

OUTLINE OF CHANGES:

01. MAXIMUM BUILDING HEIGHT CHANGED FROM 62' - 9 1/4" TO 62' - 1 1/2" (RE: A7.02 FOR MORE INFORMATION)
02. LOT COVERAGE CHANGED FROM 21,566 SF / 30.32% TO 22,128 SF / 31.11% (RE: A0.02 FOR MORE INFORMATION)
03. MINOR UPDATES TO IBC CODE REVIEW TABLES TO MATCH BUILDING UPDATES

LEGEND:			
WALL SYMBOL	DESCRIPTION	FIRE-RESISTIVE RATING	FIRE DOOR RATING
---	FIRE BARRIER	30-MINUTE RATED	20 MIN
---	FIRE BARRIER	1-HR RATED	45 MIN
---	FIRE BARRIER	2-HR RATED	90 MIN
---	BEARING EXT. WALL	NON-RATED	---

NOTES:

1. IF THIS SHEET IS NOT VIEWED IN COLOR, VITAL DATA IS MISSING AND MAY BE MISUNDERSTOOD.

2. SEE MECHANICAL DOCUMENTATION FOR LOCATIONS OF FIRE DAMPERS.

3. SEE MECHANICAL DRAWINGS FOR LOCATION OF SMOKE DAMPERS.

4. SEE ARCHITECTURAL DOCUMENTATION FOR LOCATIONS OF FIRE DOORS.

5. THE FIRE-RESISTANCE RATING OF EXTERIOR WALLS WITH A FIRE SEPERATION DISTANCE >8 FEET SHALL BE RATED FOR EXPOSURE FROM THE INSIDE FOR A FIRE SEPERATION DISTANCE <8 FEET. SUCH WALLS SHALL BE RATED FOR EXPOSURE FROM BOTH SIDES.

GENERAL CODE STUDY - THE AMBLE:

ALLOWED:	REQUIRED:	PROVIDED:
PROJECT DESCRIPTION:		
PROJECT NAME:	THE AMBLE	
PROJECT LOCATION:	STEAMBOAT, CO	
AUTHORITY HAVING JURISDICTION:	ROUTT COUNTY	
GOVERNING ROUTT COUNTY ADOPTED CODES:		
2018 International Building Code (with Routt County and City of Steamboat Amendments)		
2018 International Residential Code		
2018 International Plumbing Code		
2018 International Mechanical Code		
2018 International Fuel Gas Code		
2018 International Existing Building Code		
2018 International Energy Conservation Code		
2018 International Fire Code		
2018 International Swimming Pool and Spa Code		
2017 Accessible & Usable Building & Facilities		
STEAMBOAT SPRINGS CDC ZONING INFORMATION:		
ZONE DISTRICT:	RESORT RESIDENTIAL - ONE	
MAXIMUM BUILDING HEIGHT:	62' - 0"	62' - 1 1/2"
LOT AREA:	6,000 SF MIN	
LOT COVERAGE:	50% MAX. (35,561 SF)	22,128 SF (31.11%)
FRONT SETBACK:	15' - 0"	
PORCH:	25' - 0"	
3RD STORY AND ABOVE:	15' - 0"	
SIDE SETBACK:	15' - 0"	
REAR SETBACK:	15' - 0"	
DESIGN STANDARDS:		
GROUND SNOW LOAD:	115 PSF	
WIND SPEED:	115 MPH	
SEISMIC DESIGN CATEGORY:	C	
FROST DEPTH:	48"	
CLIMATE ZONE:	7	
BUILDING ENVELOPE REQUIREMENTS (IBC TABLE 602.1.3, CLIMATE ZONE 7):		
FENESTRATION U-FACTOR (Operable):	0.375SHGC 0.45	0.175SHGC 0.25
FENESTRATION U-FACTOR (Fixed):	0.280SHGC 0.45	0.175SHGC 0.25
ROOF R-VALUE:	R-35 or R-49 attic	R-40 or R-30 (R-38 att.)
WALL R-VALUE:	R-13 + R-5 att.	R-20 + R-10 (R-34 att.)
FLOOR R-VALUE:	R-30 joist framing	R-38 joist framing
BASEMENT WALL R-VALUE:	R-10	R-20
SLAB R-VALUE AND DEPTH:	R-15(24" vertical	R-20
INFILTRATION (5spf):	0.40	

IBC CODE REVIEW - THE AMBLE:

ALLOWED:	PROVIDED:
USE AND OCCUPANCY CLASSIFICATION:	
PRIMARY OCCUPANCY:	R-2 (RESIDENTIAL, LEVELS 01-DORMER LEVEL)
SECONDARY OCCUPANCIES:	S-1 & S-2 (PARKING GARAGE, LEVEL 00) # (LOBBY AREA, LEVEL 01)
IBC BUILDING CONSTRUCTION REVIEW:	
CONSTRUCTION TYPE:	IB
SPRINKLER SYSTEM:	AUTOMATIC FIRE SPRINKLER SYSTEM NFPA 13
MAX. BUILDING HEIGHT FROM GRADE:	75' (IBC TABLE 504.3)
ALLOW. BLDG STORES ABOVE GRADE:	5 STORES (IBC TABLE 504.4)
ALLOWABLE BUILDING AREA:	CALCULATED RELATIONSHIP BETWEEN ACTUAL BUILDING AREA AND ALLOWABLE BUILDING AREA FOR EACH OCCUPANCY AT EACH LEVEL MUST BE NO GREATER THAN 3. PER IBC SECTION 506.2.4.
ALLOWABLE BUILDING AREA PER OCCUPANCY (IBC TABLE 506.2):	
B OCCUPANCY:	69,000 SF
R-2 OCCUPANCY:	48,000 SF
S-1 OCCUPANCY:	52,500 SF
S-2 OCCUPANCY:	78,000 SF
LEVEL 00 = S-1 BLDG AREA + S-2 BLDG AREA + B BLDG AREA = 2,904 SF + 19,188 SF + 396 SF = 0.06 + 0.25 + 0.01 = 0.32	
LEVEL 01 = B BLDG AREA + R-2 BLDG AREA + S-1 BLDG AREA = 3,094 SF + 14,178 SF + 241 SF = 0.04 + 0.29 + 0.01 = 0.34	
LEVEL 02 = R-2 BLDG AREA + S-1 BLDG AREA = 17,188 SF + 241 SF = 0.36 + 0.01 = 0.37	
LEVEL 03 = R-2 BLDG AREA + S-1 BLDG AREA = 17,188 SF + 241 SF = 0.36 + 0.01 = 0.37	
LEVEL 04 = R-2 BLDG AREA + S-1 BLDG AREA = 17,188 SF + 241 SF = 0.36 + 0.01 = 0.37	
DORMER = R-2 BLDG AREA = 4,495 SF = 0.10	
R-2 ALLOWABLE:	48,000 SF
ALLOWABLE BUILDING AREA TOTAL = 1.87 < 3 (RE: IBC 506.2.4)	
REQUIRED FIRE-RESISTANCE SEPERATIONS (IBC TABLE 601):	
PRIMARY STRUCTURAL FRAME:	TYPE I-B
BEARING WALLS:	0-HR
NON-BEARING WALLS:	0-HR
FLOOR CONSTRUCTION:	0-HR
ROOF CONSTRUCTION:	0-HR
REQUIRED FIRE-RESISTANCE SEPERATIONS - EXT. WALLS (IBC TABLE 602):	
X < 0:	TYPE I-B
0 < X < 10:	1-HR
10' < X < 30:	0-HR
X > 30:	0-HR
OCCUPANCY FIRE SEPERATION REQUIREMENTS:	
CORRIDOR SEPERATION:	30-MINUTE (IBC SECTION 708.3 EXCEPTION 1)
R-2 UNIT SEPERATION:	30-MINUTE (IBC SECTION 708.3 EXCEPTION 2, TYPE I-B CONSTRUCTION)
R-2 TO B SEPERATION:	1-HR (IBC TABLE 508.4)
S-2 SEPERATION:	1-HR (IBC TABLE 508.4)
S-1 TO S-2 SEPERATION:	1-HR (IBC TABLE 508.4)
ACCESSIBILITY:	
SITE ARRIVAL POINTS:	
Please refer to sheets A0.12 and A0.02 for a documentation of pedestrian and vehicular access points.	
PARKING:	
The parking garage has a total of forty-two (42) parking spaces. Per IBC Table 1106.1, two (2) ADA parking spaces are required, one (1) of which is required to be van accessible. A total of four (4) ADA parking spaces are provided, one (1) of which is van accessible.	
ACCESSIBLE UNITS:	
Per IBC Table 1107.6.1.1, a minimum of two (2) accessible units without roll-in showers shall be provided. No accessible units with roll-in showers are required for buildings with less than 50 total units.	
All other units shall be Type B, per IBC section 1107.6.1.2.	
EGRESS:	
Per IBC 1011.1, the width of an interior stairway cannot be less than 44". By this rule, you would need an occupant load of 250 or greater on an individual level before occupant load would control stair width. Based on the below individual level occupant loads, the provided EGRESS stair width is 44".	
Level 00: 135 Occupancy	
Level 01: 229 Occupancy	
Level 02: 84 Occupancy	
Level 03: 94 Occupancy	
Level 04: 120 Occupancy	

359
DESIGN

The Amble
Steamboat Springs, CO

No.	Description	Date

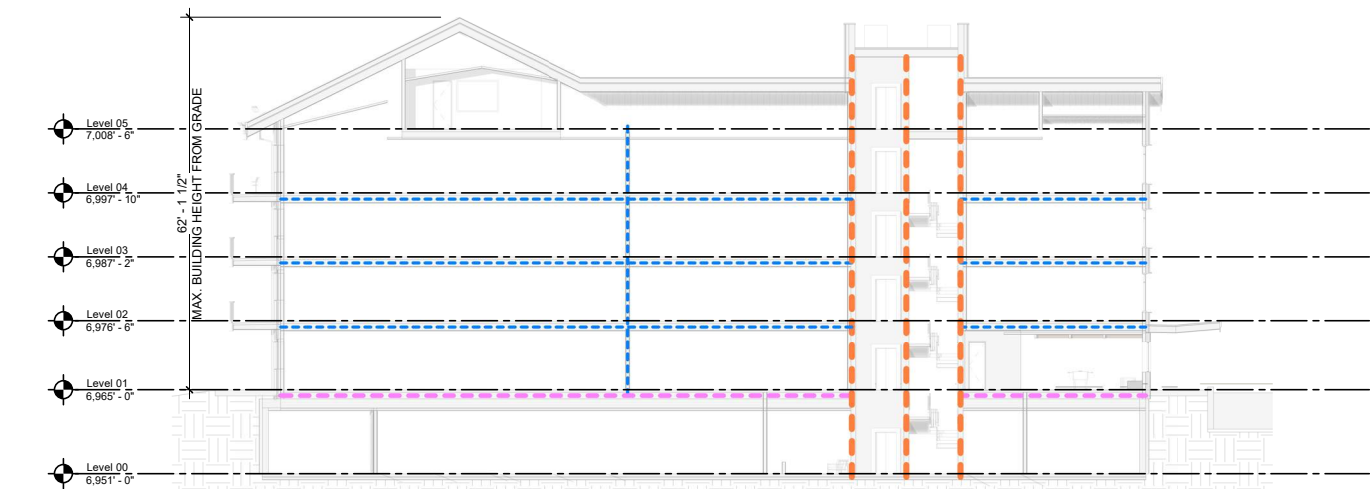
Steamboat Springs -
100% DD Issuance

CODE ANALYSIS

G0.10

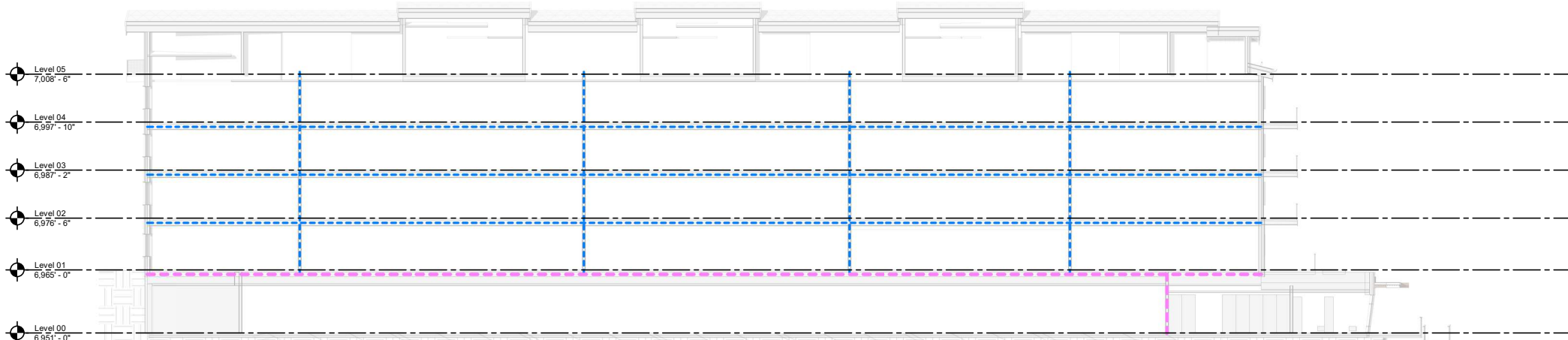
2 Building Section 02 - Code Study

1/16" = 1'-0"



1 Building Section 01 - Code Study

1/16" = 1'-0"



GENERAL CODE STUDY - THE AMBLE:

ALLOWED:	PROVIDED:
PROJECT DESCRIPTION:	
PROJECT NAME:	THE AMBLE
PROJECT LOCATION:	STEAMBOAT, CO
AUTHORITY HAVING JURISDICTION:	ROUTT COUNTY
GOVERNING ROUTT COUNTY ADOPTED CODES:	
2018 International Building Code (with Routt County and City of Steamboat Amendments)	
2018 International Residential Code	
2018 International Plumbing Code	
2018 International Mechanical Code	
2018 International Fuel Gas Code	
2018 International Existing Building Code	
2018 International Energy Conservation Code	
2018 International Fire Code	
2018 International Swimming Pool and Spa Code	
2017 Accessible & Usable Building & Facilities	
STEAMBOAT SPRINGS CDC ZONING INFORMATION:	
ZONE DISTRICT:	RESORT RESIDENTIAL - ONE
MAXIMUM BUILDING HEIGHT:	62' - 0"
LOT AREA:	6,000 SF MIN
LOT COVERAGE:	50% MAX. (35,561 SF)
FRONT SETBACK:	20' - 0"
PRINCIPAL BUILDING:	25' - 0"
3RD STORY AND ABOVE:	15' - 0"
SIDE SETBACK:	15' - 0"
REAR SETBACK:	15' - 0"
DESIGN STANDARDS:	
GROUND SNOW LOAD:	115 PSF
WIND SPEED:	115 MPH
SEISMIC DESIGN CATEGORY:	C
FROST DEPTH:	48"
CLIMATE ZONE:	7
BUILDING ENVELOPE REQUIREMENTS (IBC TABLE 602.1.3, CLIMATE ZONE 7):	
FENESTRATION U-FACTOR:	0.30
SOLAR LIGHT U-FACTOR:	0.55
CEILING R-VALUE:	R-60
WALL R-VALUE:	R-20+5, R-13+10, or R-0+20
FLOOR R-VALUE:	R-38
BASEMENT WALL R-VALUE:	R-10, R-13+5, or R-0+15
SLAB R-VALUE AND DEPTH:	R-10 (continuous), 4" - 0"
CRAWL SPACE R-VALUE:	R-10, R-13+5, or R-0+15

IBC CODE REVIEW - THE AMBLE:

ALLOWED:	PROVIDED:
USE AND OCCUPANCY CLASSIFICATION:	
PRIMARY OCCUPANCY:	R-2 (RESIDENTIAL, LEVELS 01-DORMER LEVEL)
SECONDARY OCCUPANCIES:	S-1 & S-2 (PARKING GARAGE, LEVEL 00) # (LOBBY AREA, LEVEL 01)
IBC BUILDING CONSTRUCTION REVIEW:	
CONSTRUCTION TYPE:	IB
SPRINKLER SYSTEM:	AUTOMATIC FIRE SPRINKLER SYSTEM NFPA 13
MAX. BUILDING HEIGHT FROM GRADE:	75' (IBC TABLE 504.3)
ALLOW. BLDG STORES ABOVE GRADE:	5 STORES (IBC TABLE 504.4)
ALLOWABLE BUILDING AREA:	CALCULATED RELATIONSHIP BETWEEN ACTUAL BUILDING AREA AND ALLOWABLE BUILDING AREA FOR EACH OCCUPANCY AT EACH LEVEL MUST BE NO GREATER THAN 3. PER IBC SECTION 506.2.4.
ALLOWABLE BUILDING AREA PER OCCUPANCY (IBC TABLE 506.2):	
B OCCUPANCY:	69,000 SF
R-2 OCCUPANCY:	48,000 SF
S-1 OCCUPANCY:	52,500 SF
S-2 OCCUPANCY:	78,000 SF
LEVEL 00 = S-1 BUILDING AREA + S-2 BUILDING AREA = 2,877 SF + 17,356 SF = 0.05 + 0.22 = 0.27	
LEVEL 01 = B BUILDING AREA + R-2 BUILDING AREA = 2,282 SF + 13,353 SF = 0.05 + 0.28 = 0.33	
LEVEL 02 = R-2 BUILDING AREA = 19,119 SF = 0.40	
LEVEL 03 = R-2 BUILDING AREA = 19,119 SF = 0.40	
LEVEL 04 = R-2 BUILDING AREA = 21,011 SF = 0.44	
ALLOWABLE BUILDING AREA TOTAL = 1.44	
REQUIRED FIRE-RESISTANCE SEPERATIONS (IBC TABLE 601):	
PRIMARY STRUCTURAL FRAME:	TYPE I-B
BEARING WALLS:	0-HR
NON-BEARING WALLS:	0-HR
FLOOR CONSTRUCTION:	0-HR
ROOF CONSTRUCTION:	0-HR
REQUIRED FIRE-RESISTANCE SEPERATIONS - EXT. WALLS (IBC TABLE 602):	
X < 0:	TYPE I-B
0 < X < 10:	1-HR
10' < X < 30:	0-HR
X > 30:	0-HR
OCCUPANCY FIRE SEPERATION REQUIREMENTS:	
CORRIDOR SEPERATION:	30-MINUTE (IBC SECTION 708.3 EXCEPTION 1)
R-2 UNIT SEPERATION:	30-MINUTE (IBC SECTION 708.3 EXCEPTION 2, TYPE I-B CONSTRUCTION)
R-2 TO B SEPERATION:	1-HR (IBC TABLE 508.4)
S-2 SEPERATION:	1-HR (IBC TABLE 508.4)
S-1 TO S-2 SEPERATION:	1-HR (IBC TABLE 508.4)
ACCESSIBILITY:	
SITE ARRIVAL POINTS:	
Please refer to sheets A0.12 and A0.02 for a documentation of pedestrian and vehicular access points.	
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EGRESS:	
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Level 00: 135 Occupancy	
Level 01: 103 Occupancy	
Level 02: 88 Occupancy	
Level 03: 88 Occupancy	
Level 04: 88 Occupancy	

359
DESIGN

The Amble
Steamboat, CO

No.	Description	Date

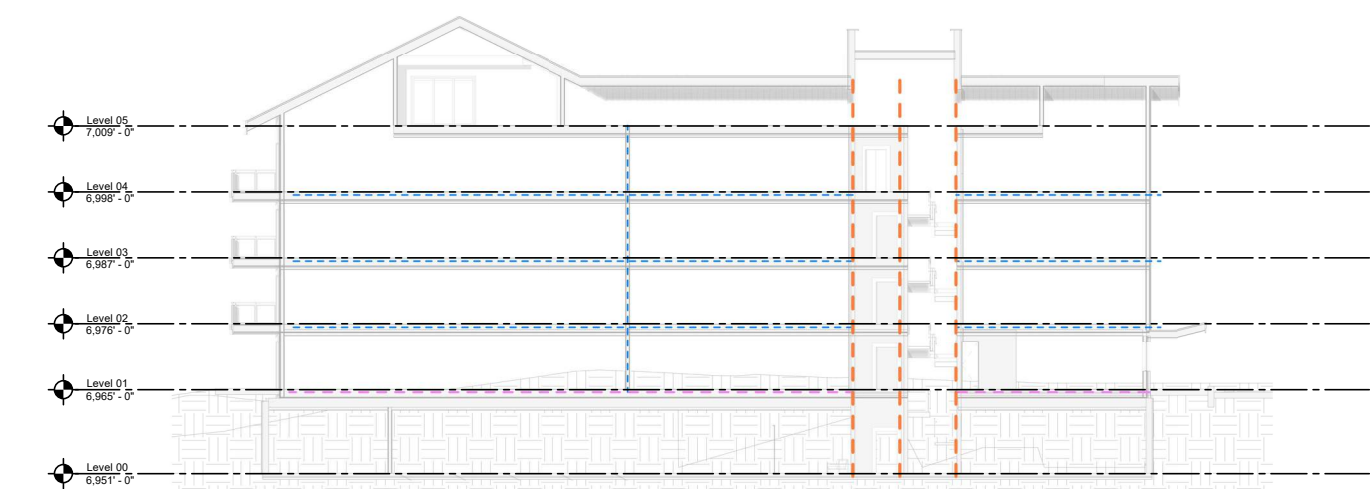
Steamboat Springs -
DRY Submittal Package

CODE ANALYSIS

G0.10

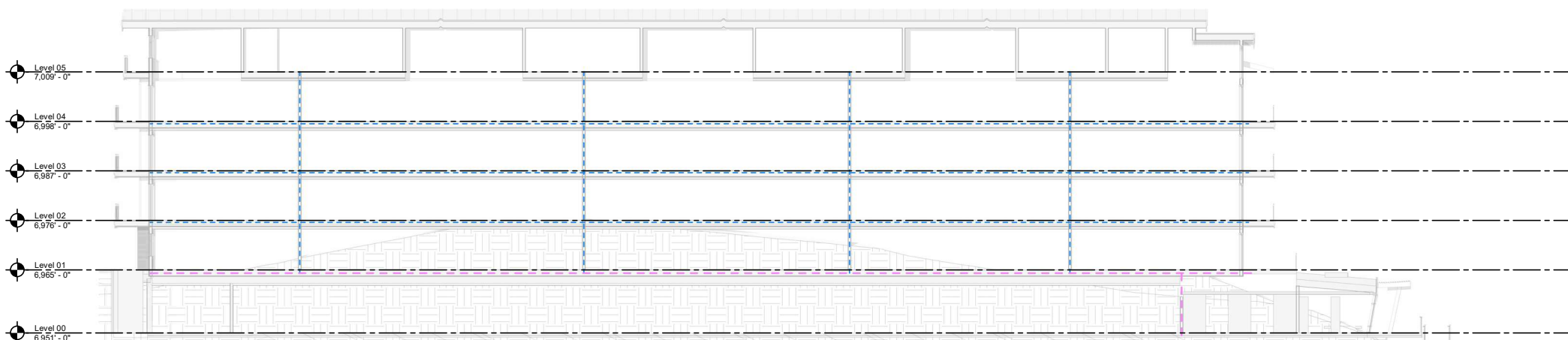
2 Building Section 02 - Code Study

1/16" = 1'-0"



1 Building Section 01 - Code Study

1/16" = 1'-0"



OUTLINE OF CHANGES:

- 01. MINOR ADJUSTMENTS TO PROGRAM LAYOUT AT LEVEL 00 - GARAGE (PREVIOUSLY LABELLED AS LEVEL 01).
- 02. MINOR ADJUSTMENTS TO LOBBY/GYM AND INTERIOR RESIDENTIAL CORNER AT LEVEL 01 (PREVIOUSLY LABELLED AS LEVEL 02).
- 03. ADDED DORMER LEVELS TO FIVE UNITS WHERE VAULTED SPACE WAS PREVIOUSLY SHOWN. SIMILAR TO UNITS WITH DORMER LEVELS PREVIOUSLY SHOWN. CIRCULATION TO THE DORMER LEVEL IS INTERIOR TO THE UNITS. NOTE: THE DORMER LEVEL WAS PREVIOUSLY REFERRED TO AS LEVEL 06, BUT IS NOW REFERRED TO AS LEVEL 06 THROUGHOUT THE SUBMITTAL SET.

