

d. A pedestrian passageway may vary up to 75 feet from the access point on the primary street, measured parallel to the primary street lot line. See Figure 605-1.



e. Access to the pedestrian passageway must be located a minimum of 125 feet from the nearest street intersection, measured along the primary street. See Figure 605-1.



f. The pedestrian passageway must be physically separated from and uninterrupted by motor vehicle use areas, except where required to cross a drive-aisle. Drive-aisle crossings must be the shortest practical distance.

g. The pedestrian passageway must be made permanently available to the general public, at no cost, between sunrise and sunset daily, or during the

operating hours of the building, whichever would result in a longer period of time. No gates or other barriers may block any portion of the pedestrian passageway from pedestrian access during the required public hours.

h. A pedestrian passageway open to the general public before sunrise or after sunset must be illuminated in accordance with Section 405.

~~2. Guidelines~~

~~Variances to block face or block perimeter standards should include consideration as to whether the proposed variance will:~~

~~a. Maintain an interconnected pedestrian system; and~~

~~b. Incorporate paseos at or near the frequency of the maximum block face standard.~~

605.F Circulation

1. Streets shall be designed to create a grid-like, interconnected network.
2. Streets, sidewalks and trails within a subdivision shall be interconnected and shall connect with adjacent infrastructure external to the subdivision to provide multiple routes for pedestrian, bicycle, and vehicle trips from, to, and within the subdivision.
3. Street, sidewalk, and trail stubs shall be provided to adjacent undeveloped land to ensure an integrated street network is achieved over time. At a minimum, street connections shall be established in accordance with an approved regulating plan or shall be at intervals which adhere to block face standards.
4. Complete streets, alleys, and trails shall comply with the palette of streets, alleys, and trails as described in the City's TND street standards as they correspond with their anticipated transect zones, in organizing principal and secondary access to development.
5. Traffic calming measures shall be in accordance with the City's TND street standards.
6. Cul-de-sacs are prohibited.

~~7. In SD, T5-TC, and T4-NC transect zones, alleys or rear lanes are required.~~

~~8.~~7. In SD-1, SD-2, T5-TC, T5-VC, T4-NC, T4-NX, T3-NG2 and T3-NG1 transect zones, alleys or rear lanes are required except for lots that are bounded on the rear lot line by open space. ~~Where alleys or rear lanes are not required in the T3-NG1 and T3-NG2 transect zones, front loaded access is permitted.~~

605.G Parks and Open Space

~~1. Subdivisions shall provide parks and publicly accessible open spaces as described in Section 606.~~

~~2. Secondary parks shall be provided so that 80 percent of all lots are within a 1,320-foot buffer of a secondary park. Secondary parks located in previously approved subdivisions may be used to comply with this standard.~~

~~3. Tertiary parks shall be provided so that 100 percent of all lots are within an 880-foot buffer of a tertiary park. Tertiary parks located in previously approved subdivisions may be used to comply with this standard.~~

~~4. The combined total area of all parks (primary, secondary, and tertiary) within a subdivision, excluding those located with the SD transect zone, shall be a minimum of three percent of the gross area of the subdivision. Existing or approved publicly accessible parks located within an 880-foot buffer of the subdivision may be used to comply with this standard. Qualifying publicly accessible parks shall not include:~~

~~a. Nature preserves, steeply sloped hillsides, riparian corridors, sensitive habitat areas; or~~

~~b. Areas within parks and open spaces that are considered to be inappropriate for active or passive recreation.~~

~~5.~~ The integration of stormwater drainage facilities and water quality features within parks is encouraged where they are compatible with the intended open space use. The Planning Director and Director of Public Works may approve such combined use areas as counting toward the minimum open space

standards.

606 TND PARKS AND OPEN SPACE STANDARDS

606.A Purpose

Provide subdivisions with a diverse palette of parks and other publicly accessible open spaces that comprise essential components of mixed use neighborhoods.

606.B Applicability

1. The TND parks and open space standards apply to all subdivisions within the TND zone district.
2. The dimensional requirements of each park type are regulatory in nature. The descriptions of each type, along with the character, allowed/typical uses, and storm water management techniques, and descriptive in nature, describing a broad range of possible characteristics and uses that are permitted within the open spaces. It is not intended that each open space provide the full range of typical uses and characteristics, but that the entire network of parks and open space within the plan area provide a wide variety of places and activities.

606.C Exemptions

1. A Final Plat reviewed through the Replat process shall be exempt from all standards in this Section.
2. A Final Plat reviewed through the Condominium/Townhome Plat process shall be exempt from all standards in this Section.

606.D Parks and Open Space Categories

There are nine different park and open space types organized into three categories.

1. Primary Park and Open Space Types

The primary open space types will in most cases have their general locations and alignments set by the Steamboat Springs Parks, Recreation, Open Space, Trails, and River Master Plan ~~Steamboat Springs Parks and Recreation Master Plan and Steamboat Springs Area Open Space and Trails Master Plan~~ and shall typically be improved and maintained by the City. These types shall provide open spaces and recreational opportunities that are appropriate for the entire project area and, in some cases, will make suitable additions to the City's open space system. Primary parks and open space shall total a minimum of 15 percent of the gross land area of a TND Framework Plan. Refer to Section 606.F and Section 606.G for specific standards for the following primary types of parks and open spaces:

a. Natural Preserves, Hillsides, and Riparian Areas

b. Community Parks

2. Secondary Park and Open Space Types

The two secondary park types include neighborhood parks and plazas. These types are designed to provide principal community gathering spaces for social activity, commerce, structured and unstructured recreation, and children's play. ~~These open spaces will be developed so that at least one space (as is appropriate for the given transect zone) is provided for each subdivision area in accordance with the requirements of the subdivision standards in Section 605.G.~~ These spaces will typically be maintained by neighborhood associations or other local governing entities. Secondary parks shall be provided so that 80 percent of all lots are within a 1,320-foot buffer of a secondary park. Secondary parks located in previously approved TND Phase Plans may be used to comply with this standard. While a ~~Regulating Plan~~ TND Phase Plan typically sets the general location of these open spaces, their disposition, orientation, size, and shape are determined by the performance standards herein. Refer to Section 606.H and Section 606.I for specific standards for the following secondary types of parks and open spaces:

a. Plazas and Civic Spaces

b. Neighborhood Parks

3. Tertiary Parks and Open Space Types

The four tertiary park types provide an additional "kit of parts" for developers to use in the subdivision of neighborhoods and other land parcels. These types are designed to provide additional, smaller community gathering spaces for social activity, structured and unstructured recreation, and children's play within close proximity to residences. In most cases, these spaces shall also be maintained by neighborhood associations

or other local governing entities. Tertiary parks shall be provided so that 100 percent of all lots are within an 880-foot buffer of a tertiary park. Tertiary parks located in previously approved TND Phase Plans may be used to comply with this standard. ~~The general locations and alignments of these types are not set by a Regulating Plan. Instead they are calibrated by their appropriate location along the transect and shall be provided in keeping with the requirements of the subdivision standards in Section 605.G.~~ Refer to Section 606.J, Section 606.K, Section 606.L, and Section 606.M for specific standards for the following tertiary types of parks and open spaces:

a. Pocket Plazas

b. Neighborhood Pocket Parks

c. Community Gardens

d. Playgrounds

606.I Neighborhood Parks (See below.)

