

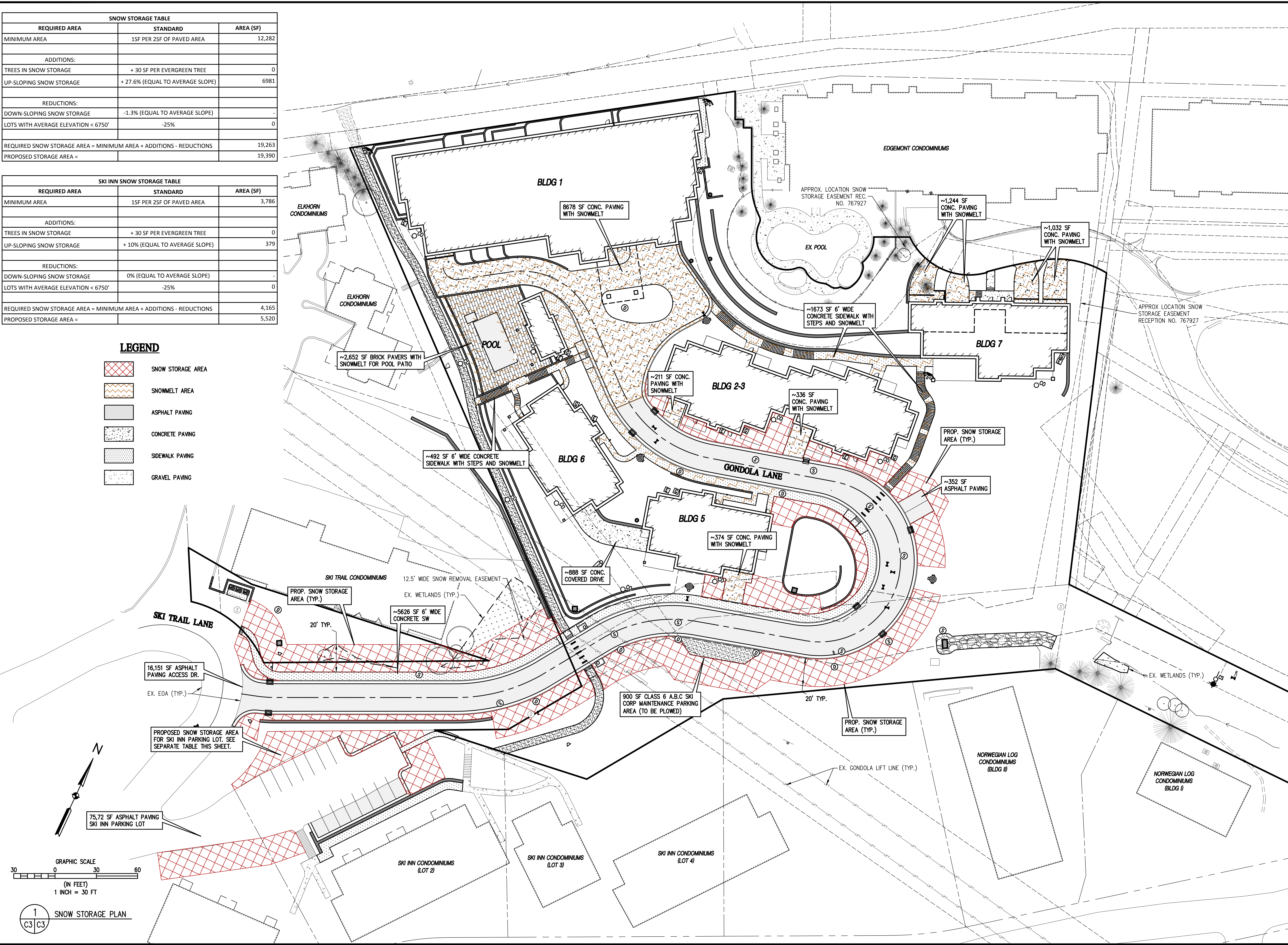
c:\co20235 astrid-edgemont ph2\Drawings\CONCEPT\20235 SNOW STORAGE PLAN.dwg, 7/28/2023 10:44:00 AM, Steve Batchelder

