

**NOTICE: DUTY OF COOPERATION**

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Eric Smith Associates, P.C.

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**THE ASTRID**  
SKI TRAIL LANE  
STEAMBOAT SPRINGS, CO 80487

**ESA**

**ERIC SMITH ASSOCIATES, P.C.**  
1919 SEVENTH STREET  
BOULDER, COLORADO, 80302  
(303) 442-5458, (303) 442-4745 FAX

<b>Job Number:</b>	22014.00
<b>Date:</b>	2023-07-2
<b>Drawn By:</b>	-
<b>Checked By:</b>	Checker

<b>Project Phase</b>
PLANNING SUBMITTAL
<b>Sheet Title</b>
ARCHITECTURAL SITE PLAN

Sheet Number  
**DP-1.1**



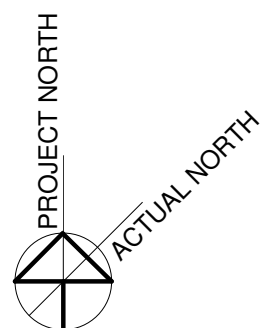
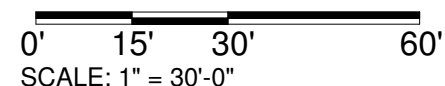


Area Schedule (Open Space - ...		
Area	Number	Name

9745 SF	OS-1	OS
24493 SF	OS-2	OS
15100 SF	OS-3	OS
49338 SF		
49338 SF		

LOT 1-A AREA: 142,363 SF  
OPEN SPACE REQUIRED: 15%  
142,363 SF X 15% = 21,354.45 SF  
OPEN SPACE PROVIDED: 49,338 SF  
49,338 SF / 142,363 SF = 34.66%

1 ARCHITECTURAL OPEN SPACE PLAN  
DP-1.3 1" = 30'-0"



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All design, documents and data prepared by Eric Smith Associates, P.C. as instruments of service, including but not limited to, drawings, specifications, reports, and data of all kinds, shall not be copied, changed or disclosed in any form whatsoever without first obtaining the express written consent of Eric Smith Associates, P.C.

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<b>Project Phase</b>
PLANNING SUBMITTAL

Sheet Title	OPEN SPACE PLAN	
Sheet Number	DP-1.3	



Architectural floor plan of the second floor of a building. The plan shows a long central corridor with rooms numbered 1 through 34. Rooms 1-20 are on the top side, and rooms 21-34 are on the bottom side. The plan includes mechanical rooms (MECH.), stairs, an elevator lobby (ELEV. LOBBY), and a key pad. A red dimension line indicates a length of 6999' - 0". The plan also shows a garage area and a key pad area.

DECK

UNIT 101  
LOWER LEVEL

UNIT 103  
LOWER LEVEL

UNIT 105  
LOWER LEVEL

UNIT 107  
LOWER LEVEL

STAIRS

UNIT 102  
LOWER LEVEL

UNIT 104  
LOWER LEVEL

UNIT 106  
LOWER LEVEL

UNIT 108  
LOWER LEVEL

DECK

1

2

3

4

5

6

7

8

MECH.

GARAGE  
7009' - 0"

ELEV. LOBBY

STAIR

OFFICE

10

9

EXIT ENCLOSURE

TRASH ENCLOSURE

STAIRS

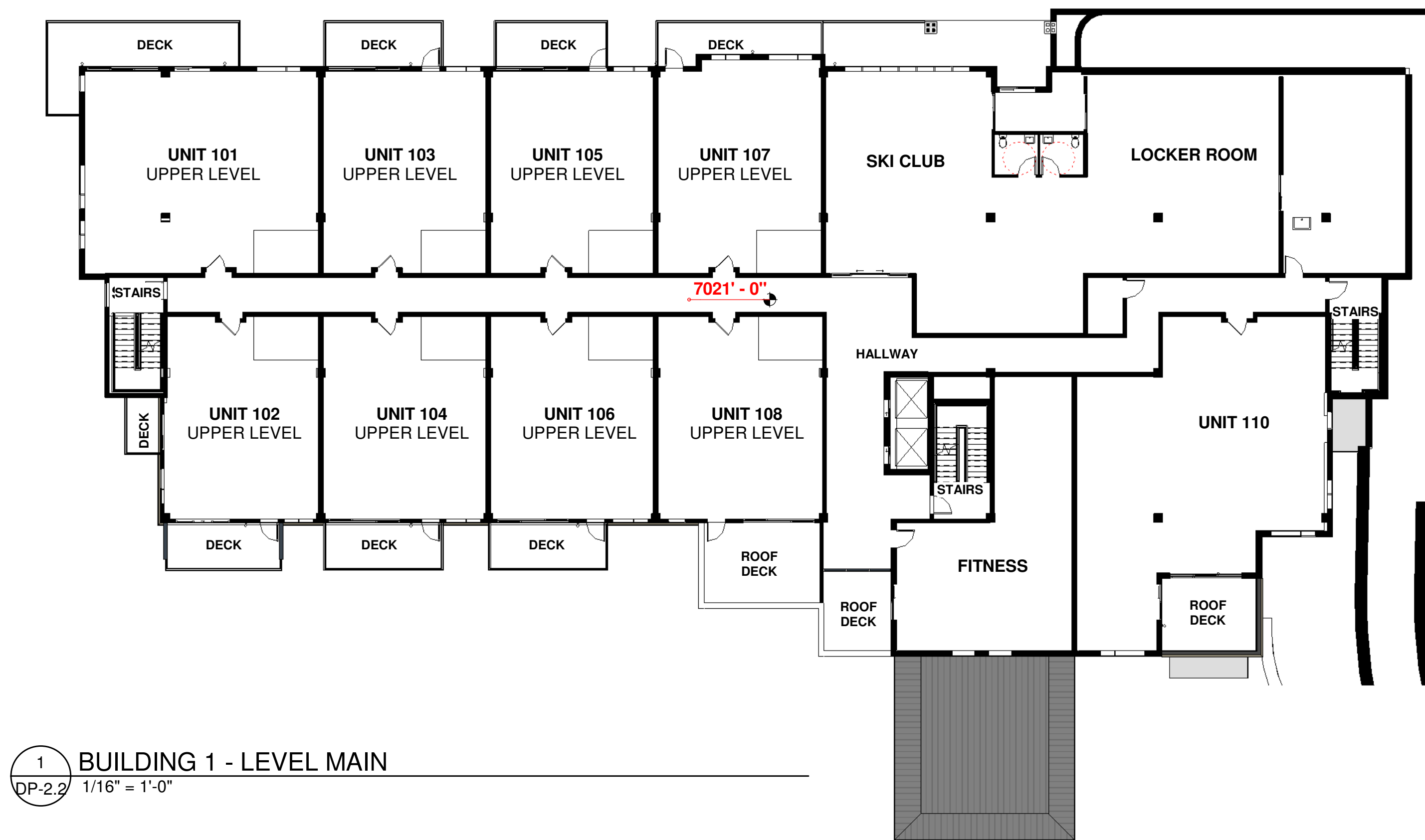
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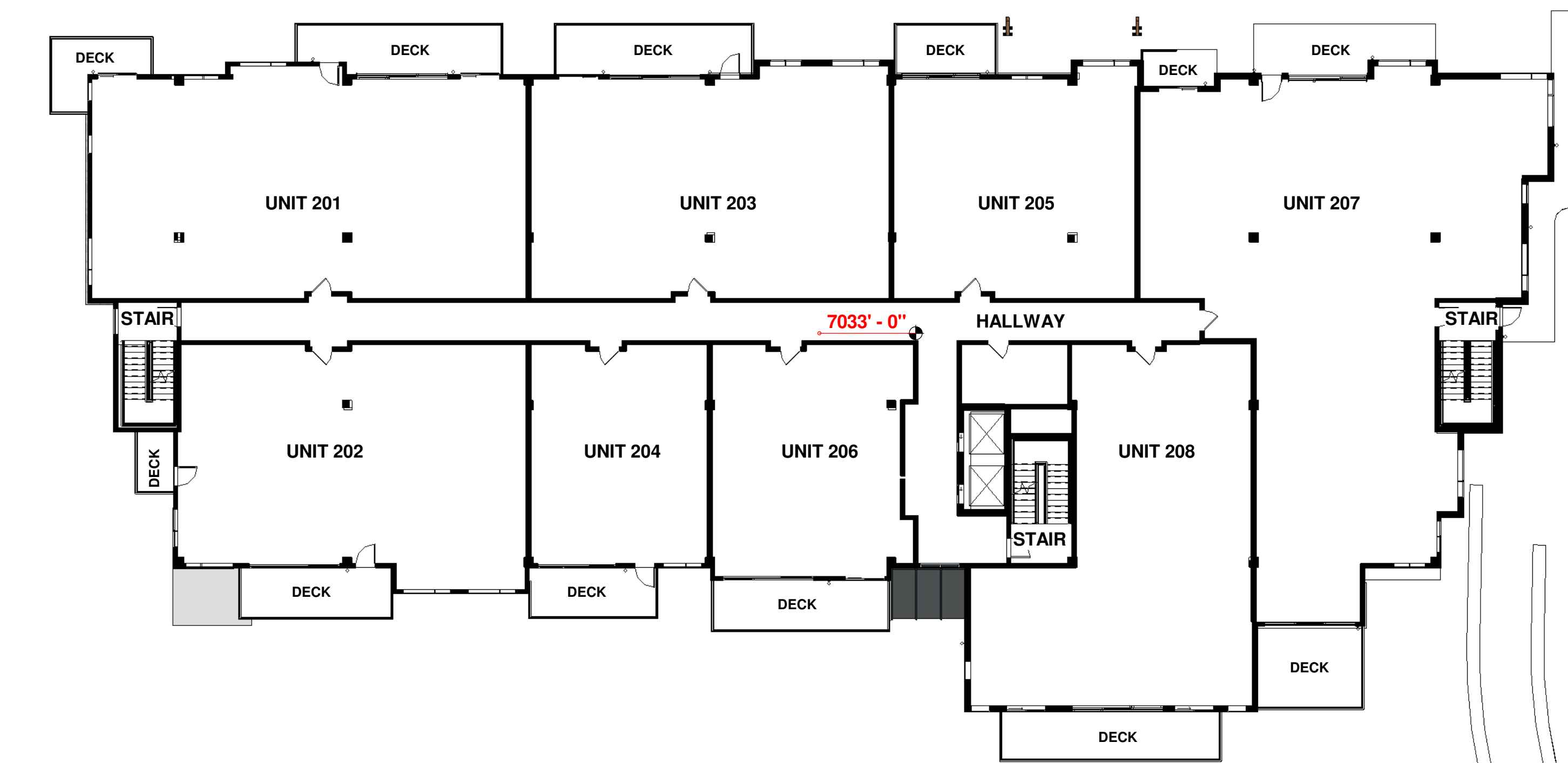
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<b>Project Phase</b>
PLANNING SUBMITTAL

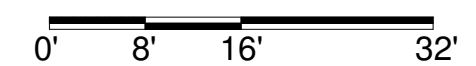
<b>Sheet Title</b> FLOOR PLANS - BUILDING 1	3
<b>Sheet Number</b> DP-2.1	



1 BUILDING 1 - LEVEL MAIN  
DP-2.2 1/16" = 1'-0"



2 BUILDING 1 - LEVEL 2  
DP-2.2 1/16" = 1'-0"



**NOTICE: DUTY OF COOPERATION**

Release of these plans constitutes primary cooperation among the owner, his contractor and the architect and the contractor.


Although the architect and his consultants have provided services with due care and diligence, they cannot guarantee perfect performance. Communication is important and every contingency cannot be anticipated. Any ambiguity or discrepancy in the plans or use of these plans shall be reported immediately to the architect. Failure to notify the architect constitutes misrepresentation and increases correlation of the failure to cooperate by a simple notice to the architect shall relieve the architect from responsibility for the consequences and any claims for damages without the consent of the architect are unauthorized and shall be void. The architect shall not be responsible for consequences arising out of such changes.

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1919 SEVENTH STREET

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(303) 442-5458, (303) 442-4745 FAX

Job Number:

22014.00

Date:

2025-07-28

Drawn By:

Author

Checked By:

Checker

Project Phase

PLANNING SUBMITTAL

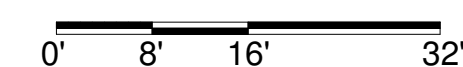
Sheet Title

FLOOR PLANS - BUILDING I

Sheet Number

DP-2.2



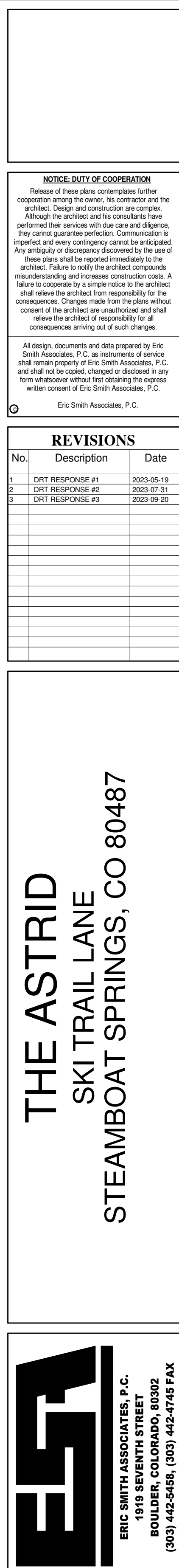


**NOTICE OF DISCOVERY OF COOPERATION**

Between the three parties, contributors, Luntz Corporation, architect, and contractor are the complex. Although the architect and his consultants have performed their services with due care and diligence, they cannot guarantee perfection. Commission has accepted the architect's design and construction documents and any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the architect and the contractor. The contractor's failure to understand and increase construction costs. A failure to understand by a simple notice to the architect shall relieve the architect from responsibility for the consequences. Changes made by the architect without the consent of the architect are unauthorized and shall relieve the architect of responsibility for any consequences arising out of such changes.

