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September 7, 2023

Revised: October 11, 2023 – (changes in blue)

City of Steamboat Springs Planning & Community Development
137 10th Street
Steamboat Springs, CO 80477
Phone: (970)-871-8207, Fax: (970)-879-8851

**RE: Steamboat Airpark Preliminary Plat at 280600001 (PL20220154)
Lot 1 West Acres Exemption Plat at 280600001 (PL20230083) Zone Map Amendment (ZMA)
Skyline Overlay**

Dear Steamboat Springs Planning Department;

Four Points Surveying and Engineering (FPSE) has analyzed the skyline overlay (SO) impacts for the Steamboat Airpark Preliminary Plat (PP) and associated Zone Map Amendment (ZMA) to subdivide a 3.5-acre parcel, Lot 1 Steamboat Airpark from a larger 134-acre parcel, Lot 1, West Acres Ranch Subdivision Exemption Plat. This letter served to document the analysis and note that the proposed lot is not visible from the defined skyline corridors, US Highway 40 and Elk River Road. The property is located along Gloria Gossard Drive west of the intersection with Downhill Drive. It has been designated as skyline by the City of Steamboat Springs but is located quite large distance from the both skyline corridors (just under half a mile). The site was analyzed for impacts to the Skyline Overlay Zone Section 234.G of the Steamboat Springs CDC, Standards for New Development. There are two standards as outlined below:

1. The construction of any structure will not protrude into the skyline as viewed from public vantage points; and
2. All improvements are designed and situated to blend with the physical and visual character of the landform.

FPSE and the Owner are stating that the proposed Lot 1 Steamboat Airpark is not at all visible from either US Highway 40 and Elk River Road and therefore is not subject to any restrictions associated with the skyline overlay [per CDC standard 432.B which states:](#)

Where uncertainty exists as to the limits of the skylined ridge or knoll, the applicant or owner may submit more site-specific and detailed topographic data or information and survey that provide a conclusive location of a skylined ridgeline in relationship to the property. Upon review of this additional data, the Planning Director may determine that the property is not located on a skylined ridgeline and is exempt from the standards of the SO overlay zone.

Corridors of Concern: US Highway 40 and Elk River Road.

Purpose of Skyline Overlay (taken from the Steamboat Springs CDC):

The Skyline Overlay zone is intended to ensure that development of properties containing visually significant skylines do not impact the skyline as viewed from designated public vantage points.

Procedure:

On April 8, 2021, FPSE went to the site to analyze potential impacts to the SO. The first step was to determine where the eastern hillside, the only portion of the larger parcel the is visible from the corridors of concern. Prior to this visit, Walter Magill reached out to City of Steamboat Springs planning for direction on determining “designated public vantage points. The City responded that we should determine those as a part of this narrative to be analyzed during the development process. Therefore, FPSE drove both directions along US Highway 40 and Elk River Road in order to determine these vantage points. Five locations were identified for the purpose of the SO study as follows:

1. View #1: Intersection of US Highway 40 and Downhill Drive
2. View #2: Intersection of Elk River Road and Downhill Drive
3. View #3: Northbound US Highway 40 at 1856 Lincoln Avenue
4. View #4: Northbound US Highway 40 at 1744 Lincoln Avenue
5. View #5: Intersection of US Highway 40 and Lagoon Court