SNOW STORAGE TABLE		
REQUIRED AREA	STANDARD	AREA (SF)
MINIMUM AREA	15F PER 25F OF PAVED AREA	12,282
ADDITIONS:		
TREES IN SNOW STORAGE	+ 30 SF PER EVERGREEN TREE	0
UP-SLOPING SNOW STORAGE	+ 27.6% (EQUAL TO AVERAGE SLOPE)	6981
REDUCTIONS:		
DOWN-SLOPING SNOW STORAGE	-1.3% (EQUAL TO AVERAGE SLOPE)	-
LOTS WITH AVERAGE ELEVATION < 6750'	-25%	0
REQUIRED SNOW STORAGE AREA = MINIMUM AREA + ADDITIONS - REDUCTIONS		19,263
PROPOSED STORAGE AREA =		19,390

SKI INN SNOW STORAGE TABLE		
REQUIRED AREA	STANDARD	AREA (SF)
MINIMUM AREA	15F PER 25F OF PAVED AREA	3,786
ADDITIONS:		
TREES IN SNOW STORAGE	+ 30 SF PER EVERGREEN TREE	0
UP-SLOPING SNOW STORAGE	+ 10% (EQUAL TO AVERAGE SLOPE)	379
REDUCTIONS:		
DOWN-SLOPING SNOW STORAGE	0% (EQUAL TO AVERAGE SLOPE)	-
LOTS WITH AVERAGE ELEVATION < 6750'	-25%	0
REQUIRED SNOW STORAGE AREA = MINIMUM AREA + ADDITIONS - REDUCTIONS		4,165
PROPOSED STORAGE AREA =		5,520

LEGEND

- SNOW STORAGE AREA
- SNOWMELT AREA
- ASPHALT PAVING
- CONCRETE PAVING
- SIDEWALK PAVING
- GRAVEL PAVING



DESIGNED BY	TJM
DRAWN BY	TJM
CHECKED BY	MRB

DATE	05/18/2023
PREPARED BY	SMG
REVISIONS PER DRT #	SMG
REVISIONS PER DRT #	SMG

REVISION DESCRIPTION	DATE
REVISIONS PER DRT #	COMMENTS
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ROUT	COUNTY
STEAMBOAT SPRINGS	ROUTT