Secondary: Neighborhood Parks

General Description
Neighborhood parks provide a central open space focus for neighborhoods or groups of neighborhoods available for unstructured recreation and smaller structured recreational facilities. They are spatially defined by building frontages or landscaping, and typically consist of formal and naturalistic landscape, combining paths, lawn, and tree plantings. Neighborhood parks include larger open spaces available for unstructured recreation and smaller structured recreation facilities. They may be spatially defined by building frontages or landscaping and typically consist of combinations of formal and naturalistic landscape, combining paths, lawn, and tree plantings. They are often irregular in shape. Neighborhood parks may be centrally located at the geographic heart of neighborhoods and/or at the intersect ion of important thoroughfares. They may also be located at the edges of neighborhoods in locations where several residential areas may benefit from recreational amenities, and serve as a transition between developed areas and natural open spaces.

Size and Location	
Minimum Width	100’ average
Maximum Width	n/a
Acreage	0.5 - 5.5 acres
Character	
Naturally and formally disposed	
Passive/active (unstructured) open space	
Irregular/Regular	
Building frontage along at least 1 side	
Responsibility	
Implementation	Master Developer/Homeowners Association
Operation/Maintenance	City/Homeowners Association

Allowed/Typical Uses
Multi-use trails and paths
Community gardening/limited crop production
Playgrounds
Low-impact civic uses, including picnic shelters, outdoor seating, outdoor amphitheaters, public restrooms
Limited community facilities, including meeting rooms, community centers
Small structured recreational facilities, including basketball courts, swimming pools, tennis courts, etc.
Stormwater Management Techniques
Integrated runoff
Bioretention BMPs
Extended detention basins
Porous pavers and landscaping

606.K Neighborhood Pocket Parks (See below.)

Tertiary: Neighborhood Pocket Parks

General Description
Neighborhood pocket parks provide smaller open spaces for neighborhoods within close proximity to residences. These parks accommodate a wide-range of activities and vary in character, sensitive to specific needs and surroundings. These parks shall be located throughout the ~~Regulating~~ TND Phase Plan area and provide secondary focal points for neighborhoods and other development areas, typically in the T3~~-NG2~~ and T4~~-NC~~ transect zones. The landscape may be formal or informal with arrangements of trees and shrubs, utilizing the natural landscape of both open and wooded areas, and are typically furnished with path, benches, and open shelters. Generally, these parks may be located in public locations, such as the intersection of principal streets, or in more intimate locations, such as mid-block locations or even tucked away from the street. They can be regular or irregularly shaped.

PART 5 Amend CDC Article 7, Tables 702-1 and 703-1 and Sections 708.A, 709, 719.A, 722, and 728.D as follows:

Table 702-1. Development Review Application Types and Procedures

Application Type [1]	Public Notice [2]	Administrative Review		Public Hearing				Form of Decision
		DRT	Director	HPC	BOA	PC	CC	
Land Use								
Limited Use Permit			DM					Permit
Conditional Use	■	□				DM	CU	Resolution
Site Development								
Conceptual Development Plan	■	■		□		DM	CU	Resolution
Development Plan								
Minor Modification		□	DM	□		CU	CU	Letter
Development Plan-Administrative	■	■	DM	□		CU	CU	Letter
Development Plan-Public Hearing	■	■		□		DM	CU	Resolution
Floodplain Development Permit		□	DM					Letter
Sign Plan		□	DM					Letter
Sign Permit		□	DM					Permit
Subdivision								
Preliminary Plat	■	■				DM	CU	Resolution
Final Plat								
Major Subdivision		■	DM			CU	CU	Plat
Minor Subdivision	■	■	DM			CU	CU	Plat
Replat		■	DM					Plat
Condominium/Townhome Plat		■	DM					Plat
Waiver of Replat		□	DM					Waiver
Extraterritorial Subdivision	■	■				□	DM	Letter
Variance								
Adjustment								
Minor Adjustment	■	□	DM					Letter
Major Adjustment	■	□			DM			Resolution
Variance								
Minor Variance	■	■	DM					Letter
Major Variance	■	■				■	DM	Resolution
Zoning								
Zone Map Amendment	■	■				■	DM	Ordinance
Planned Unit Development	■	■				■	DM	Ordinance
TND Regulating Plan	~~■~~	~~■~~				~~■~~	~~DM~~	~~Ordinance~~
Framework Plan	■	■				■	DM	Ordinance
Phase Plan	■	■				DM	CU	Resolution
CDC Text Amendment	■	□		□	□	■	DM	Ordinance
Other								
Community Plan Amendment	■	□				■	DM	Resolution
Annexation	■	■				■	DM	Ordinance
Pre-Application Review		■						Letter
Written Interpretation		□	DM					Letter
Substantial Conformance	□[3]	□	DM					Letter
Appeal of Decision		□				□	DM	Resolution
Easement Vacation	■	■				□	DM	Ordinance

Legend

DRT=Development Review Team
Director=Planning Director
HPC=Historic Preservation Commission
BOA=Board of Adjustment
PC=Planning Commission
CC=City Council
■=Required
□=May be required by the Planning Director or as specified elsewhere in this CDC
DM=Decision Maker
CU=May call up the final decision for review

[1] Refer to Section 705 through Section 729 for applicability of each application type.
[2] Refer to Section 703 for specific public notice requirements.

[3] Minor amendments to PUDs ~~and TND Regulating Plans~~ reviewed through Substantial Conformance shall require public notice.