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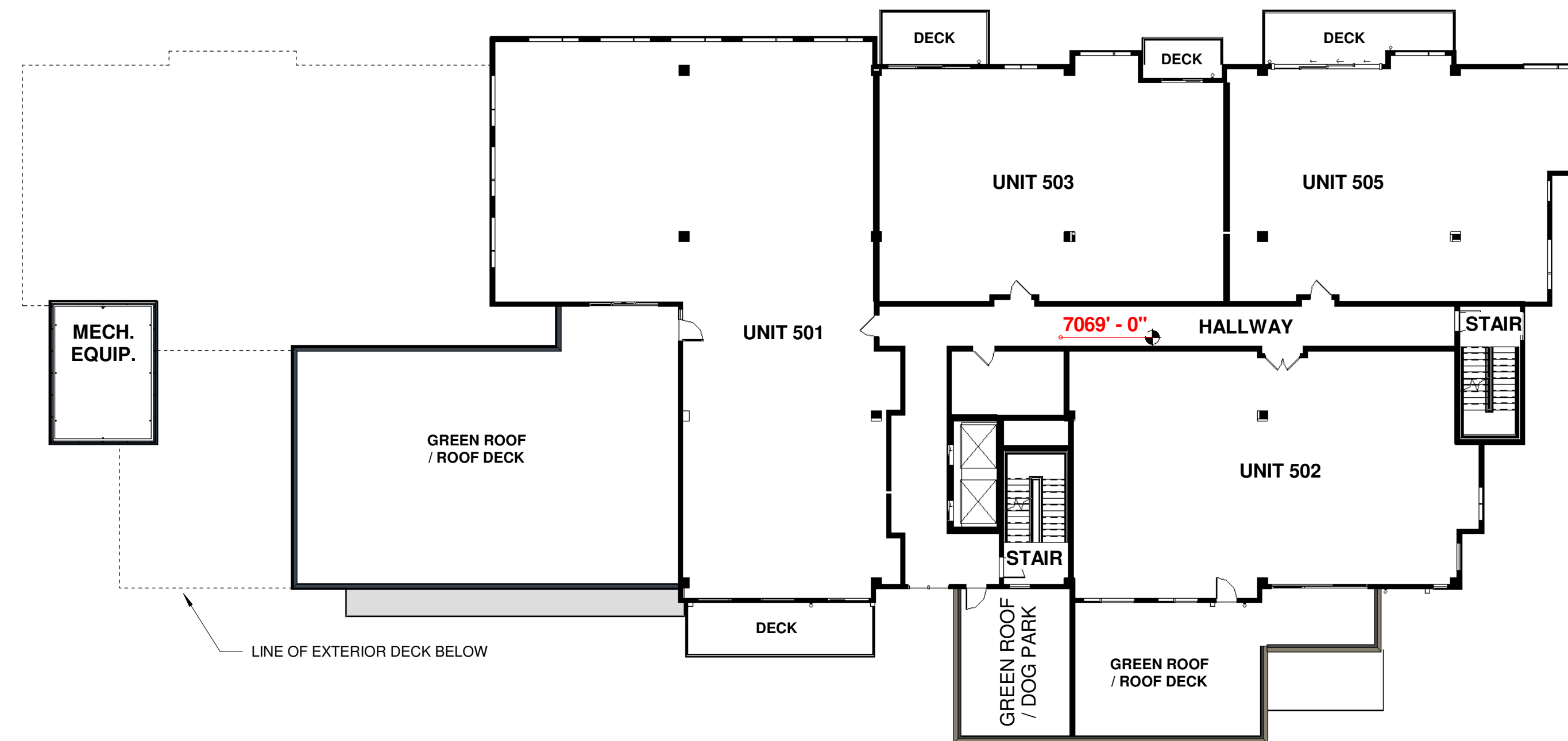
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<b>Date:</b>	2023-07-28
<b>Drawn By:</b>	Author
<b>Checked By:</b>	Checker

<b>Project Phase</b>
PLANNING SUBMITTAL

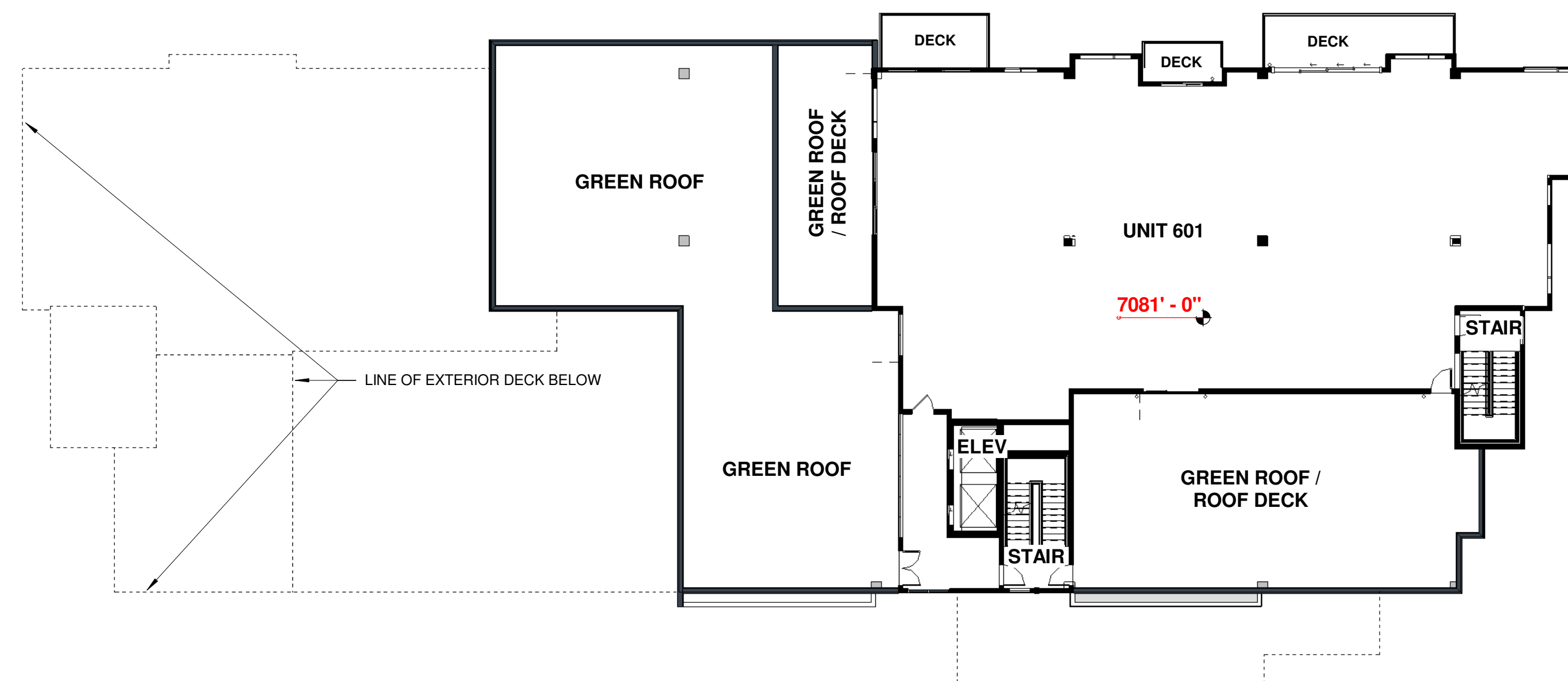
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FLOOR PLANS - BUILDING 1	A

Sheet Number  
**DP-2.3**

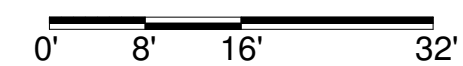




1 BUILDING 1 - LEVEL 5  
DP-2.4 1/16" = 1'-0"



2 BUILDING 1 - LEVEL 6  
DP-2.4 1/16" = 1'-0"



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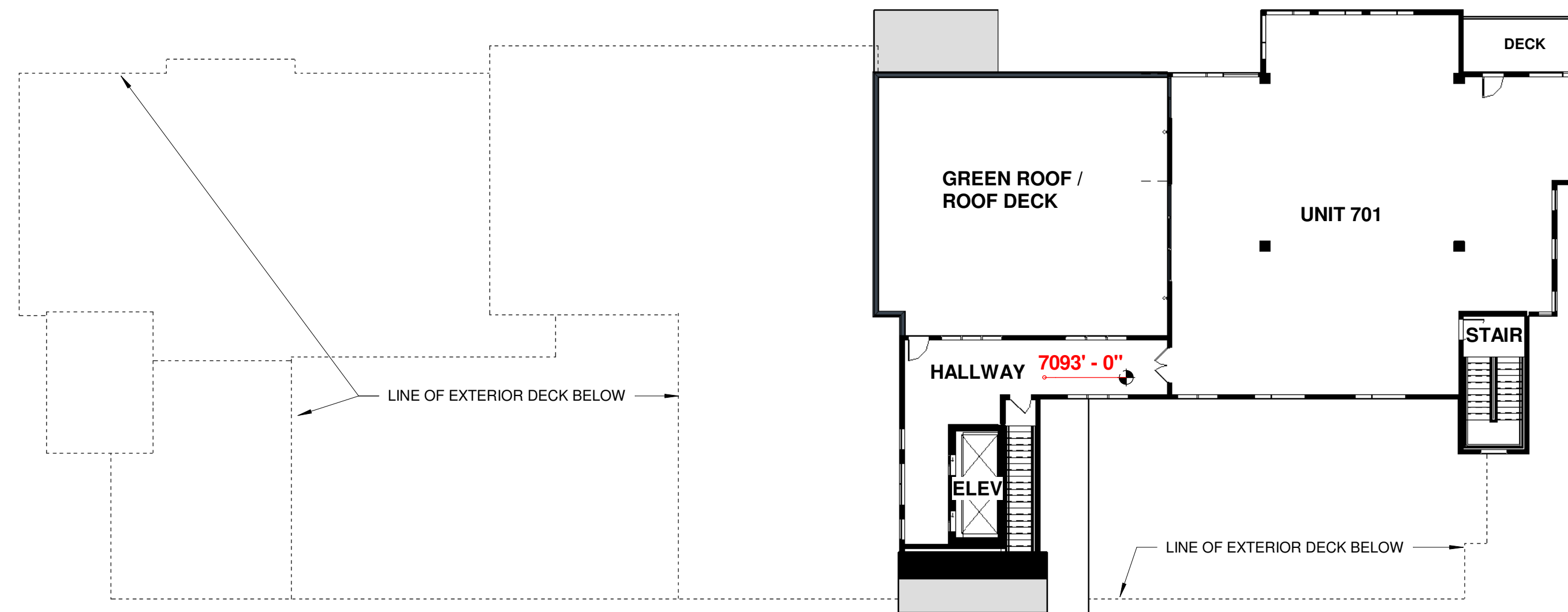
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<b>Project Phase</b>
PLANNING SUBMITTAL

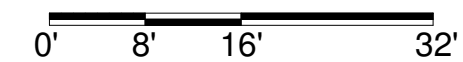
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FLOOR PLANS - BUILDING 1

Sheet Number  
**DP-2.4**





1 BUILDING 1 - LEVEL 7  
DP-2.5 1/16" = 1'-0"



DP SUBMITTAL 12-23-22 (2023-07-31 - DP RESUBMITTAL)

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## REVISIONS

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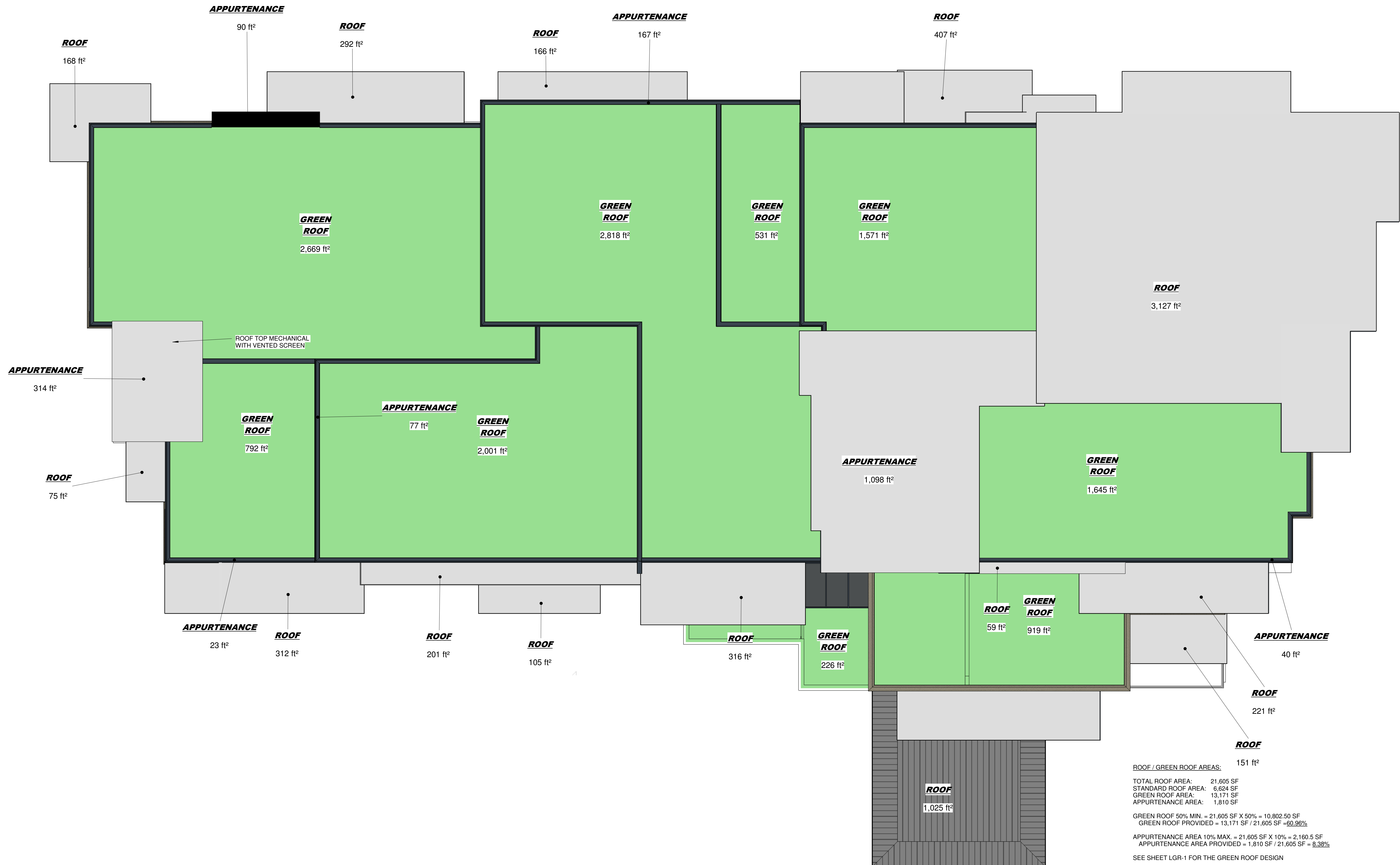
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<b>Drawn By:</b>	Author
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<b>Project Phase</b>
PLANNING SUBMITTAL