LEGEND:			
WALL SYMBOL	DESCRIPTION	FIRE-RESISTIVE RATING	FIRE DOOR RATING
	FIRE BARRIER	30-MINUTE RATED	20 MIN.
	FIRE BARRIER	1-HR RATED	45 MIN.
	FIRE BARRIER	2-HR RATED	90 MIN.
	BEARING EXT. WALL	NON-RATED	---

NOTES:

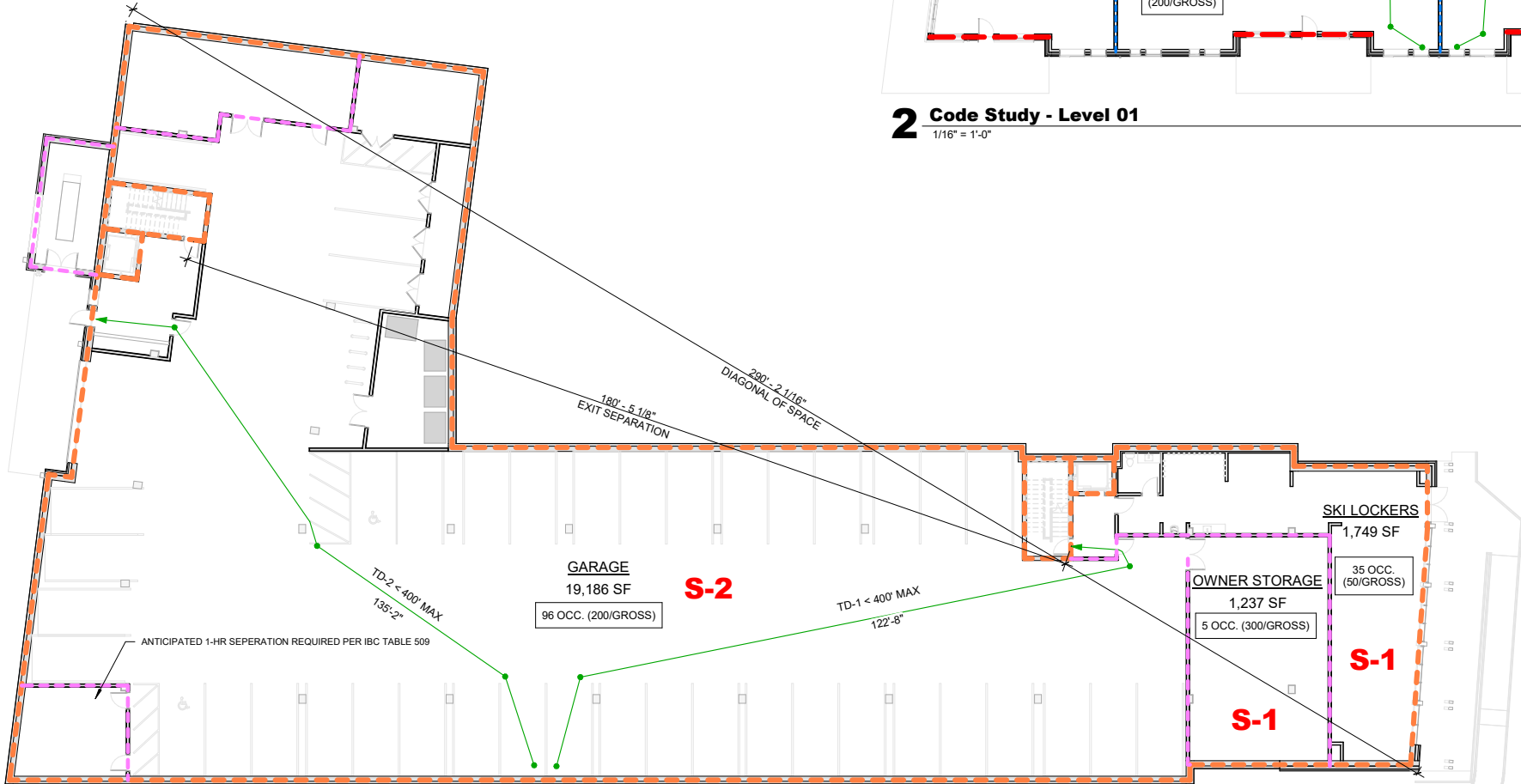
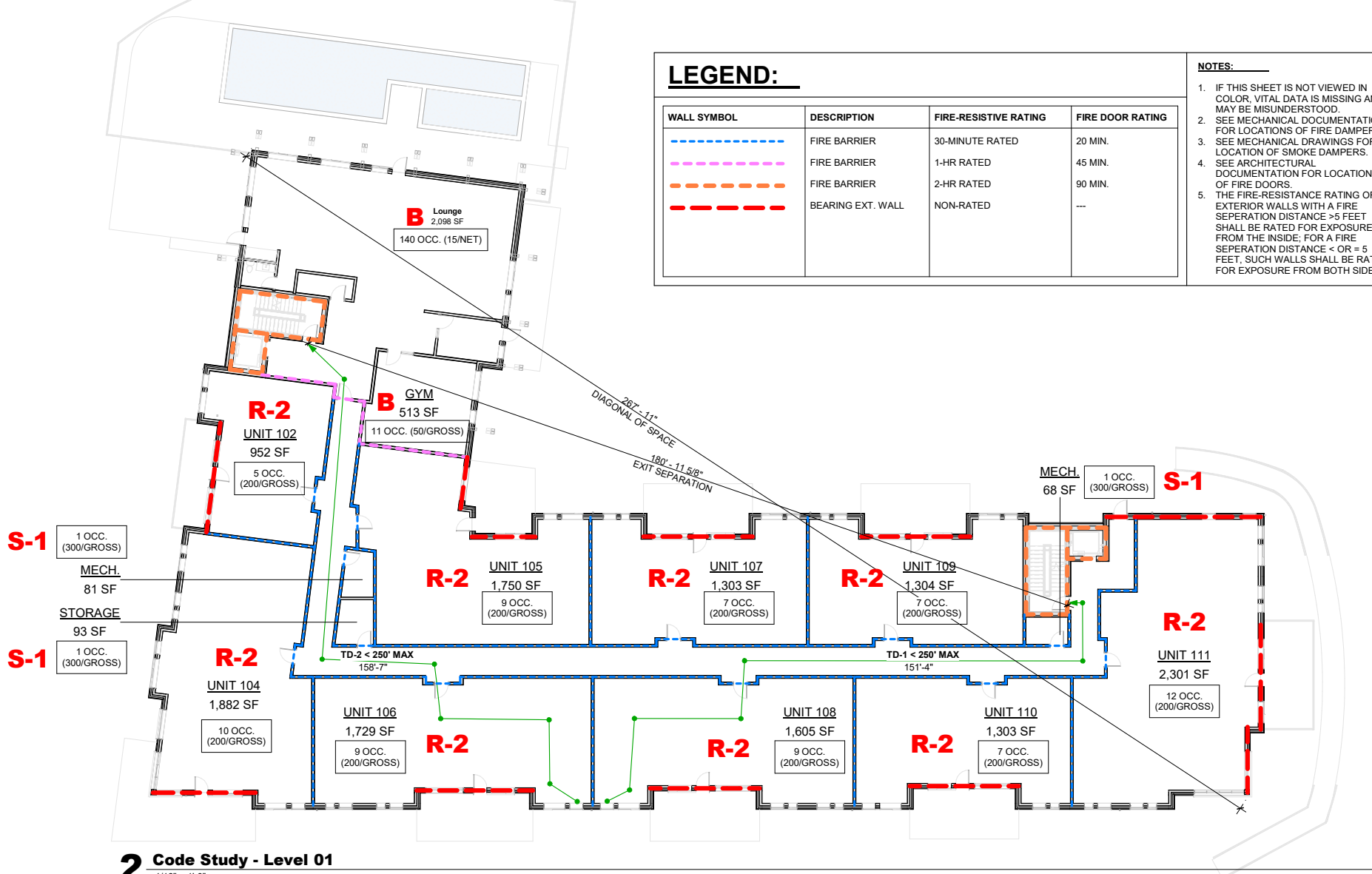
1. IF THIS SHEET IS NOT VIEWED IN COLOR, VITAL DATA IS MISSING AND MAY BE MISUNDERSTOOD.

2. SEE MECHANICAL DRAWINGS FOR LOCATIONS OF FIRE DAMPERS.

3. SEE MECHANICAL DRAWINGS FOR LOCATION OF SMOKE DAMPERS.

4. SEE ARCHITECTURAL DOCUMENTATION FOR LOCATIONS OF FIRE DOORS.

5. THE FIRE-RESISTANCE RATING OF EXTERIOR WALLS WITH A FIRE SEPERATION DISTANCE >5 FEET SHALL BE RATED FOR EXPOSURE FROM THE INSIDE. FOR A FIRE SEPERATION DISTANCE < OR = 5 FEET, SUCH WALLS SHALL BE RATED FOR EXPOSURE FROM BOTH SIDES.



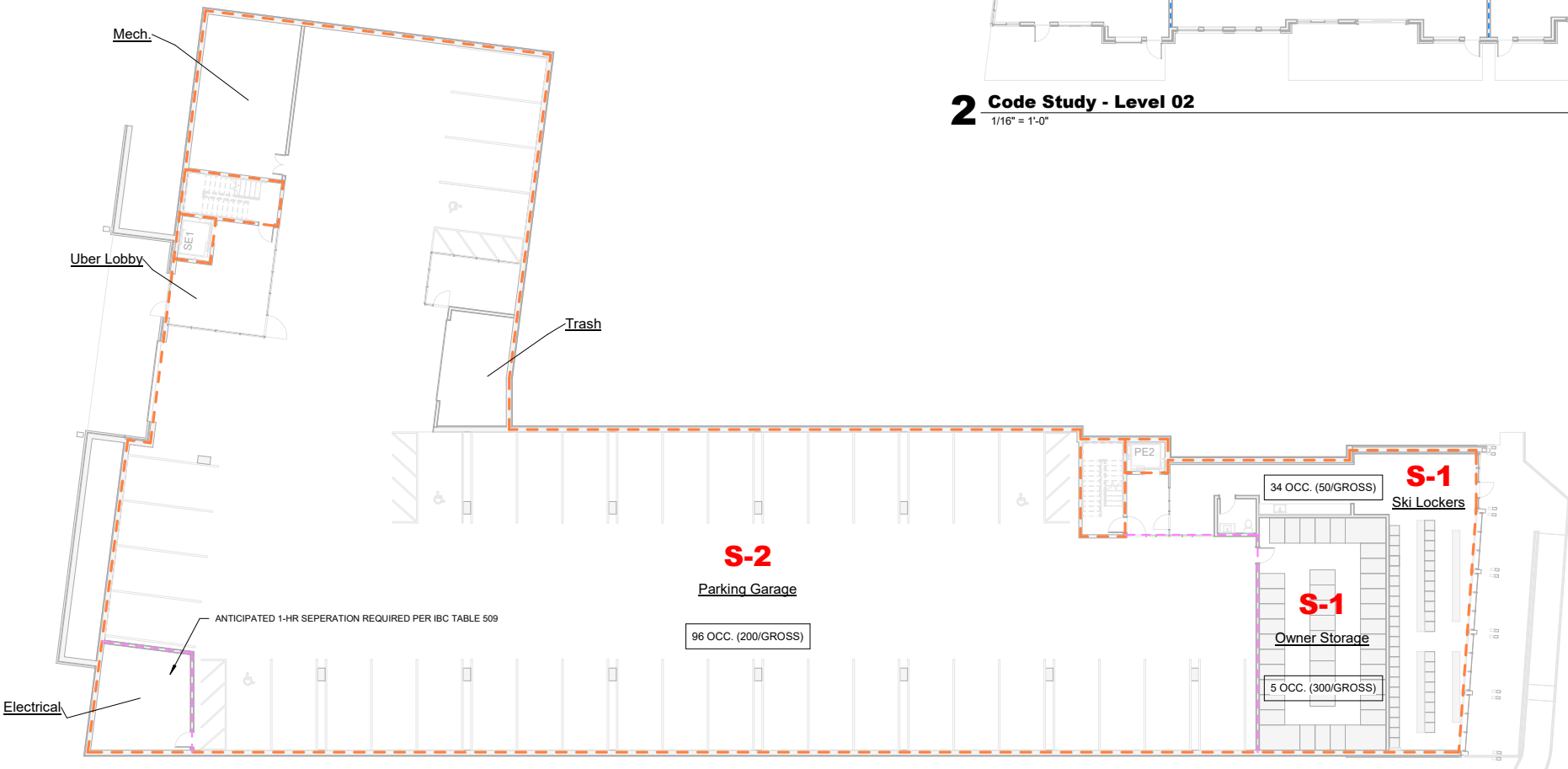
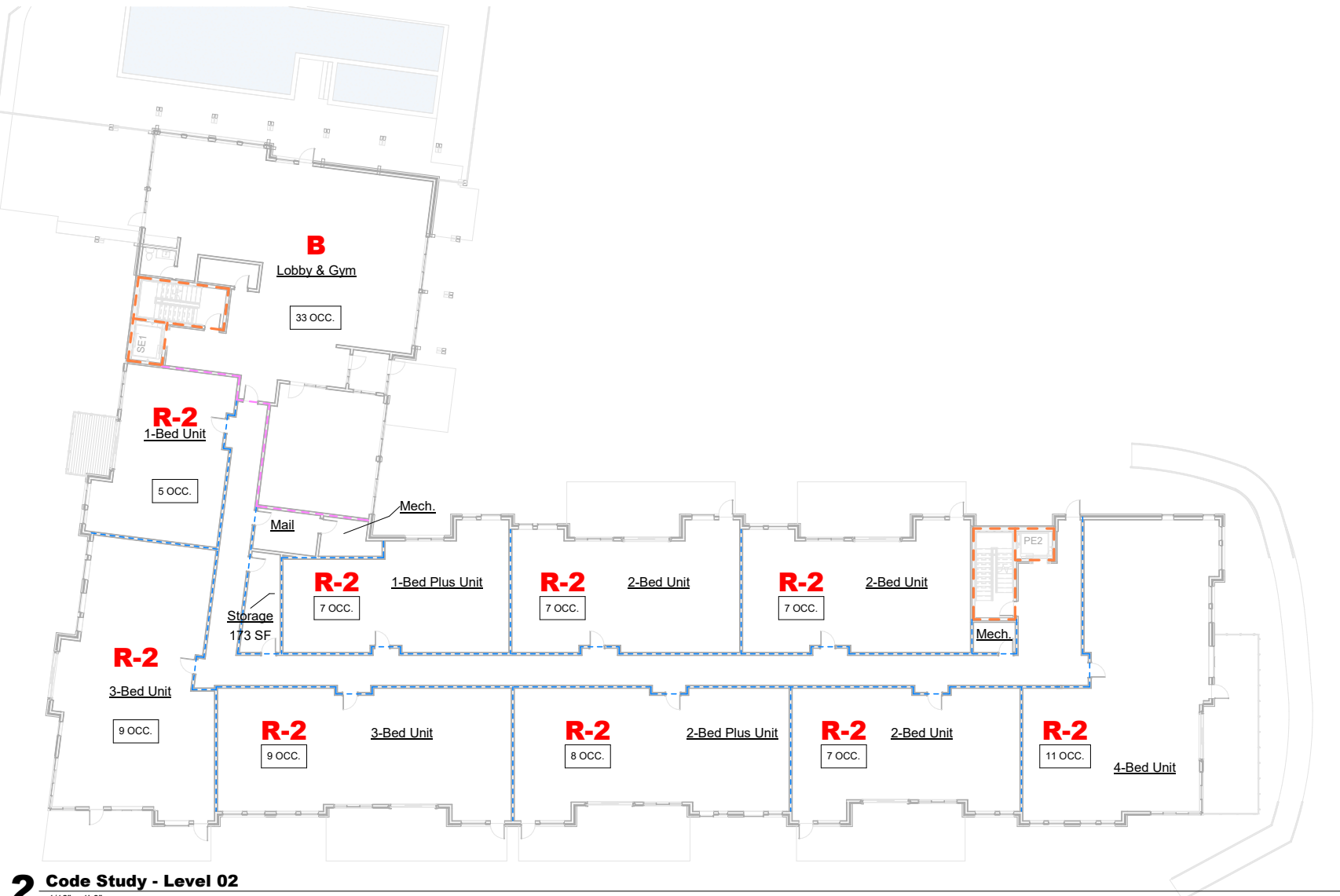
The Ambie
Steamboat Springs, CO

No.	Description	Date

Steamboat Springs -
100% DD Issuance

ALS PLANS

G0.11



359
DESIGN

The Ambie
Steamboat, CO

No.	Description	Date

Steamboat Springs -
DRY Submittal Package

ALS PLANS

G0.11

G0.30 --- NET AREA PLANS
REVISED SUBMITTAL - PL20220623

OUTLINE OF CHANGES:

01. SHEET NUMBER UPDATED FROM G1.00 TO G0.30.
02. TOTAL NET AREA UPDATED FROM 74,557 SF TO 80,990 SF.
03. TOTAL AMENITY NET AREA UPDATED FROM 14,092 SF (18.90%) TO 14,009 SF (17.30%). A MINIMUM OF 15% NET AMENITY SQUARE FOOTAGE IS REQUIRED.

359
DESIGN

The Amble
Steamboat Springs, CO

G0.30

G1.00 --- NET AREA PLANS
ORIGINAL SUBMITTAL - PL20220623

359
DESIGN

The Amble
Steamboat, CO

G1.00

NET AREA AMENITY

TOTAL AREAS

AMENITY	14,009 SF
OTHER	66,981 SF
TOTAL	80,990 SF

PERCENTAGE 17.30%

Name	Area
------	------

Residential/Other	
Unit 404	525 SF
Unit 401	577 SF
Unit 411	579 SF
Unit 407	580 SF
Unit 409	580 SF
Unit 410	580 SF
Unit 408	604 SF
Unit 406	647 SF
TOTAL	4,872 SF

AMENITY PERCENTAGE 0.00%

Name	Area
------	------

Amenity	
Mech.	57 SF
Mech.	68 SF
Storage	80 SF
Residential/Other	205 SF
Unit 302	888 SF
Unit 305	1,086 SF
Unit 303	1,229 SF
Unit 309	1,224 SF
Unit 307	1,229 SF
Unit 310	1,229 SF
Unit 308	1,523 SF
Unit 306	1,643 SF
Unit 304	1,786 SF
Unit 301	2,150 SF
Unit 311	2,310 SF
TOTAL	16,276 SF

AMENITY PERCENTAGE 1.24%

Name	Area
------	------

Amenity	
Bathroom	41 SF
Office	57 SF
Mech.	57 SF
Mech.	68 SF
Storage	80 SF
Lounge Vestibule	127 SF
Lounge Ext.	332 SF
Gym	478 SF
Lounge	2,296 SF
Pool Area	2,790 SF
Pool Area	3,323 SF
Residential/Other	9,440 SF
Unit 102	888 SF
Unit 109	1,224 SF
Unit 107	1,229 SF
Unit 110	1,229 SF
Unit 108	1,523 SF
Unit 106	1,643 SF
Unit 105	1,666 SF
Unit 104	1,786 SF
Unit 111	2,192 SF
TOTAL	13,381 SF

AMENITY PERCENTAGE 41.39%

Name	Area
------	------

Amenity	
Bathroom	41 SF
Office	57 SF
Mech.	57 SF
Mech.	68 SF
Storage	80 SF
Lounge Vestibule	127 SF
Lounge Ext.	332 SF
Gym	478 SF
Lounge	2,296 SF
Pool Area	2,790 SF
Pool Area	3,323 SF
Residential/Other	9,440 SF
Unit 102	888 SF
Unit 109	1,224 SF
Unit 107	1,229 SF
Unit 110	1,229 SF
Unit 108	1,523 SF
Unit 106	1,643 SF
Unit 105	1,666 SF
Unit 104	1,786 SF
Unit 111	2,192 SF
TOTAL	13,381 SF

AMENITY PERCENTAGE 41.39%

Name	Area
------	------

Amenity	
Storage	152 SF
Storage	152 SF
Residential/Other	
1 Bed	893 SF
2 Bed	1,086 SF
2 Bed	3,616 SF
2 Bed	1,206 SF
3 Bed	1,479 SF
3 Bed	1,596 SF
3 Bed	1,714 SF
4 Bed	2,178 SF
4 Bed	2,241 SF
TOTAL	16,109 SF

AMENITY PERCENTAGE 00.94%

Name	Area
------	------

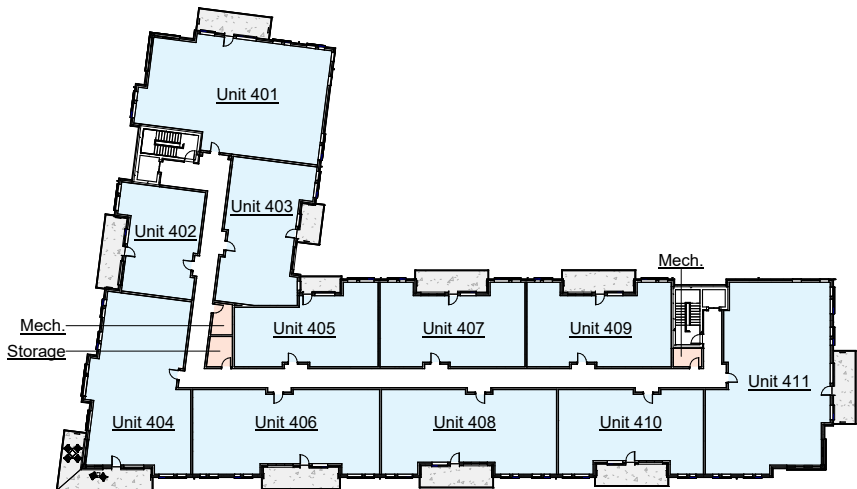
Amenity	
Bathroom	40 SF
Bathroom	43 SF
Lounge Vestibule	64 SF
Office	64 SF
Meat	115 SF
Storage	152 SF
Lounge Ext.	394 SF
Fitness	545 SF
Lounge	2,310 SF
Lawn	2,874 SF
Pool Area	3,375 SF
Residential/Other	9,976 SF
1 Bed	894 SF
2 Bed	1,083 SF
2 Bed	1,203 SF
2 Bed	1,256 SF
2 Bed	1,206 SF
2 Bed +	1,480 SF
3 Bed	1,596 SF
3 Bed	1,714 SF
4 Bed	1,983 SF
TOTAL	12,364 SF

AMENITY PERCENTAGE 44.98%

Name	Area
------	------

Amenity	
BATHROOM	51 SF
BIKE ROOM	176 SF
UBER LOBBY	361 SF
SUN DECK	567 SF
SKI CAGES	1,150 SF
SKI LOCKERS	1,364 SF
Residential/Other	3,659 SF
VERT CIRCULATION	102 SF
TOTAL	7,961 SF

AMENITY PERCENTAGE 97.29%

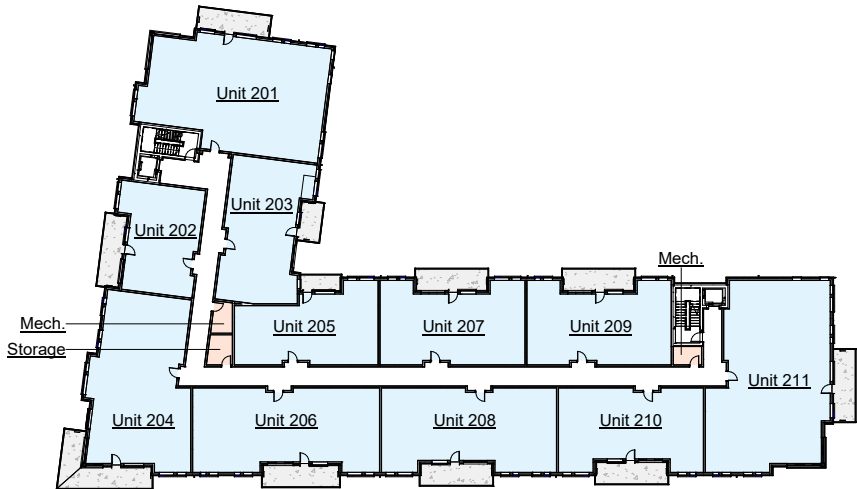


5 Level 04
1/32" = 1'-0"

Name	Area
------	------

Amenity	
Mech.	57 SF
Mech.	68 SF
Storage	80 SF
Residential/Other	205 SF
Unit 402	888 SF
Unit 405	1,086 SF
Unit 403	1,229 SF
Unit 409	1,224 SF
Unit 407	1,229 SF
Unit 410	1,229 SF
Unit 408	1,523 SF
Unit 406	1,643 SF
Unit 404	1,786 SF
Unit 401	2,150 SF
Unit 411	2,310 SF
TOTAL	16,276 SF

AMENITY PERCENTAGE 1.24%

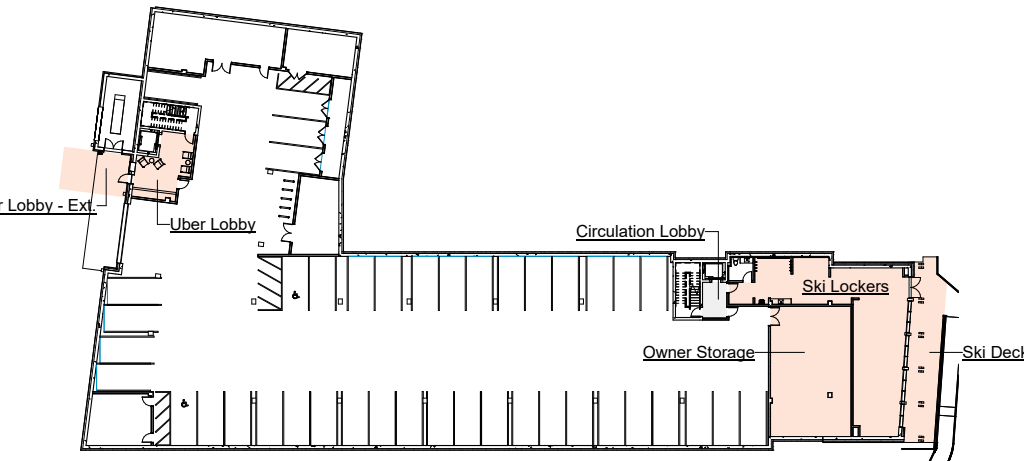


3 Level 02
1/32" = 1'-0"

Name	Area
------	------

Amenity	
Mech.	57 SF
Mech.	68 SF
Storage	80 SF
Residential/Other	205 SF
Unit 202	888 SF
Unit 205	1,086 SF
Unit 203	1,229 SF
Unit 209	1,224 SF
Unit 207	1,229 SF
Unit 210	1,229 SF
Unit 208	1,523 SF
Unit 206	1,643 SF
Unit 204	1,786 SF
Unit 201	2,150 SF
Unit 211	2,310 SF
TOTAL	16,276 SF

AMENITY PERCENTAGE 1.24%



1 Level 00
1/32" = 1'-0"

Name	Area
------	------

Amenity	
Uber Lobby - Ext	316 SF
Uber Lobby	324 SF
Ski Deck	662 SF
Owner Storage	1,163 SF
Ski Lockers	1,471 SF
Residential/Other	3,945 SF
Circulation Lobby	97 SF
TOTAL	97 SF

AMENITY PERCENTAGE 97.60%

No.	Description	Date
-----	-------------	------

Steamboat Springs - 100% DD Issuance

NET AREA PLANS

G0.30

359
DESIGN

The Amble
Steamboat, CO

G1.00

No.	Description	Date
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Steamboat Springs - DRY Submittal Package

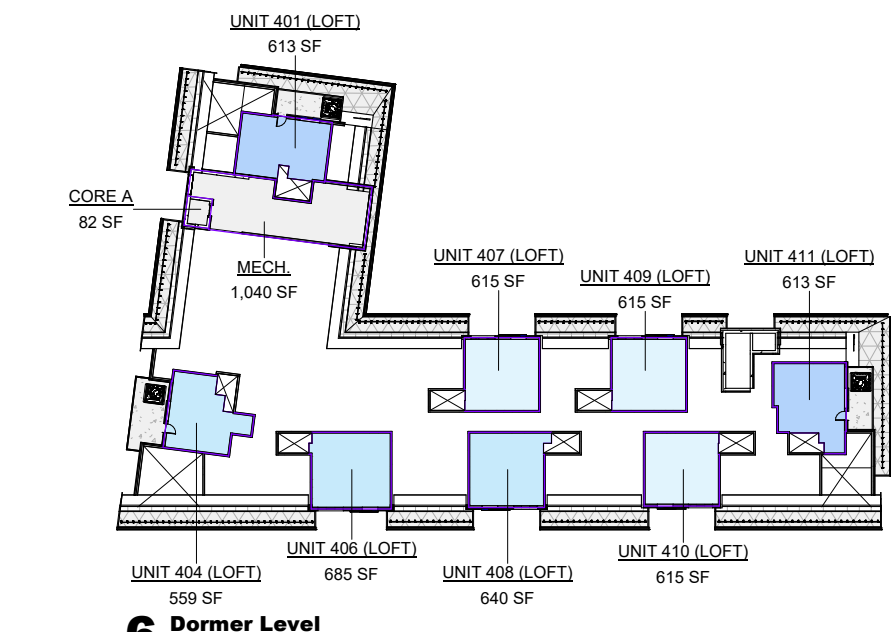
NET AREA PLANS

G1.00

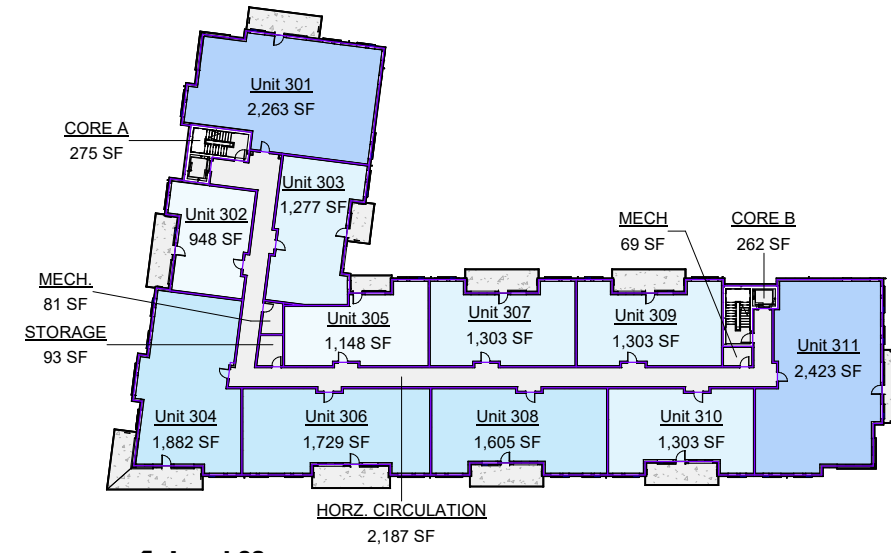
G0.31 --- GROSS AREA PLANS
REVISED SUBMITTAL - PL20220623

OUTLINE OF CHANGES:

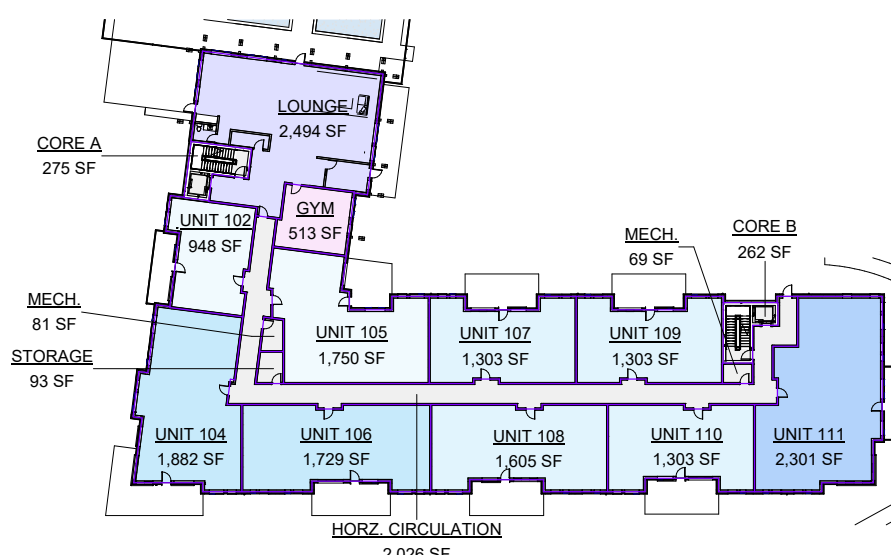
01. SHEET NUMBER UPDATED FROM G2.00 TO G0.31.
02. TOTAL GROSS AREA UPDATED FROM 103,688 SF (TOTAL NOT PREVIOUSLY PROVIDED ON G2.00) TO 109,431 SF.
THE INCREASE IN GROSS SQUARE FOOTAGE IS LARGELY RELATED TO THE CHANGES NOTED ON PAGE 02 OF THIS PACKAGE.