Table 703-1. Public Notice by Application Type

Application Type	Newspaper Publication	Surrounding Property Owner Mailing	Property Posting	Mineral Rights Notification
Land Use				
Conditional Use	■	■	■	■
Site Development				
Conceptual Development Plan	■	■	■	■
Development Plan-Administrative	■	■	■	
Development Plan-Public Hearing	■	■	■	■
Subdivision				
Preliminary Plat	■	■	■	■
Final Plat-Minor Subdivision	■	■	■	
Extraterritorial Subdivision	■	■	■	■
Variance				
Minor Adjustment	■	■	■	
Major Adjustment	■	■	■	
Minor Variance	■	■	■	
Major Variance	■	■	■	■
Zoning				
Zone Map Amendment	■	■	■ [2]	■
Planned Unit Development	■	■	■	■
TND Framework Plan	■	■	■	■
TND Phase Plan	■	■	■	■
CDC Text Amendment	■			
Other				
Community Plan Amendment	■	□	□	
Annexation	■	■	■	
Substantial Conformance [1]	■	■	■	
Easement Vacation	■	■	■	

Legend

■=Required □=Required when the application is regarding one or more specific properties

[1] Public notice shall only be required for minor amendments to Planned Unit Developments ~~and TND Regulating Plans~~ reviewed through the Substantial Conformance process.

[2] Property posting may be waived by the Planning Director for City-initiated Zone Map Amendments that include multiple lots or property owners.

708 CONCEPTUAL DEVELOPMENT PLAN

708.A Applicability

1. Conceptual Development Plan approval may be requested for development that meets the applicability requirements of a Development Plan when the applicant is seeking limited approval of the proposed project.
2. Conceptual Development Plan approval cannot be requested for development in a TND transect zone.

709 DEVELOPMENT PLAN

709.A Applicability

1. Development Plan approval shall be required for all site development in all zone districts unless specifically exempted by Section 702.A or elsewhere in this CDC.
2. Development Plan approval shall be required prior to issuance of a demolition permit for any structure located in the G, CO, CY, and CK zone districts unless the property meets one of the following exemptions:
   a. The property is located in the CK zone district, and a building permit had been issued to construct a single-family dwelling on the property; or
   b. The structure is a dangerous building as defined by the Building Code.
3. The following types of Development Plans are established for purposes of review process and public notice requirements:
   a. **Minor Modification**
      Development Plans shall be reviewed through the Minor Modification process when the Development Plan complies with all applicable requirements of this CDC and one or more of the following criteria are met:
      i. The Development Plan includes only changes to the exterior of an existing multiple-family residential or nonresidential building, including changes in materials, significant changes in color, or significant changes in window or door location or size; or
      ii. The Development Plan includes only a building addition or new accessory structure with gross floor area of less than 1,500 square feet; or
      iii. The Development Plan includes only changes to landscaping materials on an existing developed property resulting in land disturbing activity of less than one acre; or
      iv. The Development Plan includes only the construction of a small cell telecommunication facility.
   b. **Development Plan - Administrative**
      Development Plans shall be reviewed through the Development Plan-Administrative process when the Development Plan complies with all applicable requirements of this CDC or is being reviewed concurrently with a Minor Variance application and one or more of the following criteria are met:
      i. The total proposed and existing gross floor area on the subject property does not exceed 16,000 square feet; or
      ii. The development is in a TND transect zone; or
      iii. The Development Plan includes grading, filling, clearing, and site preparation resulting in land disturbing activity of one acre or greater; or

iv~~iii~~. The Development Plan includes grading, filling, clearing, and site preparation on a site that is part of a common plan of development or sale resulting in land disturbing activity of one acre or greater.

c. **Development Plan - Public Hearing**
Development Plans shall be reviewed through the Development Plan-Public Hearing process when one or more of the following criteria are met:

i. The Development Plan is being reviewed concurrently with a Major Variance application; or

ii. The Development Plan requires Conditional Use approval; or

iii. The total proposed and existing gross floor area on the subject property exceeds 16,000 square feet and the subject property is not in a TND transect zone; or

iv. The Development Plan is required prior to issuance of a demolition permit in the G, CO, CY, and CK zone districts.

719 VARIANCE

719.A Applicability

1. Variance approval is required for all variations or modifications to standards in this CDC that do not meet the applicability of a Minor Adjustment or Major Adjustment, unless specifically exempted from a variance process by this CDC.

2. The following types of Variances are established for purposes of review process:

a. **Minor Variance**
Variances shall be reviewed through the Minor Variance process when the following criteria are met:

i. The Variance application is submitted concurrently with a Development Plan or Final Plat that will be reviewed administratively and approved by the Planning Director; and

ii. The proposed variation is equal to 20 percent or less of any lot area, lot width, setback, building height, or lot coverage standards specified in Article 2; or

iii. The proposed variation is equal to 20 percent or less of any numeric landscaping standards specified in Article 4; or

iv. The proposed variation is equal to 20 percent or less of any numeric buffering, screening, or fencing standards specified in Article 4; or

v. The proposed variation is equal to five percent or less of a floor area ratio standard specified in Article 2; or.

vi. The proposed variation is equal to 20 percent or less of any numeric standard in the TND zone district.

b. **Major Variance**
Variances shall be reviewed through the Major Variance process when proposed application type or variation do not meet the applicability of a Minor Variance.

722 TND REGULATING PLAN

722.A Applicability

TND Regulating Plan approval shall be required for all property zoned TND.

722.B TND Framework Plan

1. Procedures

Review shall be concurrent with a Zone Map Amendment.

2. Content

a. The Framework Plan shall include the boundaries of transect zones. The Framework Plan may include the Open Space and Recreation zone district.

b. The Framework Plan shall include the specific location of arterial and collector streets. Deviations up to 100 feet based on actual field conditions may be shown on the Phase Plan.

c. The Framework Plan shall include the approximate location of local streets, alleys and rear lanes. Refinement based on actual field conditions and additional requirements shall be shown on the Phase Plan.

d. The Framework Plan shall include the approximate location of blocks with applicable transect zones applied. Refinement based on actual field conditions and additional requirements shall be shown on the Phase Plan.

e. The Framework Plan shall include specific boundaries of any proposed overlay zones.

f. The Framework Plan shall contain adequate land set aside for civic uses in accordance with the adopted plans, if applicable.

g. The Framework Plan shall have adequate land set aside for active and passive recreation in accordance with the Parks, Recreation, Open Space, Trails, and River Master Plan and Section 606. At a minimum, the Framework Plan shall include the following:

i. The locations and approximate sizes of the primary parks and open spaces. Minor deviations to their general form, disposition, and boundaries based on actual field conditions may be shown on the Phase Plan.

ii. The locations and approximate sizes of the secondary park types for illustrative purposes only. Refinement based on actual field conditions and additional requirements shall be shown on the Phase Plan.