<b>Sheet Title</b>
FLOOR PLANS - BUILDING 1

Sheet Number  
**DP-2.5**





ROOF / GREEN ROOF AREAS: 151 ft<sup>2</sup>

TOTAL ROOF AREA:	21,605 SF
STANDARD ROOF AREA:	6,624 SF
GREEN ROOF AREA:	13,171 SF
APPERTENANCE AREA:	1,810 SF

GREEN ROOF 50% MIN. = 21,605 SF X 50% = 10,802.50 SF  
GREEN ROOF PROVIDED = 13,171 SF / 21,605 SF = 60.96%

APPERTENANCE AREA 10% MAX. = 21,605 SF X 10% = 2,160.50 SF  
APPERTENANCE AREA PROVIDED = 1,810 SF / 21,605 SF = 8.38%

SEE SHEET LGR-1 FOR THE GREEN ROOF DESIGN

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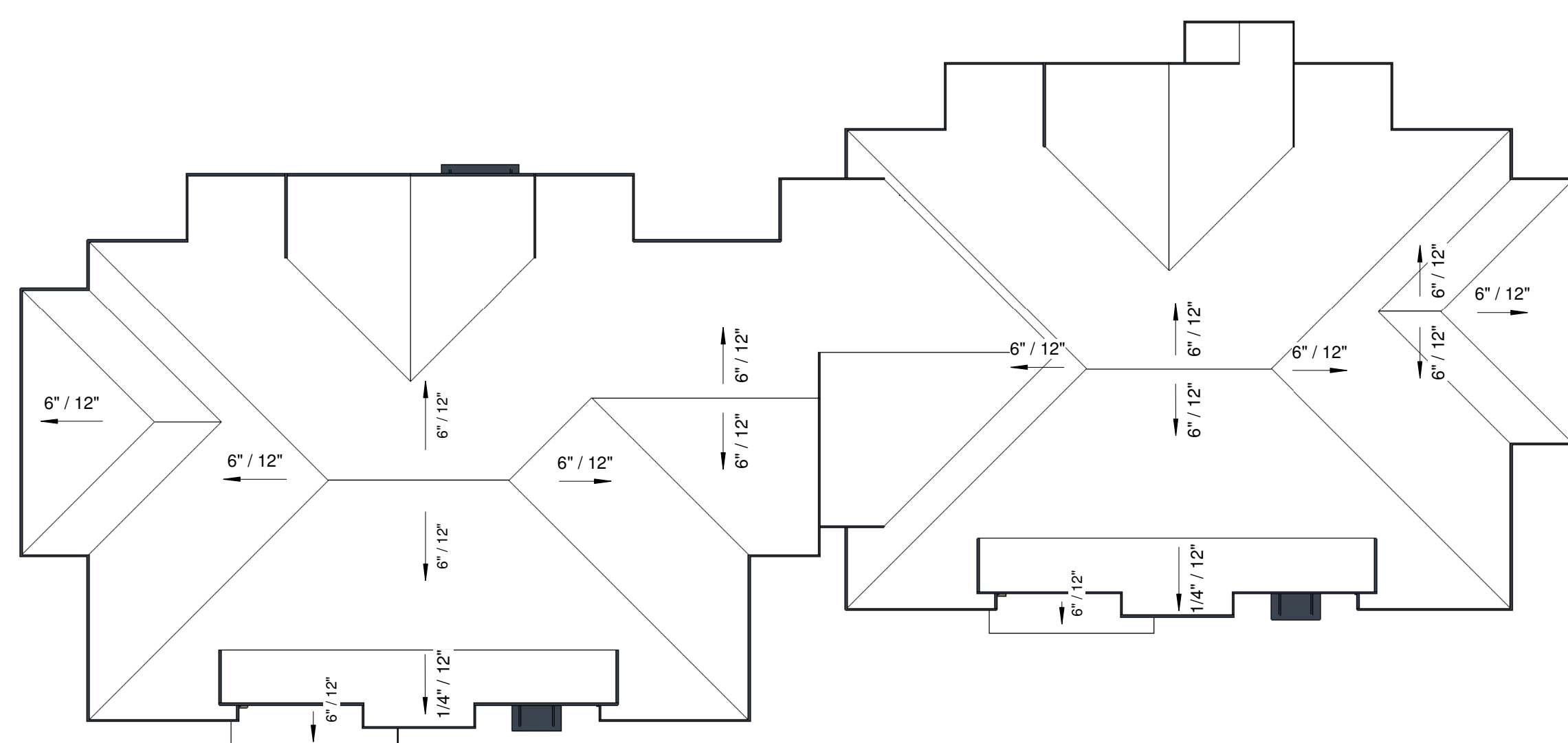
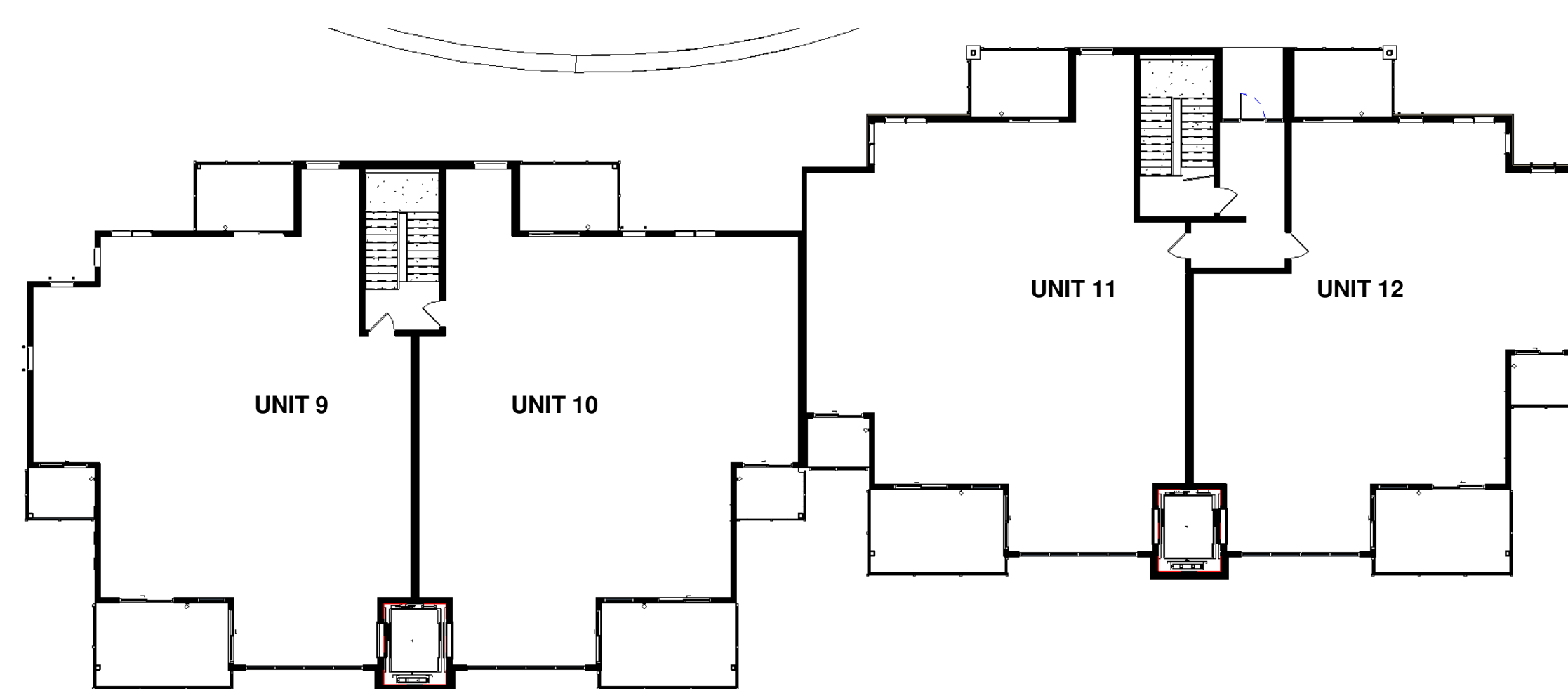
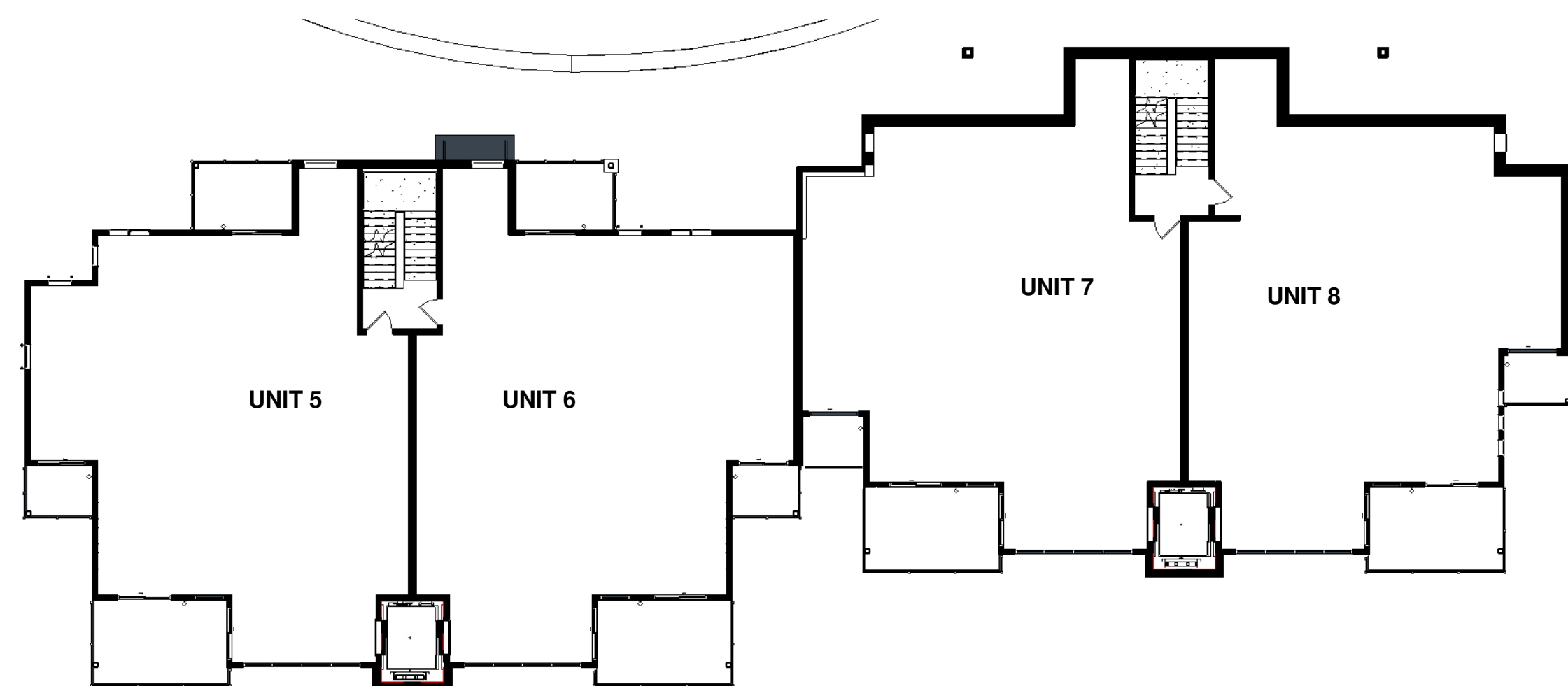
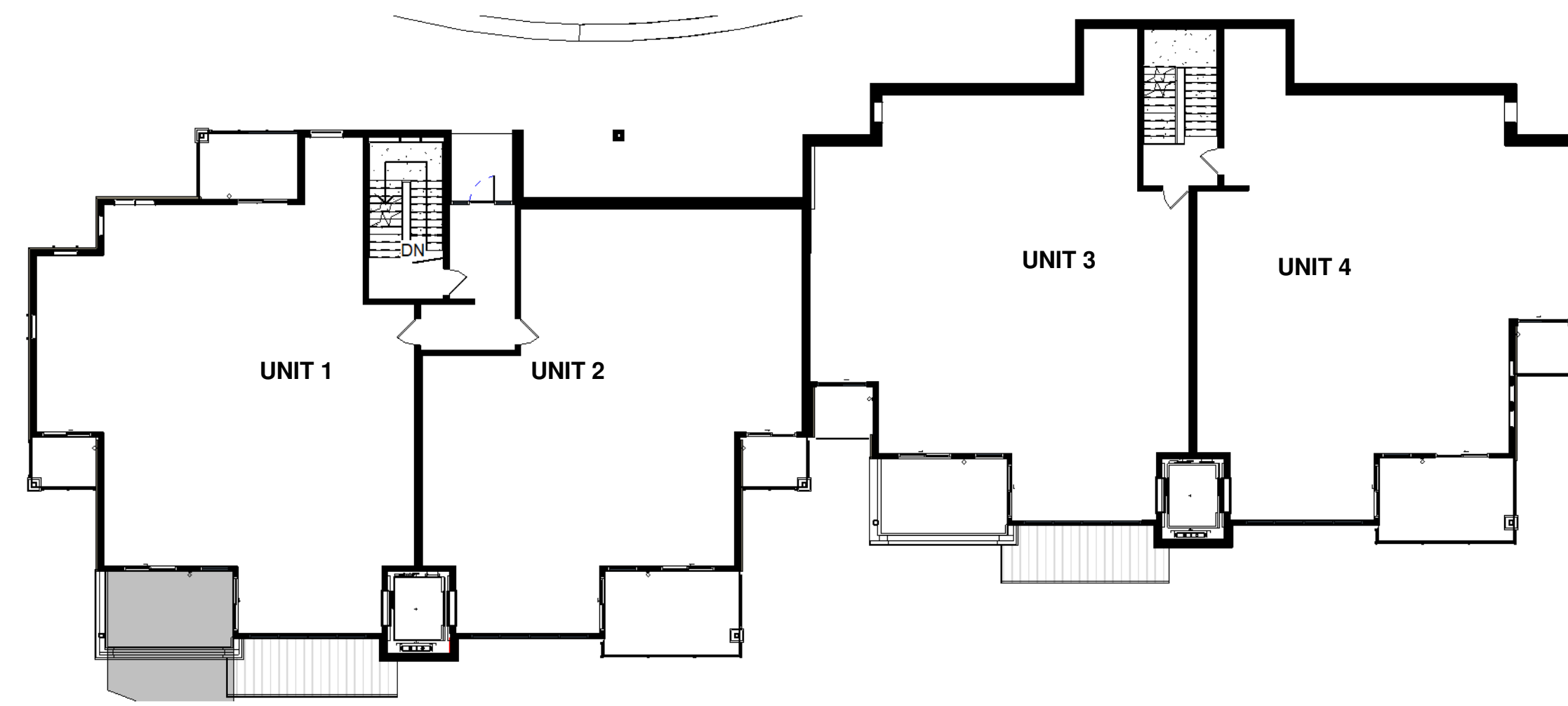
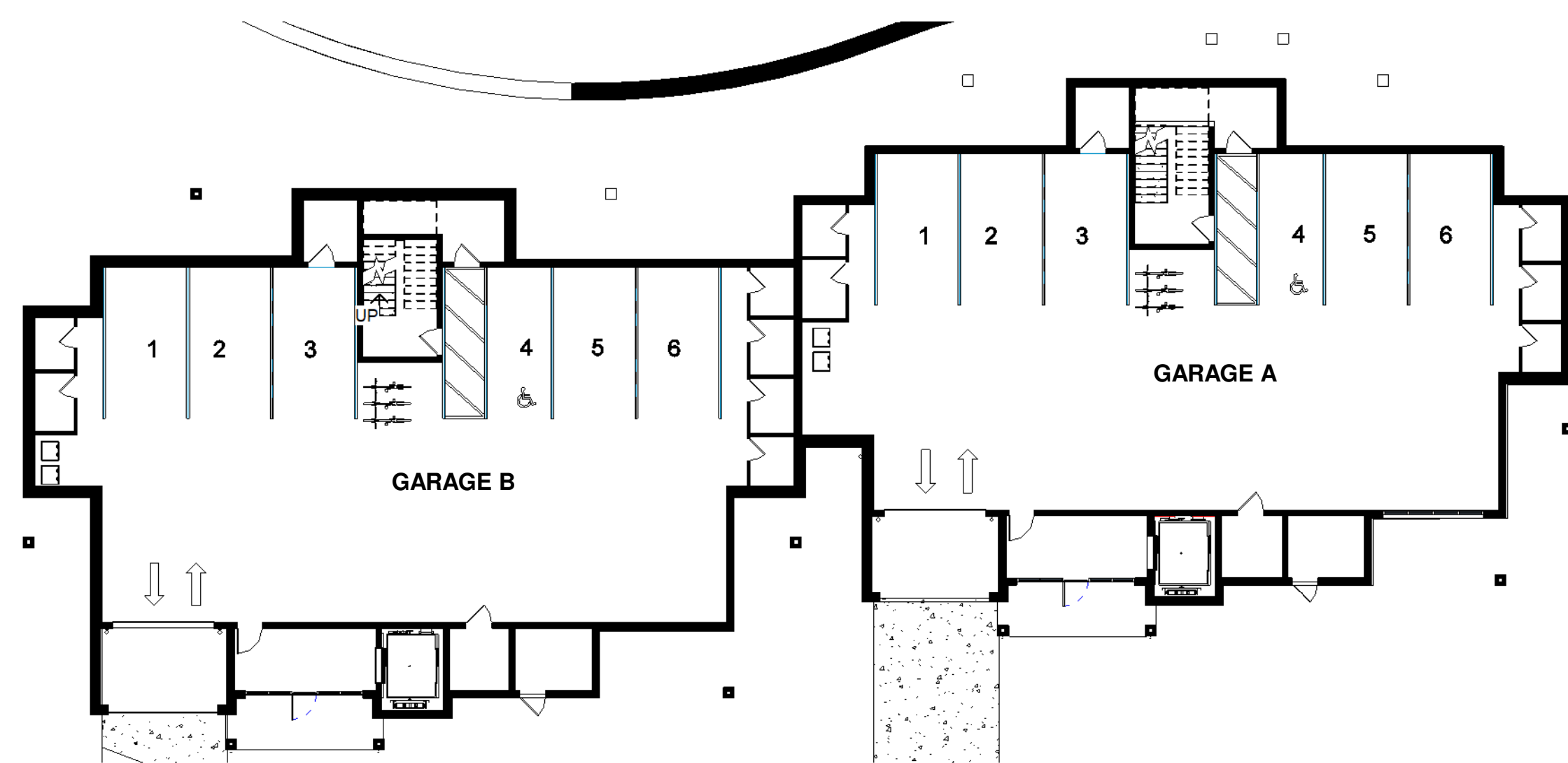
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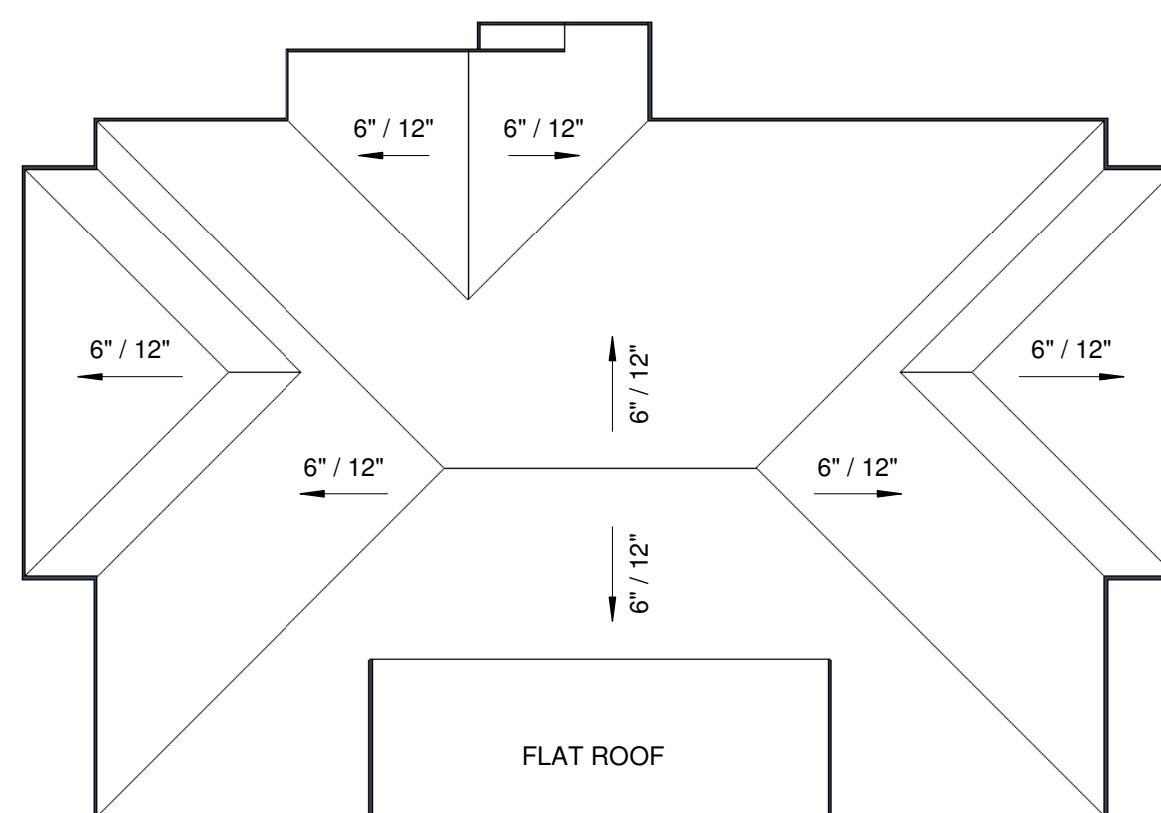
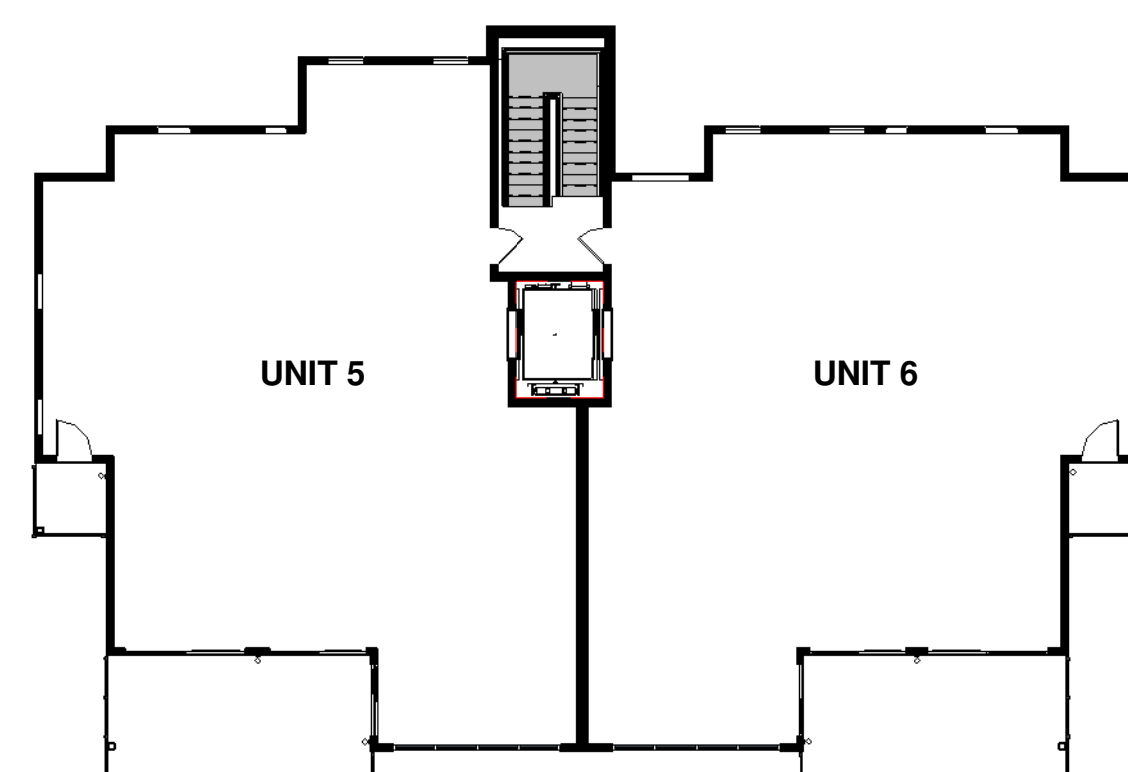