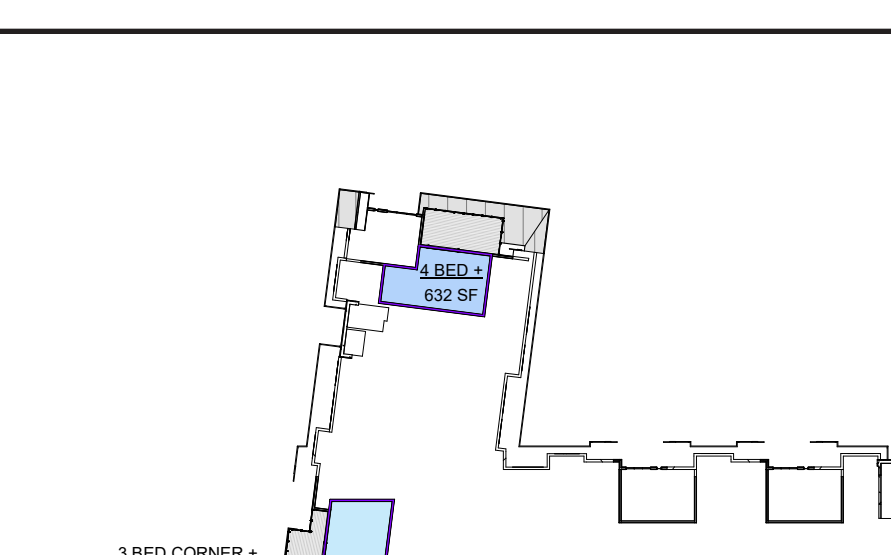
Gross Area Schedule - Level 01		
Name	Count	Area
Occupancy B-2		
Unit 401 (LOFT)	1	613 SF
Unit 402 (LOFT)	1	599 SF
Unit 403 (LOFT)	1	685 SF
Unit 404 (LOFT)	1	615 SF
Unit 405 (LOFT)	1	640 SF
Unit 406 (LOFT)	1	615 SF
Unit 407 (LOFT)	1	615 SF
Unit 408 (LOFT)	1	615 SF
Unit 409 (LOFT)	1	615 SF
Unit 410 (LOFT)	1	615 SF
Unit 411 (LOFT)	1	615 SF
Occupancy S-2		
MECH	1	1,040 SF
MECH	1	1,040 SF
Circulation / Core		
Core A	1	82 SF
Core B	1	82 SF
Storage	1	6,077 SF



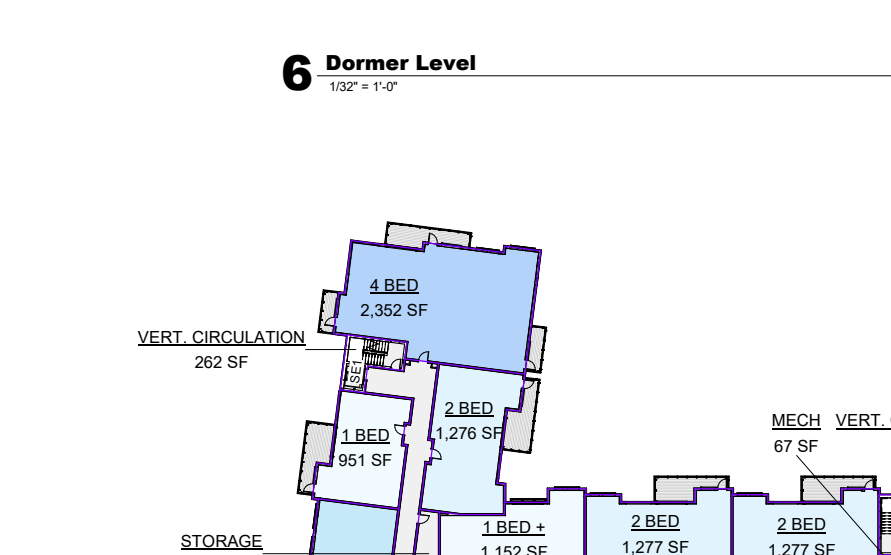
Gross Area Schedule - Level 02		
Name	Count	Area
Occupancy R-2		
Unit 301	1	2,263 SF
Unit 302	1	948 SF
Unit 303	1	1,277 SF
Unit 304	1	1,882 SF
Unit 305	1	1,148 SF
Unit 306	1	1,729 SF
Unit 307	1	1,303 SF
Unit 308	1	1,605 SF
Unit 309	1	1,303 SF
Unit 310	1	1,303 SF
Unit 311	1	2,423 SF
Occupancy S-2		
MECH	1	81 SF
MECH	1	81 SF
Storage	1	93 SF
Circulation / Core		
Core A	1	275 SF
Core B	1	262 SF
Horz. Circulation	1	2,187 SF



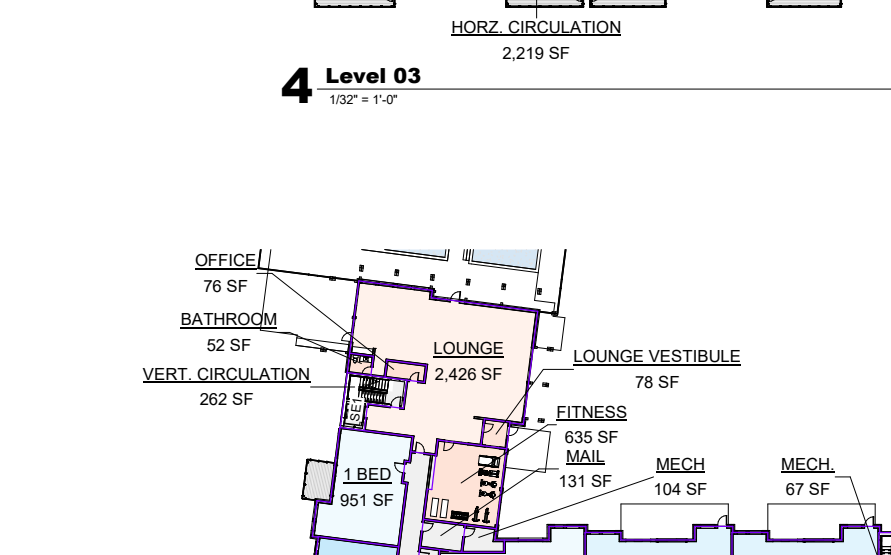
Gross Area Schedule - Level 03		
Name	Count	Area
Occupancy B		
Unit 201	1	2,263 SF
Unit 202	1	948 SF
Unit 203	1	1,277 SF
Unit 204	1	1,882 SF
Unit 205	1	1,148 SF
Unit 206	1	1,729 SF
Unit 207	1	1,303 SF
Unit 208	1	1,605 SF
Unit 209	1	1,303 SF
Unit 210	1	1,303 SF
Unit 211	1	2,423 SF
Occupancy S-2		
MECH	1	81 SF
MECH	1	81 SF
Storage	1	93 SF
Circulation / Core		
Core A	1	275 SF
Core B	1	262 SF
Horz. Circulation	1	2,187 SF



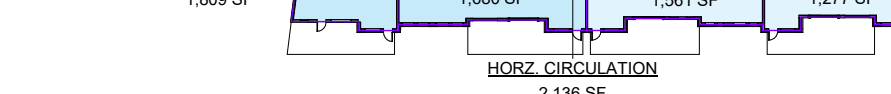
Gross Area Schedule - Level 04		
Name	Count	Area
Occupancy B		
Unit 101	1	2,263 SF
Unit 102	1	948 SF
Unit 103	1	1,277 SF
Unit 104	1	1,882 SF
Unit 105	1	1,148 SF
Unit 106	1	1,729 SF
Unit 107	1	1,303 SF
Unit 108	1	1,605 SF
Unit 109	1	1,303 SF
Unit 110	1	1,303 SF
Unit 111	1	2,423 SF
Occupancy S-2		
MECH	1	81 SF
MECH	1	81 SF
Storage	1	93 SF
Circulation / Core		
Core A	1	275 SF
Core B	1	262 SF
Horz. Circulation	1	2,187 SF



Gross Area Schedule - Level 05		
Name	Count	Area
Units		
1 BED +	1	951 SF
2 BED +	1	1,150 SF
3 BED +	1	1,680 SF
4 BED +	1	2,292 SF
Amenity		
Storage	1	173 SF
Other		
Horz. Circulation	1	2,219 SF
MECH	1	87 SF
VERT. Circulation	1	262 SF
VERT. Circulation	1	262 SF



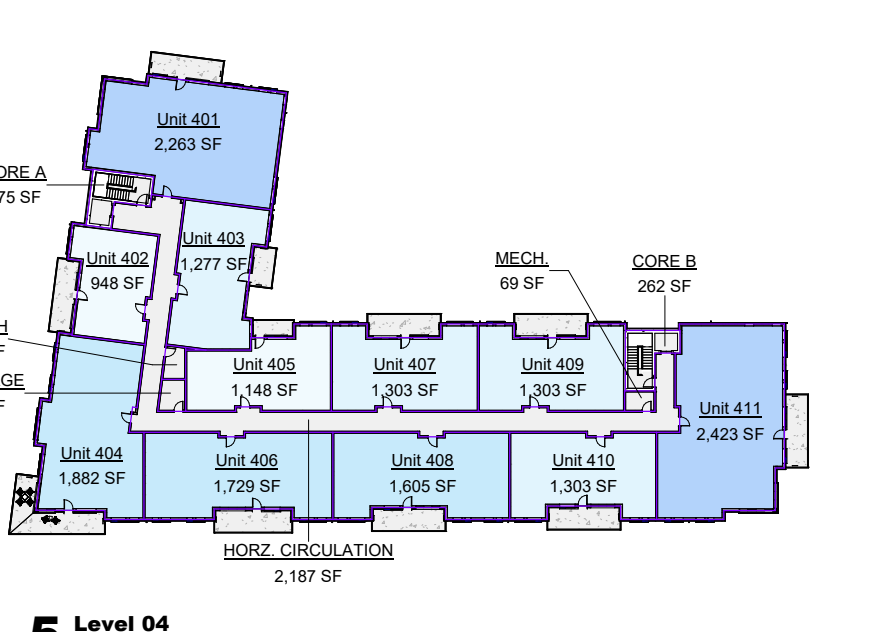
Gross Area Schedule - Level 06		
Name	Count	Area
Units		
1 BED +	1	951 SF
2 BED +	1	1,150 SF
3 BED +	1	1,680 SF
4 BED +	1	2,292 SF
Amenity		
Storage	1	173 SF
Other		
Horz. Circulation	1	2,219 SF
MECH	1	87 SF
VERT. Circulation	1	262 SF
VERT. Circulation	1	262 SF



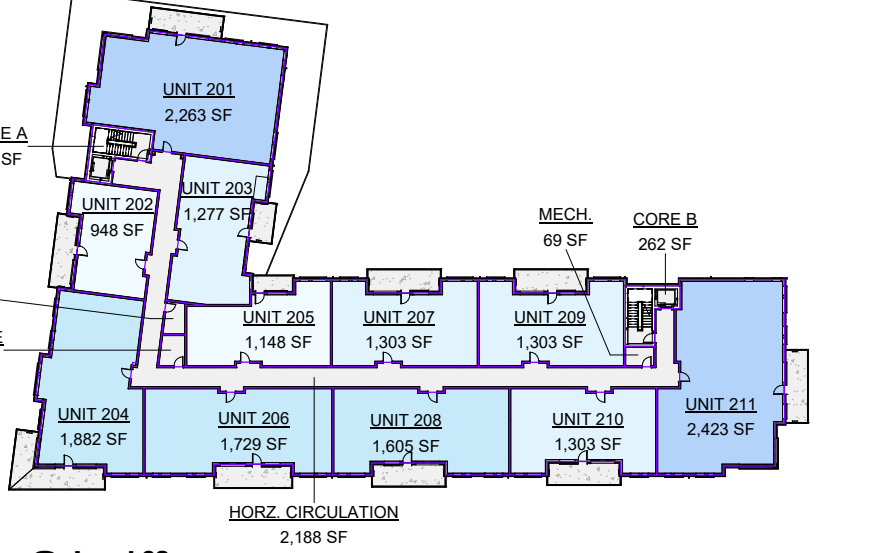
Gross Area Schedule - Level 07		
Name	Count	Area
Units		
1 BED +	1	951 SF
2 BED +	1	1,150 SF
3 BED +	1	1,680 SF
4 BED +	1	2,292 SF
Amenity		
Storage	1	173 SF
Other		
Horz. Circulation	1	2,219 SF
MECH	1	87 SF
VERT. Circulation	1	262 SF
VERT. Circulation	1	262 SF



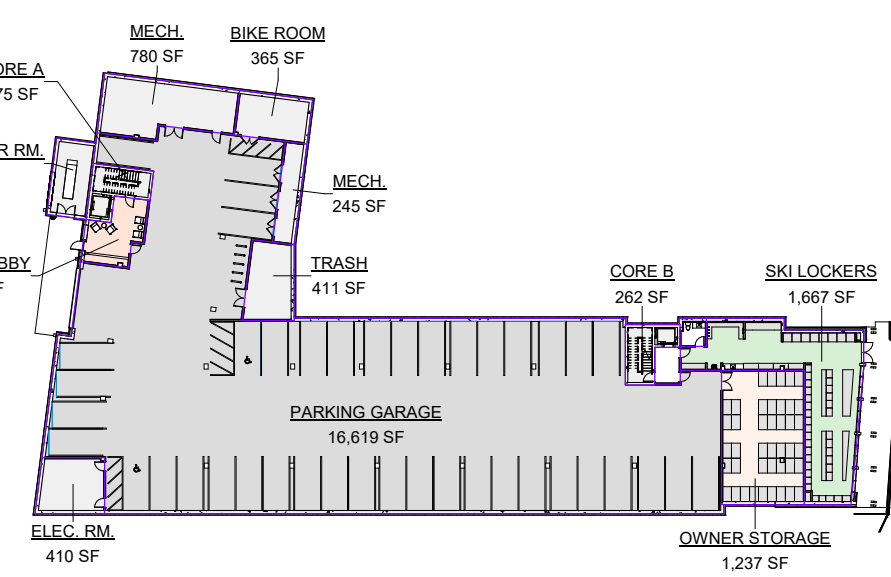
Gross Area Schedule - Level 08		
Name	Count	Area
Units		
1 BED +	1	951 SF
2 BED +	1	1,150 SF
3 BED +	1	1,680 SF
4 BED +	1	2,292 SF
Amenity		
Storage	1	173 SF
Other		
Horz. Circulation	1	2,219 SF
MECH	1	87 SF
VERT. Circulation	1	262 SF
VERT. Circulation	1	262 SF



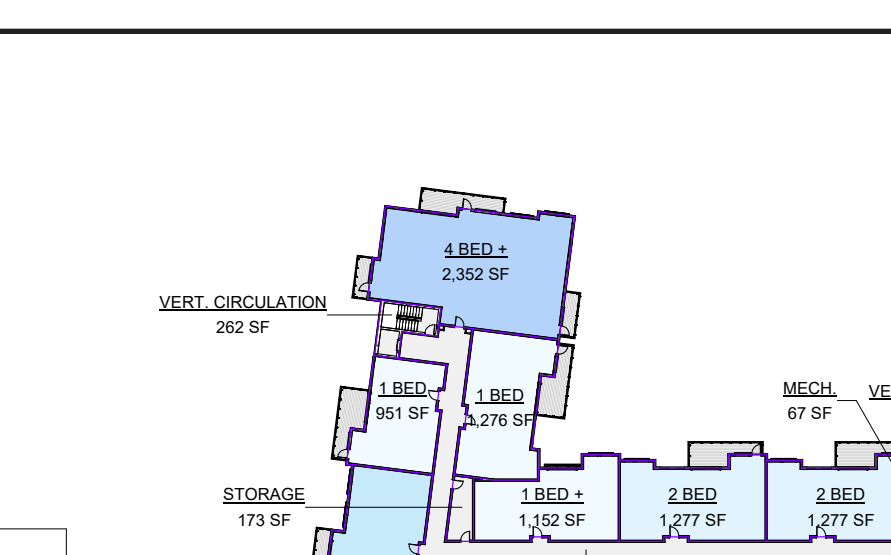
Gross Area Schedule - Level 09		
Name	Count	Area
Units		
1 BED +	1	951 SF
2 BED +	1	1,150 SF
3 BED +	1	1,680 SF
4 BED +	1	2,292 SF
Amenity		
Storage	1	173 SF
Other		
Horz. Circulation	1	2,219 SF
MECH	1	87 SF
VERT. Circulation	1	262 SF
VERT. Circulation	1	262 SF



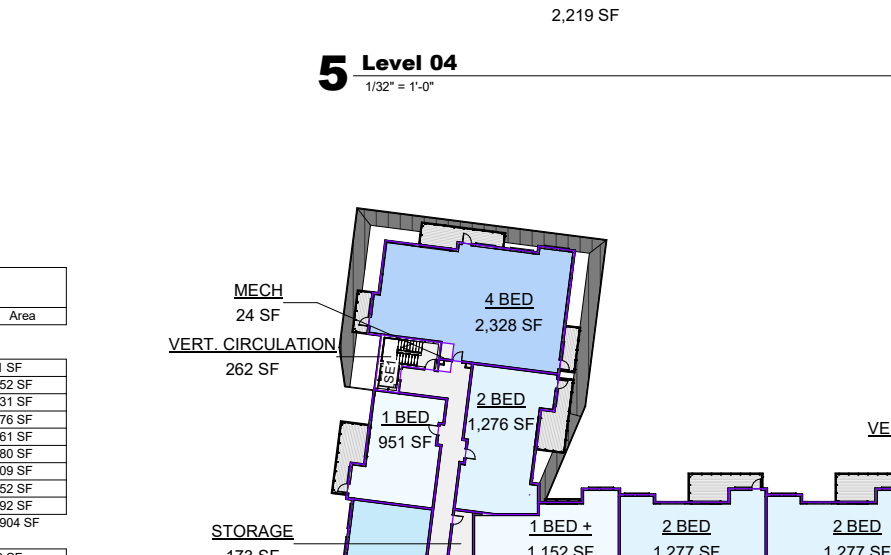
Gross Area Schedule - Level 10		
Name	Count	Area
Units		
1 BED +	1	951 SF
2 BED +	1	1,150 SF
3 BED +	1	1,680 SF
4 BED +	1	2,292 SF
Amenity		
Storage	1	173 SF
Other		
Horz. Circulation	1	2,219 SF
MECH	1	87 SF
VERT. Circulation	1	262 SF
VERT. Circulation	1	262 SF



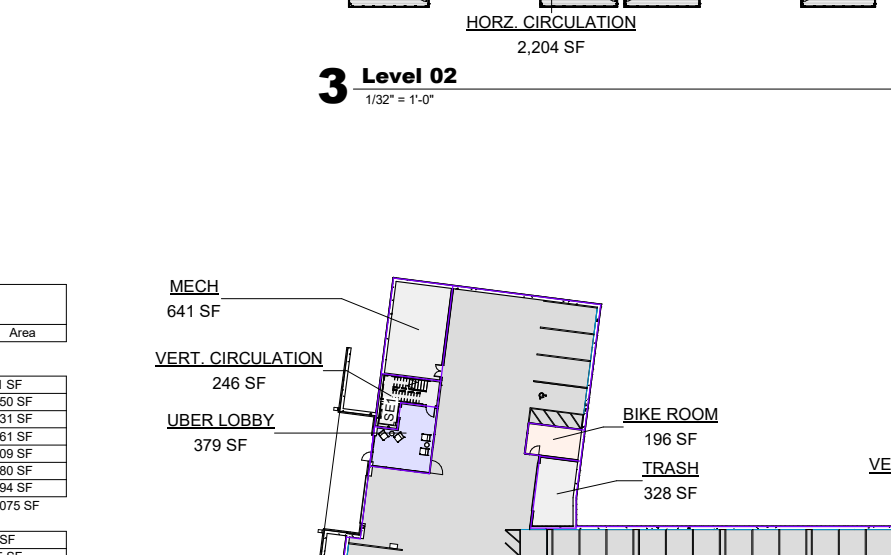
Gross Area Schedule - Level 11		
Name	Count	Area
Units		
1 BED +	1	951 SF
2 BED +	1	1,150 SF
3 BED +	1	1,680 SF
4 BED +	1	2,292 SF
Amenity		
Storage	1	173 SF
Other		
Horz. Circulation	1	2,219 SF
MECH	1	87 SF
VERT. Circulation	1	262 SF
VERT. Circulation	1	262 SF



Gross Area Schedule - Level 12		
Name	Count	Area
Units		
1 BED +	1	951 SF
2 BED +	1	1,150 SF
3 BED +	1	1,680 SF
4 BED +	1	2,292 SF
Amenity		
Storage	1	173 SF
Other		
Horz. Circulation	1	2,219 SF
MECH	1	87 SF
VERT. Circulation	1	262 SF
VERT. Circulation	1	262 SF



Gross Area Schedule - Level 13		
Name	Count	Area
Units		
1 BED +	1	951 SF
2 BED +	1	1,150 SF
3 BED +	1	1,680 SF
4 BED +	1	2,292 SF
Amenity		
Storage	1	173 SF
Other		
Horz. Circulation	1	2,219 SF
MECH	1	87 SF
VERT. Circulation	1	262 SF
VERT. Circulation	1	262 SF



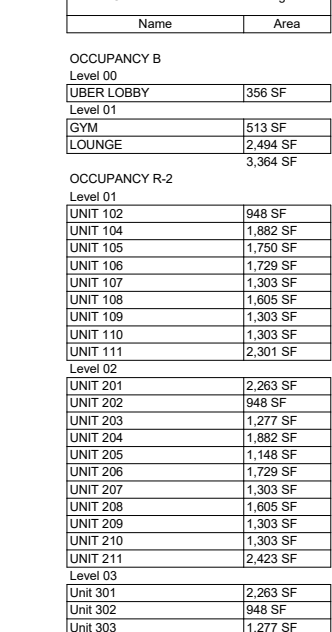
Gross Area Schedule - Level 14		
Name	Count	Area
Units		
1 BED +	1	951 SF
2 BED +	1	1,150 SF
3 BED +	1	1,680 SF
4 BED +	1	2,292 SF
Amenity		
Storage	1	173 SF
Other		
Horz. Circulation	1	2,219 SF
MECH	1	87 SF
VERT. Circulation	1	262 SF
VERT. Circulation	1	262 SF



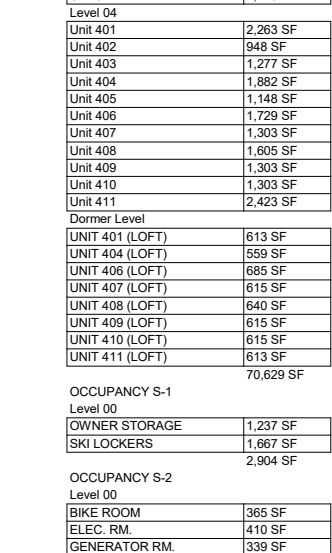
Gross Area Schedule - Level 15		
Name	Count	Area
Units		
1 BED +	1	951 SF
2 BED +	1	1,150 SF
3 BED +	1	1,680 SF
4 BED +	1	2,292 SF
Amenity		
Storage	1	173 SF
Other		
Horz. Circulation	1	2,219 SF
MECH	1	87 SF
VERT. Circulation	1	262 SF
VERT. Circulation	1	262 SF



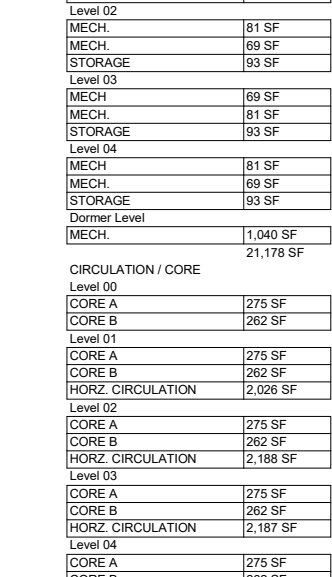
Gross Area Schedule - Level 16		
Name	Count	Area
Units		
1 BED +	1	951 SF
2 BED +	1	1,150 SF
3 BED +	1	1,680 SF
4 BED +	1	2,292 SF
Amenity		
Storage	1	173 SF
Other		
Horz. Circulation	1	2,219 SF
MECH	1	87 SF
VERT. Circulation	1	262 SF
VERT. Circulation	1	262 SF



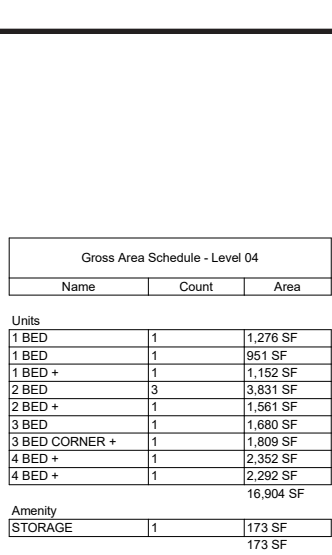
Gross Area Schedule - Level 17		
Name	Count	Area
Units		
1 BED +	1	951 SF
2 BED +	1	1,150 SF
3 BED +	1	1,680 SF
4 BED +	1	2,292 SF
Amenity		
Storage	1	173 SF
Other		
Horz. Circulation	1	2,219 SF
MECH	1	87 SF
VERT. Circulation	1	262 SF
VERT. Circulation	1	262 SF



Gross Area Schedule - Level 18		
Name	Count	Area
Units		
1 BED +	1	951 SF
2 BED +	1	1,150 SF
3 BED +	1	1,680 SF
4 BED +	1	2,292 SF
Amenity		
Storage	1	173 SF
Other		
Horz. Circulation	1	2,219 SF
MECH	1	87 SF
VERT. Circulation	1	262 SF
VERT. Circulation	1	262 SF



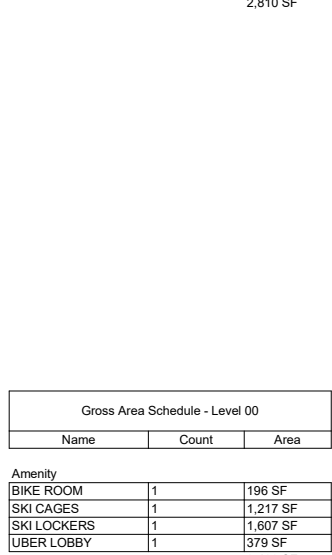
Gross Area Schedule - Level 19		
Name	Count	Area
Units		
1 BED +	1	951 SF
2 BED +	1	1,150 SF
3 BED +	1	1,680 SF
4 BED +	1	2,292 SF
Amenity		
Storage	1	173 SF
Other		
Horz. Circulation	1	2,219 SF
MECH	1	87 SF
VERT. Circulation	1	262 SF
VERT. Circulation	1	262 SF