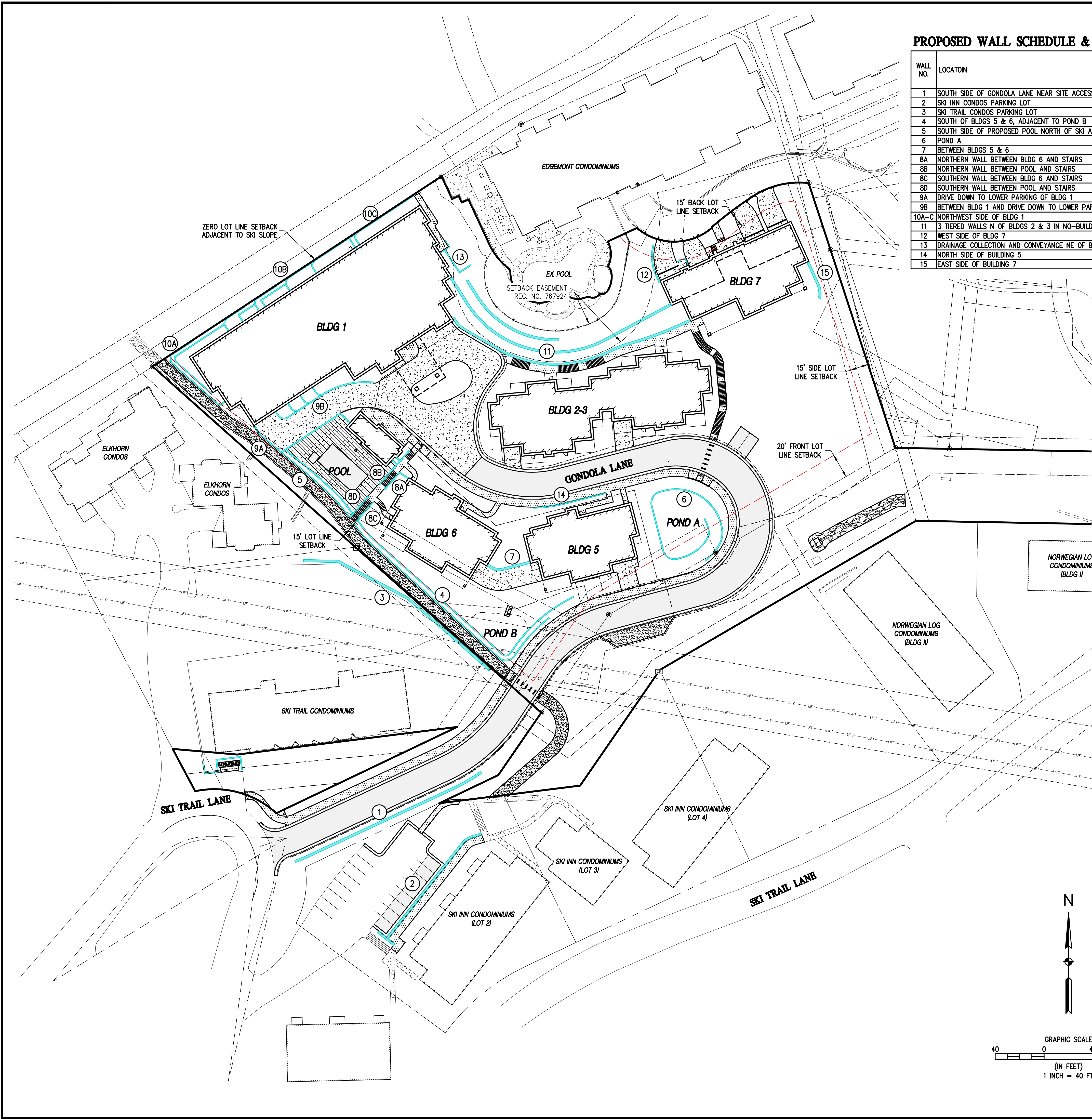
STEAMBOAT ESQUIAR LP
THE ASTRID
2410 SKI TRAIL LANE
SNOW STORAGE PLAN

FOR AND ON BEHALF OF
BASELINE CORPORATION
PREPARED UNDER THE DIRECT
SUPERVISION OF

**PRELIMINARY
NOT FOR
CONSTRUCTION**

INITIAL SUBMITTAL	12/22/2022
DRAWING SIZE	24" X 36"
SURVEY FIRM	LANDMARK, INC
SURVEY DATE	06/03/22
JOB NO.	C020235
DRAWING NAME	20235 SNOW STORAGE PLAN.dwg
SHEET	05 OF 68

c:\co20235 astrid-edgemont\ph2\Drawings\CONCEPT\20235 WALL SCHEDULE.dwg, 9/19/2023 2:53:59 PM, Steve Batchelder