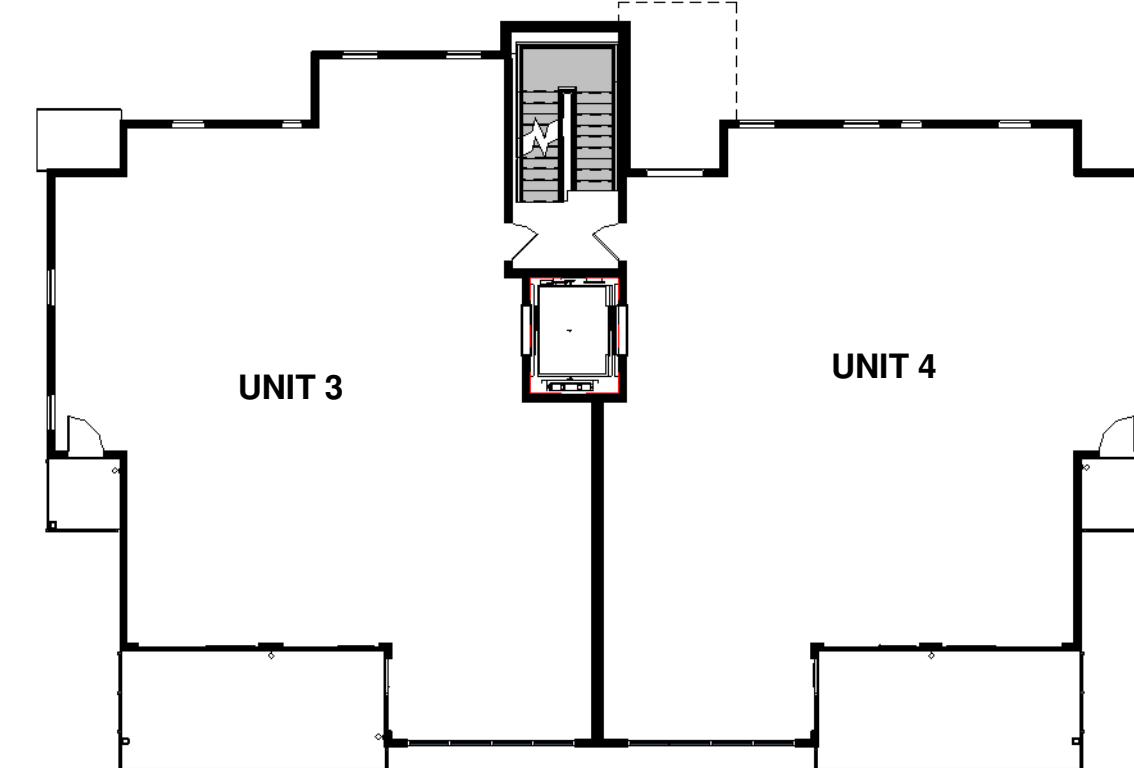
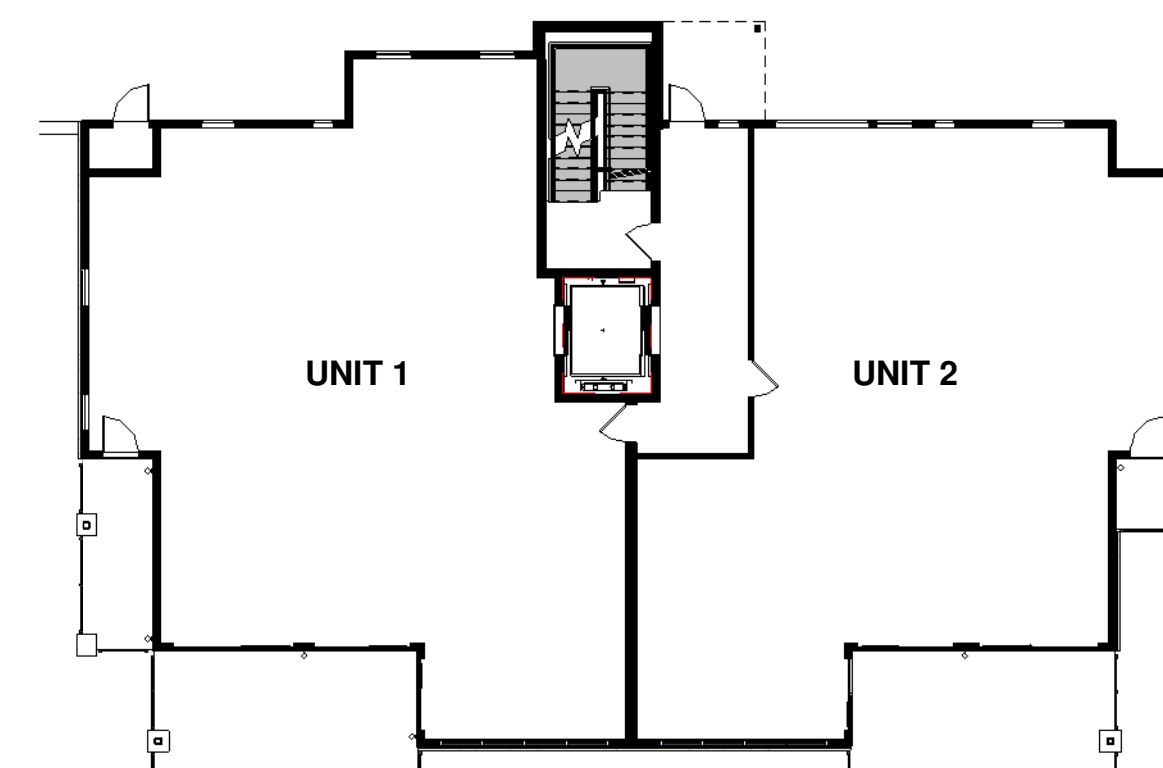
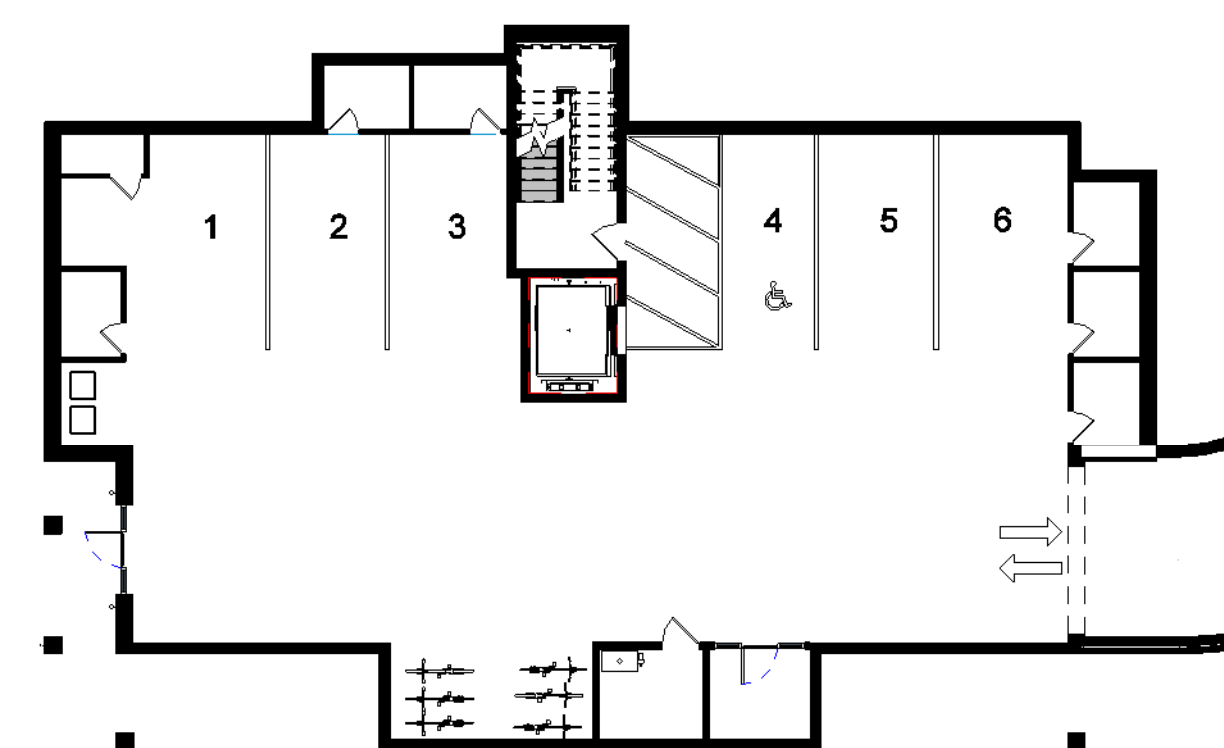
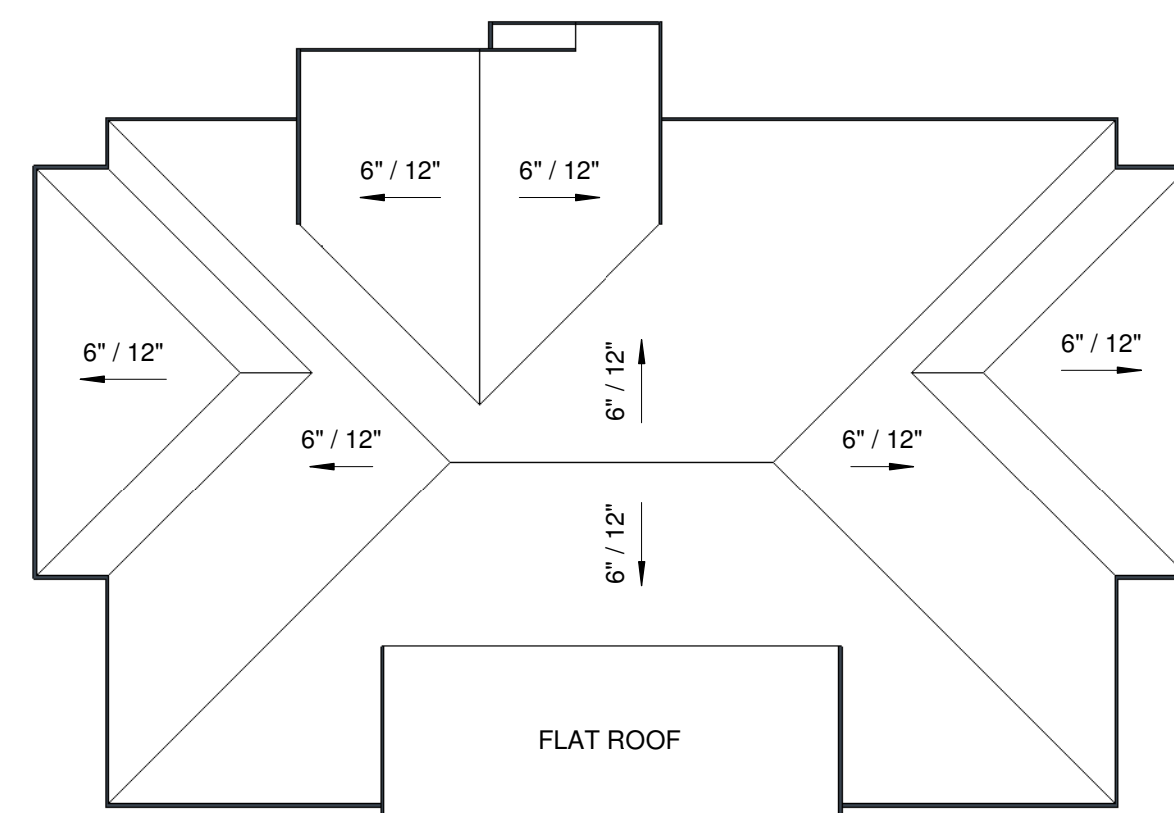
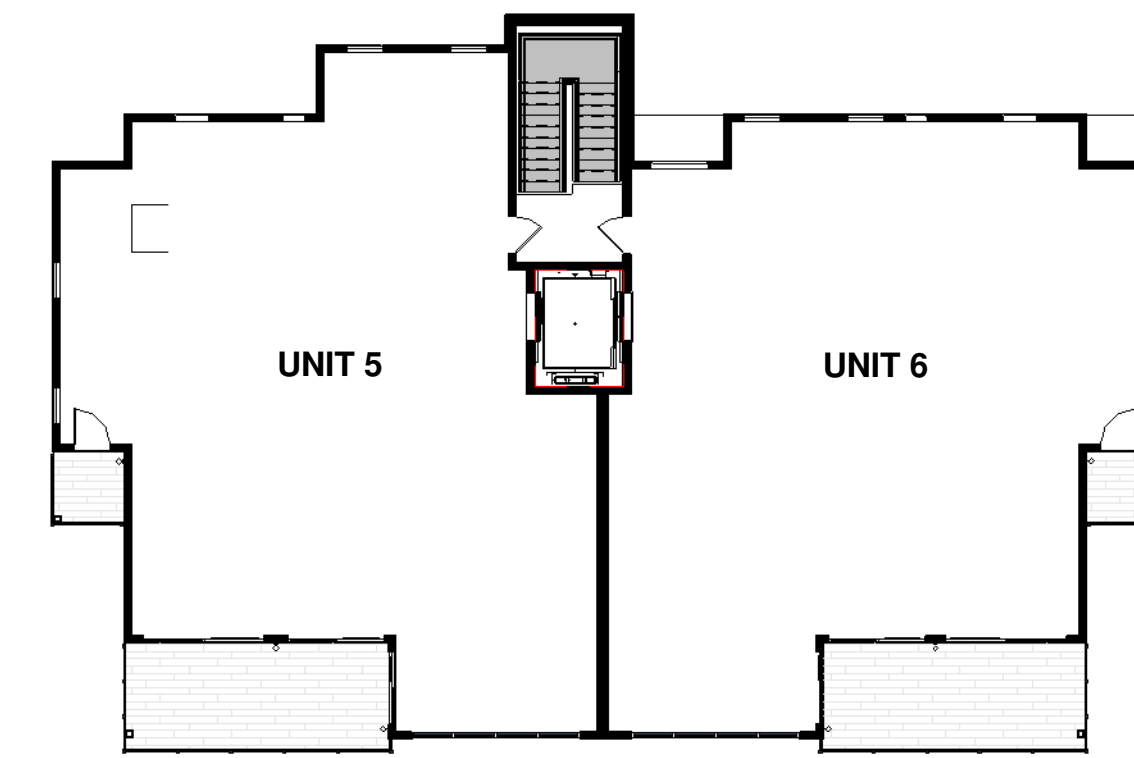
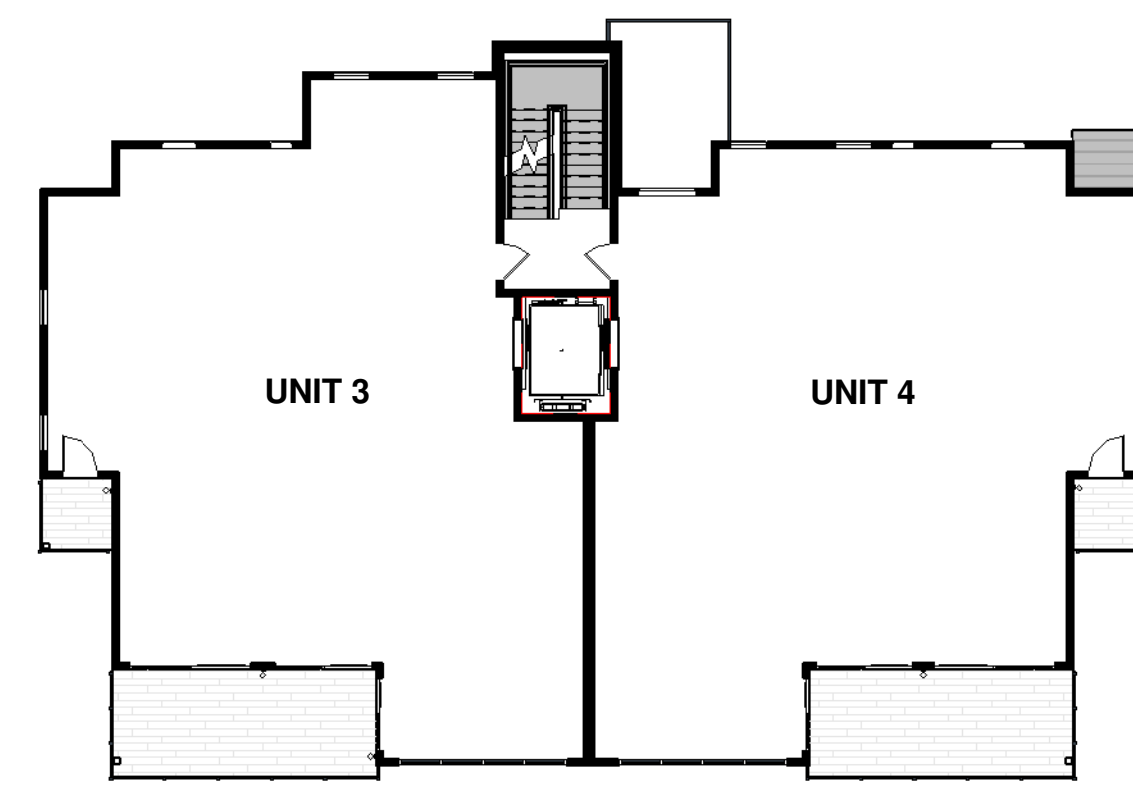
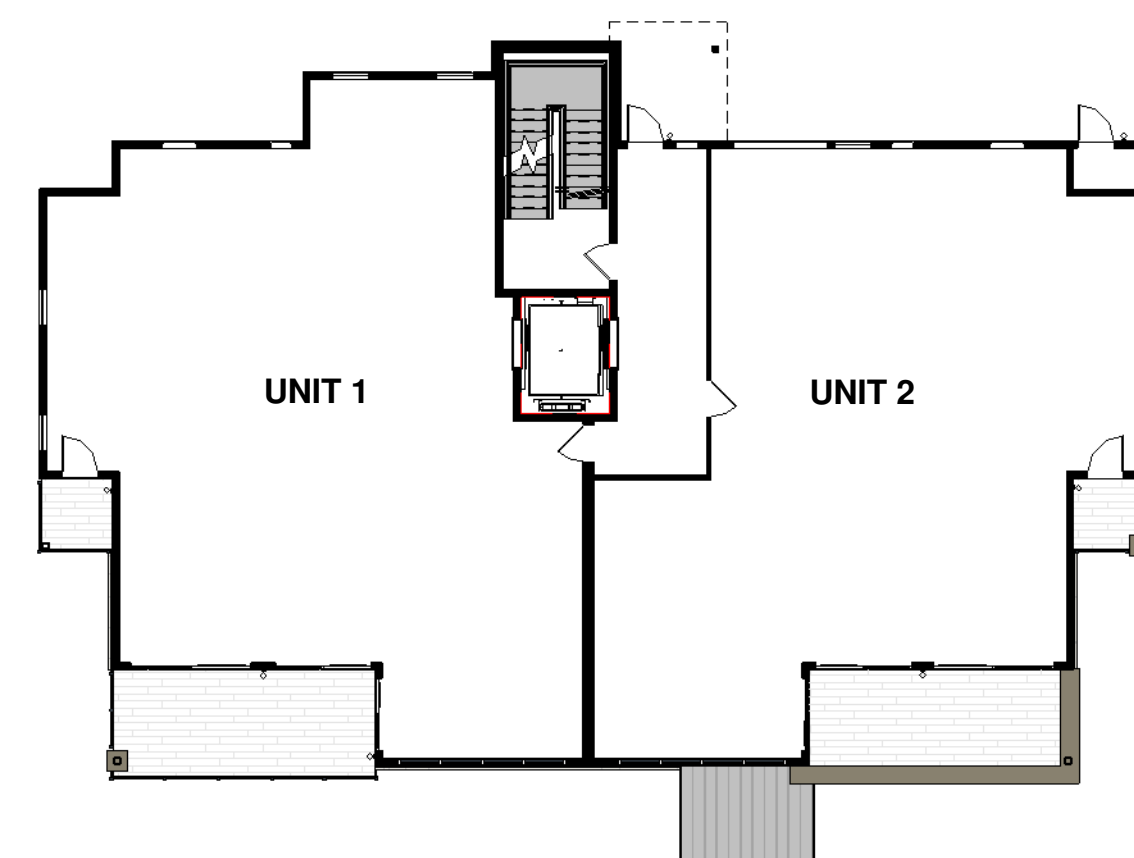
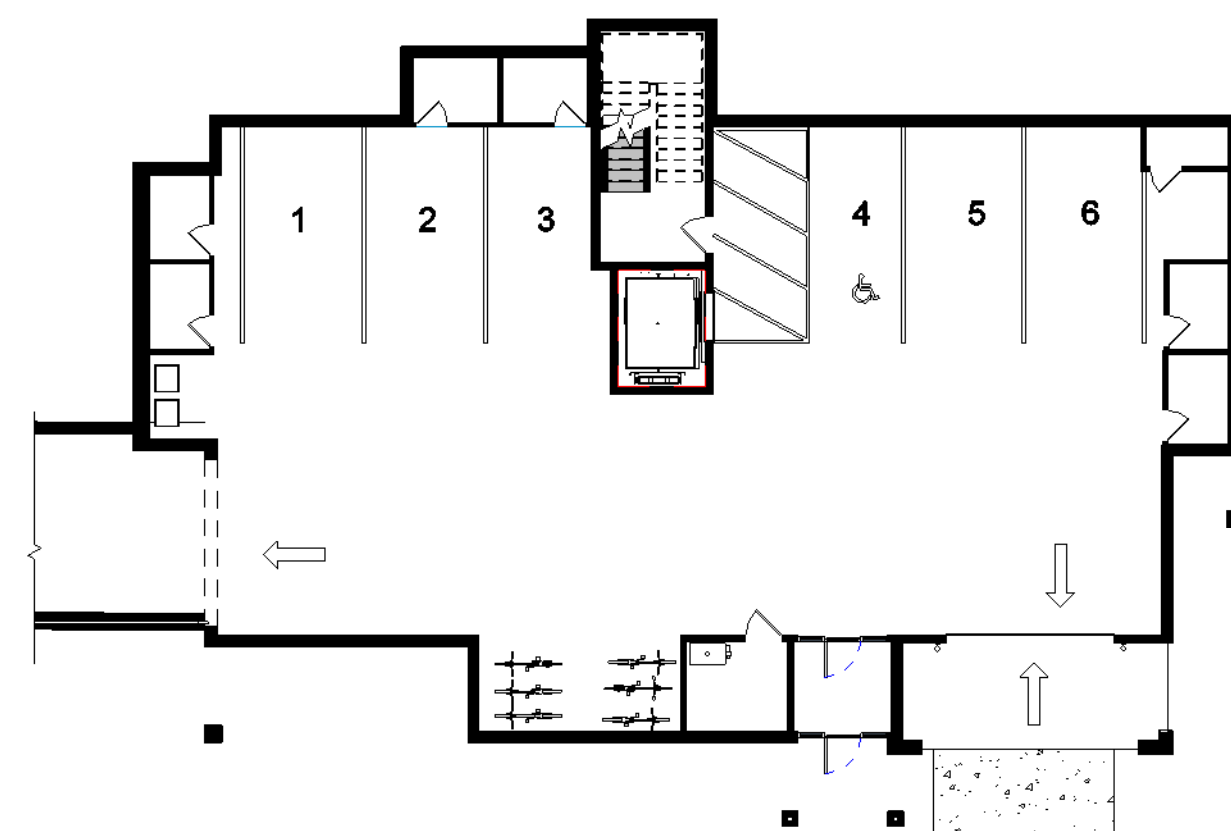
<b>Project Phase</b> PLANNING SUBMITTAL
<b>Sheet Title</b> FLOOR PLANS - BUILDING 1
<b>Sheet Number</b> DP-2.6