Gross Area Schedule - Level 20		
Name	Count	Area
Units		
1 BED +	1	951 SF
2 BED +	1	1,150 SF
3 BED +	1	1,680 SF
4 BED +	1	2,292 SF
Amenity		
Storage	1	173 SF
Other		
Horz. Circulation	1	2,219 SF
MECH	1	87 SF
VERT. Circulation	1	262 SF
VERT. Circulation	1	262 SF



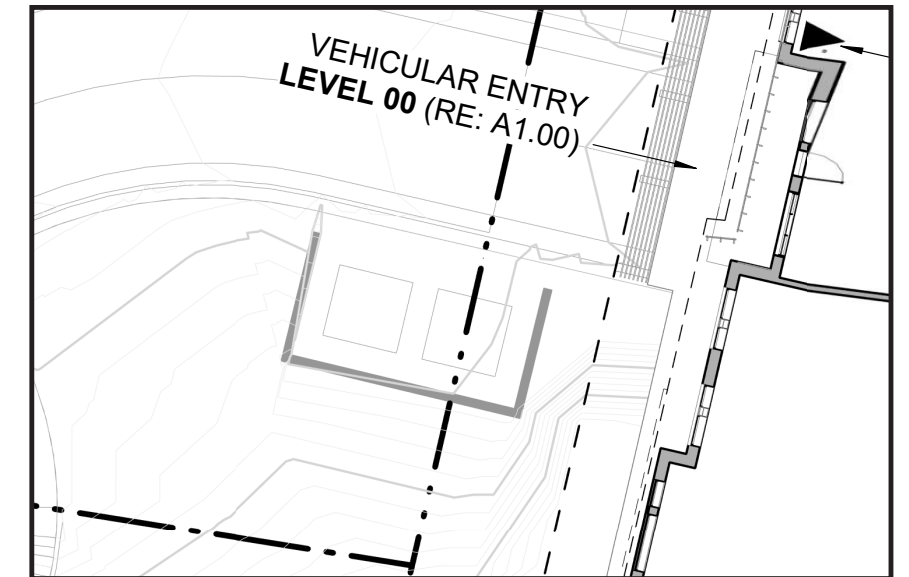
Gross Area Schedule - Level 21		
Name	Count	Area
Units		
1 BED +	1	951 SF
2 BED +	1	1,150 SF
3 BED +	1	1,680 SF
4 BED +	1	2,292 SF
Amenity		
Storage	1	173 SF
Other		
Horz. Circulation	1	2,219 SF
MECH	1	87 SF
VERT. Circulation	1	262 SF
VERT. Circulation	1	262 SF



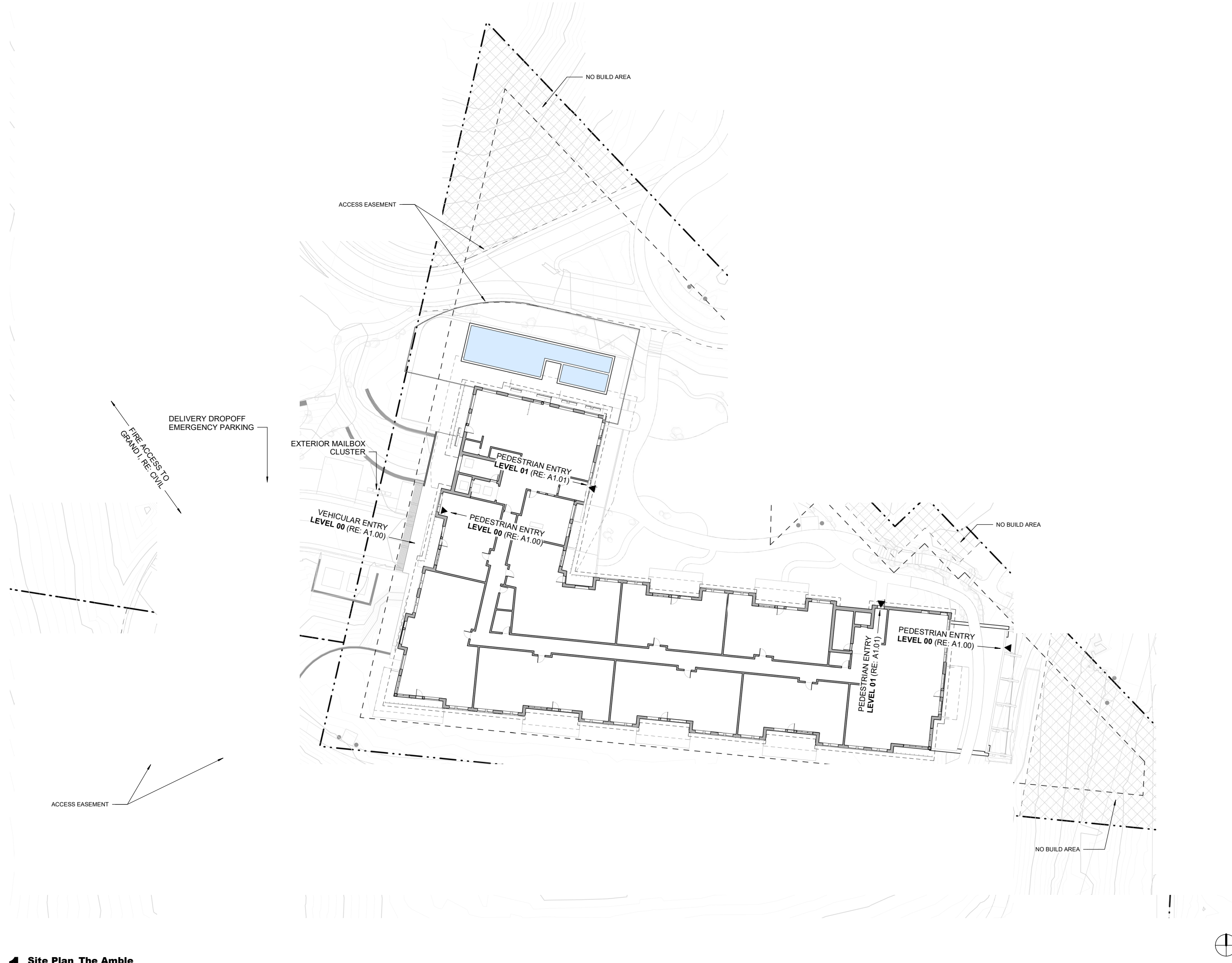
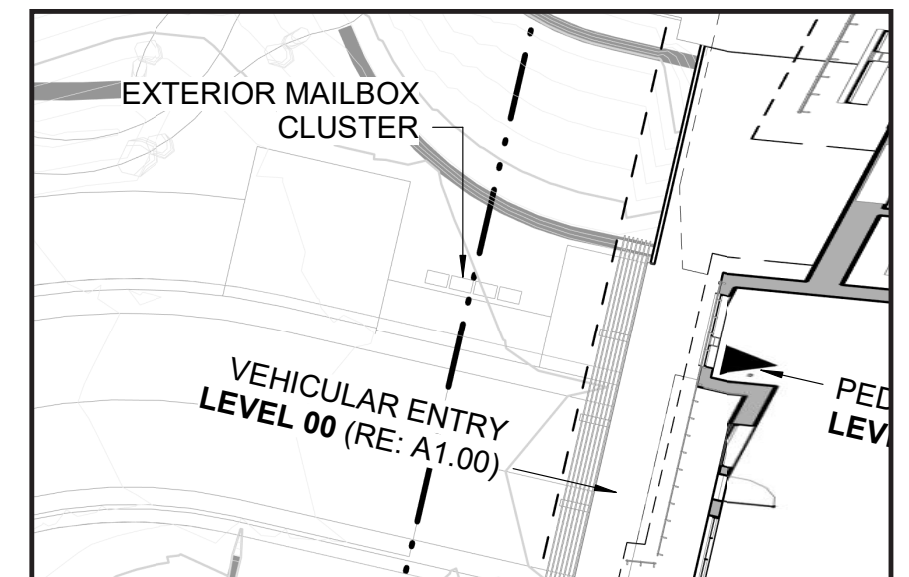
A0.01-A0.02 --- SITE PLANS
REVISED SUBMITTAL - PL20220623

OUTLINE OF CHANGES:

01. SHEET NUMBER CHANGED FROM A0.12 TO A0.02.
02. MINOR ADJUSTMENTS TO THE OVERALL BUILDING FOOTPRINT THIS RELATES TO THE CHANGED SITE COVERAGE NOTED ON PAGE 01 OF THIS PDF.
03. NO BUILD AREAS ARE NOW HIGHLIGHTED.
04. AS HIGHLIGHTED BELOW, A LOCATION FOR TWO TRANSFORMERS HAS BEEN ADDED TO THE SITE PLAN. THIS HAS BEEN COORDINATED WITH VVEA. THE TRANSFORMERS ARE ANTICIPATED TO BE SCREENED WITH RETAINING WALLS, NOT MORE THAN FOUR FEET IN HEIGHT, ON THE SIDES AND BACK, AN OPERABLE GATE, CONSTRUCTED OF MATERIALS REFLECTING THE OVERALL CHARACTER OF THE BUILDING, WILL BE USED IN FRONT OF THE TRANSFORMERS TO SCREEN THEM FROM VIEW, MEETING THE REQUIREMENTS OUTLINED PER SDC SECTION 440.K.



05. AS HIGHLIGHTED BELOW, AN EXTERIOR LOCATION HAS BEEN ADDED FOR MAIL DELIVERY. THIS LOCATION HAS BEEN COORDINATED WITH THE LOCAL USPS AND MEETS THE REQUIREMENTS OUTLINED PER SDC SECTION 427.C.



1 Site Plan_The Amble

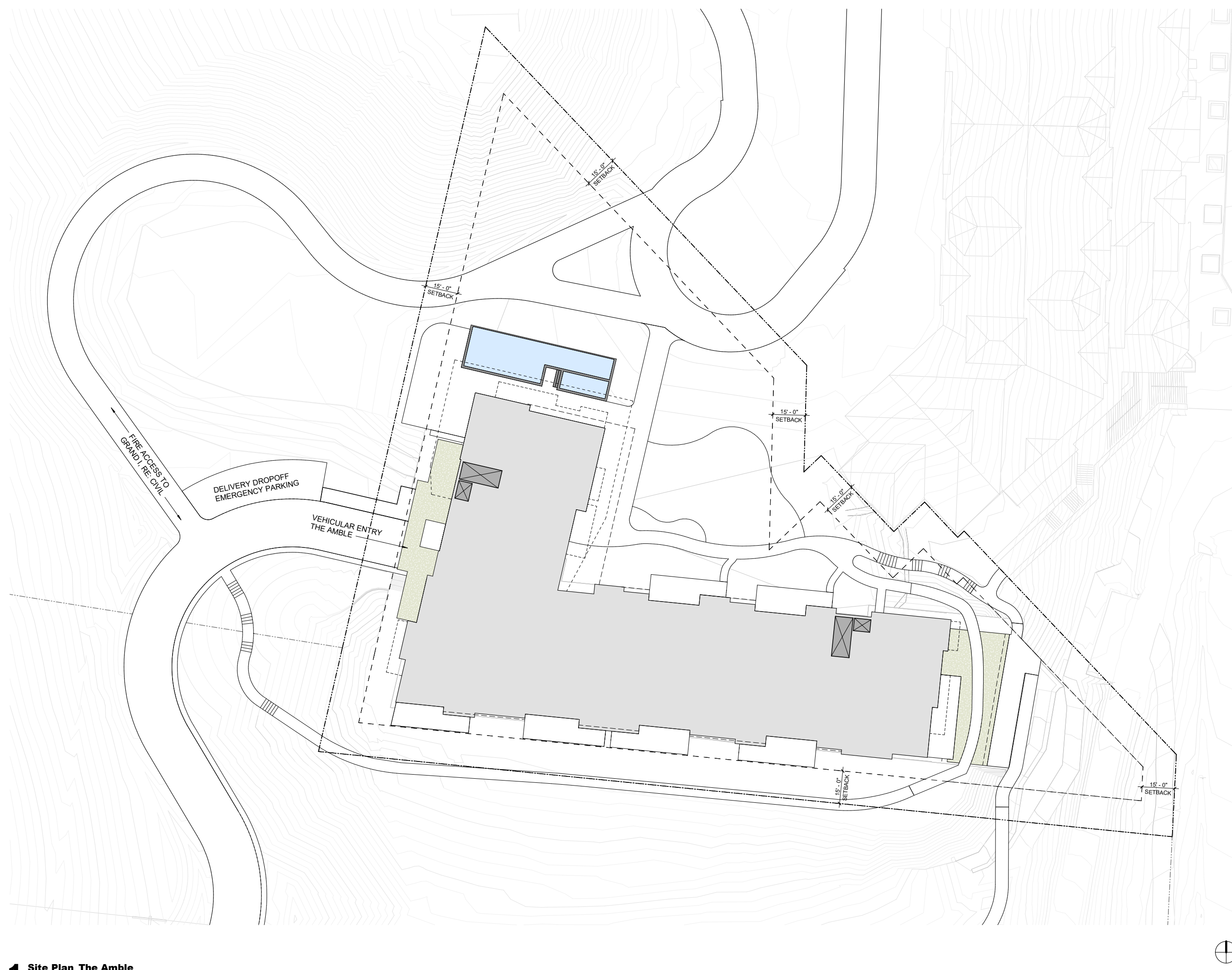
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**Steamboat Springs
DRT SUBMITTAL
PACKAGE**

SITE PLAN - THE AMB

A0.02

A0.01-A0.12 --- SITE PLANS
ORIGINAL SUBMITTAL - PL20220623



1 Site Plan_The Amble

[illegible]

**Steamboat Springs •
DRT Submittal Packag**

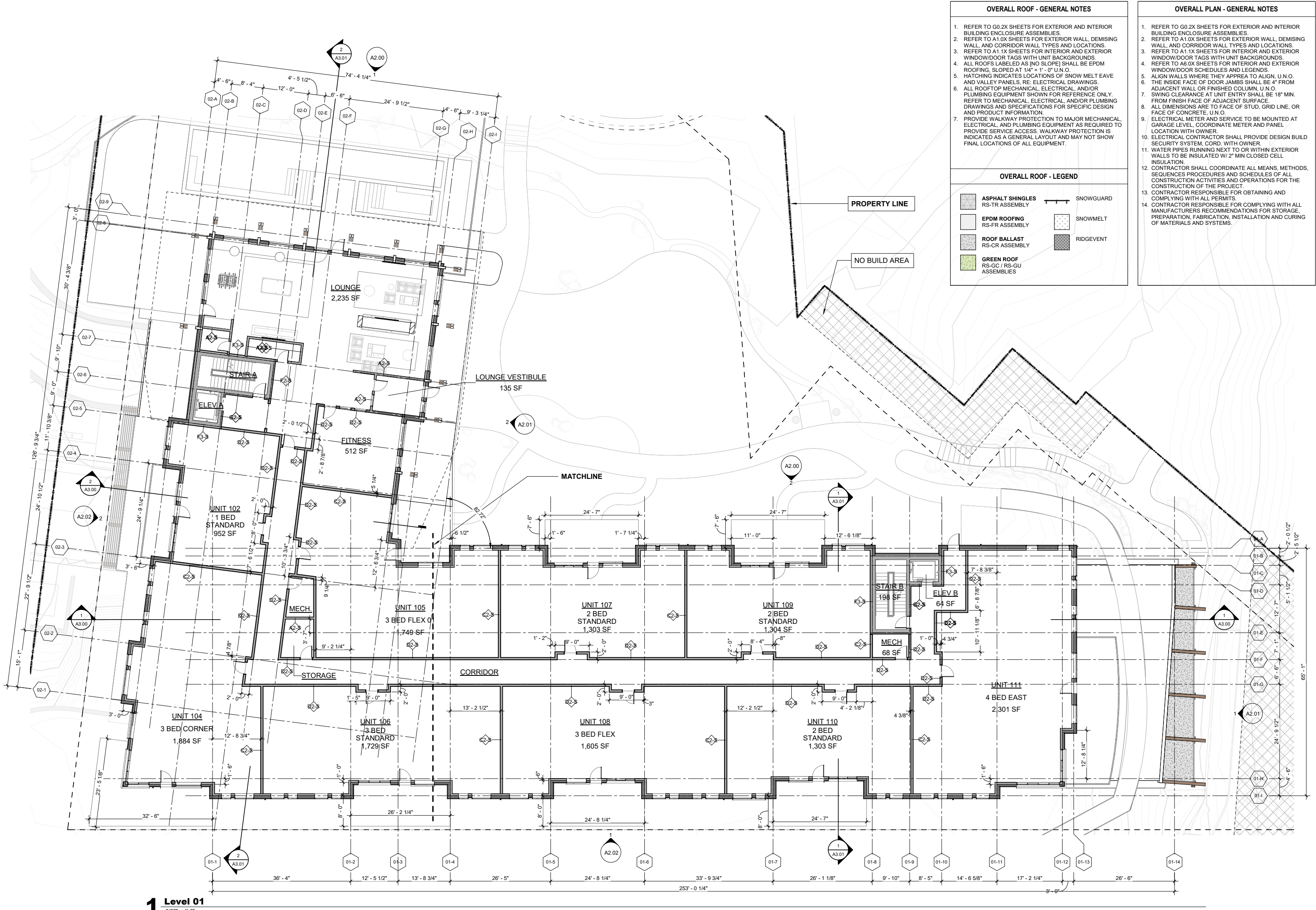
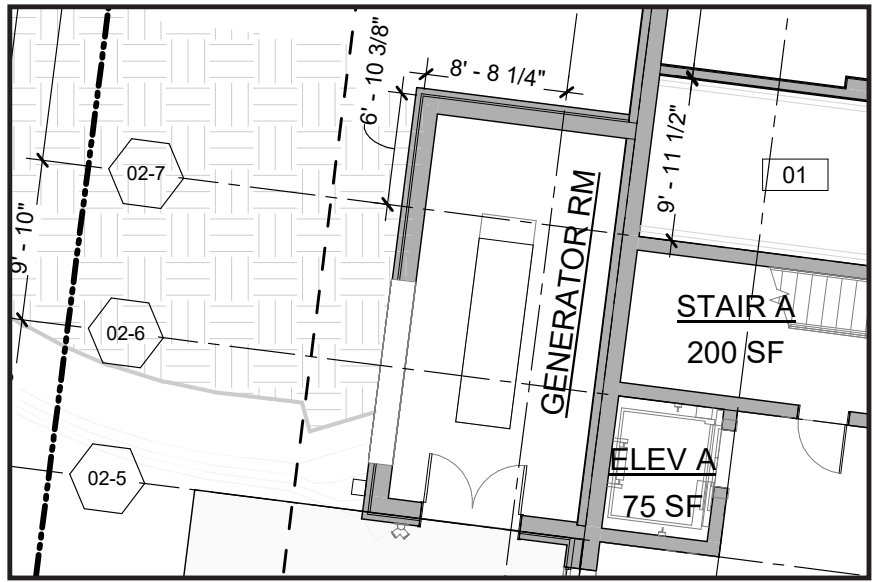
SITE PLAN - THE AMB

A0.12

A1.00-A1.05 --- OVERALL PLANS
REVISED SUBMITTAL - PL20220623

OUTLINE OF CHANGES:

01. MINOR ADJUSTMENTS TO INTERIOR LAYOUT, RE: PAGE 02 OF THIS PACKAGE AS WELL AS THE REVIEW OF GSF AND NSF PAGES.
02. A1.00 (NOT PREVIEWED HERE) SHOWS AN ADDED GENERATOR LOCATION, HIGHLIGHTED BELOW. THIS GENERATOR LOCATION IS CONNECTED TO THE PRIMARY BUILDING MASS, WITH EXTERIOR MATERIALS MATCHING THE SURROUNDING EXTERIOR MATERIALS OF THE PRIMARY BUILDING FORM. ACCESS IS PROVIDED FROM THE DRIVE AISLE, WITH EXHAUST LOUVERS, COLORED DARK BRONZE TO MATCH OTHER ARCHITECTURAL ELEMENTS ON THE BUILDING FACADE, LOCATED ON THE WEST FACE OF THE ENCLOSURE. THE DESIGN OF THIS GENERATOR ENCLOSURE IS INTENDED TO MEET THE REQUIREMENTS AS OUTLINED IN THE SDC SECTION 440.K.



The Ambie
Steamboat Springs, CO

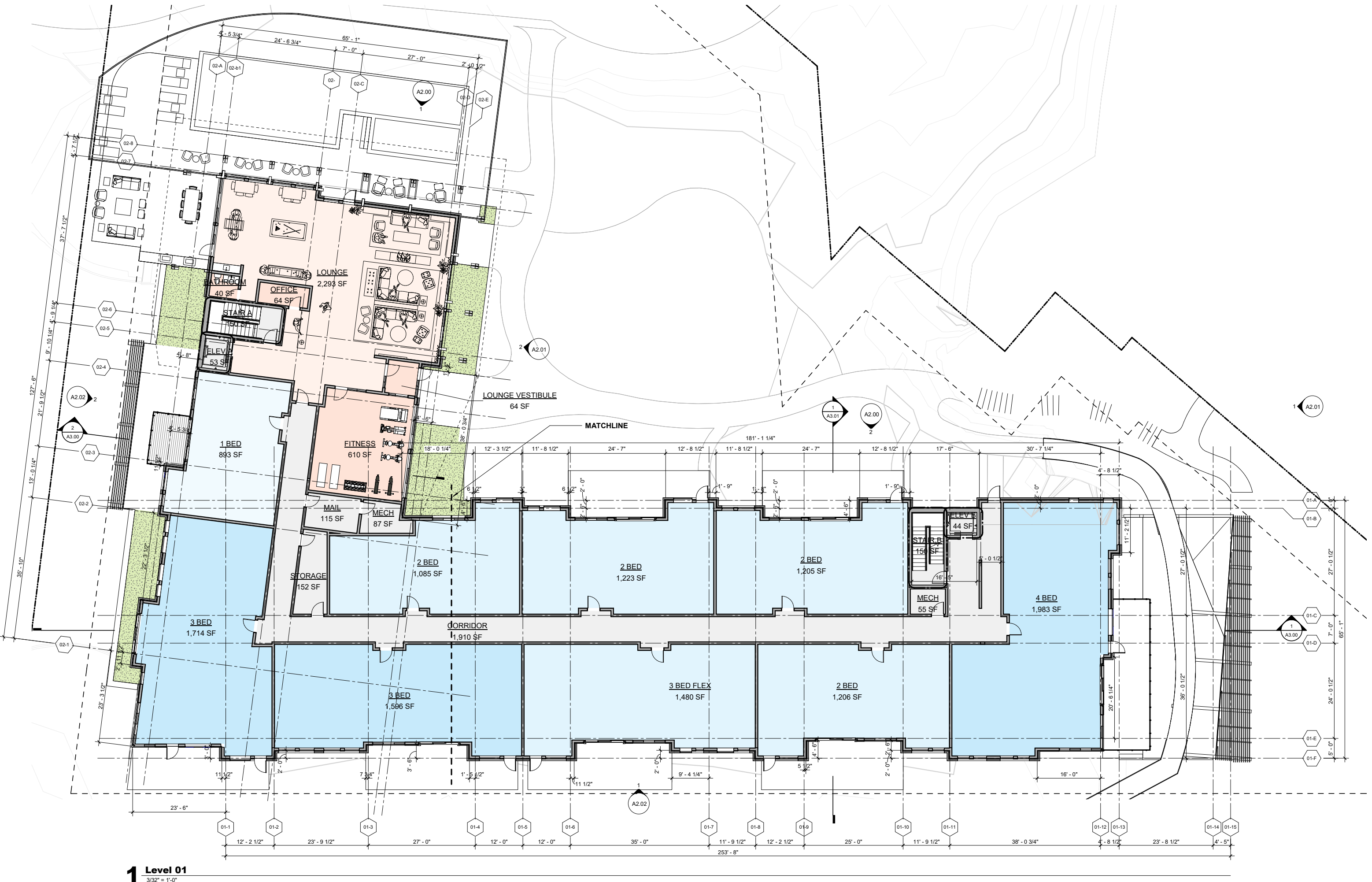
No.	Description	Date

Steamboat Springs -
DRT SUBMITTAL
PACKAGE

FLOOR PLAN - LEVEL 01

A1.01

A1.00-A1.05 --- OVERALL PLANS
ORIGINAL SUBMITTAL - PL20220623



The Ambie
Steamboat, CO

No.	Description	Date

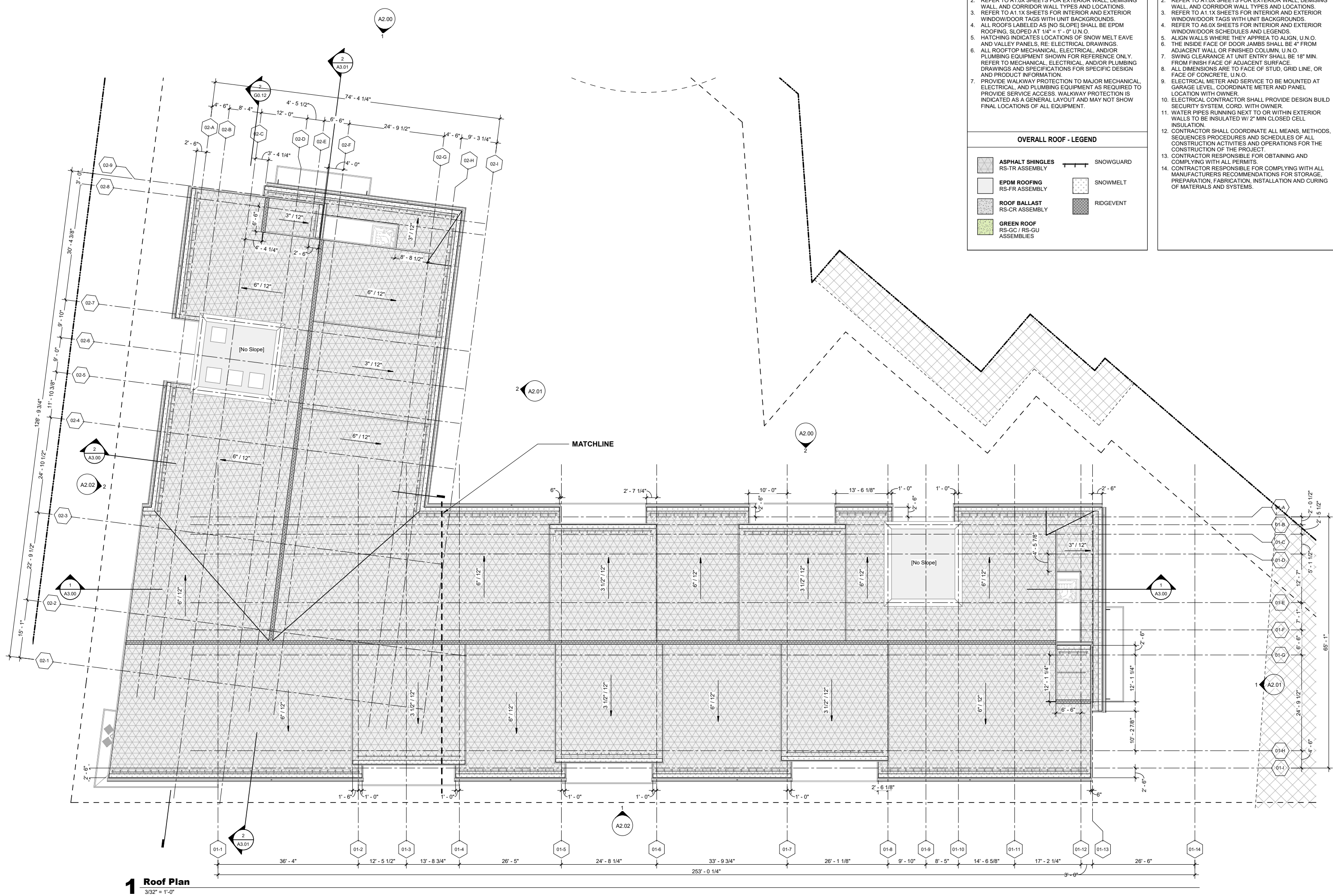
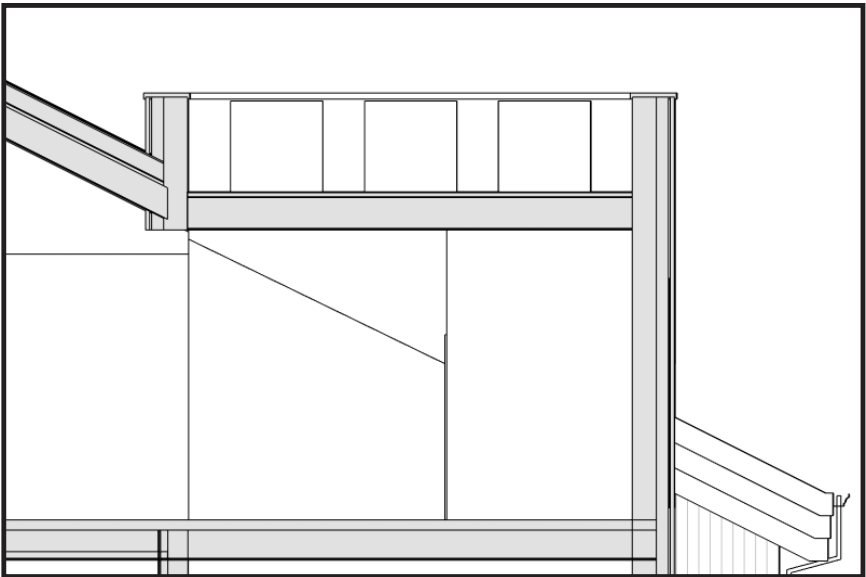
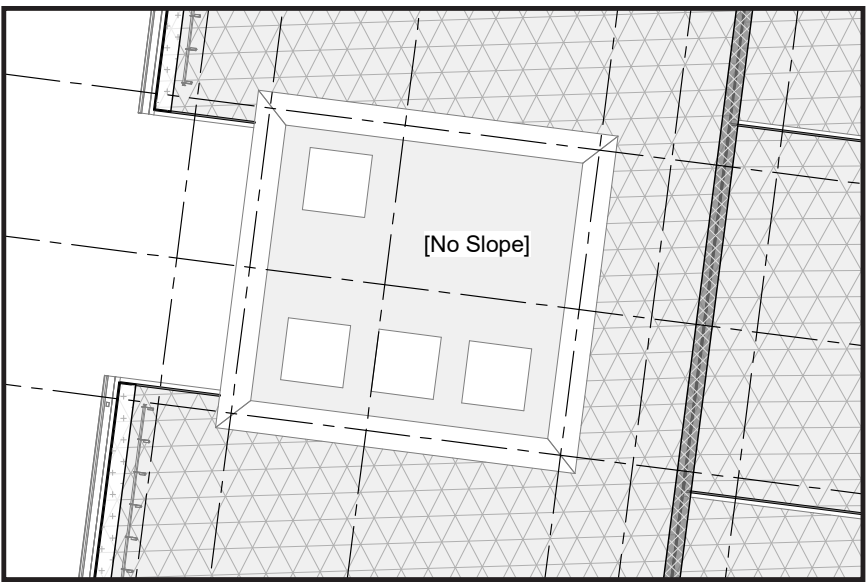
Steamboat Springs -
DRT Submittal Package