PROPOSED WALL SCHEDULE & VARIANCE TABLE

WALL NO.	LOCATOIN	APPROX. MAX. HEIGHT	TYPE OF WALL	WITHIN LOT LINE SETBACK AREA (YES/NO)	WITHIN BUILDING ENVELOPE (YES/NO)	HEIGHT VARIANCE REQUESTED (YES/NO)	TIERED VARIANCE REQUESTED (YES/NO)
1	SOUTH SIDE OF GONDOLA LANE NEAR SITE ACCESS IN ROW	9'±	TBD	NO	NO	NO	YES
2	SKI INN CONDOS PARKING LOT	10'±	TBD	NO	YES	NO	YES
3	SKI TRAIL CONDOS PARKING LOT	9'±	TBD	YES	NO	YES	YES
4	SOUTH OF BLDGS 5 & 6, ADJACENT TO POND B	8'±	TBD	YES	YES	YES	NO
5	SOUTH SIDE OF PROPOSED POOL NORTH OF SKI ACCESS TRAIL	10'±	TBD	YES	YES	NO	NO
6	POND A	6'±	TBD	YES	YES	NO	NO
7	BETWEEN BLDGS 5 & 6	11'±	PART OF BUILDINGS 5 & 6	NO	YES	NO	NO
8A	NORTHERN WALL BETWEEN BLDG 6 AND STAIRS	6'±	TBD	NO	YES	NO	NO
8B	NORTHERN WALL BETWEEN POOL AND STAIRS	11'±	TBD	NO	YES	NO	NO
8C	SOUTHERN WALL BETWEEN BLDG 6 AND STAIRS	7'±	TBD	NO	YES	NO	YES
8D	SOUTHERN WALL BETWEEN POOL AND STAIRS	10'±	TBD	NO	YES	NO	YES
9A	DRIVE DOWN TO LOWER PARKING OF BLDG 1	13'±	TBD	NO	YES	YES	YES
9B	BETWEEN BLDG 1 AND DRIVE DOWN TO LOWER PARKING	5'±	TBD	NO	YES	NO	NO
10A-C	NORTHWEST SIDE OF BLDG 1	11'±	TBD	NO	YES	NO	NO
11	3 TIERED WALLS N OF BLDGS 2 & 3 IN NO-BUILD EASEMENT	24'±	TBD	NO	YES	YES	YES
12	WEST SIDE OF BLDG 7	6'±	TBD	YES	YES	NO	NO
13	DRAINAGE COLLECTION AND CONVEYANCE NE OF BLDG 1	5'±	TBD	NO	YES	NO	NO
14	NORTH SIDE OF BUILDING 5	4'±	TBD	NO	YES	NO	NO
15	EAST SIDE OF BUILDING 7	6'±	TBD	NO	YES	NO	NO

- NOTES:
- BUILDING ENVELOPE IS CONSIDERED TO BE ALL AREA INSIDE THE LOT LINE SETBACK.
 - TIERED WALLS WILL BE CONSIDERED AT NEXT DESIGN PHASE.
 - WALL 6 IS PROPOSED WITHIN LOT LINE SETBACK AND OUTSIDE OF LOT LINE SETBACK. PORTION WITHIN LOT LINE SETBACK IS LESS THAN 6' IN HEIGHT.
 - WALL 7 IS BEING CONSIDERED AS PART OF THE STRUCTURE OF BUILDINGS 5 & 6 AND NOT APPLICABLE TO CDC SECTION 418 REQUIREMENTS.

STEAMBOAT SPRINGS COMMUNITY DEVELOPMENT CODE
SECTION 418

418 RETAINING WALLS

- 418.A Purpose**
Minimize the impact of retaining walls on adjacent properties.
- 418.B Applicability**
Retaining wall standards shall apply to all development in all zone districts unless specifically exempted by this CDC.
- 418.C Standards**
- Retaining walls shall not be located within a drainage or utility easement without an approved revocable permit.
 - The maximum overall height of a retaining wall, as measured from the lowest point of final grade at the base of the retaining wall to the top of the wall, shall be in accordance with Table 418-1.

Table 418-1. Retaining Wall Height

Location	Height
Within Lot Line Setback Area	6' max. ¹
Within Building Envelope	11' max.

¹ Retaining walls exceeding 6 feet in height within a required lot line setback on an existing platted lot may be permitted by the Planning Director upon a finding that the applicant has demonstrated the wall height is necessary to achieve driveway access to the lot.

- Retaining walls over six feet in height shall be designed and constructed with a minimum of two stepped vertical wall segments. Stepped wall segments shall:
 - Not exceed six feet in height; and
 - Have a horizontal offset of at least three feet from the face of each wall segment.

BASELINE

Engineering - Planning - Surveying

169 HILLTOP PKWY, SUITE 204 • STEAMBOAT SPRINGS, CO 80477
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DATE
05/18/2023

PREPARED BY
SMB

REVISIONS PER DRT #1 COMMENTS
07/28/2023

REVISIONS PER DRT #2 COMMENTS
09/20/2023

REVISION DESCRIPTION

REVISIONS PER DRT #3 COMMENTS

ROUTE COUNTY

STEAMBOAT SPRINGS

THE ASTRID

2410 SKI TRAIL LANE

SITE WALL SCHEDULE

FOR AND ON BEHALF OF
BASELINE CORPORATION

INITIAL SUBMITTAL 12/22/2022

DRAWING SIZE 24" X 36"