**NOTICE: DUTY OF COOPERATION**





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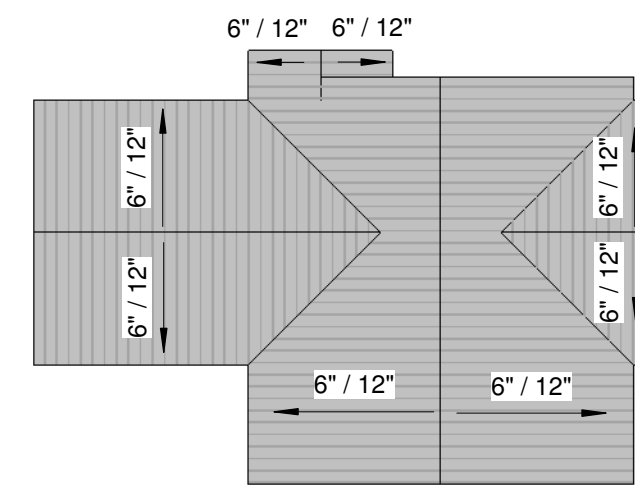
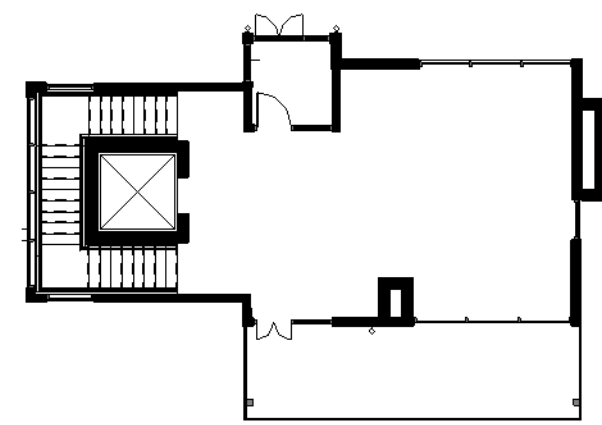
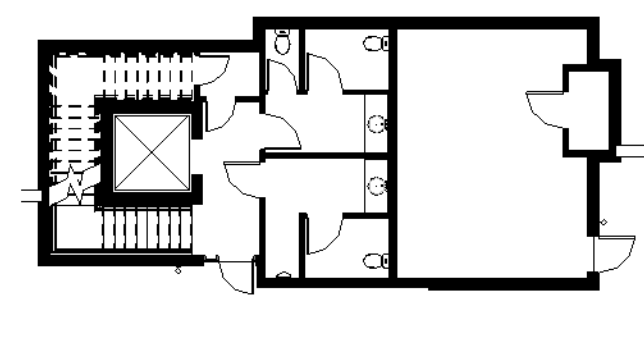


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<b>Checked By:</b>	Checker

<b>Project Phase</b>
PLANNING SUBMITTAL

Sheet Title	
FLOOR PLANS - BUILDING 6	6

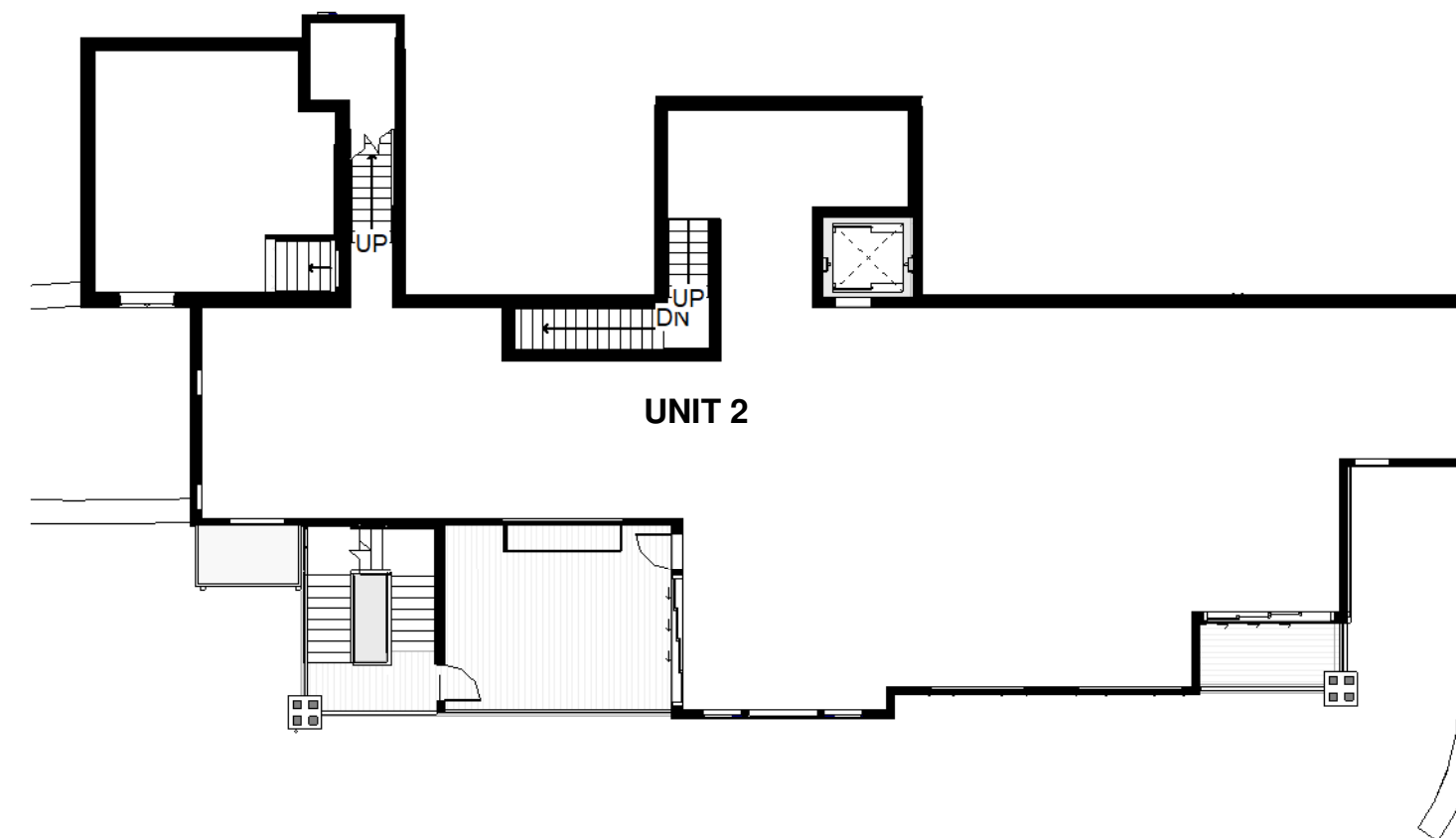
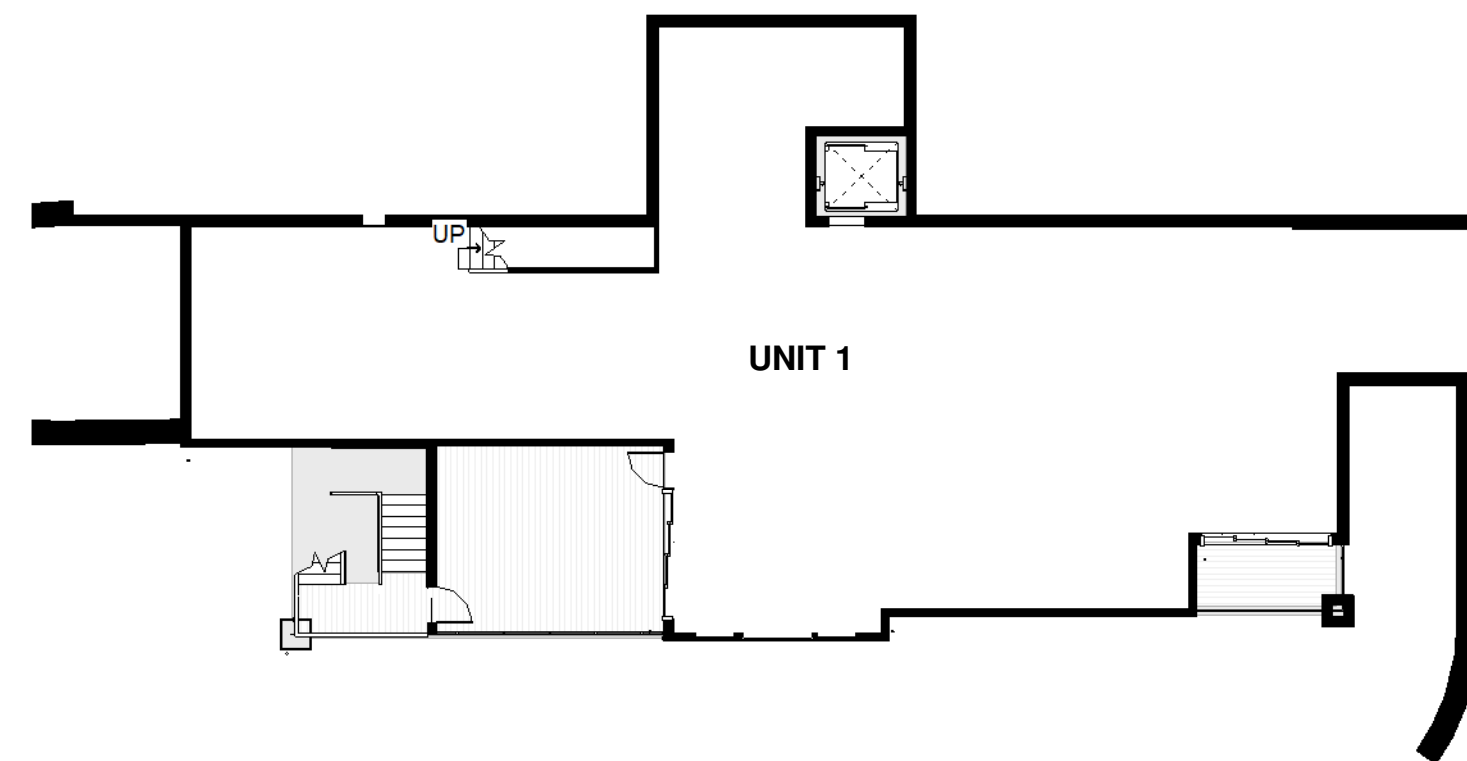
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**DP-2.8**