FLOOR PLAN - LEVEL 01

A1.01

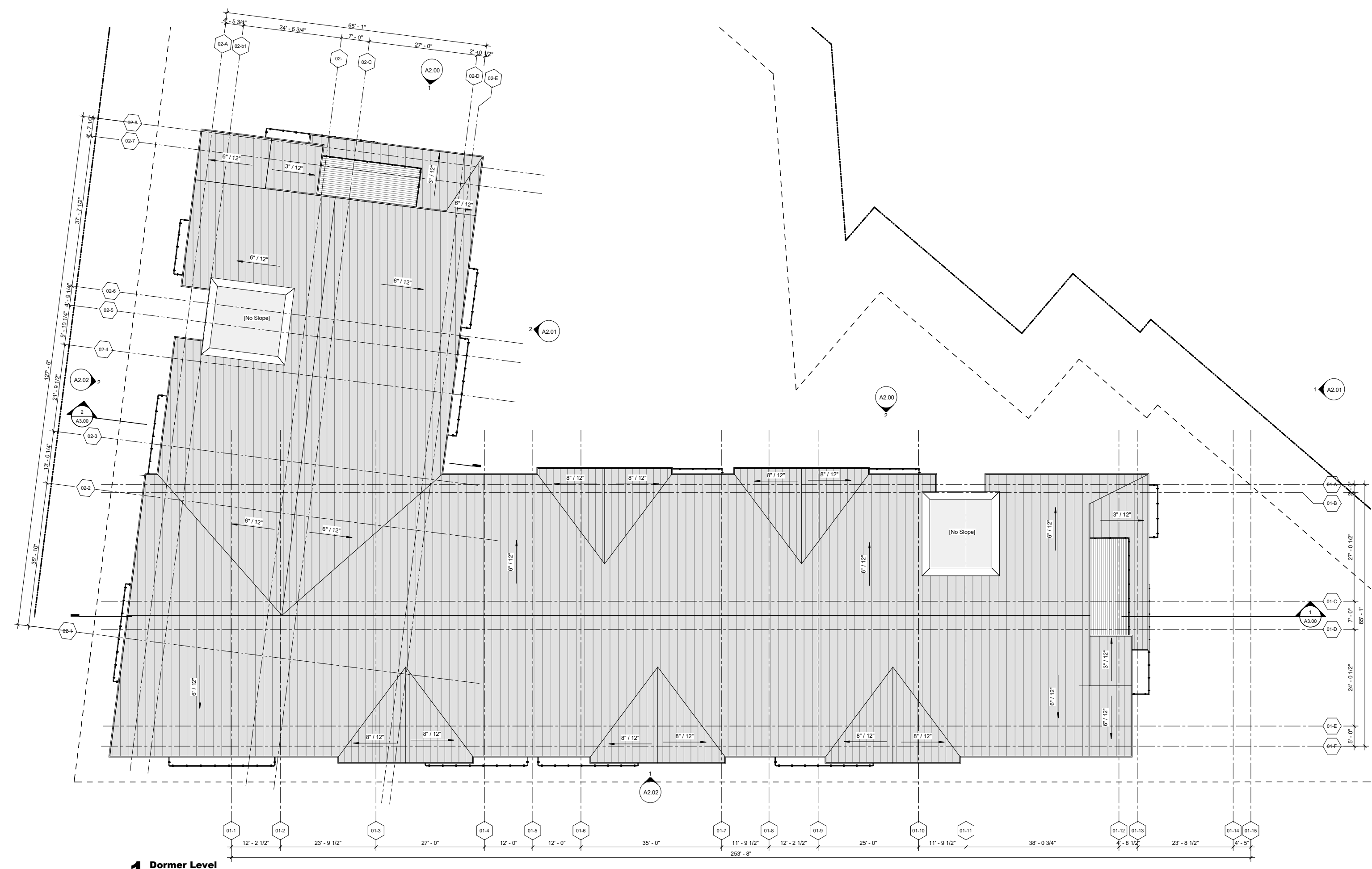
OUTLINE OF CHANGES:

01. PROPOSED 8:12 GABLE ROOFS UPDATED TO 3:12 SHED ROOFS.
02. 60% OF THE TOTAL ROOF AREA IS STILL 6:12 GABLE ROOF WITH THE UPDATED DESIGN.
03. AS HIGHLIGHTED BELOW IN PLAN AND SECTION (NOTE: THE SECTION IS NOT PART OF THE SET, BUT IS ADDED FOR REVIEW CLARITY HERE), THE DESIGN HAS ADDED FOUR UPBLAST FANS ON TOP OF THE WEST CORNER. THE WALLS OF THE CORNER CONTINUE VERTICALLY TO SCREEN THESE UPBLAST FANS, PROVIDING A DESIGN THAT SCREENS THE FANS WHILE INCORPORATING THE STANDARD ARCHITECTURAL FACADE PER THE REQUIREMENTS OUTLINED IN SDC SECTION 404.K.

[illegible]

The Amble
Steamboat Springs, CO

A1.06

[illegible]

The Amble
Steamboat, CO

A1.06

OUTLINE OF CHANGES:

01. MINOR UPDATES TO EXTERIOR GLAZING. THE EXTERIOR GLAZING STILL MEETS ALL EXTERIOR GLAZING REQUIREMENTS AND IS REVIEWED IN MORE DETAIL LATER IN THIS PACKAGE.



- GENERAL NOTES
1. REFER TO SHEET 00.20 AND 60.21 FOR BLDG ENCLOSURE ASSEMBLIES, PARTITIONS TYPES 00.22.
 2. ELECTRICAL METER AND SERVICE TO BE MOUNTED AT GARAGE LEVEL. COORDINATE METER AND PANEL LOCATION WITH OWNER.
 3. ELECTRICAL CONTRACTOR SHALL PROVIDE DESIGN BUILD SECURITY SYSTEM. COORD. WITH OWNER.
 4. SMOKE ALARMS SHALL BE PROVIDED IN ALL BEDROOMS, AND OUTSIDE OF ALL BEDROOMS AND ON EACH FLOOR AS REQUIRED.
 5. WATER PIPES RUNNING NEXT TO OR WITHIN EXTERIOR WALLS TO BE INSULATED W/ 2" MIN CLOSED CELL INSULATION.
 6. ALL DIMENSIONS ARE TO FACE OF STUD. GRID LINE. FACE OF MASONRY OR CONCRETE. U.N.O.
 7. WHERE "CLAMP" IS CALLED OUT ON A DIMENSION, PROVIDE DIMENSION FROM FACE OF FINISH TO FACE OF FINISH.
 8. FURNITURE IS NOT IN CONTRACT. U.N.O. AND SHOWN FOR DIAGRAMMATIC PURPOSES.
 9. CONTRACTOR SHALL COORDINATE ALL MEANS, METHODS, SEQUENCES PROCEDURES AND SCHEDULES OF ALL CONSTRUCTION ACTIVITIES AND OPERATIONS FOR THE CONSTRUCTION OF THE PROJECT.
 10. CONTRACTOR RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS.
 11. CONTRACTOR RESPONSIBLE FOR COMPLYING WITH ALL MANUFACTURERS RECOMMENDATIONS FOR STORAGE, PREPARATION, FABRICATION, INSTALLATION AND CURING OF MATERIALS AND SYSTEMS.
 12. DIMENSION FROM EDGE OF DOOR FRAME (HINGE SIDE) TO FACE OF ADJACENT PERPENDICULAR WALL TO BE 4" U.N.O.
 13. PROVIDE BLOOMING FOR WALL MOUNTED ELECTRICAL FIXTURES, BATHROOM ACCESSORIES, HANDRAILS, CHAIR RAILS, WAINSCOTING, ARTWORK, ETC.
 14. SEE DOOR SCHEDULE AND DOOR HARDWARE SETS.
 15. REFER TO BUILDING PLANS, RCP, EXTERIOR ELEVATIONS FOR WINDOW LOCATION AND TYPE.
 16. ALL STAIRWELL WALLS TO BE PAINTED PT-01, SEAL CONCRETE FLOORS AND TREADS.

The Ambie
Steamboat Springs, CO

No.	Description	Date

Steamboat Springs -
100% DD Issuance

FLOOR PLAN - LEVEL 01
- WEST

A1.11.1



359
DESIGN

The Ambie
Steamboat, CO

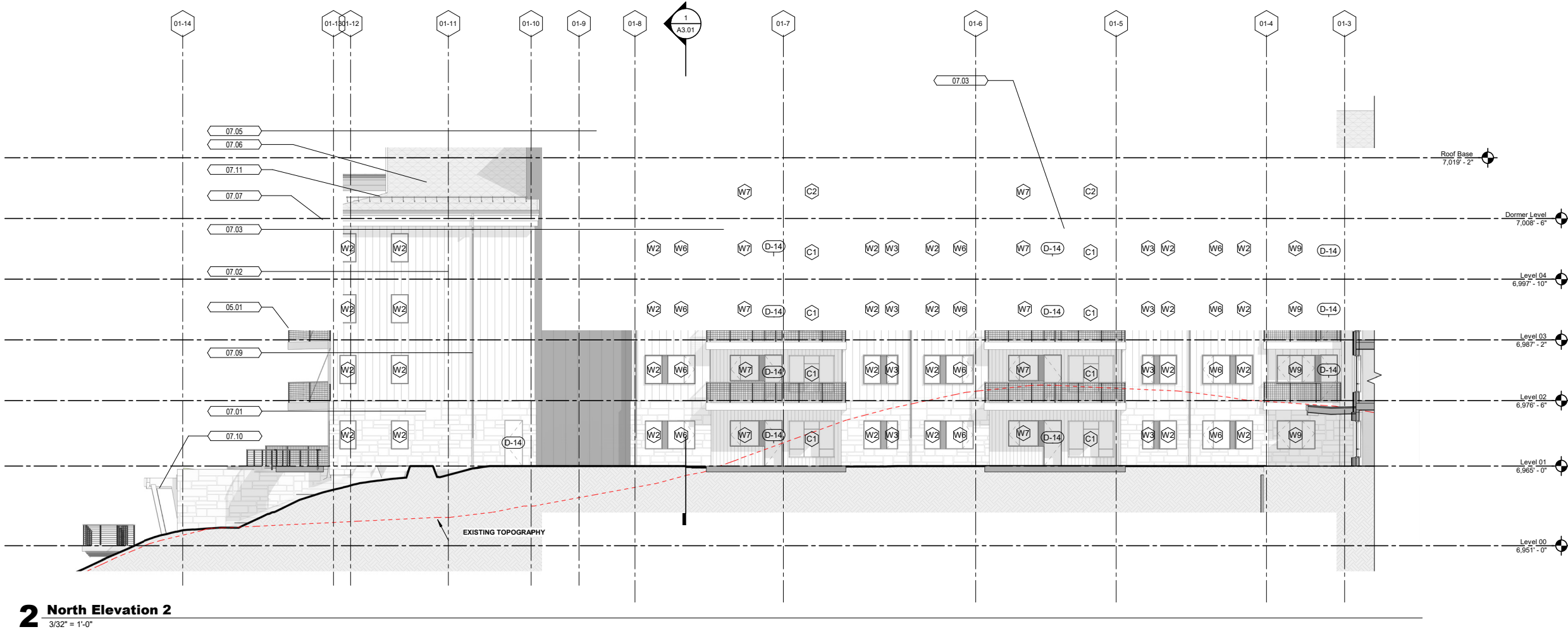
No.	Description	Date

Steamboat Springs -
DRY Submittal Package

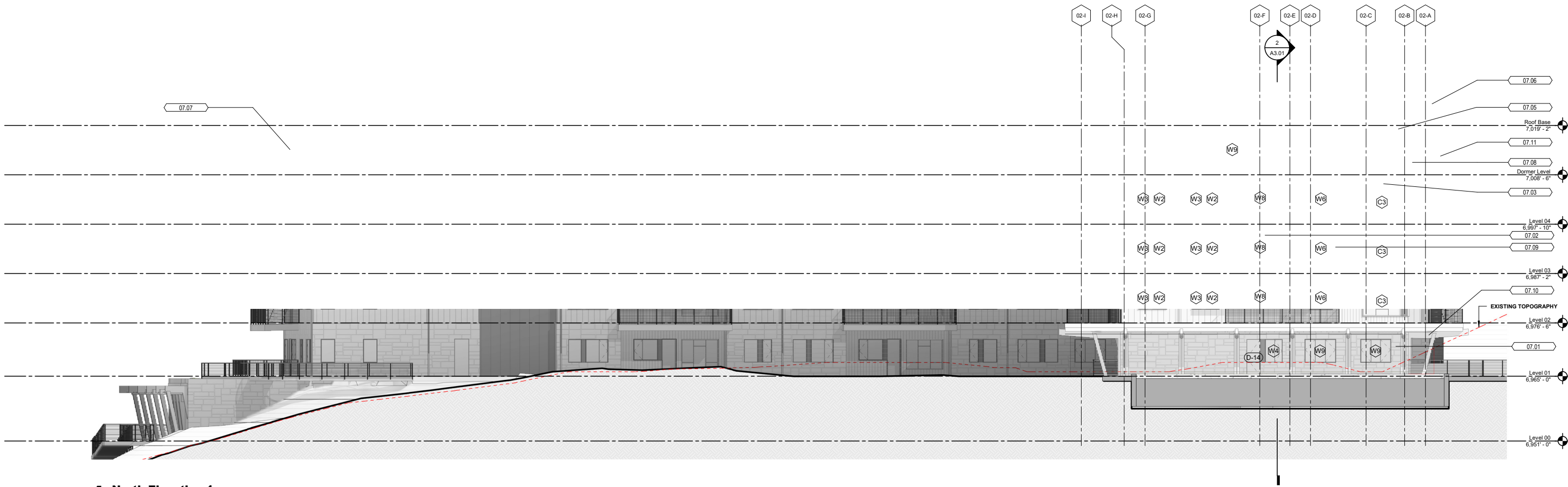
FLOOR PLAN - LEVEL 01
- WEST

A1.11.1

Keynote Legend	
Key Value	Keynote Text
05.01	METAL HGV WIRE RAILING
07.01	EXTERIOR SLATE CLADDING, SEE MATERIAL LEGEND
07.02	EXTERIOR WOOD SIDING, SEE MATERIAL LEGEND
07.03	EXTERIOR ALUMINUM SIDING, SEE MATERIAL LEGEND
07.05	METAL PANEL SIDING, SEE MATERIAL LEGEND
07.06	ASPHALT SHINGLE ROOFING, SEE MATERIAL LEGEND
07.07	WOOD SHUNT, SEE MATERIAL LEGEND
07.08	FIBER CEMENT STEPPED FACIA
07.09	SCUPPER AND DOWNSPOUT W/ HEAT TRACE, RE. ELEC.
07.10	TIMBER TRILLIS
07.11	SNOW GUARD



2 North Elevation 2
3/32" = 1'-0"



1 North Elevation 1
3/32" = 1'-0"

The Ambie
Steamboat Springs, CO

No.	Description	Date

Steamboat Springs - 100% DD Issuance

BUILDING ELEVATIONS

A2.00

A2.00-A2.02 --- BLACK & WHITE ELEVATIONS

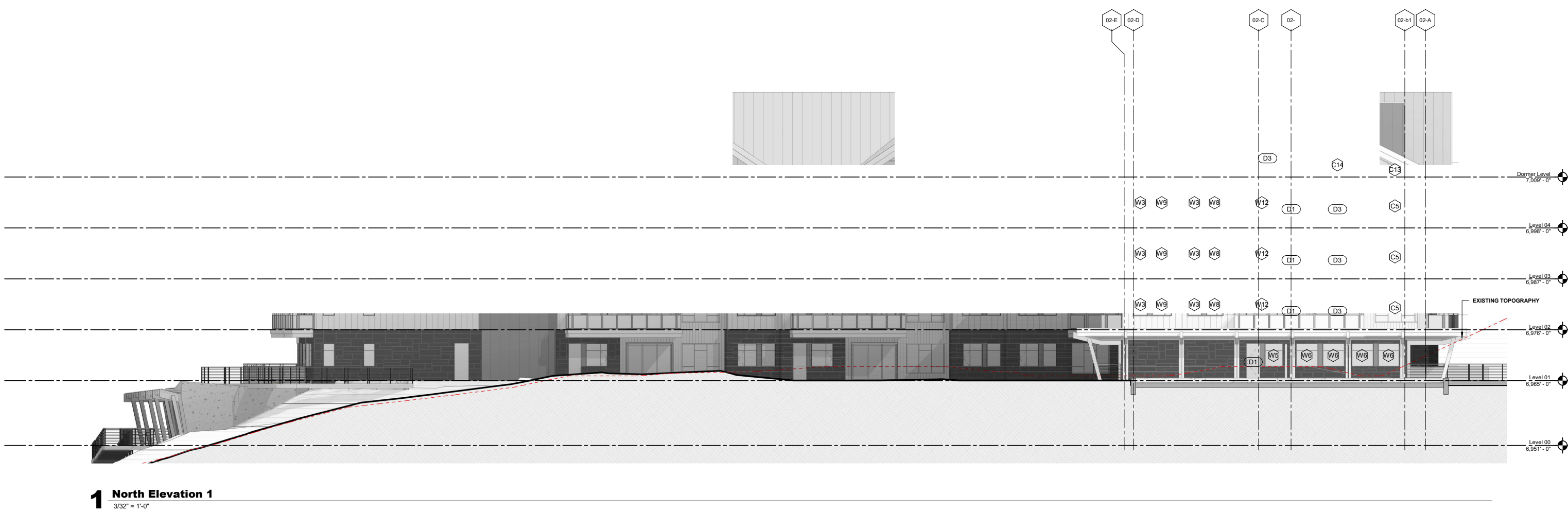
REVISED SUBMITTAL - PL20220623

OUTLINE OF CHANGES:

01. UPDATES TO EXTERIOR GLAZING AND ROOF FORMS AS PREVIOUSLY NOTED.



2 North Elevation 2
3/32" = 1'-0"



1 North Elevation 1
3/32" = 1'-0"

The Ambie
Steamboat, CO

No.	Description	Date

Steamboat Springs - DRT Submittal Package

BUILDING ELEVATIONS

A2.00

A2.00-A2.02 --- BLACK & WHITE ELEVATIONS

ORIGINAL SUBMITTAL - PL20220623

OUTLINE OF CHANGES:

01. SHEET NUMBER CHANGED FROM A2.20 TO A7.01.
02. GLAZING PERCENTAGE UPDATED FROM 29.6% TO 25.15%.



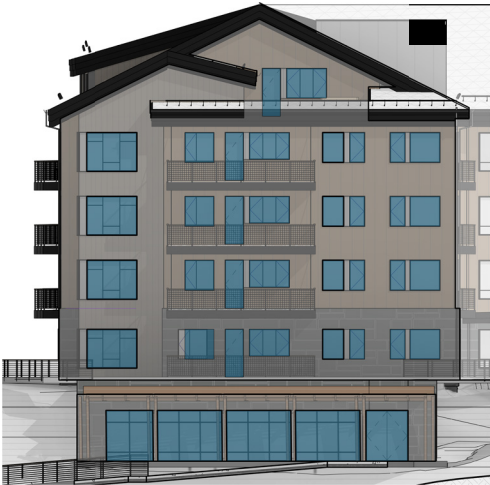
1 North Elevation - SF Material 1
1/16" = 1'-0"



2 North Elevation - SF Material 2
1/16" = 1'-0"



3 East Elevation - SF Material 1
1/16" = 1'-0"



4 East Elevation - SF Material 2
1/16" = 1'-0"



5 South Elevation - SF Material
1/16" = 1'-0"



6 WEST ELEVATION
1/16" = 1'-0"

Material SF Legend:			
Elevation Name	Overall Elevation SF	Elevation Glazing SF	Elevation Glazing %
North Elevation 1	6,008.00 SF	1,587.00 SF	21.29%
North Elevation 2	5,375.00 SF	817.00 SF	24.22%
East Elevation 1	5,375.00 SF	832.00 SF	23.07%
East Elevation 2	4,273.75 SF	1,264.00 SF	21.04%
South Elevation	12,001.00 SF	3,660.00 SF	29.96%
West Elevation	6,301.00 SF	1,607.00 SF	23.34%
Total:	46,241.48 SF	16,137.76 SF	28.19%

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DESIGN

The Ambie
Steamboat Springs, CO

No.	Description	Date

Steamboat Springs -
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GLAZING REVIEW

A7.01



1 North Elevation - SF Material 1
1/16" = 1'-0"



2 North Elevation - SF Material 2
1/16" = 1'-0"



3 East Elevation - SF Material
1/16" = 1'-0"



4 East Elevation - SF Material 2
1/16" = 1'-0"



5 South Elevation - SF Material
1/16" = 1'-0"



6 WEST ELEVATION
1/16" = 1'-0"

Material SF Legend:			
Elevation Name	Overall Elevation SF	Elevation Glazing SF	Elevation Glazing %
North Elevation 1	6,008.00 SF	2,759.43 SF	25.11%
North Elevation 2	5,375.00 SF	676.00 SF	24.22%
East Elevation 1	5,766.00 SF	1,060.00 SF	28.61%
East Elevation 2	3,845.00 SF	1,531.00 SF	39.81%
South Elevation	11,813.41 SF	3,619.00 SF	30.61%
West Elevation	6,301.00 SF	2,107.00 SF	33.41%
Total:	38,610.76 SF	11,713.63 SF	29.81%

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Steamboat, CO

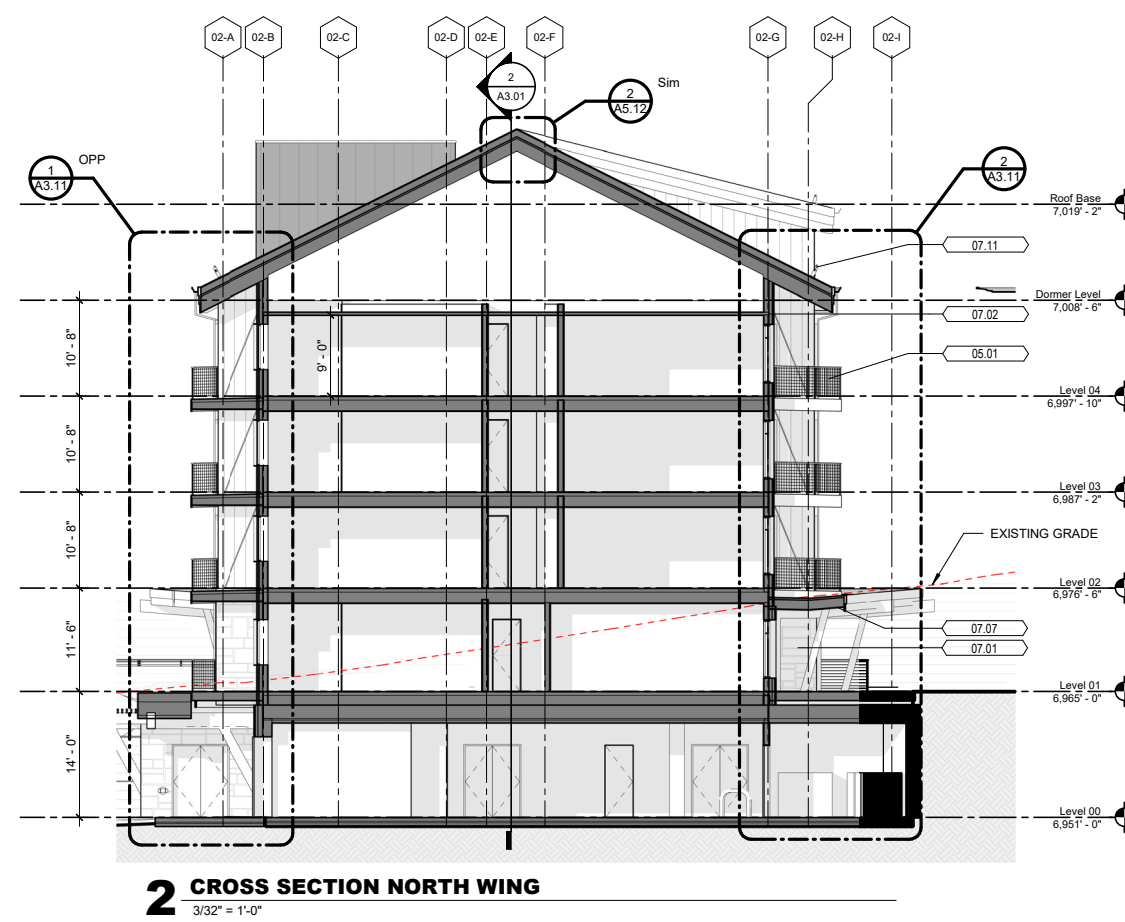
No.	Description	Date

Steamboat Springs -
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GLAZING REVIEW