SURVEY FIRM LANDMARK, INC

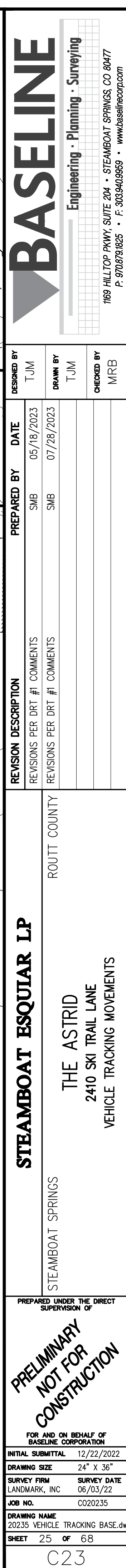
SURVEY DATE 06/03/22

JOB NO. C020235

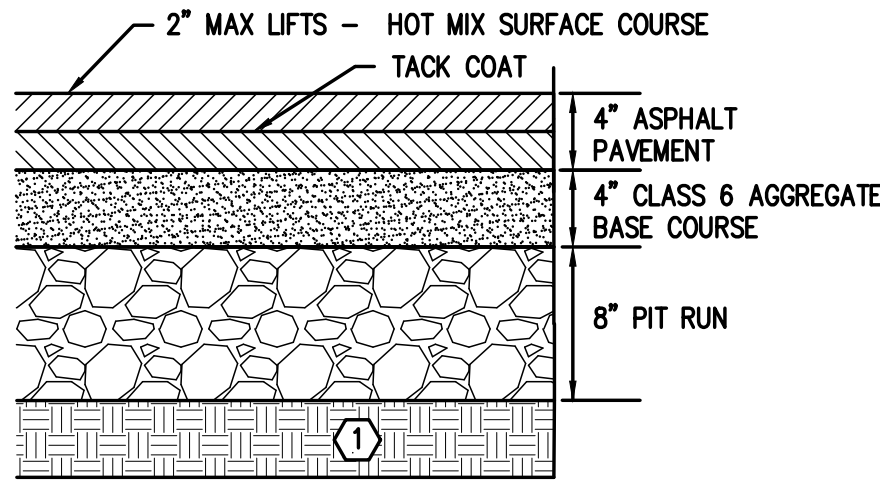
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SHEET 06 OF 68

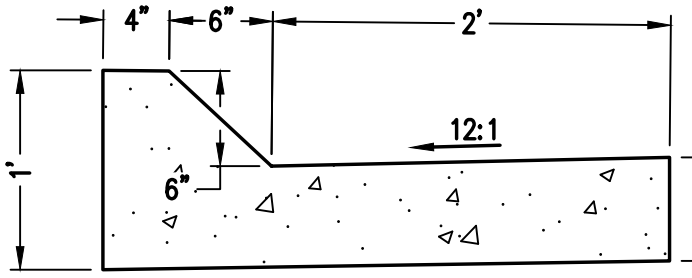
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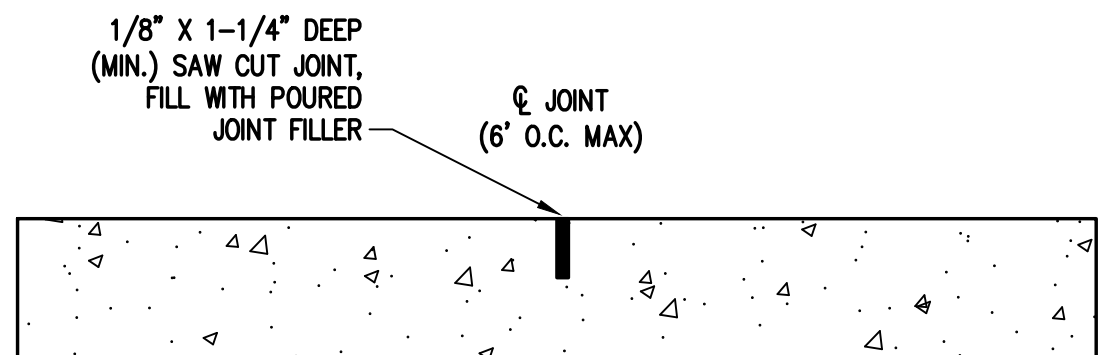
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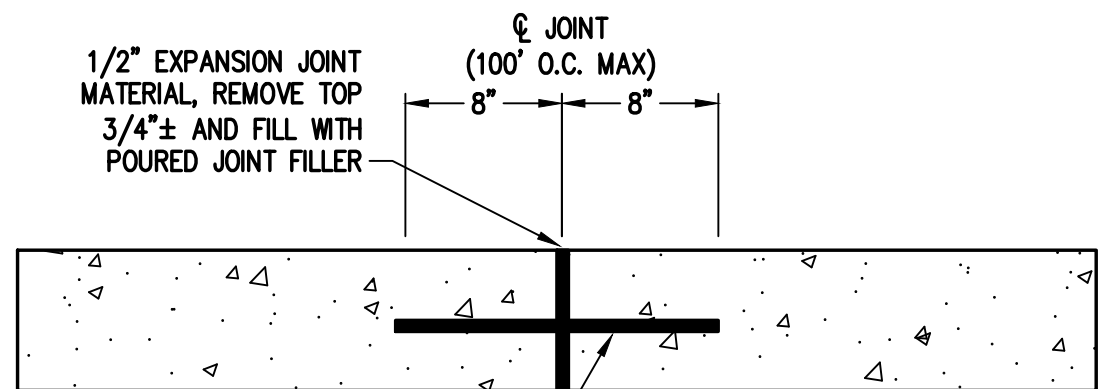
1 ASPHALT PAVEMENT SECTION
NOTE: CONFIRM WITH GEOTECHNICAL ENGINEER
NOT TO SCALE