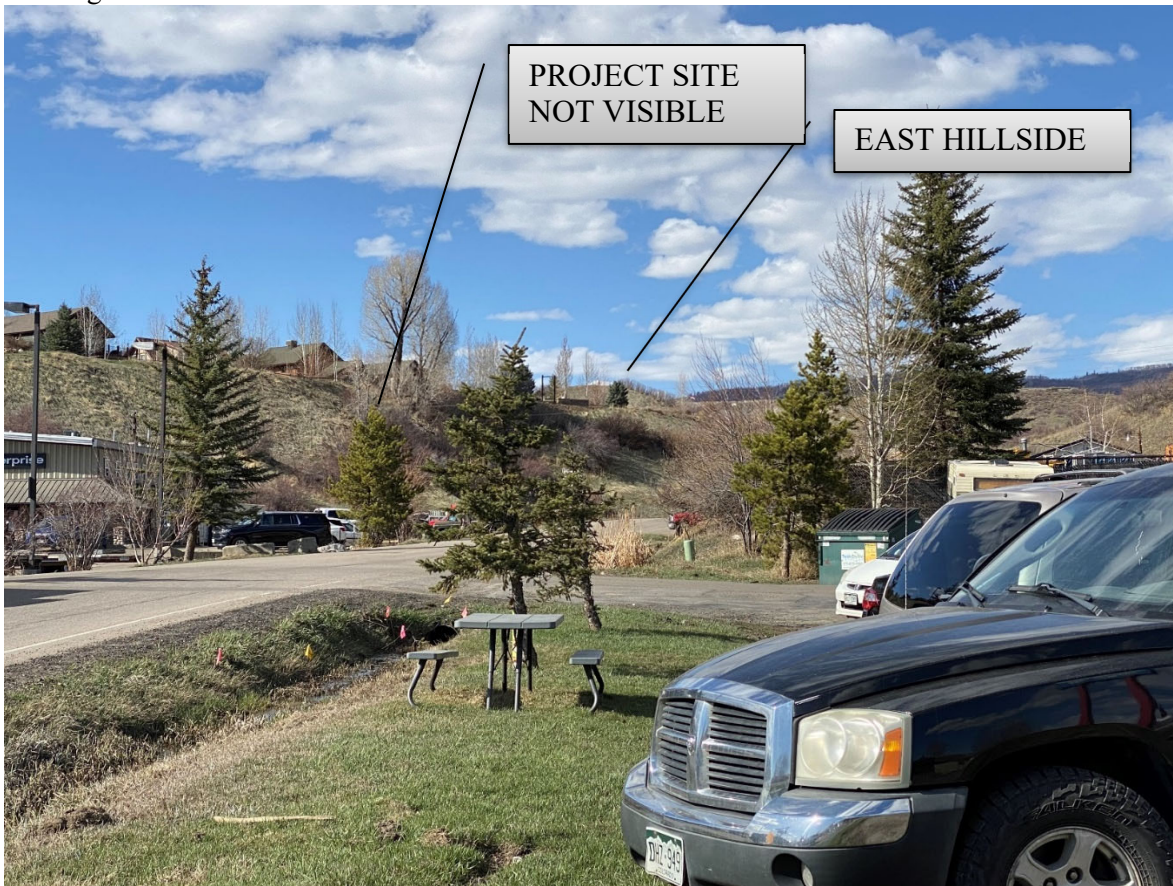
Photos were taken at all locations of the current conditions looking at the proposed project site. The views are displayed, along with a map of the locations, on the exhibit **SKY1** included with this letter and the photos taken are included in the body of this letter. The locations were surveyed for inclusion on the exhibit.

Exhibit SKY1 includes a proposed building in the northwest corner of the building envelope, the highest part of the platted developable area. The finish floor was set at existing ground and raised to 63 feet tall, the CDC max for MF-3 zoning. The ridge behind that type of maximized building was much taller and therefore eliminates the possibility of any skyline impact even if you could see the site from the view corridors. Alternate 3D perspectives visualizing the building and ridge in relation to both the intersection of Elk River Road and Downhill Drive with US Highway 40 are shown in SKY1.

Results:

View #1 – At this location, the eastern hillside is visible, but the proposed project site is not visible.

Existing Photo:



North side of US Highway 40



South side of US Highway 40

Conclusion: Lot 1 Steamboat Airpark is not visible from this location.

View #2 – Lot 1 Steamboat Airpark is behind the eastern hillside in this view.

Existing Photo:



Conclusion: Lot 1 Steamboat Airpark is not visible from this location.

View #3 – The ridge behind the proposed development on the east hillside of the project site is visible from this location. Any proposed development will not extend into the skyline.

Existing Photo:



Conclusion: Lot 1 Steamboat Airpark is not visible from this location. There will be no impact to the skyline from this location.

View #4 – Similar to View #3 but from further south down US Highway 40, the eastern hillside of the project site is slightly visible from this location and the ridge behind the development is very prominent.

Existing Photo:



Conclusion: There will be no impact to the skyline from this location as the site is not visible.

View #5 – East of the intersection of Downhill Drive and Us Highway 40. The site is not visible form this location.