1 POOL BUILDING - LEVEL 1  
DP-2.9 1/16" = 1'-0"

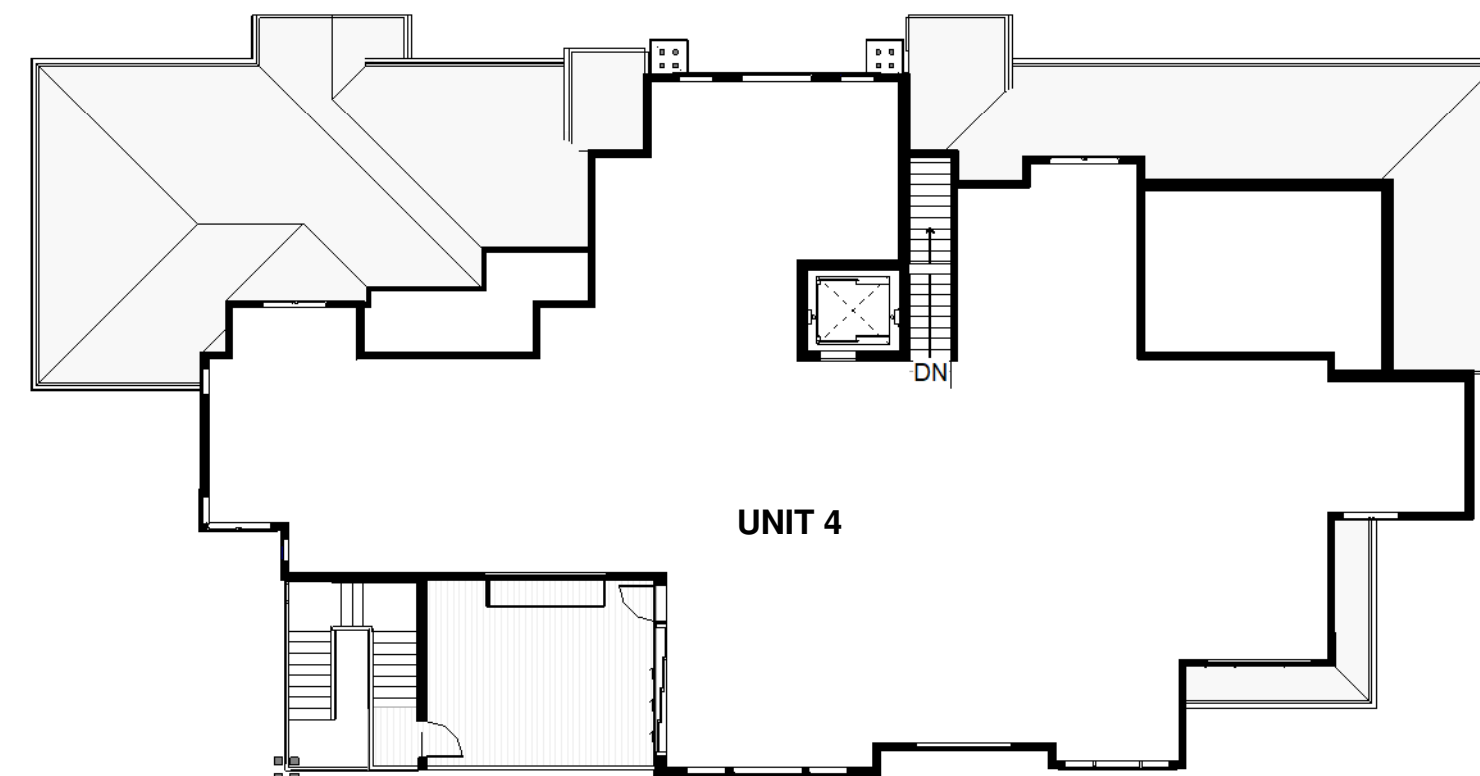
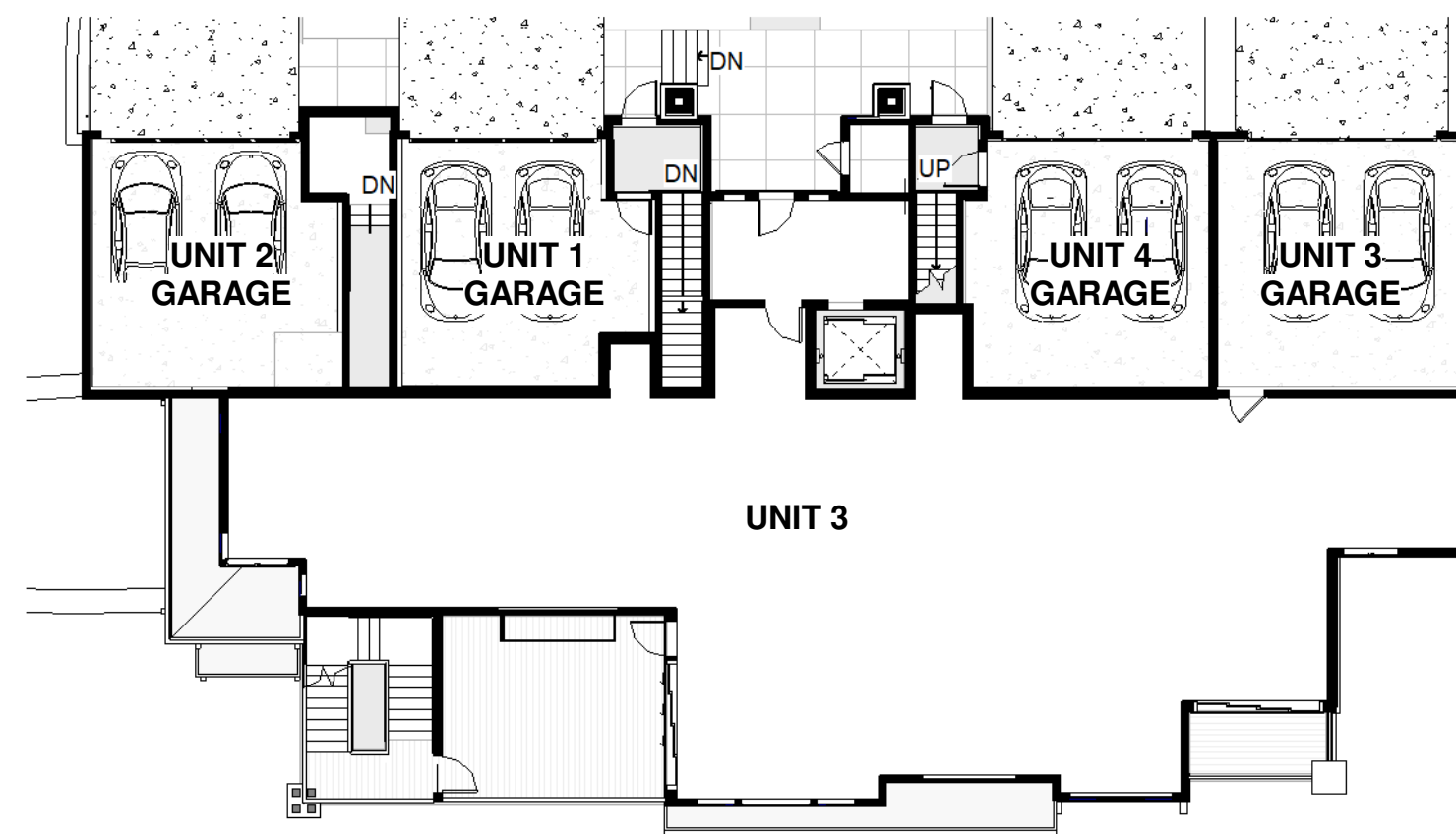
2 POOL BUILDING - LEVEL 2  
DP-2.9 1/16" = 1'-0"

3 POOL BUILDING - ROOF PLAN  
DP-2.9 1/16" = 1'-0"



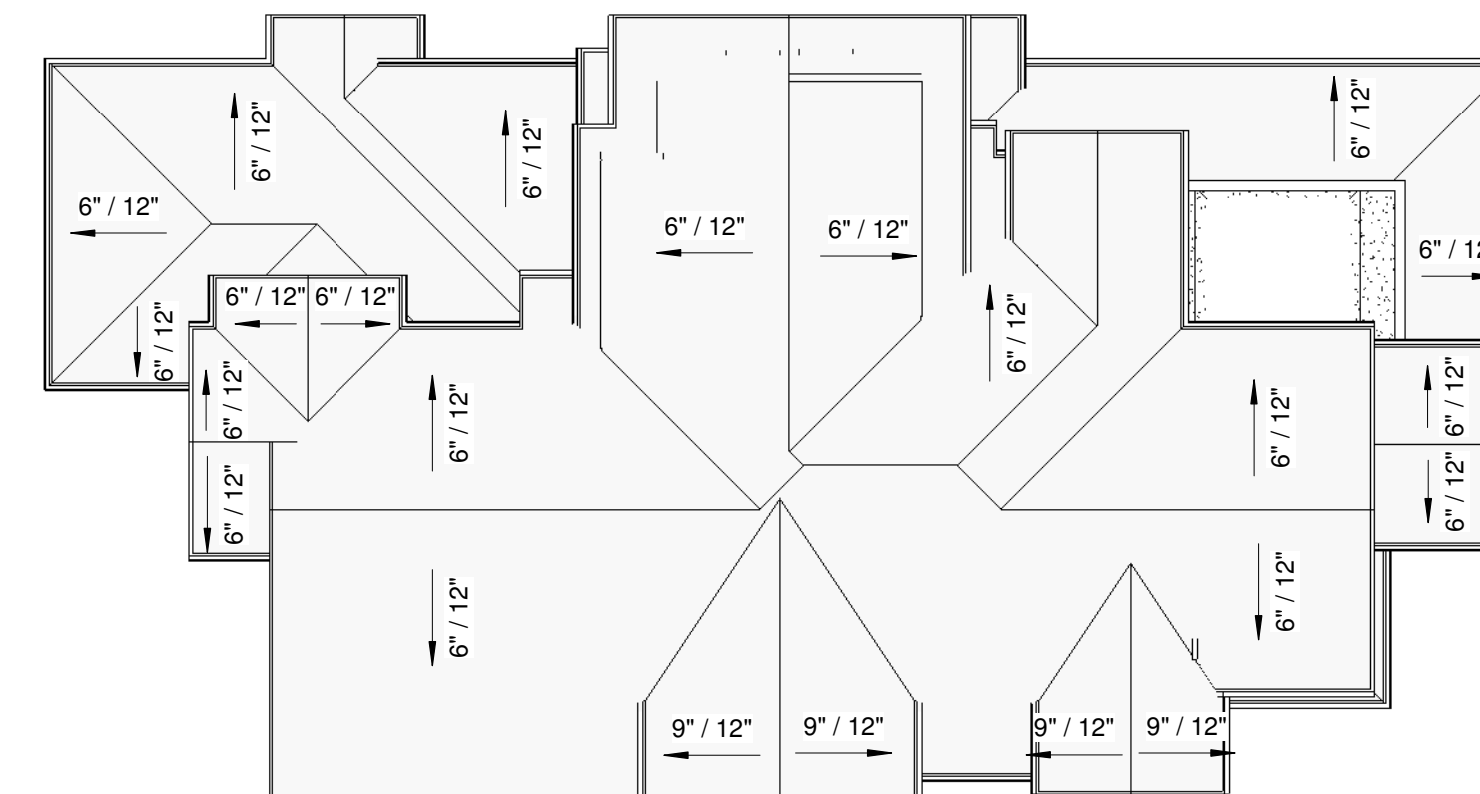
4 BUILDING 7 - LOWER LEVEL 1  
DP-2.9  $1/16" = 1'-0"$

5 BUILDING 7 - LOWER LEVEL 2  
DP-2.9 1/16" = 1'-0"



6 BUILDING 7 - MAIN LEVEL  
DP-2.9 1/16" = 1'-0"

7 BUILDING 7 - UPPER LEVEL  
DP-2.9 1/16" = 1'-0"



8 BUILDING 7 - ROOF  
DP-2.9 1/16" = 1'-0"

0' 8' 16' 32'

**NOTICE: DUTY OF COOPERATION**

Release of these plans constitutes formal cooperation among the owner, his contractor and the architect. Design and construction are complex. Although the architect and his consultants have performed their services with due care and diligence, they cannot guarantee perfection. Communication is imperfect and construction is an inexact process. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the architect. Failure to notify the architect compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to the architect should not be construed as an assumption of the consequences. Changes made from the plans without the consent of the architect are unauthorized and shall relieve the architect of responsibility for all consequences arising out of such changes.