2 CURB AND GUTTER TYPE 2 SECTION IIM
6 IN. MOUNTABLE - 2 FT. GUTTER
NOT TO SCALE



CONTRACTION JOINT

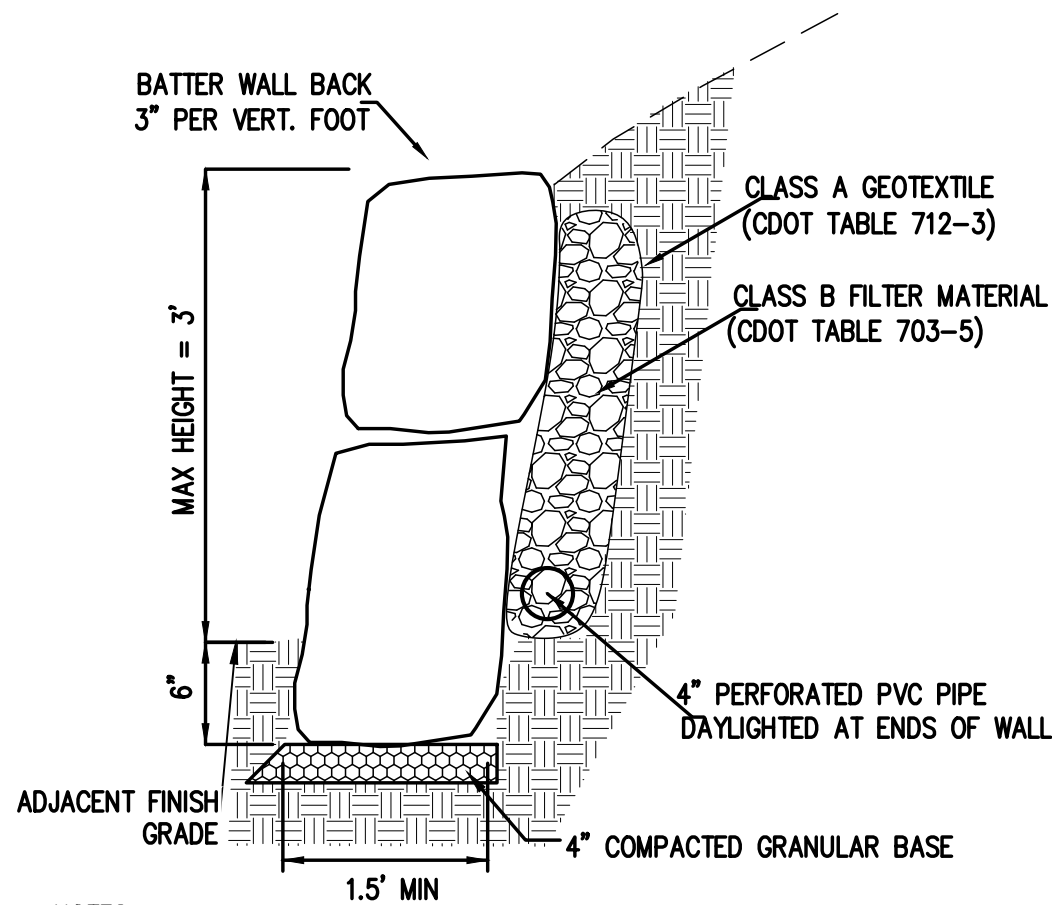


EXPANSION JOINT

SEALANT AND JOINT NOTES:

- SEALANT IS REQUIRED ON ALL JOINTS WITHIN THE ROADWAY & DRIVEWAY. SEALANT IS ONLY REQUIRED IN EXPANSION JOINTS ON SIDEWALK, CURB, AND APRONS (SPLASH CURBS). WHERE REQUIRED, SEALANT IS APPLIED TO ALL EXPOSED HORIZONTAL AND VERTICAL SURFACES.
- CONTRACTOR TO DEVELOP JOINT LAYOUT PLAN AND PROVIDE TO ENGINEER FOR REVIEW.