~~722.C~~ 3. Criteria for Approval

TND ~~Regulating~~ Framework Plans may be approved upon a finding that the following criteria are met:

a~~1~~. The ~~Regulating~~ Framework Plan shall meet the purpose and intent of the TND zone district.

b~~2~~. The ~~Regulating~~ Framework Plan shall substantially further the preferred direction and policies outlined in the Community Plan and other applicable adopted plans.

c~~3~~. The ~~Regulating~~ Framework Plan shall promote preservation of environmental quality, energy conservation, and resource and water conservation and reuse.

~~4. The Regulating Plan shall provide a mix of transects that is consistent with the purpose and intent of the TND zone district and that is not overly concentrated in any particular transect. The proposed spectrum of transects shall organize development intensity in compliance with a system of walkable pedestrian sheds.~~

~~5. The Plan shall contain adequate land set aside for civic uses in accordance with the community facilities master plan, if applicable.~~

~~6. The Regulating Plan shall accurately delineate the location of any proposed overlay zones.~~

~~7. The Regulating Plan shall have adequate land set aside for active and passive recreation in accordance with the Open Space, Parks, and Recreation Master Plan and Section 606. At a minimum, the Regulating Plan shall include the following:~~

~~a. The locations and approximate sizes of the primary parks and open spaces totaling a minimum of 15 percent of the gross land area of the Regulating Plan. Minor~~

deviations to their general form, disposition, and boundaries based on actual field conditions may occur at the time of subdivision.

b. The locations and approximate sizes of the secondary park types for illustrative purposes only. Refinement based on actual field conditions and additional requirements shall occur at the time of subdivision.

722.D 4. Term and Effect of Approval

a1. Regulating Framework Plans shall become effective on the date specified in the ordinance adopted by City Council.

b2. The Regulating Framework Plan shall remain in effect for perpetuity or until amended.

722.C TND Phase Plan

1. Procedures

Review is required before or concurrent with a Preliminary Plat or Development Plan.

2. Content

a. The Phase Plan shall include the location of all public streets, private streets, alleys and rear lanes.

b. The Phase Plan shall include all lots. Lots shall be assigned one or more building types. For lots with more than one building type, a building type boundary line shall be designated between unique building types. For lots with parking as a principal use, no building type is required.

c. The Phase Plan shall include the location of district parking lots (that will allow parking serving buildings on other blocks).

d. The Phase Plan shall include an estimate of the number of dwelling units anticipated in the Phase Plan area.

e. The Phase Plan shall include the location and size of primary, secondary and tertiary parks in accordance with Section 606.

3. Criteria for Approval

a. The Phase Plan shall be consistent with the Framework Plan and any annexation agreement associated with the property within the Phase Plan.

b. The Phase Plan shall conform to all applicable requirements of this CDC and City Engineering Standards.

c. The Phase Plan shall demonstrate that general densities anticipated as part of any annexation agreement remain likely to be met after approval of the Phase Plan.

4. Term and Effect of Approval

a. Phase Plans shall become effective on the date specified in the ordinance adopted by City Council.

b. The Phase Plan shall remain in effect for perpetuity or until amended.

722.B722.D Amendments

Amendments require review and approval through the same Regulating Plan process as the initial approval.

1. Minor and Major Amendments

Minor amendments to a Regulating Plan may be approved through the Substantial Conformance process. Amendments that cannot be approved through Substantial Conformance shall be considered major amendments and require review and approval through the same Regulating Plan process as the initial approval.

2. Transect Level Increases

a. Purpose

The purpose of transect level increases is to facilitate the long term, healthy evolution of mixed-use communities by providing a process for the careful reconsideration of particular transects in a TND development. Such increases intend to allow for the gradual expansion of mixed-use walkable districts, accommodate potential demand for both residential and nonresidential uses over time, and allow such uses to be appropriately integrated into the community fabric in

~~locations that can support increased density and intensified land use. Transect level increases will provide an opportunity for a reconsideration of a Regulating Plan and may result in additional residential units, nonresidential square footage, parks or open spaces, and infrastructure.~~

~~b. Procedures~~

~~i. Beginning ten years from recording of the first subdivision plat included within a Regulating Plan, the City or any owner of property within the area of the Regulating Plan may apply for a transect to be increased by one step along the transect continuum.~~

~~ii. Transect level increases shall be processed as major amendments to the Regulating Plan.~~

~~c. Criteria for Approval~~

~~A Regulating Plan shall be approved upon a finding that the following criteria are met:~~

~~i. The transect level increase shall maintain compliance with the purpose and intent of the TND zone district.~~

~~ii. The transect level increase shall not result in the introduction of uses, land use intensities, or built form that will create potential conflicts or incompatibilities with adjacent transect designations.~~

~~iii. All parking requirements within the proposed transect level increase area shall be met.~~

~~iv. Adequate infrastructure shall exist to support the proposed transect level increase.~~

728 SUBSTANTIAL CONFORMANCE

728.A Purpose

The purpose of the Substantial Conformance process is to allow for administrative approval of minor changes to approved development applications that may arise prior to or during construction.

728.B Applicability

1. The Substantial Conformance process may be used to review and approve minor changes to previously approved, still valid development applications. Substantial Conformance shall not be used to amend or extend approval of any expired development application.
2. The Substantial Conformance process may be used prior to or during construction of an approved development.

728.C Procedures

Review shall be prior to issuance of a Certificate of Occupancy, recording of a Final Plat, or release of an Improvements Agreement, as applicable.

728.D Criteria for Approval

A development application shall be found to be in substantial conformance with the original approval upon a finding that any changes to the approved application comply with this CDC and are within the following parameters, as applicable:

1. General
   The location, design, or phasing of buildings, structures, footprints, parking, access, circulation, loading, entrances, landscaping, amenities, architectural features, building materials, and similar site design and architectural features may be varied upon a finding by the Planning Director that the changes are minor in nature.
2. Buildings and Structures
   a. The height of buildings and structures shall not vary by more than five percent.
   b. Roof pitch shall not vary by more than 1/12 slope.
   c. Transparency of front facades shall not vary by more than five percent.
   d. Gross floor area shall not vary by more than five percent.
   e. The area of interior and exterior amenity space shall not vary by more than five percent.
3. Off-Street Parking
   a. The number of parking spaces shall not vary by more than five percent.

b. The parking lot area shall not vary by more than five percent.

4. **Landscaping**

a. The amount of landscaped area shall not vary by more than five percent.

b. Planting locations shall only vary due to utilities, trails, sidewalks, snow shed, grading, or drainage considerations. Changes in planting locations shall not reduce the effectiveness of the landscaping for the purpose of screening or buffering.