A2.20

Keystone Legend	
Key Value	Keystone Text
05.01	METAL HOG WIRE RAILING
07.01	EXTERIOR SLATE CLADDING, SEE MATERIAL LEGEND
07.02	EXTERIOR WOOD SIDING, SEE MATERIAL LEGEND
07.03	EXTERIOR ALUMINUM SIDING, SEE MATERIAL LEGEND
07.05	METAL PANEL SIDING, SEE MATERIAL LEGEND
07.06	ASPHALT SHINGLE ROOFING, SEE MATERIAL LEGEND
07.07	WOOD SOFFIT, SEE MATERIAL LEGEND
07.08	FIBER CEMENT STEEPED FACIA
07.09	SCUPPER AND DOWNSPOUT W/ HALF TRAC, RE. ELEC.
07.10	TIMBER TRUSS
07.11	SNOW GROUND

[illegible]

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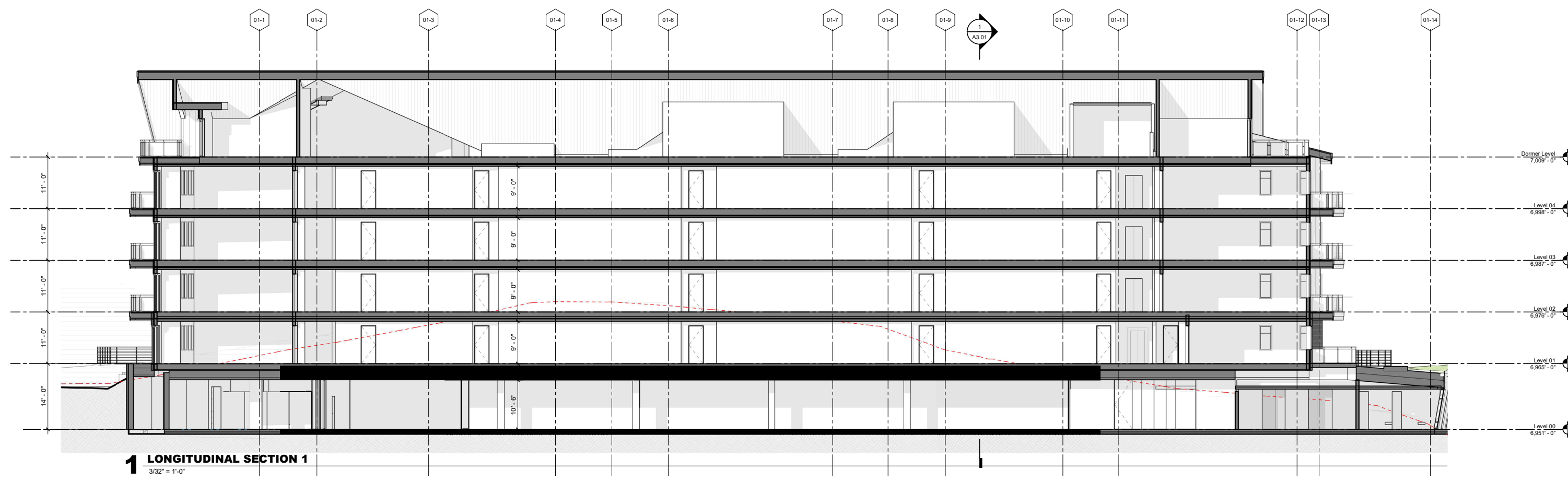
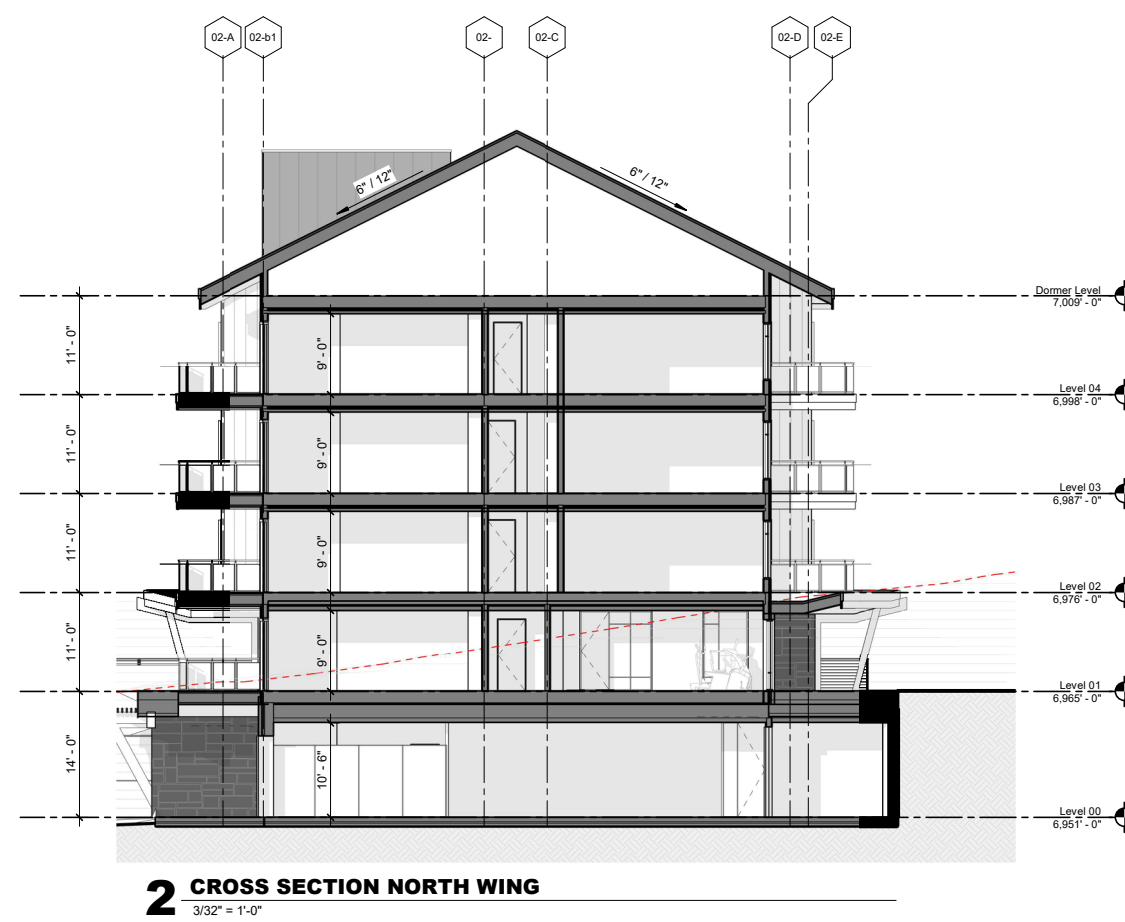
BUILDING SECTIONS:

A3.00

A3.00-A3.01 --- BUILDING SECTIONS
REVISED SUBMITTAL - PL20220623

OUTLINE OF CHANGES:

01. MINOR UPDATES TO OVERALL FLOOR-TO-FLOOR HEIGHTS.

[illegible]**Steamboat Springs -
DRT Submittal Package**

BUILDING SECTIONS:

A3.00

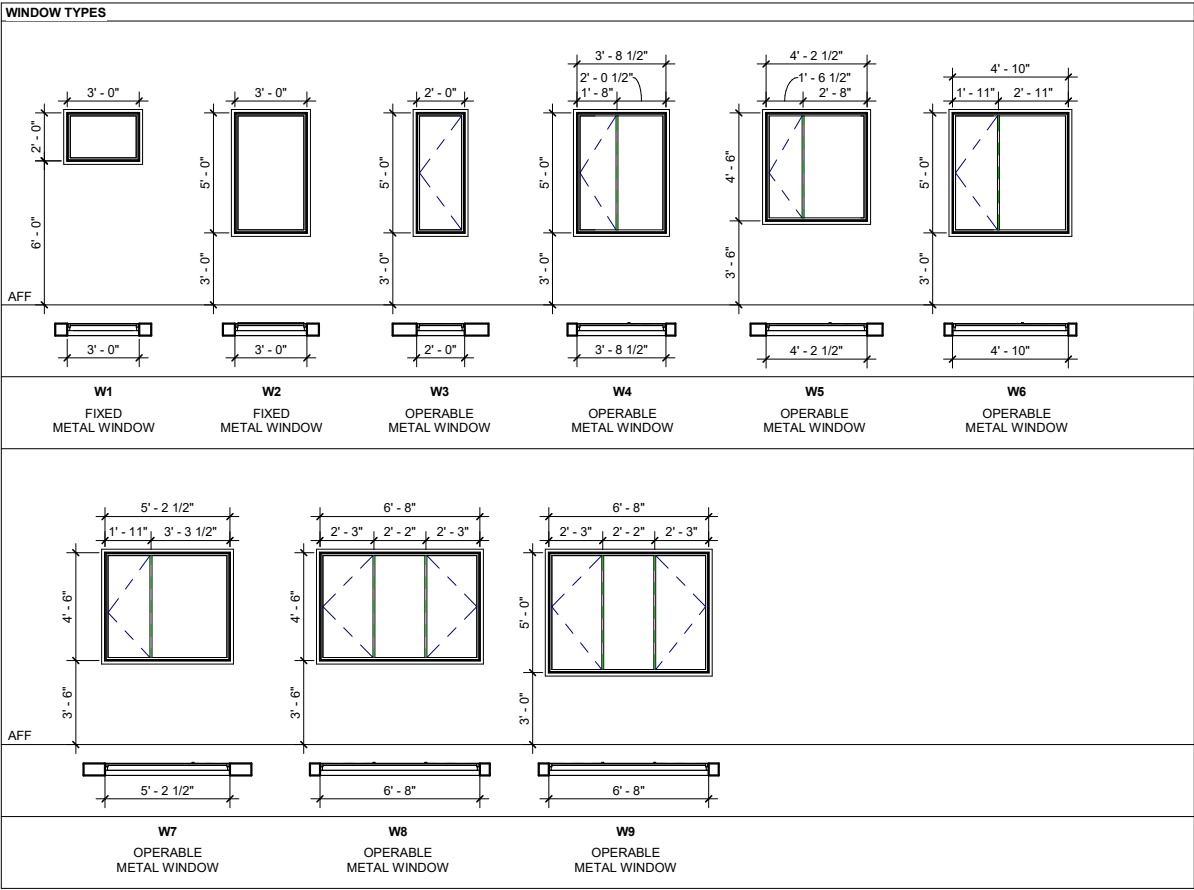
A3.00-A3.01 --- BUILDING SECTIONS
ORIGINAL SUBMITTAL - PL20220623

A6.01-A6.02 & A6.04 --- EXTERIOR GLAZING
REVISED SUBMITTAL - PL20220623

OUTLINE OF CHANGES:

01. UPDATES TO SHEET NUMBERING FROM A5.01 & A5.04 TO A6.01, A6.02, AND A6.04.
02. MINOR UPDATES TO EXTERIOR GLAZING (BOTH WINDOWS AND DOORS) AS PREVIOUSLY NOTED.

Window Schedule					
Type Mark	Width	Height	FINISH	Operation	Description
W1	3'-0"	5'-0"			
W2	3'-0"	5'-0"			
W3	3'-0"	5'-0"			
W4	3'-8 1/2"	5'-0"			
W5	4'-2 1/2"	4'-6"			
W6	4'-10"	5'-0"			
W7	5'-2 1/2"	4'-6"			
W8	6'-8"	4'-6"			
W9	6'-8"	5'-0"			



The Ambie
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No.	Description	Date

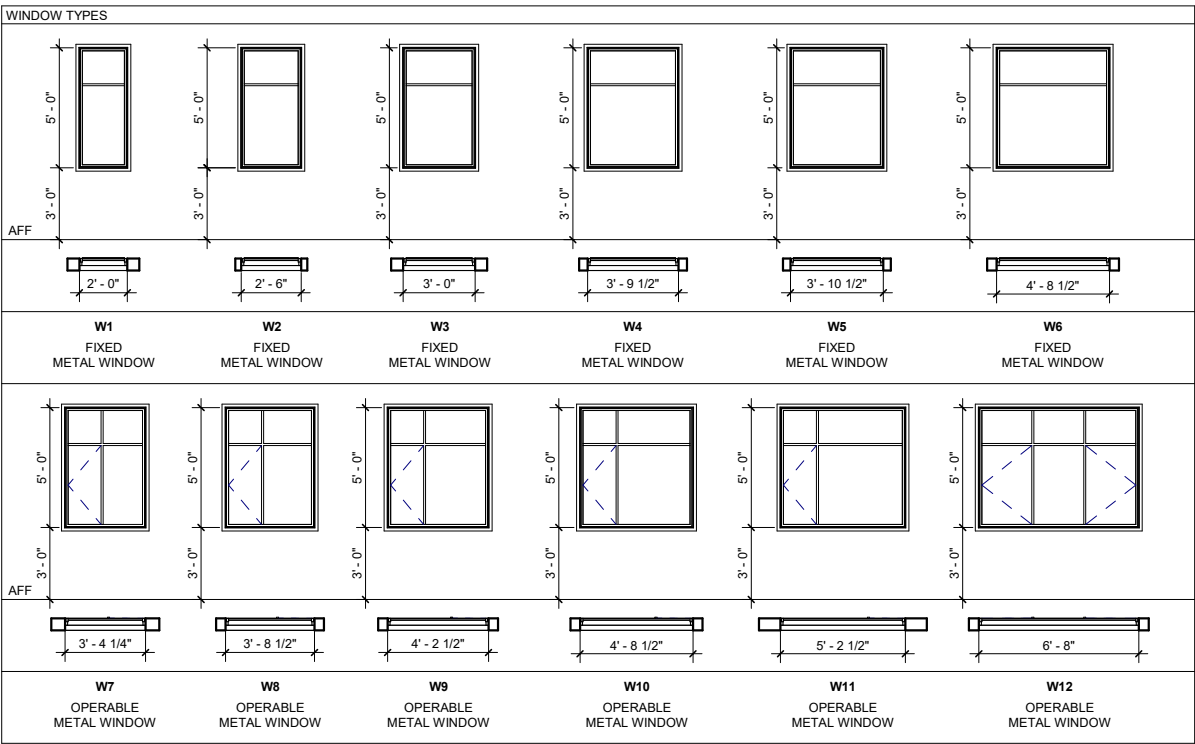
Steamboat Springs -
100% DD Issuance

WINDOW SCHEDULE
AND LEGEND

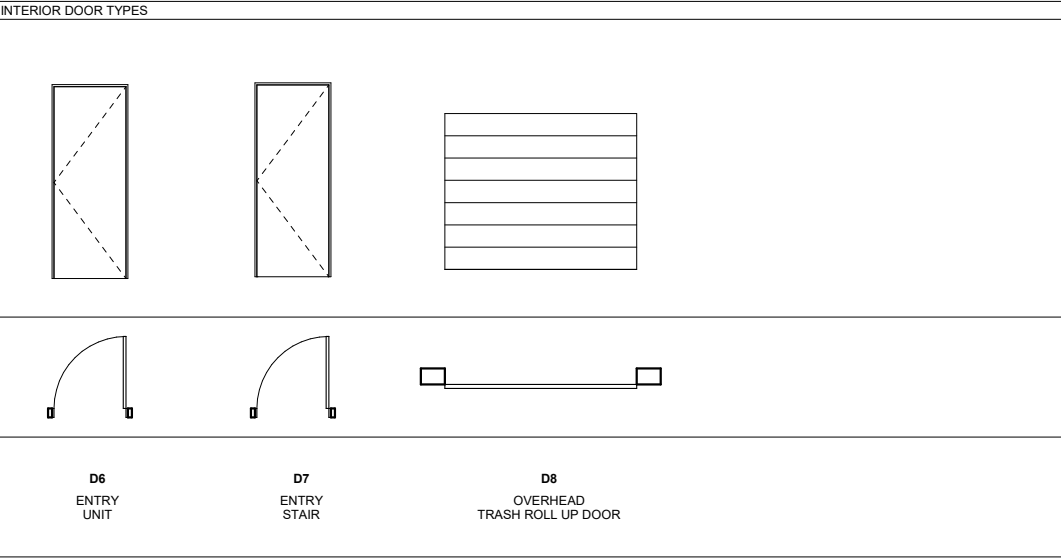
A6.01

A5.01 & A5.04 --- EXTERIOR GLAZING
ORIGINAL SUBMITTAL - PL20220623

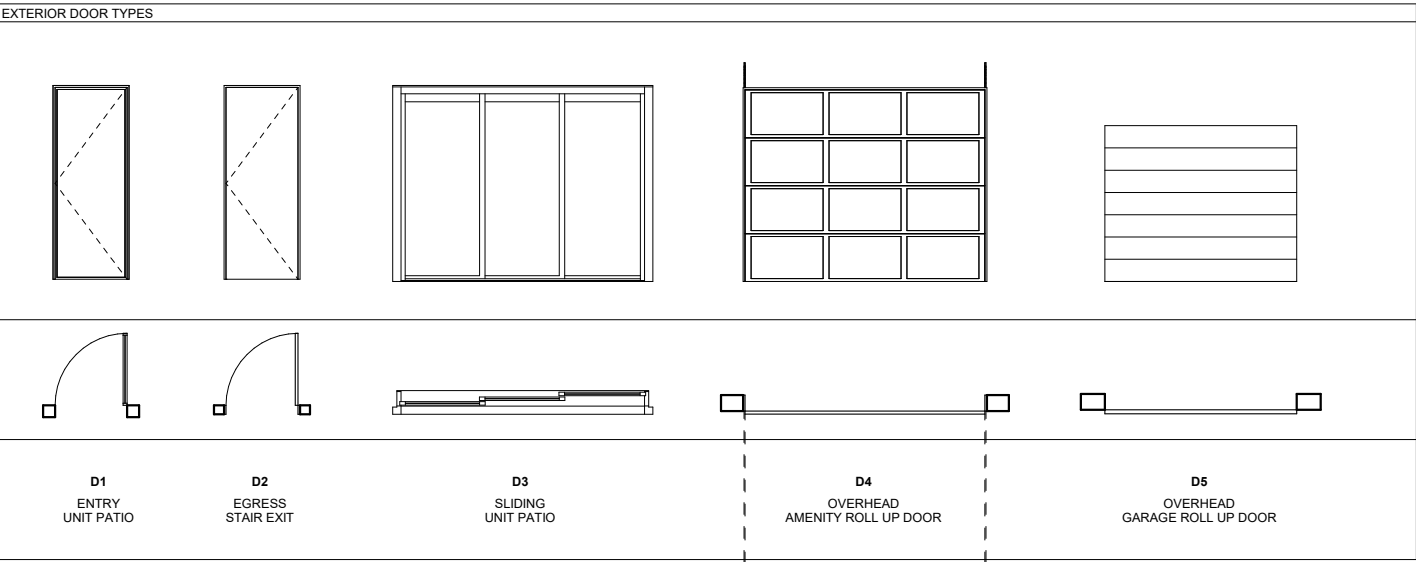
Window Schedule					
Type Mark	Width	Height	FINISH	Operation	Description
W1	2'-0"	5'-0"			
W2	2'-0"	5'-0"			
W3	3'-0"	5'-0"			
W4	3'-8 1/2"	5'-0"			
W5	3'-8 1/2"	5'-0"			
W6	4'-8 1/2"	5'-0"			
W7	3'-4 1/8"	5'-0"			
W8	3'-8 1/2"	5'-0"			
W9	4'-2 1/2"	5'-0"			
W10	4'-8 1/2"	5'-0"			
W11	5'-2 1/2"	5'-0"			
W12	6'-8"	5'-0"			



Interior Door Schedule												
Type Mark	Height	Width	MATERIALS AND FINISHES				Hardware Group	Door Rating	Detail - Head	Detail - Jamb	Detail - Sill	Comments
			Door Material	Door Panel Finish	Frame Material	Frame Finish						
D06	10'-0"	16'-0"										
D07	8'-0"	3'-0"										
D11	8'-0"	3'-0"										



Exterior Door Schedule												
Type Mark	Height	Width	MATERIALS AND FINISHES				Hardware Group	Door Rating	Detail - Head	Detail - Jamb	Detail - Sill	Comments
			Door Material	Door Panel Finish	Frame Material	Frame Finish						
D1	8'-0"	3'-0"										
D2	8'-0"	3'-0"										
D3	8'-0"											
D5	8'-0"	16'-0"				Window Trim Black						



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DESIGN

The Ambie
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No.	Description	Date

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WINDOW AND DOOR
SCHEDULE

A5.01

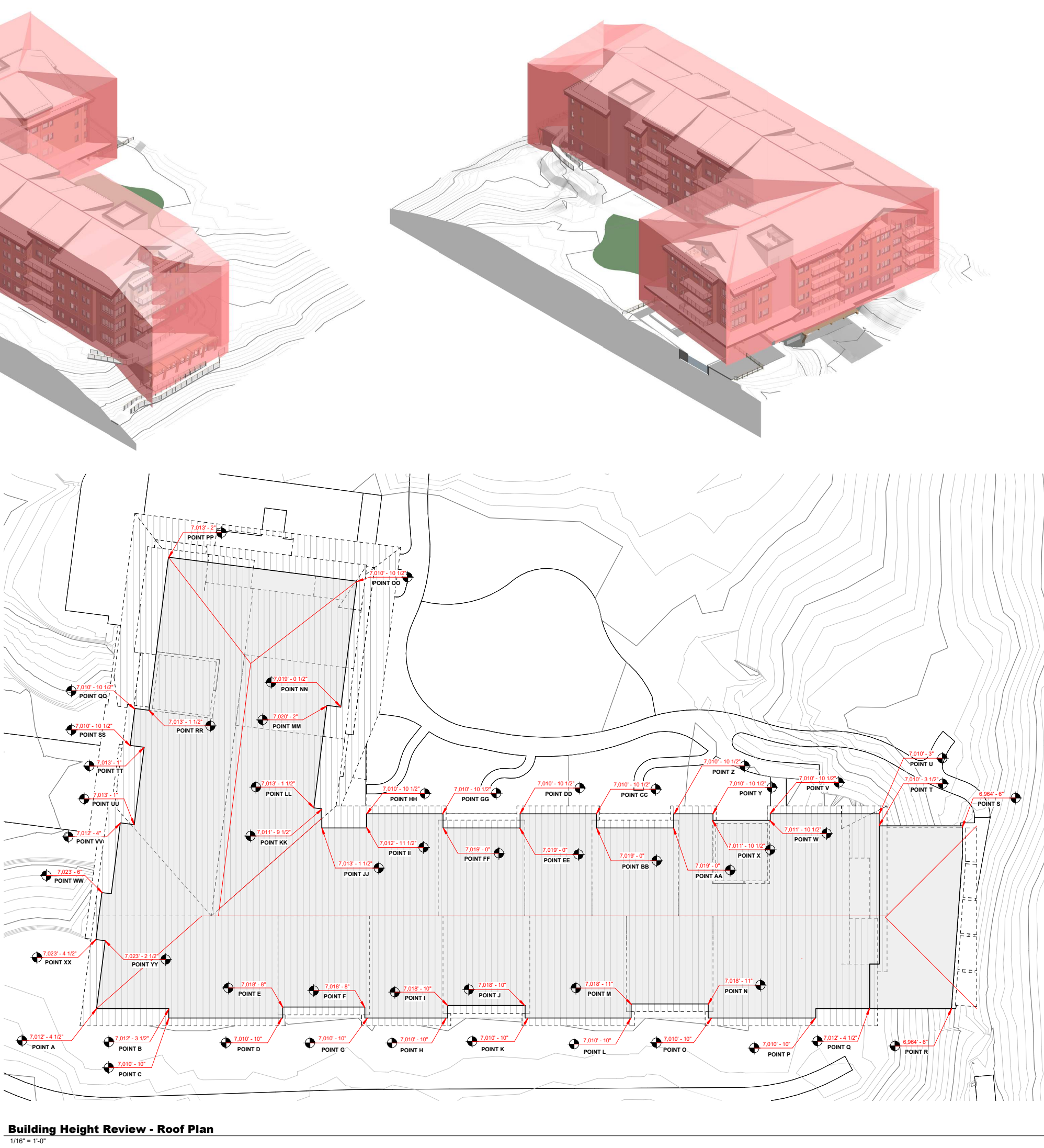
OUTLINE OF CHANGES:

01. MAXIMUM BUILDING HEIGHT CHANGED FROM 62' - 9 1/4" TO 62' - 1 1/2"
02. MAXIMUM BUILDING HEIGHT REVIEW RE-CALIBRATED TO MATCH DESIGN UPDATES
03. SHEET NUMBER UPDATED FROM A6.01 TO A7.02.

BUILDING HEIGHT REVIEW			
POINT NAME:	USGS ELEVATION:	USGS (PROPOSED GRADE):	DELTA:
A	7,012' - 4 1/2"	6,965' - 0"	47' - 4 1/2"
B	7,012' - 3 1/2"	6,965' - 0"	47' - 3 1/2"
C	7,010' - 10"	6,965' - 0"	45' - 10"
D	7,010' - 10"	6,965' - 0"	45' - 10"
E	7,018' - 8"	6,965' - 0"	53' - 8"
F	7,018' - 8"	6,965' - 0"	53' - 8"
G	7,010' - 10"	6,965' - 0"	45' - 10"
H	7,010' - 10"	6,965' - 0"	45' - 10"
I	7,018' - 10"	6,965' - 0"	53' - 10"
J	7,018' - 10"	6,965' - 0"	53' - 10"
K	7,010' - 10"	6,965' - 0"	45' - 10"
L	7,010' - 10"	6,965' - 0"	45' - 10"
M	7,018' - 11"	6,965' - 0"	53' - 11"
N	7,018' - 11"	6,965' - 0"	53' - 11"
O	7,010' - 10"	6,965' - 0"	45' - 10"
P	7,010' - 10"	6,963' - 9"	47' - 1"
Q	7,012' - 4 1/2"	6,962' - 9 1/2"	49' - 7"
R			
S	6,964' - 6"	6,950' - 8 1/2"	13' - 9 1/2"
T	6,964' - 6"	6,952' - 6"	12' - 0"
U			
V	7,010' - 3 1/2"	6,962' - 7"	47' - 8 1/2"
W	7,010' - 3"	6,963' - 0"	47' - 3"
X	7,010' - 10 1/2"	6,965' - 0"	45' - 10 1/2"
Y	7,011' - 10 1/2"	6,965' - 0"	46' - 10 1/2"
Z	7,011' - 10 1/2"	6,965' - 0"	46' - 10 1/2"
AA	7,010' - 10 1/2"	6,965' - 0"	45' - 10 1/2"
BB	7,010' - 10 1/2"	6,965' - 0"	45' - 10 1/2"
CC	7,010' - 10 1/2"	6,965' - 0"	45' - 10 1/2"
DD	7,010' - 10 1/2"	6,965' - 0"	45' - 10 1/2"
EE	7,010' - 0"	6,965' - 0"	54' - 0"
FF	7,010' - 0"	6,965' - 0"	54' - 0"
GG	7,010' - 10 1/2"	6,965' - 0"	45' - 10 1/2"
HH	7,010' - 10 1/2"	6,965' - 0"	45' - 10 1/2"
II	7,012' - 11 1/2"	6,965' - 0"	47' - 11 1/2"
JJ	7,013' - 1 1/2"	6,965' - 0"	48' - 1 1/2"
KK	7,011' - 9 1/2"	6,965' - 0"	46' - 9 1/2"
LL	7,013' - 1 1/2"	6,965' - 0"	48' - 1 1/2"
MM	7,020' - 2"	6,965' - 0"	55' - 2"
NN	7,019' - 0 1/2"	6,965' - 0"	54' - 0 1/2"
OO	7,010' - 10 1/2"	6,965' - 0"	45' - 10 1/2"
PP	7,013' - 2"	6,965' - 0"	48' - 2"
QQ	7,010' - 10 1/2"	6,965' - 0"	45' - 10 1/2"
RR	7,013' - 1 1/2"	6,965' - 0"	48' - 1 1/2"
SS	7,010' - 10 1/2"	6,965' - 0"	45' - 10 1/2"
TT	7,013' - 1"	6,965' - 0"	48' - 1"
UU	7,013' - 1"	6,965' - 0"	48' - 1"
VV	7,012' - 4"	6,965' - 0"	47' - 4"
WW	7,023' - 6"	6,965' - 0"	58' - 6"
XX	7,023' - 4 1/2"	6,965' - 0"	58' - 4 1/2"
YY	7,023' - 2 1/2"	6,965' - 0"	58' - 2 1/2"

NOTE: Typical grade plane (extending around the perimeter of the building outside of the east side of the building (highlighted in points L & M) is designed to be 6'965" - 0". The typical maximum roof ridge height (because the roof is a continuous 6:12 gable, this height is a relatively consistent maximum height) is 7'027" - 1 1/2". Based on these numbers, the typical delta between finished grade and maximum height is equal to 62' - 1 1/2".