Existing Photo:



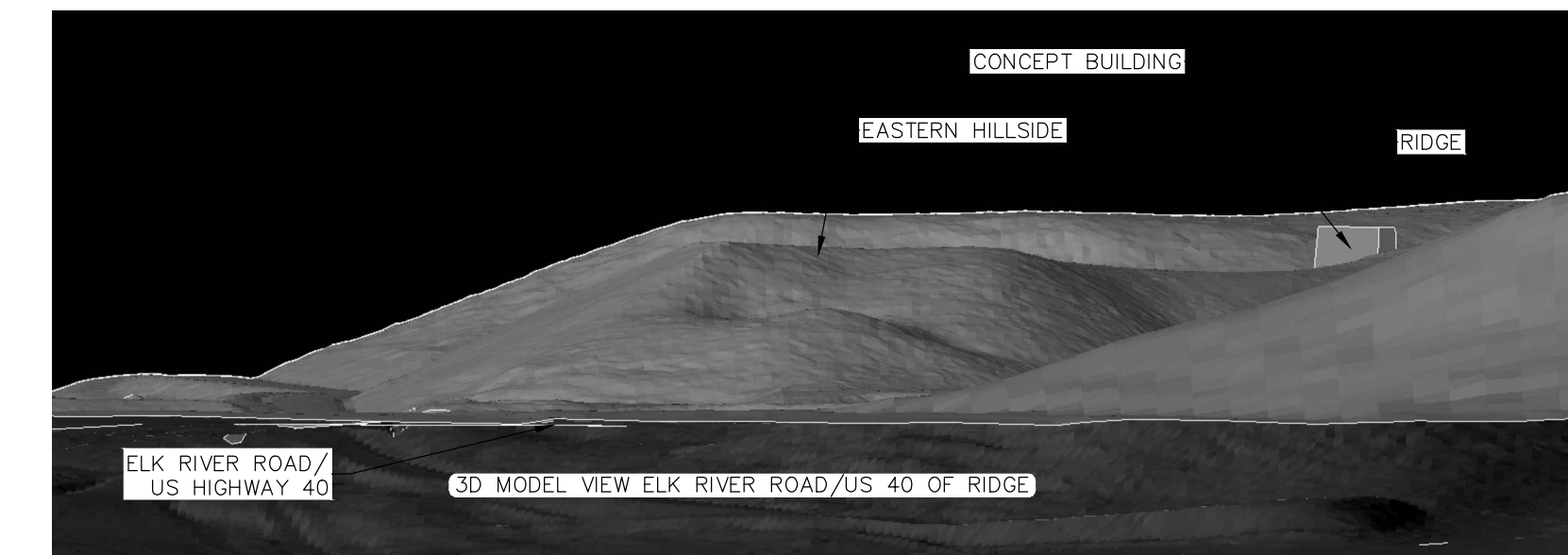
Conclusion: There will be no impact to the skyline from this location as the site is not visible.

Overall Conclusion:

After evaluating the potential impacts of each view, FPSE concludes the proposed Lot 1 Steamboat Airpark is not visible form the skyline corridors of concern and a [development application subject to the code standards will not impact the skyline of the City of Steamboat Springs](#). The ridge behind the development is higher than any proposed building on the [building envelope, shown by the pictures presented here and exhibit SKY1](#). The proposed lot will not be subject to any restrictions associated with the skyline overlay. Any additional information can be provided by request. Please contact matthewm@fourpointsse.com or 248-444-3268 with any questions.

Sincerely;

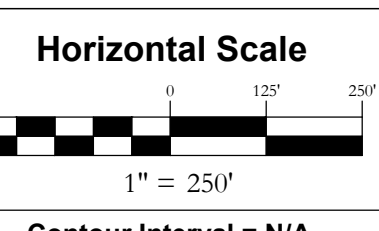
Matthew McLeod, P.E.
Four Points Surveying and Engineering



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INT	MDM	REVISIONS	ADDRESS	DRT
No.	DATE			
1	10/10/23			

COPPER RIDGE VILLAGE
GLORIA GOSSARD PARKWAY
STEAMBOAT SPRINGS, CO 80487



Contour Interval = N/A
 DATE: 9-8-2023
 JOB #: 1992-001
 DRAWN BY: MDM
 DESIGN BY: MDM
 REVIEW BY: FPSE

IF THIS DRAWING IS PRESENTED IN A FORMAT OTHER THAN A4 X 36", THE GRAPHIC SCALE SHOULD BE UTILIZED.

DRAWING:
SKYLINE EXHIBIT

SHEET #
SKY1