5. **Land Subdivisions**

a. The total number of lots shall not increase.

b. The total number of lots shall not decrease by more than ten percent.

c. The gross lot area of individual lots shall not be varied by more than five percent.

d. The number and size of pedestrian linkages shall not decrease, and the type of linkages shall not be varied.

e. The amount of public land dedication or open space designation shall not increase by more than five percent.

f. The amount of public land dedication or open space designation shall not decrease.

g. The degree of conformity with City street standards shall not have decreased.

6. **Uses**

The gross floor area of approved uses shall not vary by more than 20 percent.

7. **Planned Unit Developments**

The changes shall not change the overall character of the PUD.

~~8. **TND Regulating Plans**~~

~~a. The total area allocated to each transect zone shall not vary by more than 20 percent.~~

~~b. The total area allocated to parks and open spaces shall not vary by more than 20 percent.~~

~~c. Changes to location and orientation of parks, open spaces, or streets shall not change the overall character of the Regulating Plan.~~

728.E Term and Effect of Approval

1. Substantial Conformance approval shall be final on the date of the Planning Director's signature approving the application.
2. The term and effect of approval shall be the same as the original development approval. Substantial Conformance approval shall not extend the term of approval of the original approval.

PART 6 Amend CDC Article 8, Sections 801.A, 801.Q, and 802, and add Section 801.T as follows:

801.A Lot Lines

1. General Rules

Lot lines shall be designated according to the following rules. See Figure 801-2.

a. Front Lot Line

A front lot line is:

i. Any property line that separates a lot from an abutting public street right-of-way; or

ii. Any private street easement or property line that separates a lot or portion of a lot from a private street.

b. Rear Lot Line

A rear lot line is:

i. The property line that is most opposite a front lot line of an interior lot; or

ii. Any property line that separates a lot from an adjacent alley right-of-way; or

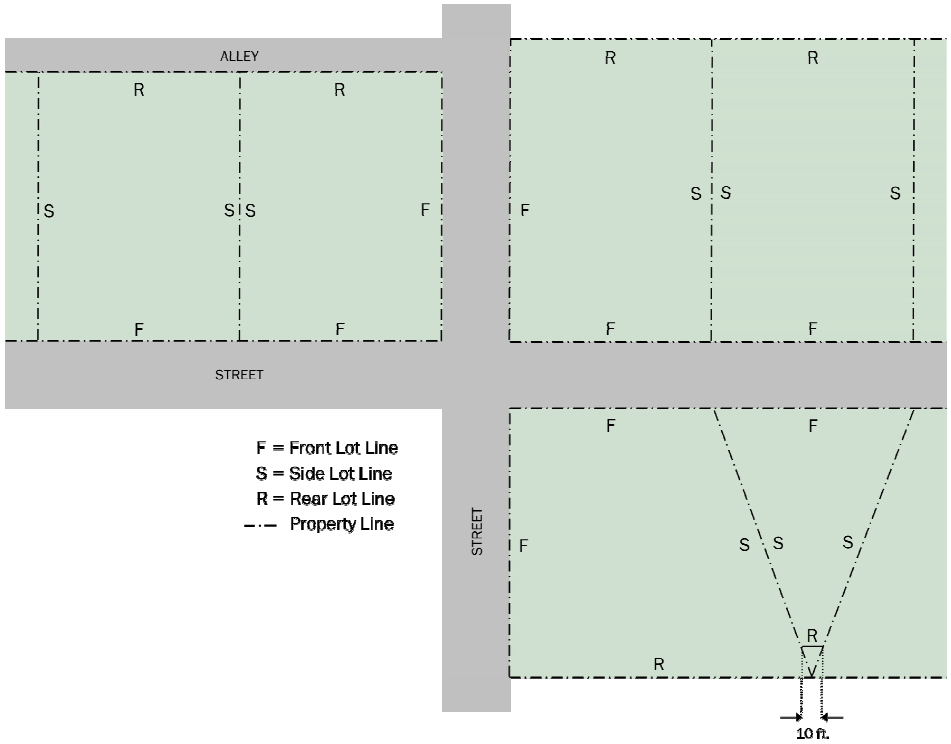
iii. In the case of a corner lot, any property line that generally continues the path of the rear lot line of an adjacent interior lot; or

iv. In the case of a triangular-shaped interior lot, a straight line 10 feet in length which is parallel to the front lot line or its chord and intersects the side lot lines at points most distant from the front lot line.

c. Side Lot Line

A side lot line is any property line that is not a front lot line or rear lot line.

Figure 801-2. Lot Lines



~~2. TND Rules~~

~~In the TND zone district, lot lines shall be designated according to the general and special rules with the exception of the following:~~

~~a. Front Lot Line~~

~~A front lot line is any property line that separates a lot from an abutting street designated as a primary street on an approved TND Regulating Plan.~~

~~b. Side Street Lot Line~~

~~A side street lot line is any property line that separates a lot from an abutting street designated as a side street on an approved TND Regulating Plan.~~

~~3.~~2. Special Rule

In the case of irregularly-shaped lots or lots that are not adjacent to a public street right-of- way or private street, the Planning Director shall designate front, side, and rear lot lines.

801.Q ~~Ground Floor Finish Level~~Reserved

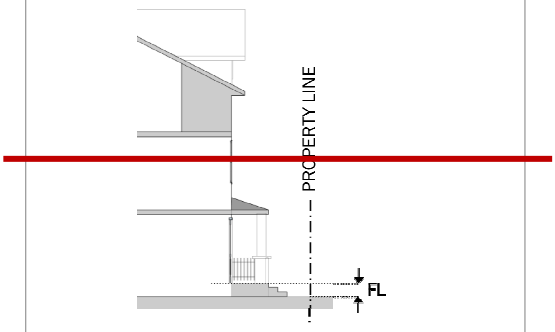
~~1. General Rule~~

~~The ground floor finish level is the height difference between the elevation at the front property line and the finished floor elevation of the ground story. See Figure 801-16.~~

~~2. Loading Dock Frontage that Serves as Public Right of Way~~

~~The ground floor finish level is the height of the walk above the adjacent street.~~

Figure 801-16. Ground Floor Finish Level



FL = Ground Floor Finish Level

801.T TND Rules of Designation and Measurement

1. Applicability

The TND rules of interpretation apply to all development within the TND transect zones. In circumstances where standards contained in this Section are in conflict with any standards elsewhere in Section 801, the standards in this Section apply.