----- ROOF LINES (Eave, Valley/Ridge)
—— BUILDING PERIMETER @ GRADE
—— GRADE SEPERATOR (Divides the roof into "zones" that indicate where the closest proposed grade line is to pull from for this portion of the roof. These "zones" are highlighted in the axons shown on this page to diagrammatically highlight maximum height conformance.



1 Building Height Review - Roof Plan
1/16" = 1'-0"

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DESIGN

The Ambie
Steamboat Springs, CO

No.	Description	Date

Steamboat Springs -
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BUILDING HEIGHT
REVIEW

A7.02

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DESIGN

The Ambie
Steamboat, CO

No.	Description	Date

Steamboat Springs -
DRY Submittal Package

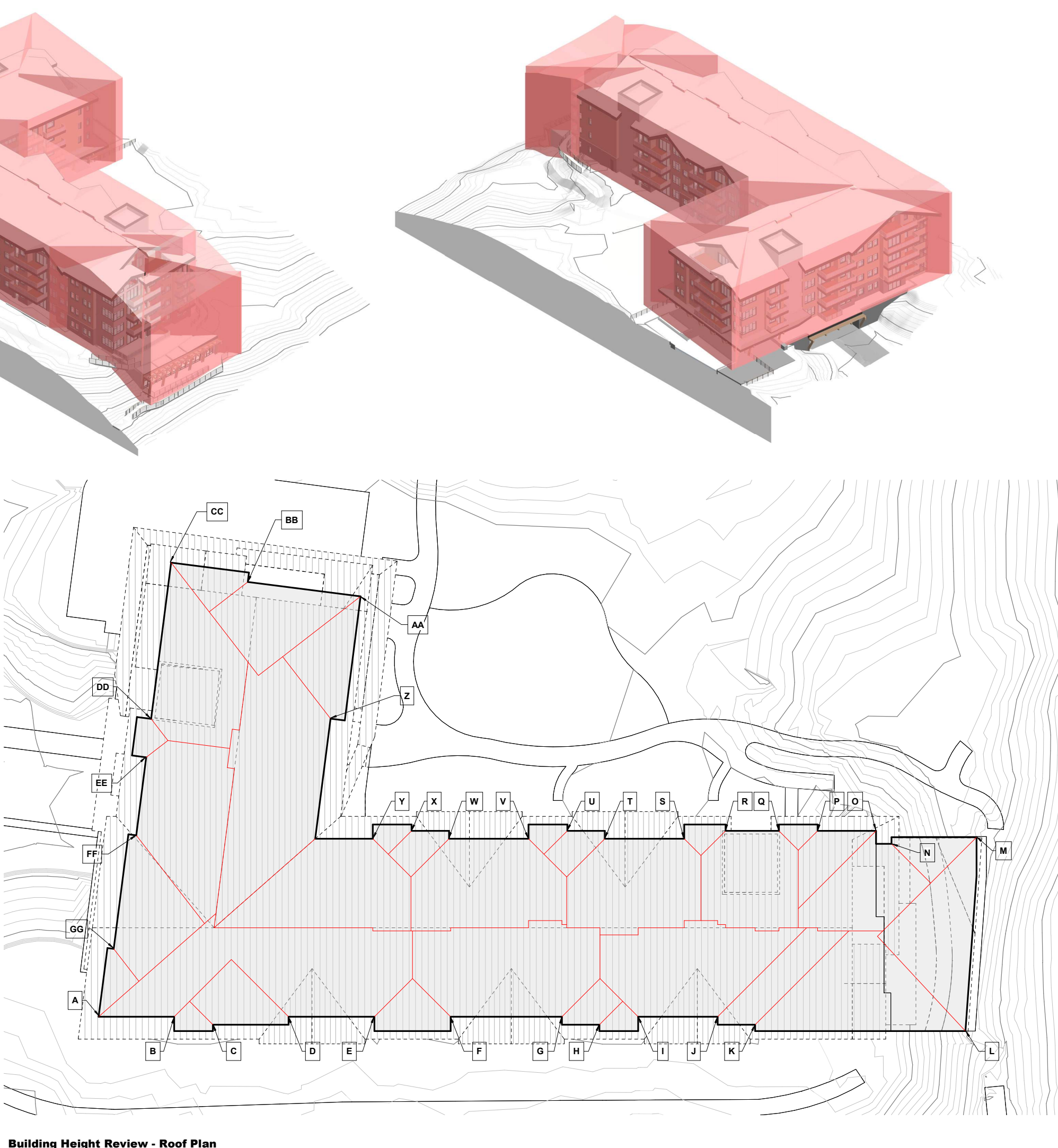
BUILDING HEIGHT
REVIEW

A6.01

BUILDING HEIGHT REVIEW			
POINT NAME:	USGS ELEVATION:	USGS (PROPOSED GRADE):	DELTA:
A	7,012' - 10"	6,963' - 1"	49' - 11"
B	7,012' - 10"	6,964' - 0"	48' - 10"
C	7,011' - 6"	6,964' - 0"	47' - 6"
D	7,015' - 6 3/4"	6,964' - 0"	51' - 6 3/4"
E	7,012' - 10"	6,964' - 0"	48' - 10"
F	7,012' - 10"	6,964' - 0"	48' - 10"
G	7,016' - 5 3/4"	6,964' - 0"	50' - 5 3/4"
H	7,011' - 6"	6,964' - 0"	47' - 6"
I	7,012' - 10"	6,964' - 0"	48' - 10"
J	7,016' - 5 3/4"	6,964' - 0"	50' - 5 3/4"
K	7,011' - 6"	6,964' - 0"	47' - 6"
L			
M	6,962' - 11 3/4"	6,950' - 0"	12' - 11 3/4"
N	6,962' - 7 1/2"	6,951' - 3"	11' - 4 1/2"
O			
P	7,013' - 10"	6,962' - 4"	51' - 6"
Q	7,011' - 6"	6,964' - 0"	47' - 6"
R	7,011' - 6"	6,964' - 0"	47' - 6"
S	7,021' - 7"	6,964' - 0"	57' - 7"
T	7,021' - 7"	6,964' - 0"	57' - 7"
U	7,012' - 10"	6,964' - 0"	48' - 10"
V	7,016' - 5 3/4"	6,964' - 0"	50' - 5 3/4"
W	7,011' - 6"	6,964' - 0"	47' - 6"
X	7,012' - 10"	6,964' - 0"	48' - 10"
Y	7,016' - 5 3/4"	6,964' - 0"	50' - 5 3/4"
Z	7,011' - 6"	6,964' - 0"	47' - 6"
AA	7,012' - 10"	6,964' - 0"	48' - 10"
BB	7,010' - 0"	6,964' - 0"	45' - 0"
CC	7,011' - 6"	6,964' - 0"	47' - 6"
DD			
EE	7,012' - 10"	6,964' - 0"	48' - 10"
FF	7,012' - 10"	6,964' - 0"	48' - 10"
GG	7,012' - 10"	6,964' - 0"	48' - 10"
HH	7,023' - 6"	6,964' - 0"	59' - 6"

NOTE: Typical grade plane (extending around the perimeter of the building outside of the east side of the building (highlighted in points L & M) is designed to be 6'964" - 0". The typical maximum roof ridge height (because the roof is a continuous 6:12 gable, this height is a relatively consistent maximum height) is 7'026" - 9 1/4". Based on these numbers, the typical delta between finished grade and maximum height is equal to 62' - 9 1/4".

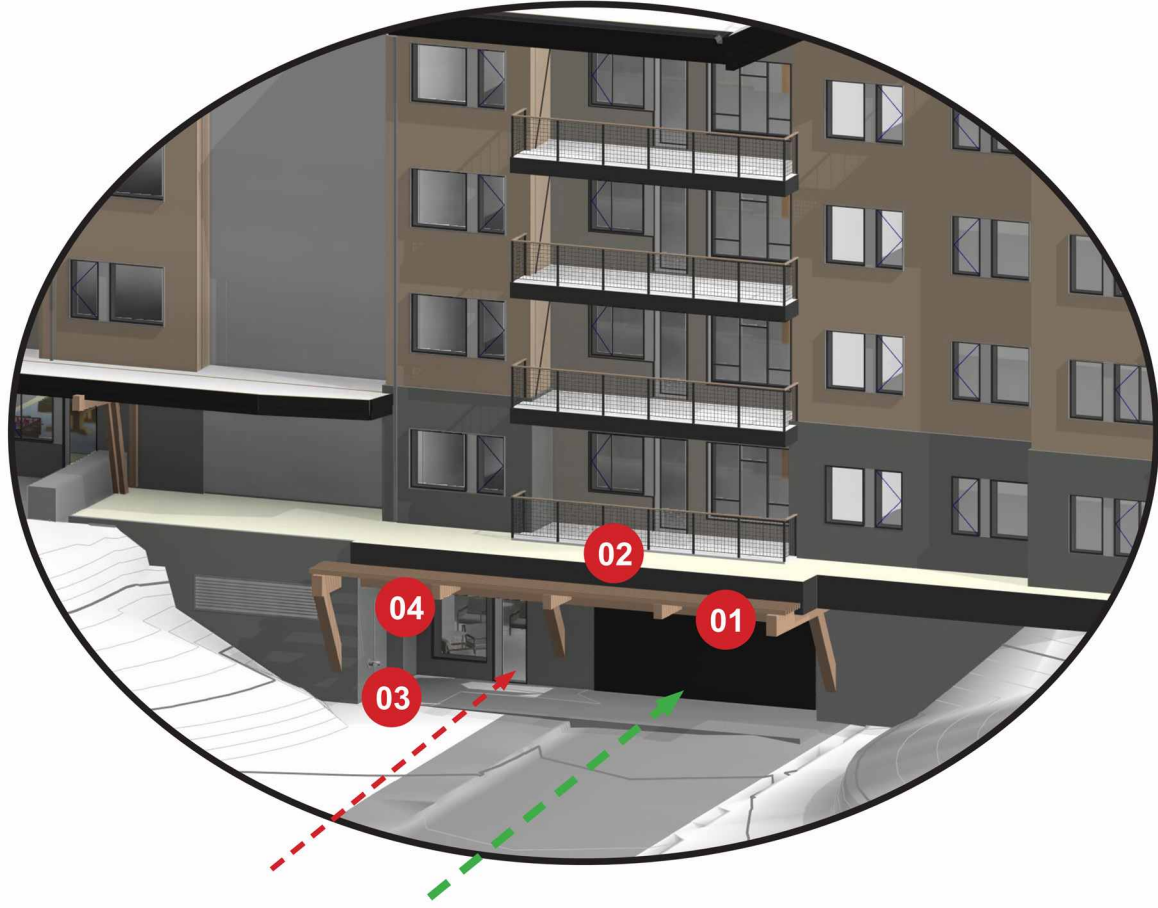
----- ROOF LINES (Eave, Valley/Ridge)
—— BUILDING PERIMETER @ GRADE
—— GRADE SEPERATOR (Divides the roof into "zones" that indicate where the closest proposed grade line is to pull from for this portion of the roof. These "zones" are highlighted in the axons shown on this page to diagrammatically highlight maximum height conformance.



1 Building Height Review - Roof Plan
1/16" = 1'-0"

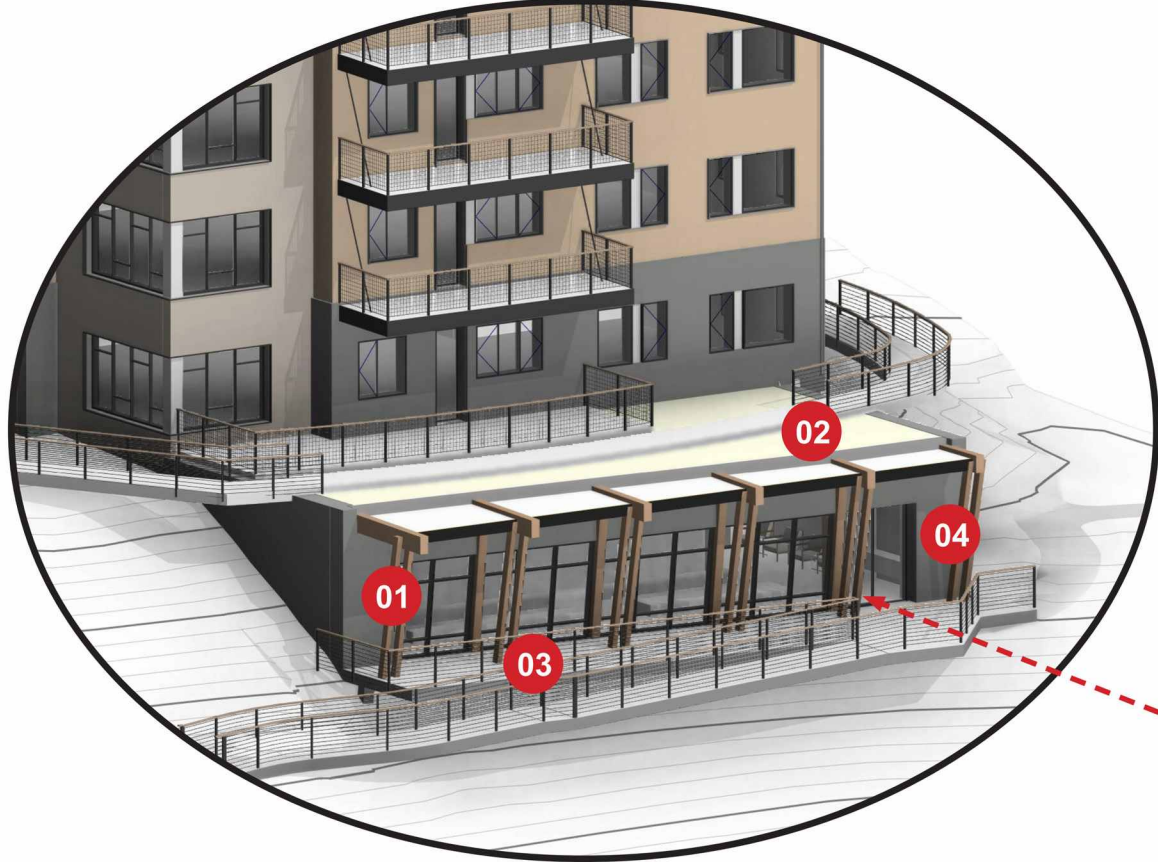
ENTRY 01

GARAGE & UBER LOBBY FROM MOUNT WARNER CIRCLE



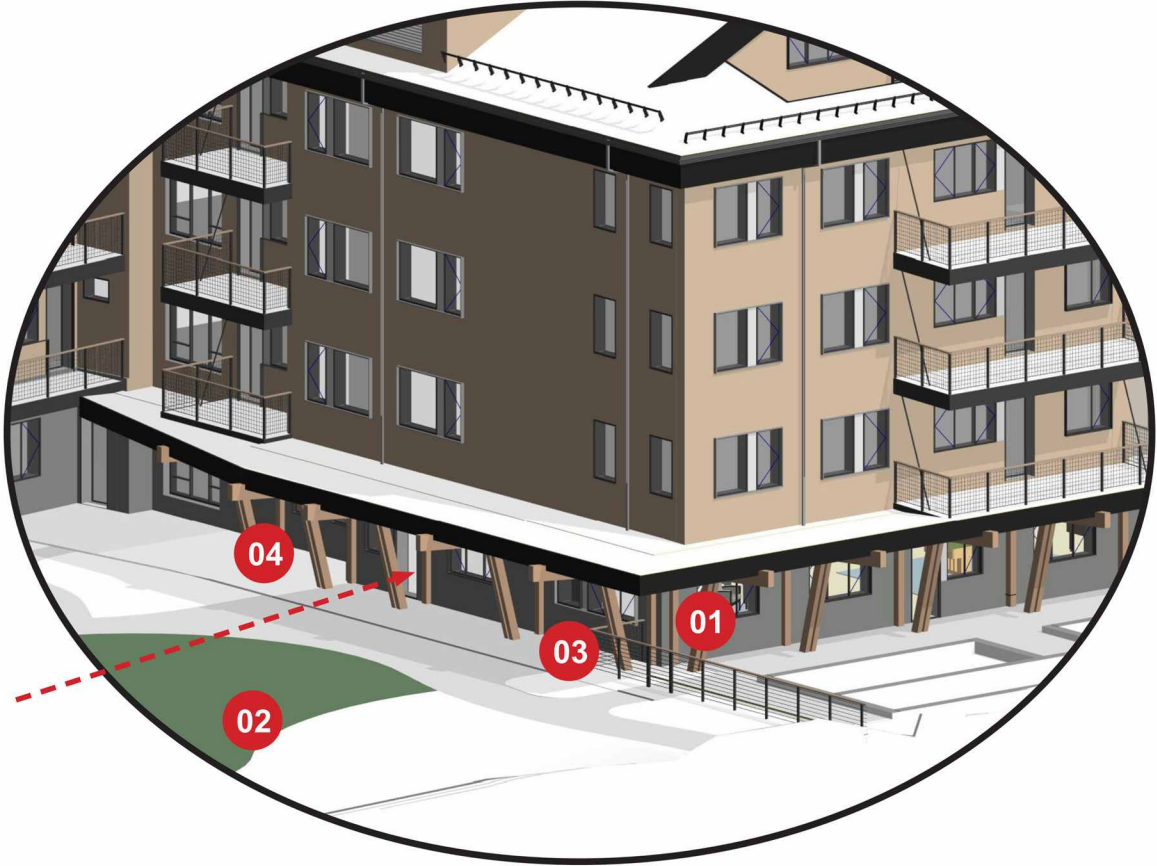
ENTRY 03

SKI LOCKERS FROM THE GTC



ENTRY 02

BUILDING LOBBY FROM INTERIOR COURTYARD



- 01 A TIMBER TRELLIS POST-AND-BEAM DESIGN IS UTILIZED EXCLUSIVELY WHERE PEDESTRIAN AND VEHICULAR ENTRIES ARE DESIGNED .
- 02 GREEN ROOFS (ENTRY 01 AND 03) ARE UTILIZED EXCLUSIVELY WHERE PEDESTRIAN AND VEHICULAR ENTRIES ARE DESIGNED. AT ENTRY 02, A PUBLIC LAWN HIGHLIGHTS THE ENTRY.
- 03 SEATING AREAS PROVIDE A SPACE FOR PUBLIC INTERACTION AND ENGAGEMENT ADJACENT TO THE PEDESTRIAN ENTRIES.
- 04 AN EMPTY WALL PROVIDES AN OPPORTUNITY FOR EXTIOR LIGHTING AND SIGNAGE, HIGHLIGHTING THE ENTRY AT NIGHT AND ENHANCING THE WAYFINDING EXPERIENCE.

-----> PEDESTRIAN ENTRY
-----> VEHICULAR ENTRY

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DESIGN

The Ambie
Steamboat Springs, CO

No.	Description	Date

Steamboat Springs -
100% DD Issuance

BUILDING ENTRY
EXHIBIT

A7.03

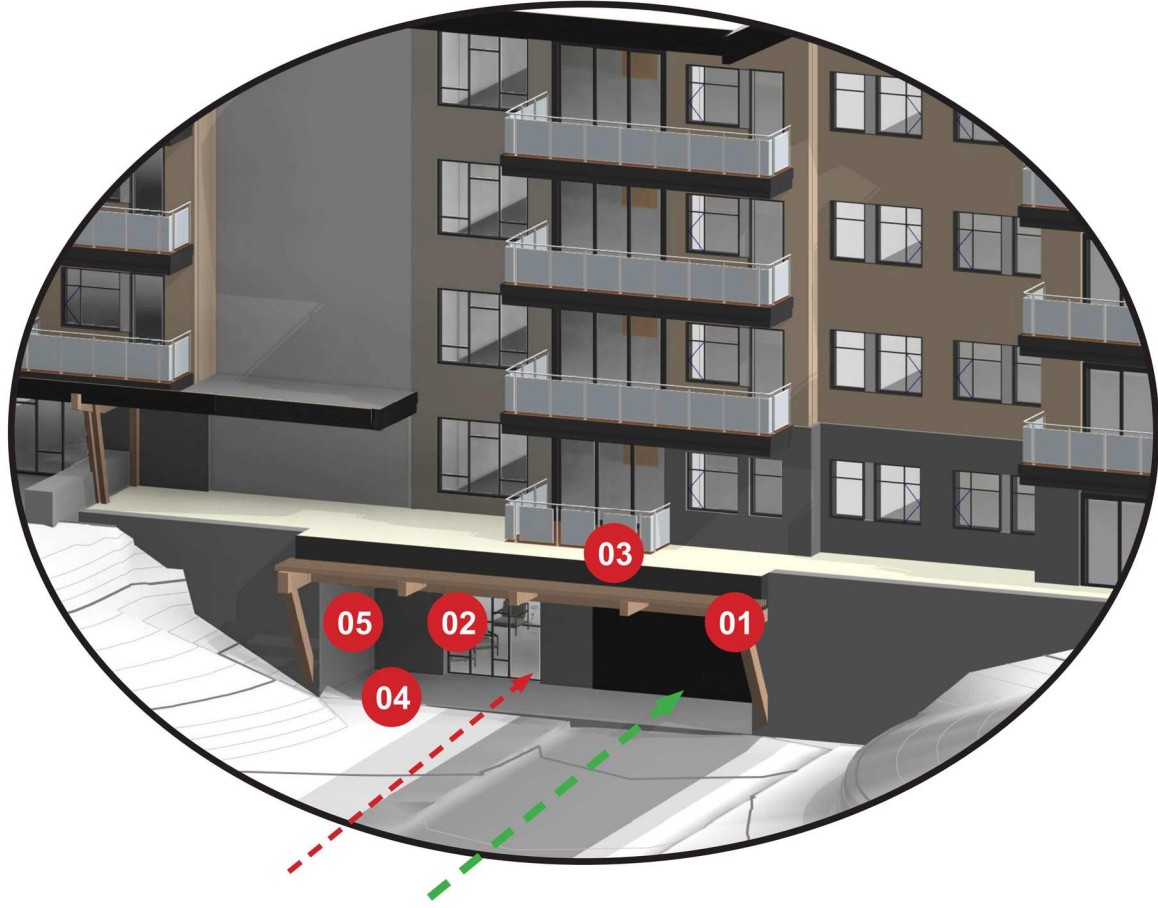
A7.03 --- BUILDING ENTRY EXHIBIT
REVISED SUBMITTAL - PL20220623

OUTLINE OF CHANGES:

- 01. GRAPHICS UPDATED TO MATCH THE LATEST DESIGN.
- 02. LOBBY WINDOWS UPDATED FROM FLOOR-TO-CEILING GLAZING TO GLAZING WITH A 3'-0" SILL. WHILE THE REPETITION AND SPACING OF THE WINDOWS IS STILL DIFFERENT FROM THE UNITS, THE LANGUAGE NOTED IN THE LEGEND IS UPDATED TO REFLECT THIS CHANGE.
- 03. SHEET NUMBER UPDATED FROM A6.02 TO A7.03.