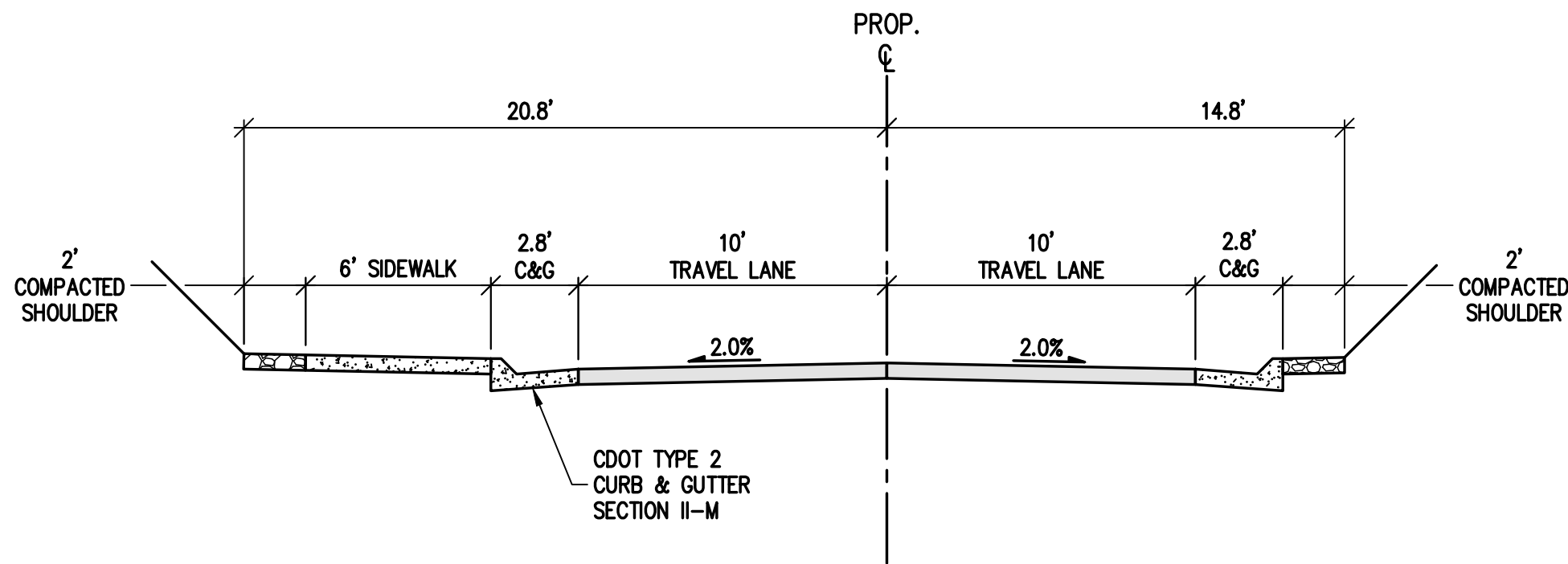
3 CONCRETE SIDEWALK JOINT DETAIL
NOT TO SCALE



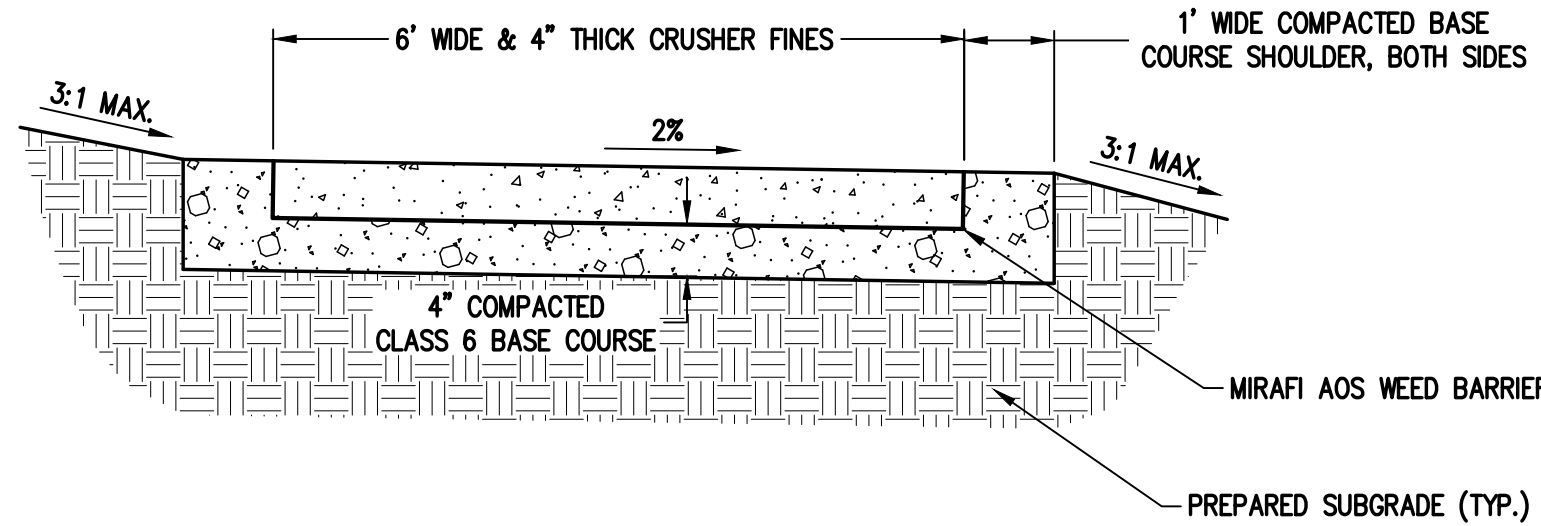
NOTES:

- LANDSCAPE BOULDERS TO BE FREE OF SURFACE BLEMISHES & CRACKS. CONTRACTOR TO COORDINATE WITH OWNER ON BOULDER SELECTION.
- BOULDERS ALONG BOTTOM COURSE TO BE LARGER FOR FOUNDATION OF STACKED WALL WITH APPROXIMATE DIMENSIONS OF 15" - 18". CONTRACTOR TO CAREFULLY PLACE AND FIT BOULDERS FOR SECURE AND STABLE STACKED CONDITION.

4 LANDSCAPE BOULDER RETAINING WALL
NOT TO SCALE



5 ACCESS DRIVE TYPICAL SECTION
NOT TO SCALE



6 SOFT SURFACE TRAIL TYPICAL SECTION
NOT TO SCALE

DESIGNED BY	TJM
DRAWN BY	TJM
CHECKED BY	MRB

REVISION DESCRIPTION	DATE	PREPARED BY
REVISIONS PER DRT #1 COMMENTS	05/18/2023	SMG
REVISIONS PER DRT #2 COMMENTS	07/28/2023	SMG

STEAMBOAT SPRINGS	ROUTT COUNTY
THE ASTRID 2410 SKI TRAIL LANE TYPICAL SECTIONS & DETAILS	

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