2. Lot Lines

In the TND zone district, lot lines shall be designated according to the general and special rules with the exception of the following:

a. Front Lot Line

i. For lots that abut one street, the front lot line is the lot line that abuts the street.

ii. For lots that abut multiple streets, the front lot line is determined using the street or streets with the highest classification or the street parallel to an alley that runs the entire length of the block.

iii. A lot may have more than one front lot line.

iv. A lot line abutting a park, open space, or greenway may be designated as a front lot line.

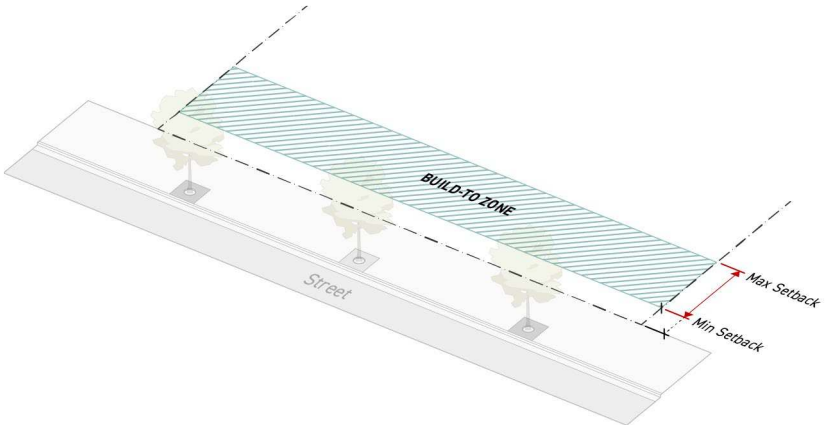
b. Side Street Lot Line

A side street lot line is any lot line that abuts a street and is not determined to be the front lot line.

3. Build-To Width

a. The build-to width is the cumulative building width that occupies the build-to zone relative to the width of the site at the street lot line.

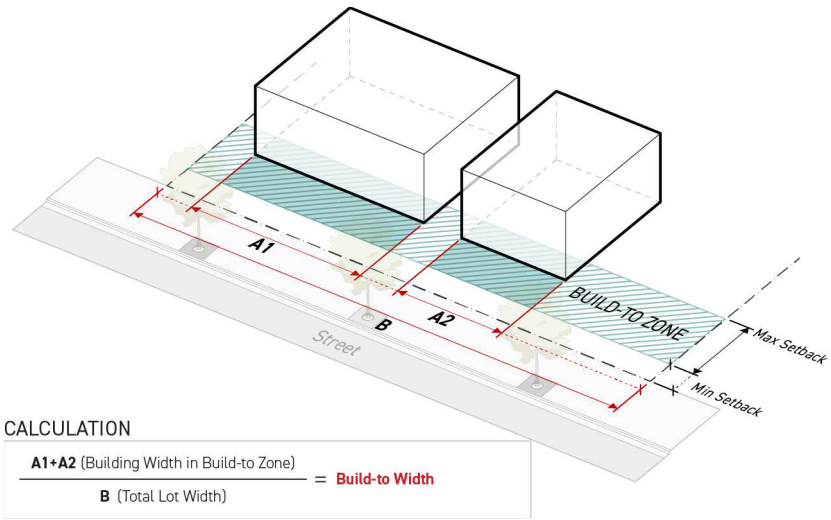
b. The build-to zone is the area on the site between the minimum and maximum building setbacks for the full width of the site.



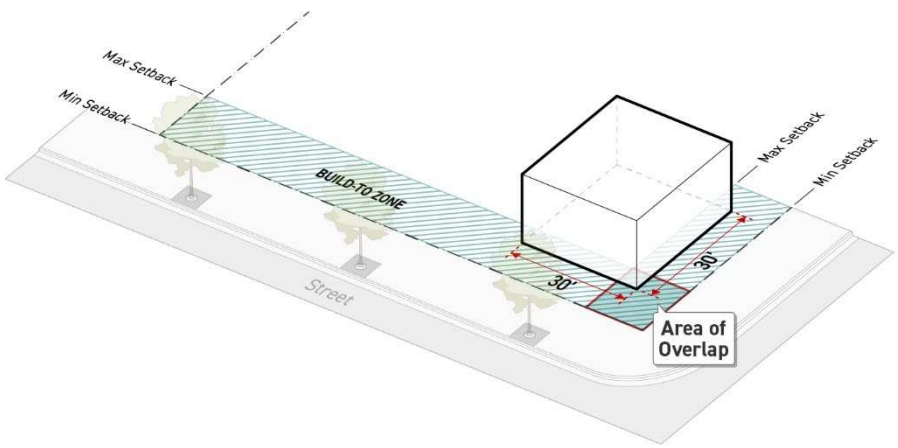
c. Buildings must be located within the build-to zone for not less than the minimum build-to width required in the zoning district.

d. Build-to width is calculated separately along each street lot line where a build-to width is required.

e. Build-to width is a percentage measured as the sum of all building width occupying the build-to zone, divided by the total lot width or lot line width between two building type boundary lines.



f. On corner lots where both streets have build-to width requirements, a building must occupy the portion of the area where the two intersecting build-to zones overlap. The building must occupy the build-to zones for both streets lot lines for a minimum of 30 feet from the corner. The minimum requirement is measured starting at the edge of the building occupying the area of overlap and moving away from the corner, parallel to the street lot line.



g. A forecourt that meets the standards of Section 227.E or pedestrian passageway that meets the standards of 605.E may substitute for a maximum of 15 percent of the build-to width requirement.

4. Story

a. The ground story of a building is determined using any street-facing building facades as follows:

i. The ground story must have a minimum of six feet of facade exposed above the abutting finished grade along the full width of the street facing building facade.

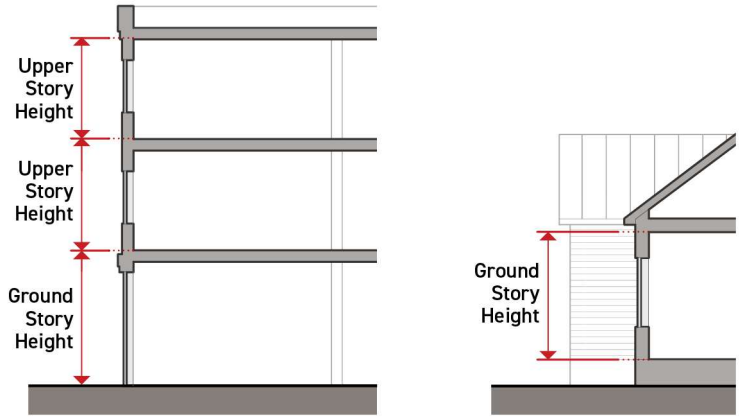
ii. The finished floor level of the ground story may be no higher than six feet above the abutting finished grade along the full width of the street-facing building facade.

b. Based on the criteria for determination, the ground story may change along the same building facade.

c. Any story located above the ground story is an upper story.

o

5. Story Height
   a. Story height is measured from the top of the finished floor to the top of the finished floor of the story above.
   b. Where there is no story above, story height is measured from the top of the finished floor to the bottom of the roof structure.