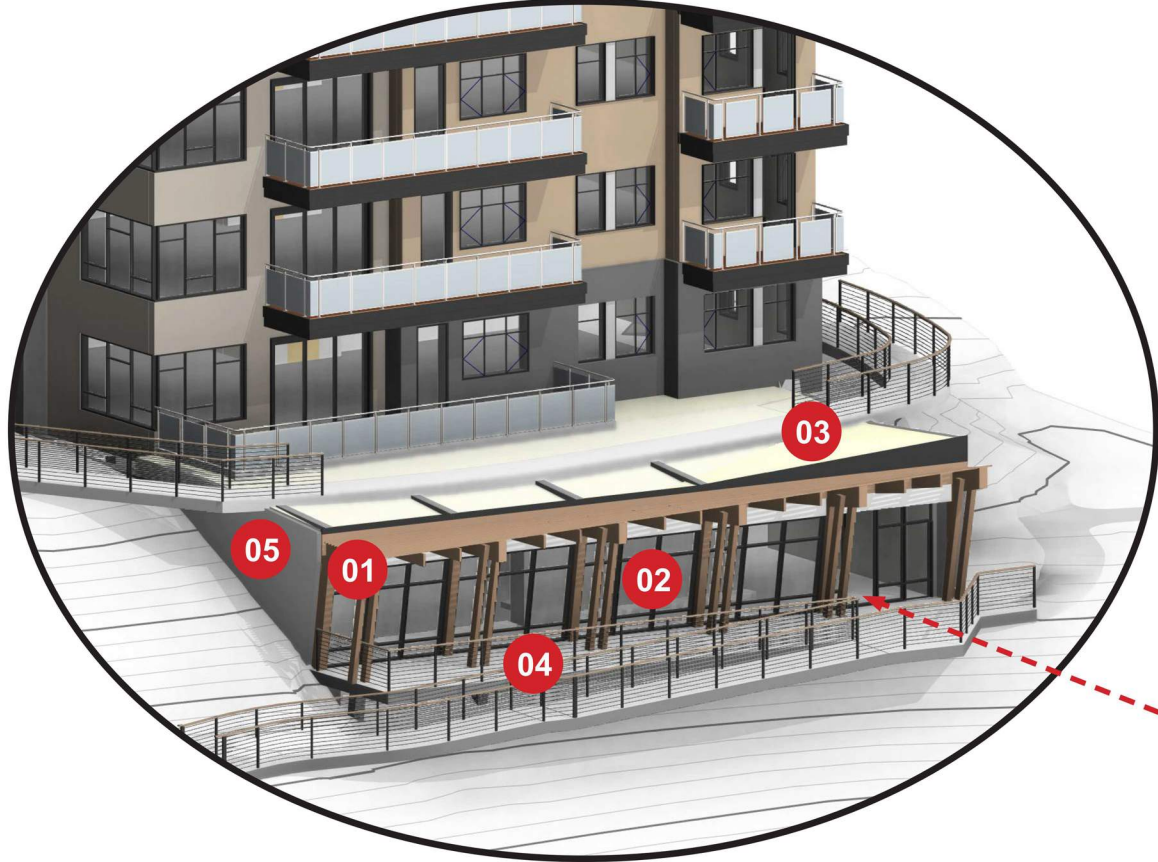
ENTRY 01

GARAGE & UBER LOBBY FROM MOUNT WARNER CIRCLE



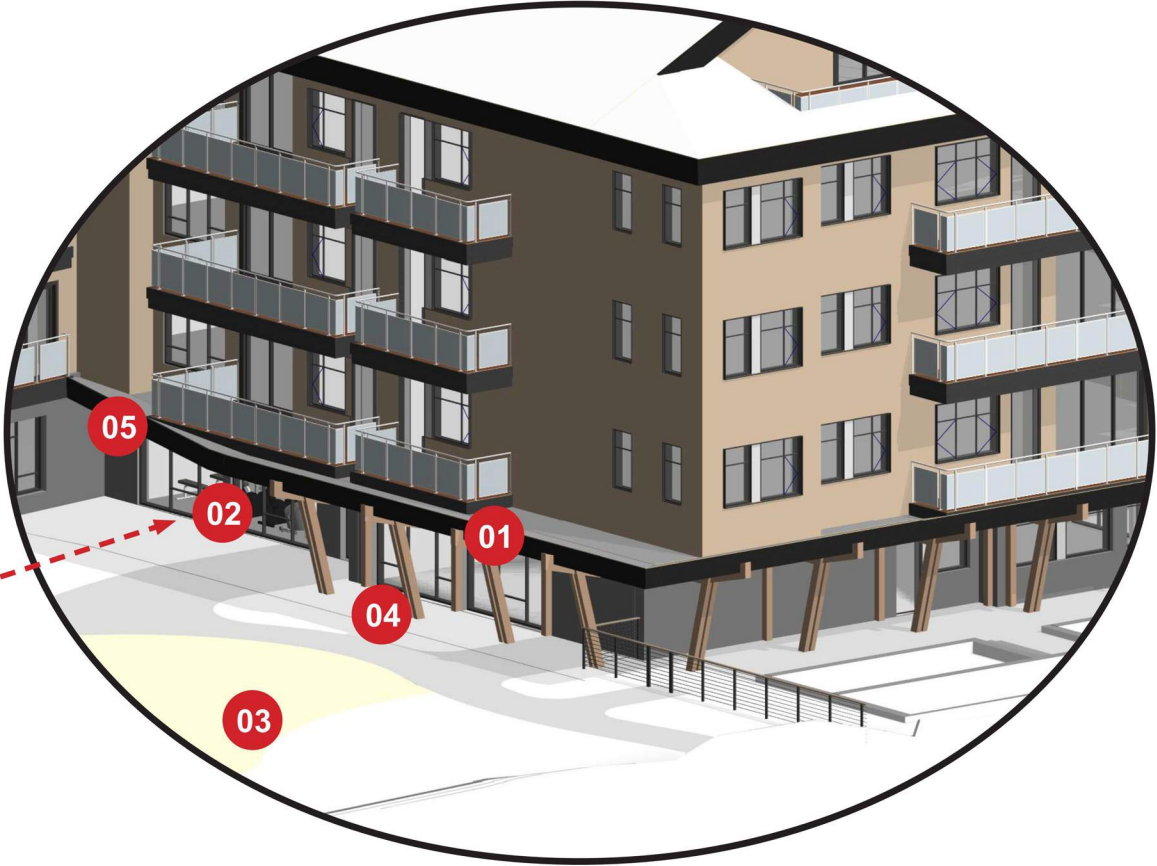
ENTRY 03

SKI LOCKERS FROM THE GTC



ENTRY 02

BUILDING LOBBY FROM INTERIOR COURTYARD



- 01 A TIMBER TRELLIS POST-AND-BEAM DESIGN IS UTILIZED EXCLUSIVELY WHERE PEDESTRIAN AND VEHICULAR ENTRIES ARE DESIGNED .
- 02 FLOOR-TO-CEILING GLAZING IS UTILIZED EXCLUSIVELY AT PEDESTRIAN ENTRIES, PROVIDING A HIGH LEVEL OF TRANSPARENCY INSIDE AND OUTSIDE.
- 03 GREEN ROOFS (ENTRY 01 AND 03) ARE UTILIZED EXCLUSIVELY WHERE PEDESTRIAN AND VEHICULAR ENTRIES ARE DESIGNED. AT ENTRY 02, A PUBLIC LAWN HIGHLIGHTS THE ENTRY.
- 04 SEATING AREAS PROVIDE A SPACE FOR PUBLIC INTERACTION AND ENGAGEMENT ADJACENT TO THE PEDESTRIAN ENTRIES.
- 05 AN EMPTY WALL PROVIDES AN OPPORTUNITY FOR EXTIOR LIGHTING AND SIGNAGE, HIGHLIGHTING THE ENTRY AT NIGHT AND ENHANCING THE WAYFINDING EXPERIENCE.

-----> PEDESTRIAN ENTRY
-----> VEHICULAR ENTRY

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DESIGN

The Ambie
Steamboat, CO

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Steamboat Springs -
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BUILDING ENTRY
EXHIBIT

A6.02

A6.02 --- BUILDING ENTRY EXHIBIT
ORIGINAL SUBMITTAL - PL20220623

OUTLINE OF CHANGES:

01. WHILE THE BUILDING STEP DESIGN REMAINS THE SAME, THE GRAPHICS AND EXHIBIT TABLES HAVE BEEN UPDATED TO REFLECT THE LATEST DESIGN.
02. SHEET NUMBER IS UPDATED FROM A6.03 TO A7.04.

359
DESIGN

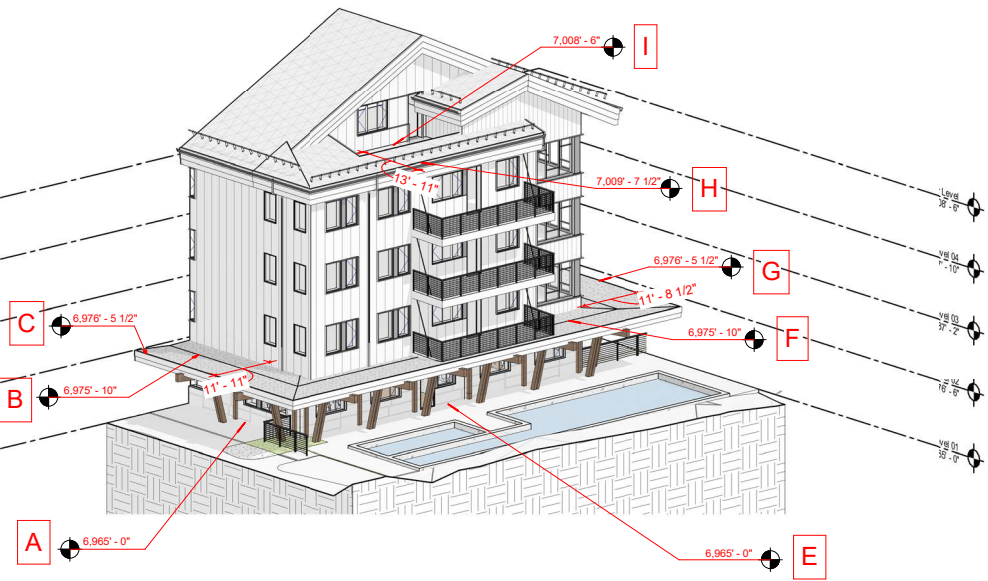
The Amble
Steamboat Springs, CO

No.	Description	Date

Steamboat Springs -
100% DD Issuance

BUILDING STEP
EXHIBIT

A7.04

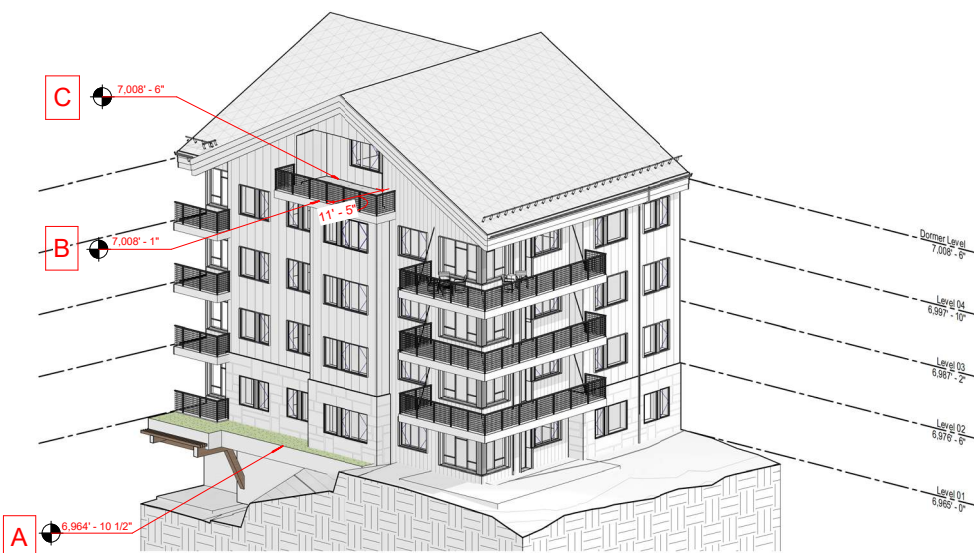


1 Building Step Review - Exhibit 01

EXHIBIT 01:

POINT A/E: 6,965' - 0" USGS
POINT B/F: 6,975' - 10" USGS (+10' - 10" VERTICAL OFFSET)
POINT C/G: 6,976' - 5 1/2" USGS (+0' - 7 1/2" VERTICAL DELTA)
(+11' - 11" HORIZONTAL OFFSET B-C)
(+11' - 8 1/2" HORIZONTAL OFFSET F-G)

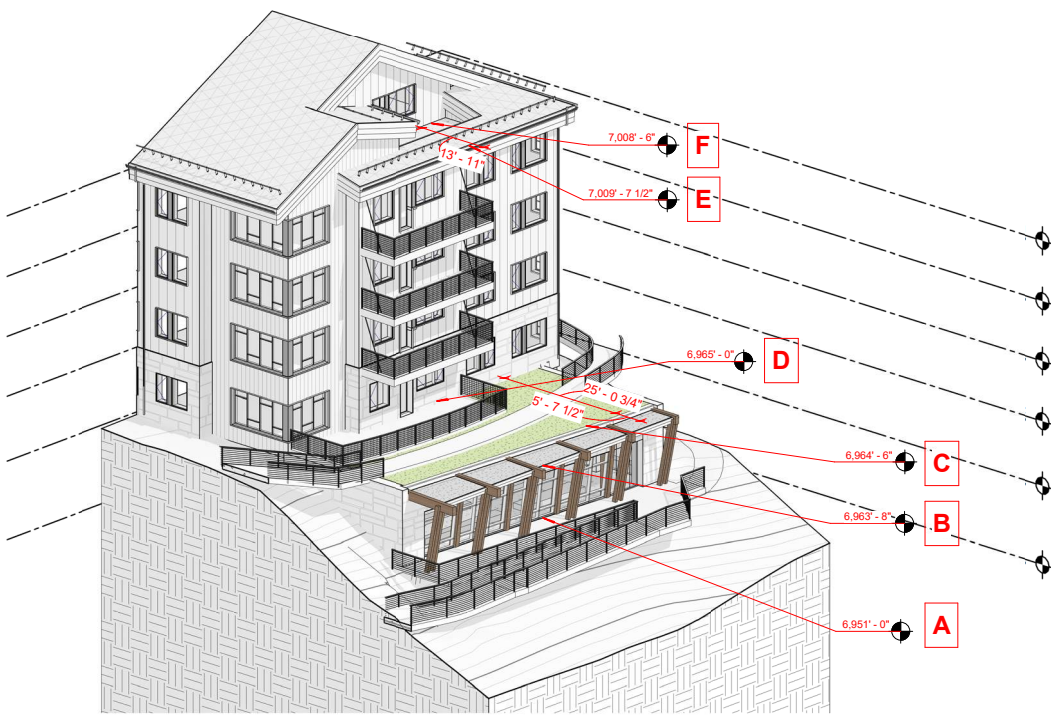
POINT E: 6,965' - 0" USGS
POINT H: 7,009' - 7 1/2" USGS (+44' - 7 1/2" VERTICAL OFFSET)
POINT I: 7,008' - 6" USGS (+1' - 1 1/2" VERTICAL DELTA)
(+13' - 11" HORIZONTAL OFFSET)



2 Building Step Review - Exhibit 02

EXHIBIT 02:

POINT A: 6,964' - 10 1/2" USGS
POINT B: 7,008' - 1" USGS (+44' - 0" VERTICAL OFFSET)
POINT C: 7,008' - 6" USGS (+0' - 5" VERTICAL DELTA)
(+11' - 5" HORIZONTAL OFFSET)



3 Building Step Review - Exhibit 03

EXHIBIT 03:

POINT A: 6,951' - 0" USGS (+12' - 8" VERTICAL OFFSET)
POINT B: 6,963' - 8" USGS (+0' - 10" VERTICAL DELTA)
POINT C: 6,964' - 6" USGS (+0' - 6" VERTICAL DELTA)
POINT D: 6,965' - 0" USGS (+30' - 8 1/4" HORIZONTAL OFFSET B-D)
(+25' - 0 3/4" HORIZONTAL OFFSET C-D)

POINT D: 6,965' - 0" USGS (+44' - 7 1/2" VERTICAL OFFSET)
POINT E: 7,009' - 7 1/2" USGS (+1' - 1 1/2" VERTICAL DELTA)
POINT F: 7,008' - 6" USGS (+13' - 11" HORIZONTAL OFFSET)



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DESIGN

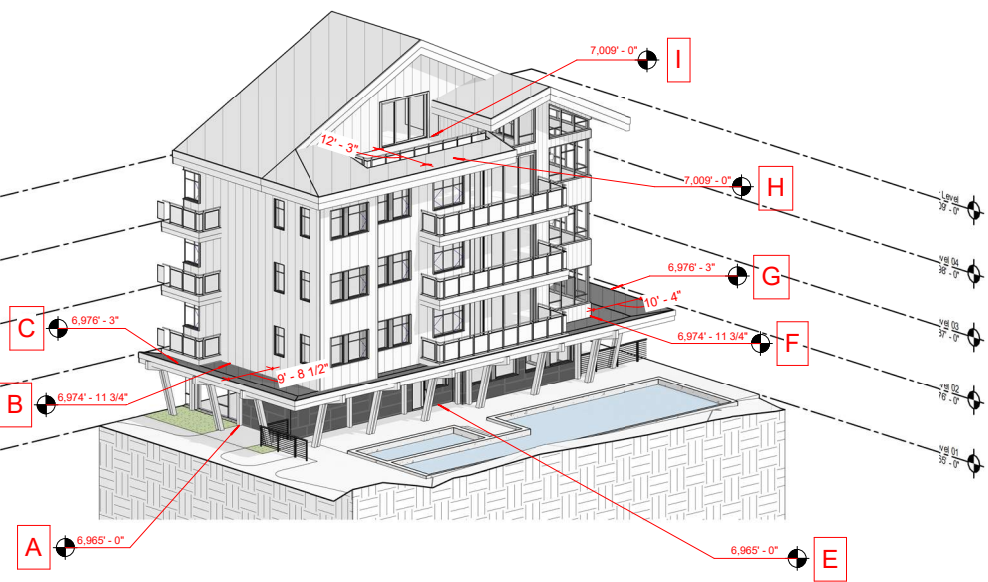
The Amble
Steamboat, CO

No.	Description	Date

Steamboat Springs -
DRY Submittal Package

BUILDING STEP
EXHIBIT

A6.03

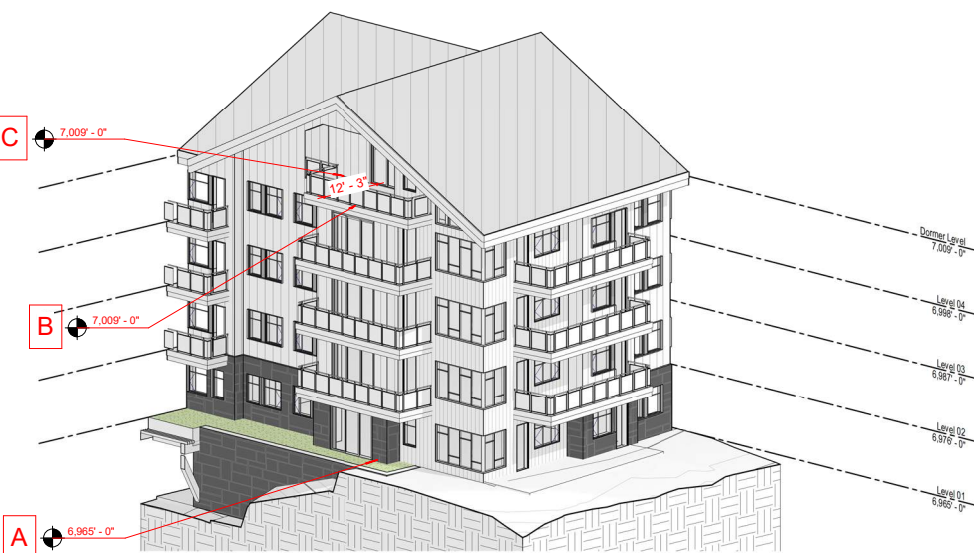


1 Building Step Review - Exhibit 01

EXHIBIT 01:

POINT A/E: 6,965' - 0" USGS
POINT B/F: 6,974' - 11 3/4" USGS (+9' - 11 3/4" VERTICAL OFFSET)
POINT C/G: 6,976' - 10 1/4" USGS (+1' - 10 1/2" VERTICAL OFFSET)
(+9' - 8 1/2" HORIZONTAL OFFSET B-C)
(+10' - 4" HORIZONTAL OFFSET F-G)

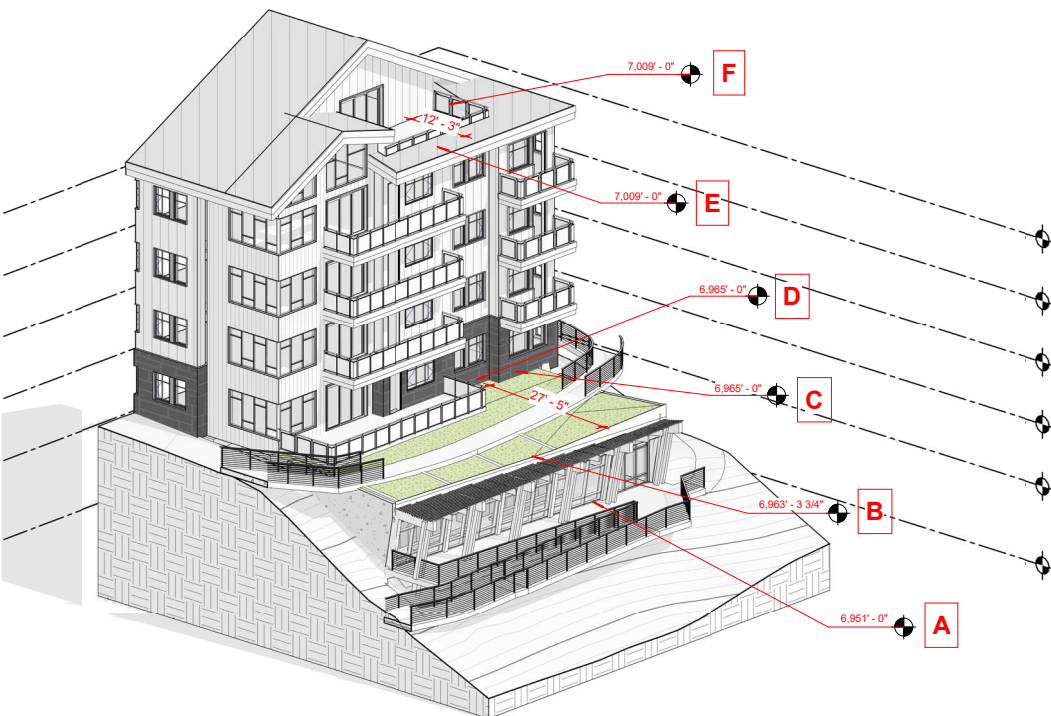
POINT E: 6,965' - 0" USGS
POINT H: 7,009' - 0" USGS (+44' - 0" VERTICAL OFFSET)
POINT I: 7,009' - 0" USGS (+12' - 3" HORIZONTAL OFFSET)



2 Building Step Review - Exhibit 02

EXHIBIT 02:

POINT A: 6,965' - 0" USGS
POINT B: 7,009' - 0" USGS (+44' - 0" VERTICAL OFFSET)
POINT C: 7,009' - 0" USGS (+12' - 3" HORIZONTAL OFFSET)

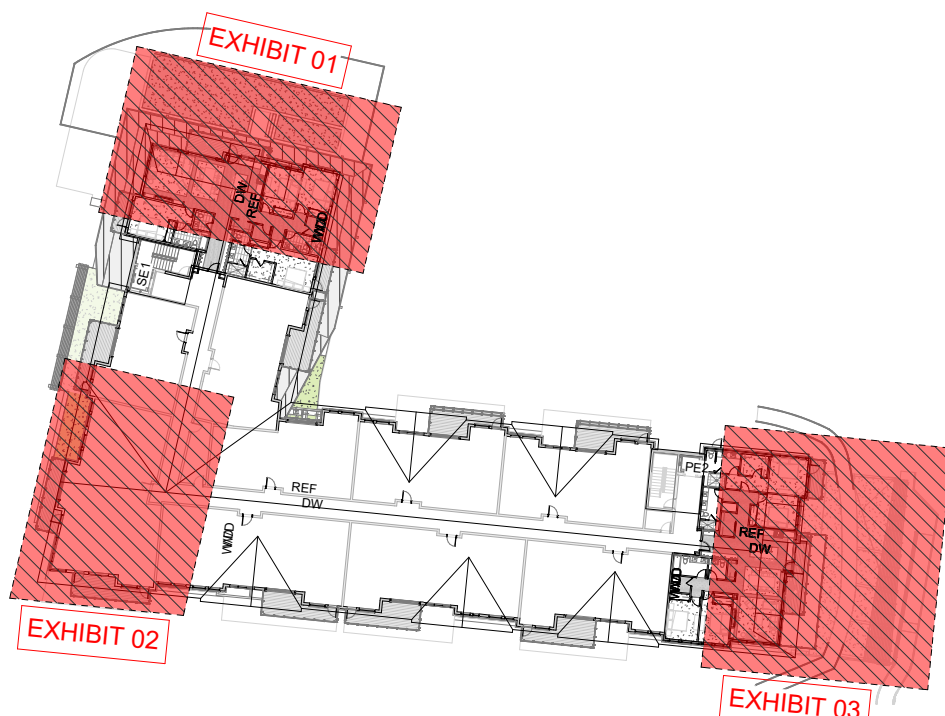


3 Building Step Review - Exhibit 03

EXHIBIT 03:

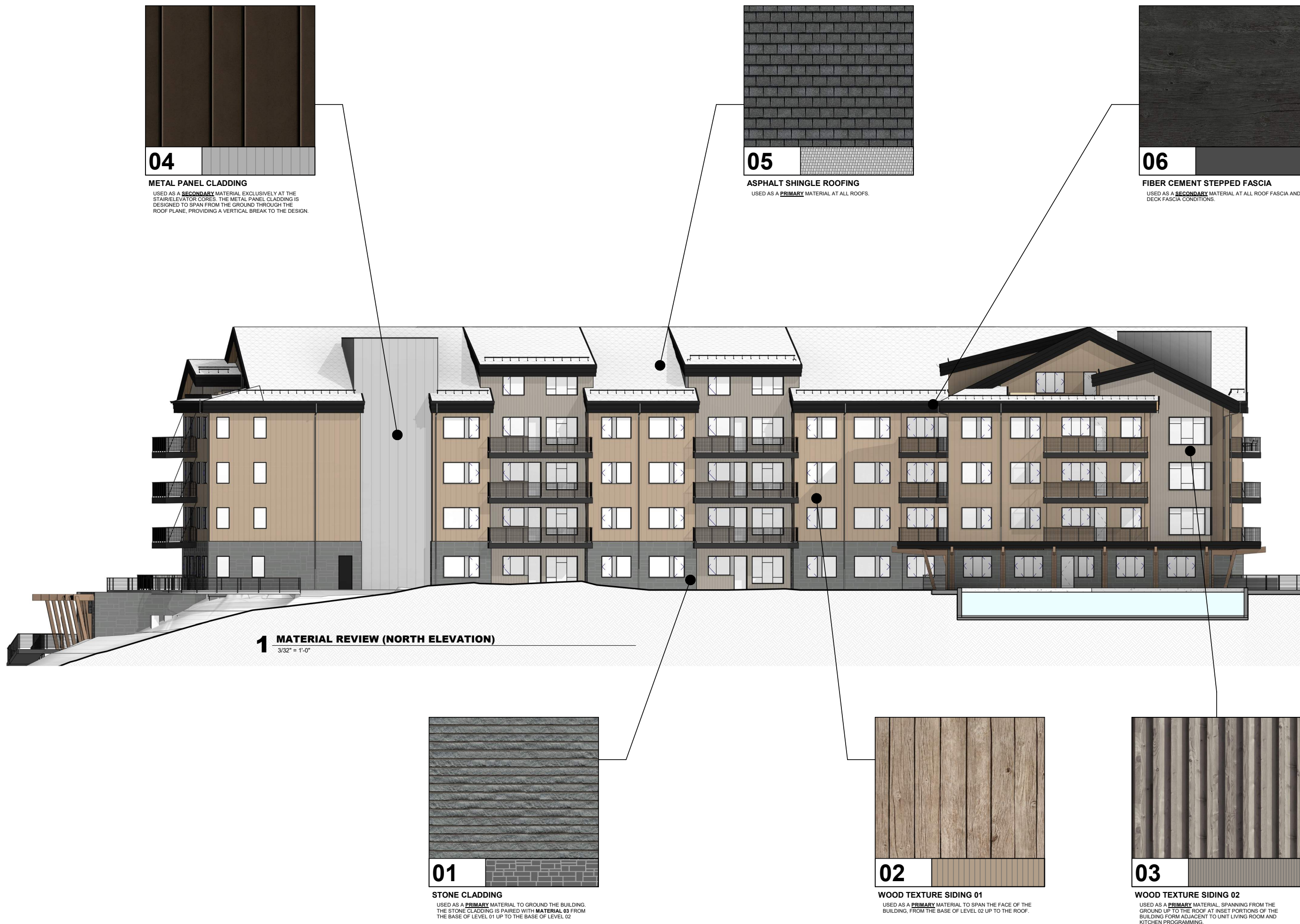
POINT A: 6,951' - 0" USGS
POINT B: 6,963' - 3 3/4" USGS (+12' - 3 3/4" VERTICAL OFFSET)
POINT C: 6,965' - 0" USGS (+27' - 5" HORIZONTAL OFFSET)
(+1' - 8 1/4" VERTICAL OFFSET)

POINT D: 6,965' - 0" USGS
POINT E: 7,009' - 0" USGS (+44' - 0" VERTICAL OFFSET)
POINT F: 7,009' - 0" USGS (+12' - 3" HORIZONTAL OFFSET)



OUTLINE OF CHANGES:

01. SHEET NUMBER UPDATED FROM A6.04 TO A7.05.



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DESIGN

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BUILDING MATERIALS

A7.05



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DESIGN

The Ambie
Steamboat, CO

No.	Description	Date

Steamboat Springs -
DRY Submittal Package

BUILDING MATERIALS

A6.04



A9.00-A9.03 --- SKETCH RENDERINGS
REVISED SUBMITTAL - PL20220623

OUTLINE OF CHANGES:

- 01. RENDERINGS RE-EXPORTED TO REFLECT THE LATEST DESIGN.
- 02. SHEETS UPDATED FROM A9.00-A9.02 TO A9.00-A9.03.

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DESIGN

The Ambie
Steamboat Springs, CO

No.	Description	Date

PROJECT NUMBER: 2022-0623
DATE: 06/23/2022

NAME:
Steamboat Springs -
100% DD Issuance

PROJECT NAME:
SKETCH RENDERINGS

PROJECT NO:
A9.00

A9.00-A9.02 --- SKETCH RENDERINGS
ORIGINAL SUBMITTAL - PL20220623



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DESIGN

The Ambie
Steamboat, CO

No.	Description	Date

PROJECT NUMBER: 2022-0623
DATE: 06/23/2022

NAME:
Steamboat Springs -
DRY Submittal Package

PROJECT NAME:
SKETCH RENDERINGS

PROJECT NO:
A9.00