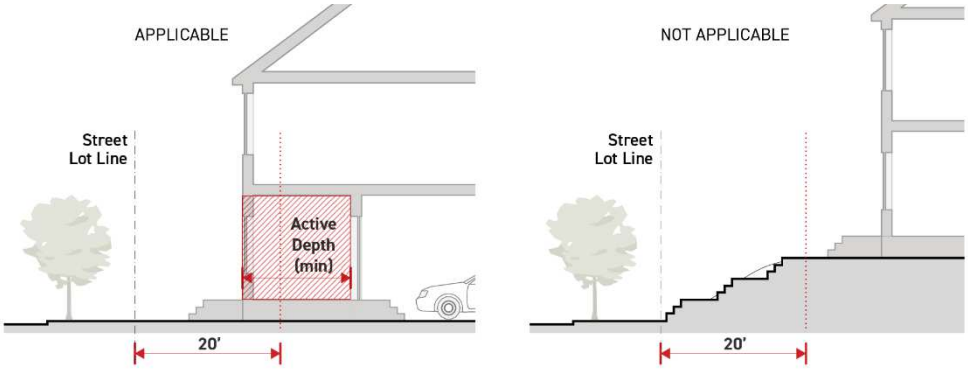


   c. Story height requirements do not apply to accessory structures.

6. Finish Floor Level

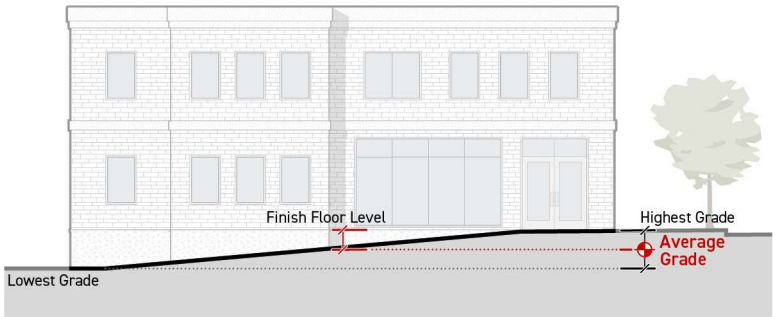
a. Finish floor level standards apply to all buildings that contain habitable space on the ground story and that are located within 20 feet of a street lot-line.

b. Where a transect zone regulates active depth, the finish floor level standards apply only to the required ground story active depth.



c. The finish floor level standards do not apply to accessory structures unless the ground story of the accessory structure contains habitable space for a dwelling unit.

d. Finish floor level is measured from average finished grade to the top of the finished floor of the ground story. On corner sites, for the purpose of determining finish floor level, average grade must be established independently for each street-facing building facade.



e. Average grade is calculated by averaging the highest and lowest elevation abutting finished grade along the street-facing building facade.

7. Active Depth

a. Active depth standards apply to the portions of the ground story used to meet the minimum built-to width requirement.

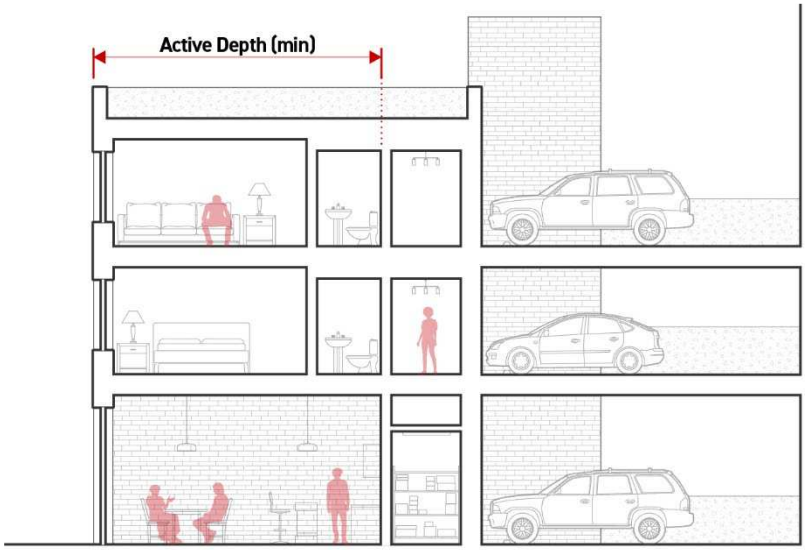
b. Applicable portions of the building must provide a minimum active depth required by the transect zone.

c. No more than 20 percent of the floor area of the required active depth may be used for inactive uses such as storage, hallways, stairwells, elevators, and equipment rooms.

d. Parking spaces and motor vehicle use areas are not allowed in any portion of the required active depth.

e. Active depth is measured from the street-facing building facade inward to the interior of the building.

8. Transparency

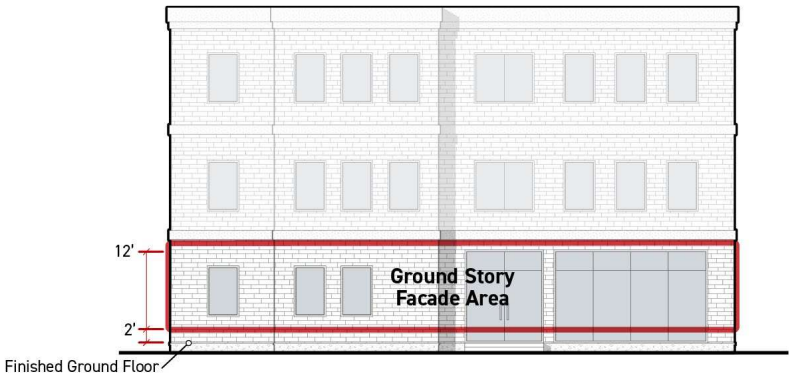


a. Transparency is measured as a percentage calculated as the sum of all facade area meeting the definition of transparency, divided by the total applicable facade area.

b. For Live-Work and Mixed Mid-Rise building types, the ground story façade area is measured as follows:

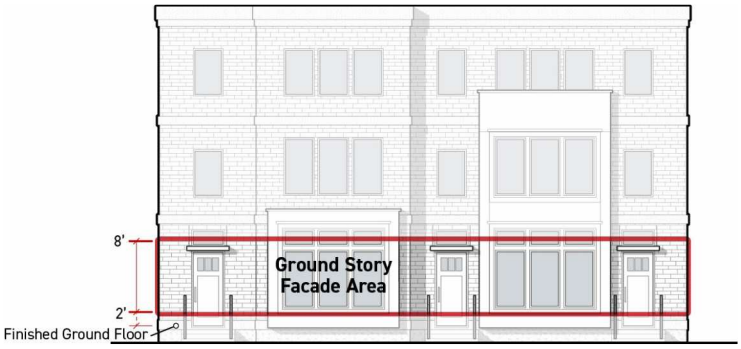
i. For the purpose of calculating transparency, the ground story facade area is measured between two and 12 feet above the top of the ground story finished floor.

ii. If the clear height of the ground story is less than 12 feet, the facade area is measured between two feet and the bottom of floor or roof structure above.



c. For all building types other than Live-Work and Mixed Mid-Rise, the ground story façade area is measured as follows:

i. For the purpose of calculating transparency, the ground story facade area is measured between two and eight feet above the top of the ground story finished floor.



ii. If the clear height of the ground story is less than eight feet, the facade area is measured between two feet and the bottom of floor or roof structure above.

d. For the purpose of calculating upper story transparency, the upper story facade area is measured between the top of the finished floor for that story and the bottom of the floor or roof structure above.

e. Upper story transparency is measured separately for each individual story of a building above the ground story.

9. Entrance Spacing

a. Entrance spacing standards apply to all ground story street-facing facades.

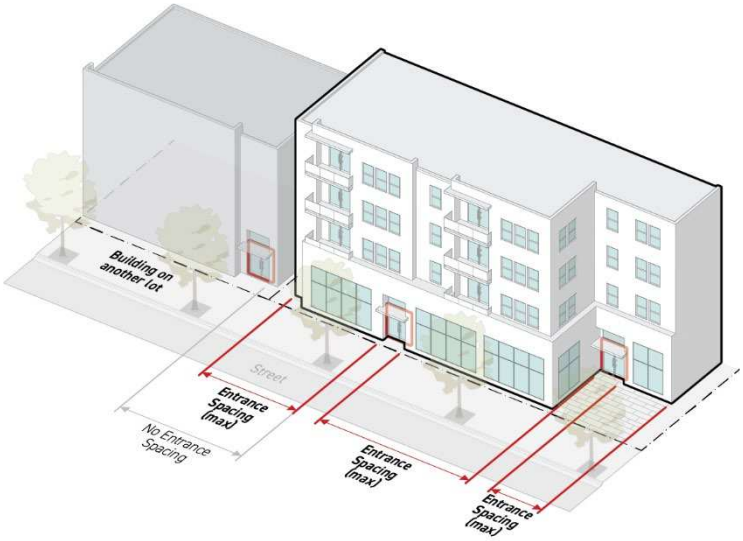
b. Accessory structures do not have to provide a street-facing entry and are not included in the calculation of maximum entrance spacing requirements.

c. Street-facing entries that meet the following requirements shall not be located farther apart than the maximum entrance spacing standards in the transect zone:

i. Be located on the street-facing ground story facade; and

ii. Provide both ingress and egress pedestrian access to the ground story of the building; and

iii. Must access an occupiable space.



d. Entrance spacing is measured horizontally and parallel to the street lot line from the edge of the door to the edge of the adjacent door, or to the edge or the building.

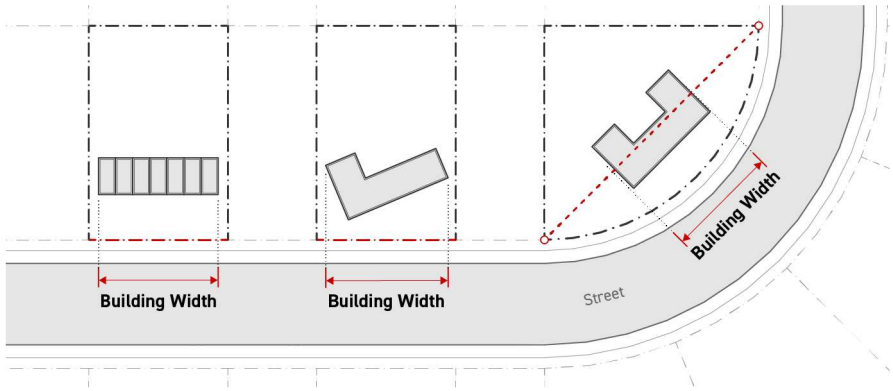
e. A street-facing entry facing the front lot line is required for all buildings.

f. A side street-facing entry is only required when the building width along the side street is greater than the maximum entrance spacing requirement for the transect zone.

g. On a corner lot, an angled entry at the corner of the building where two street lot lines meet may be used to meet the requirement along both streets.

10. Building Width

1. Building width standards apply to all front lot line and side street lot line facing building facades.
2. Building width is measured horizontally and parallel to the front lot line or the side street lot line from one end of a building to the opposite end.



3. For a building with both a front lot line and side street lot line facing building facade, building width does not apply to the side street facing building facade.
4. One open space per building that meets the following standards may be used to establish a continuous structure as separate buildings for the purpose of meeting a maximum building width requirement:
   a. The width of the open space can be no less than ¼ the width of the widest adjacent building width provided.
   b. The depth of the open space must be at least equal to the width of the open space or 30 feet, whichever is less.

802 DEFINITIONS OF TERMS

Encroachment. A building element or frontage element, such as a balcony, porch, stoop, deck, gallery, loading dock, bay window, canopy, awning, eave, window well, or fence, that extends across a setback, ~~build-to-line,~~ or property line.

Zone District, Nonresidential. The following zone districts and TND transect zone designations that are primarily intended for mixed use or nonresidential uses: OR, G-1, G-2, CO, CY-1, CY-2, CK-1, CK- 2, CN, CC, CS, I, T4-NC, T5-VC, T5-TC, and SD.

Zone District, Residential. The following zone districts and TND transect zone designations that are primarily intended for residential uses: RE-1, RE-2, RN-1, RN-2, RN-3, RN-4, RO, RR-1, RR-2, MH, MF-1, MF-2, MF-3, T2-NE, T3-NG1, ~~and~~ T3-NG2, and T4-NX.