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## REVISIONS

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<b>Project Phase</b>
PLANNING SUBMITTAL

**Sheet Title**  
FLOOR PLANS - BUILDING 1 & 2  
POOL BUILDING

Sheet Number  
**DP-2.9**





1 BUILDING 1 - NORTH ELEVATION  
DP-3.1 1/16" = 1'-0"



2 BUILDING 1 - WEST ELEVATION  
DP-3.1 1/16" = 1'-0"

<b><u>BUILDING 1 - GLAZING &amp; TRANSPARENCY</u></b>			
<b>ELEVATION</b>	<b>WALL AREA</b>	<b>WINDOW AREA</b>	<b>PERCENTAGE</b>
FRONT (SOUTH)	17047.49 SF	4841.37 SF	28.4%
RIGHT (EAST)	6802.53 SF	1121.38 SF	16.5%
BACK (WEST)	15485.91 SF	5307.46 SF	34.3%
LEFT (WEST)	9025.49 SF	1739.43 SF	19.3%
<b>TOTAL</b>	<b>48361.42 SF</b>	<b>13009.64 SF</b>	<b>26.9%</b>

0' 8' 16' 32'  
SCALE: 1/16" = 1'-0"

### NOTICE: DUE TO COOPERATION

Release of these plans contemplates further cooperation among the owner, his contractor and the architect. Design and construction are complex, and the architect cannot be expected to perform their services with due care and diligence, they cannot guarantee perfection. Communication is imperfect and every contingency cannot be anticipated. Any arbitrary interference with the use of these plans shall be regarded immediately to the architect. Failure to notify the architect compounds the problem and may result in the architect's failure to cooperate by a simple notice to the architect shall relieve the architect from responsibility for the consequences of any interference. Without the consent of the architect are unauthorized and shall relieve the architect of responsibility for all consequences arising out of such changes.

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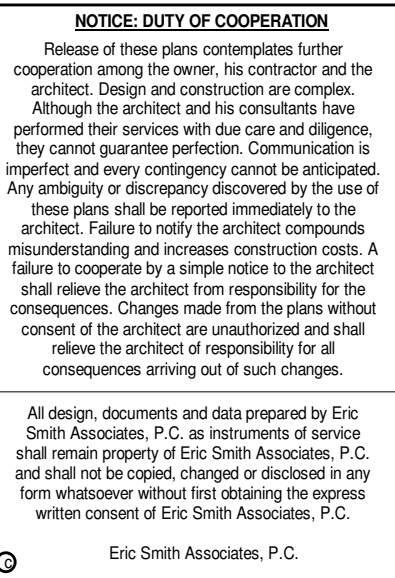
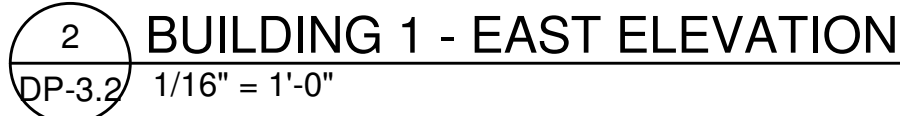
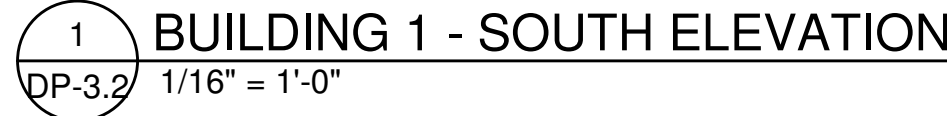
**THE ASTRID**  
SKI TRAIL LANE  
STEAMBOAT SPRINGS, CO 80487




<b>Job Number:</b>	22014.00
<b>Date:</b>	2023-07-2
<b>Drawn By:</b>	Author
<b>Checked By:</b>	Checker

<b>Project Phase</b> PLANNING SUBMITTAL
<b>Sheet Title</b> BUILDING ELEVATIONS - BUILDING I
<b>Sheet Number</b> <b>DP-3.1</b>




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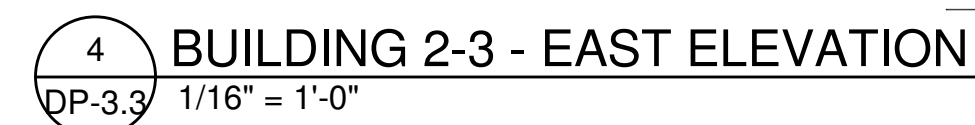
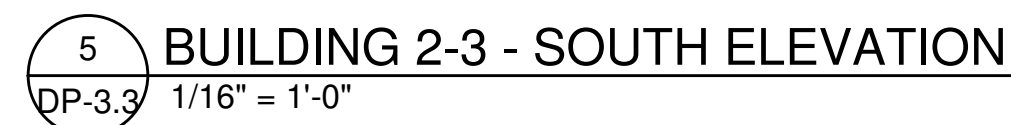
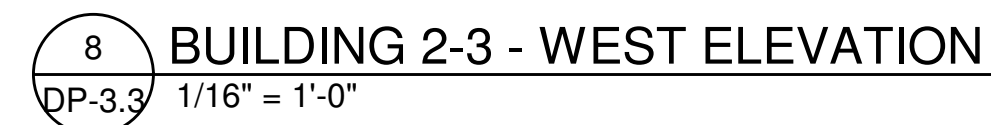
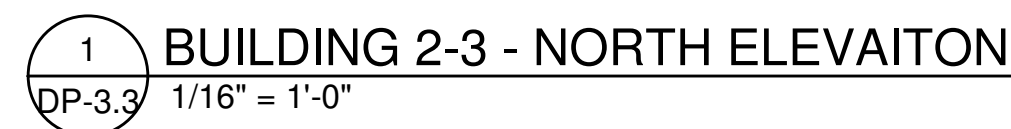


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<b>Date:</b>	2023-07-28
<b>Drawn By:</b>	Author
<b>Checked By:</b>	Checker

<b>Project Phase</b> PLANNING SUBMITTAL	
<b>Sheet Title</b> BUILDING ELEVATIONS - BUILDING I	
<b>Sheet Number</b> <b>DP-3.2</b>	





0' 8' 16' 32'  
SCALE: 1/16" = 1'-0"

[illegible]

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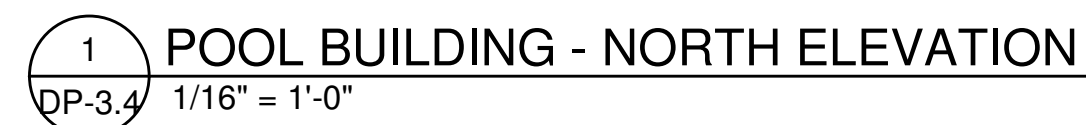
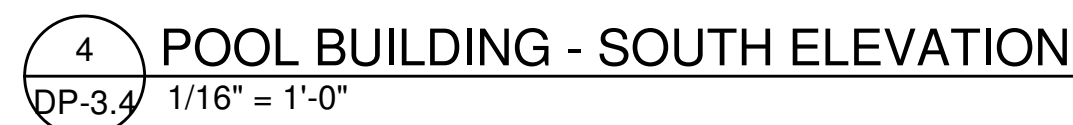
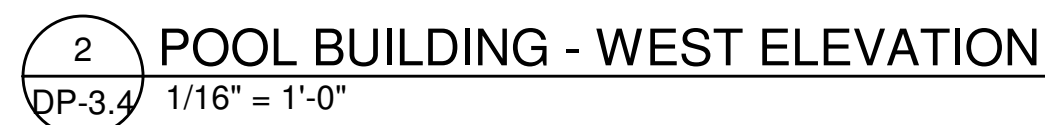
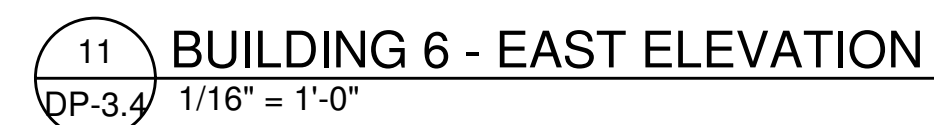
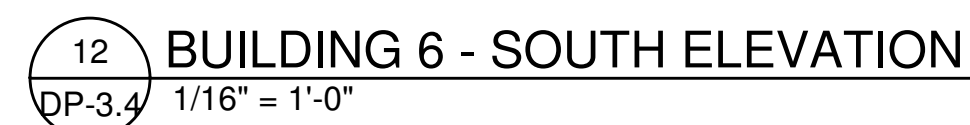
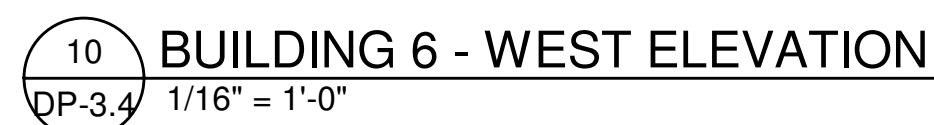
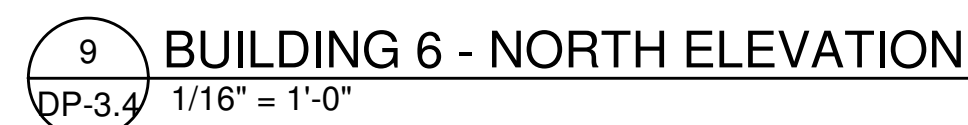
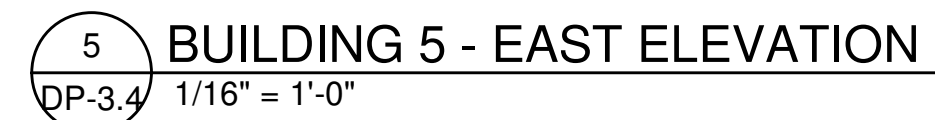
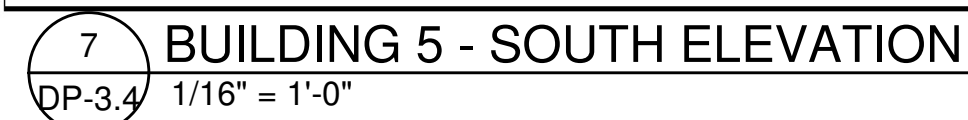
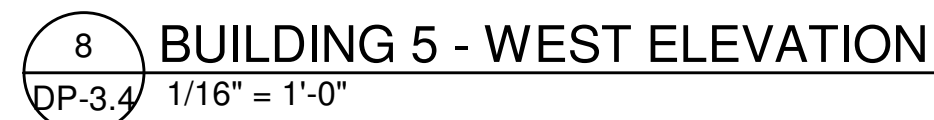
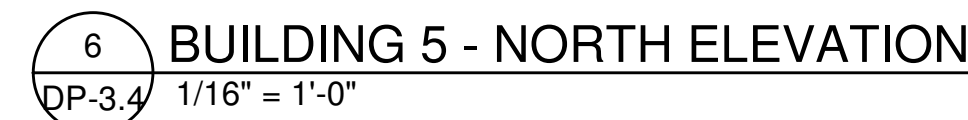
<b>Job Number:</b>	22014.00
<b>Date:</b>	2023-07-28
<b>Drawn By:</b>	Author
<b>Checked By:</b>	Checker

<b>Project Phase</b>
PLANNING SUBMITTAL

<b>Sheet Title</b> BUILDING ELEVATIONS - BUILDING 2-3		
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Sheet Number  
**DP-3.3**





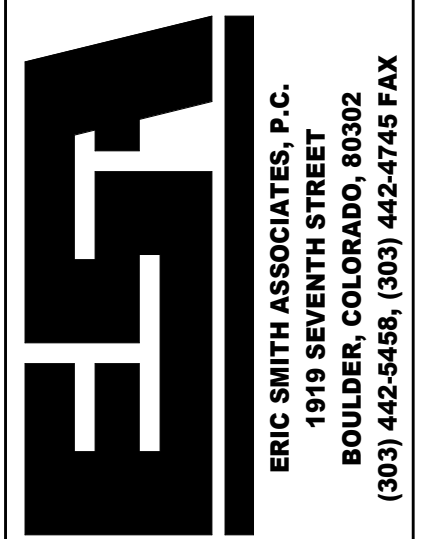
ELEVATION	WALL AREA	WINDOW AREA	PERCENTAGE
FRONT	4634.45 SF	2156.27 SF	46.5%
RIGHT	2614.62 SF	307.67 SF	11.8%
BACK	3339.59 SF	641.23 SF	19.2%
LEFT	2242.98 SF	306.94 SF	13.7%
<b>TOTAL</b>	<b>12831.64 SF</b>	<b>3412.11 SF</b>	<b>26.6%</b>

ELEVATION	WALL AREA	WINDOW AREA	PERCENTAGE
FRONT	4668.26 SF	2085.68 SF	44.7%
RIGHT	2278.71 SF	307.38 SF	13.5%
BACK	3227.61 SF	615.19 SF	19.1%
LEFT	2520.18 SF	382.38 SF	15.2%
<b>TOTAL</b>	<b>12694.76 SF</b>	<b>3390.63 SF</b>	<b>26.7%</b>


ELEVATION	WALL AREA	WINDOW AREA	PERCENTAGE
FRONT	375.14 SF	63.04 SF	16.8%
RIGHT	462.86 SF	198.82 SF	43.0%
BACK	320.20 SF	149.33 SF	46.6%
LEFT	1062.53 SF	293.41 SF	27.6%
<b>TOTAL</b>	<b>2220.73 SF</b>	<b>704.60 SF</b>	<b>31.7%</b>

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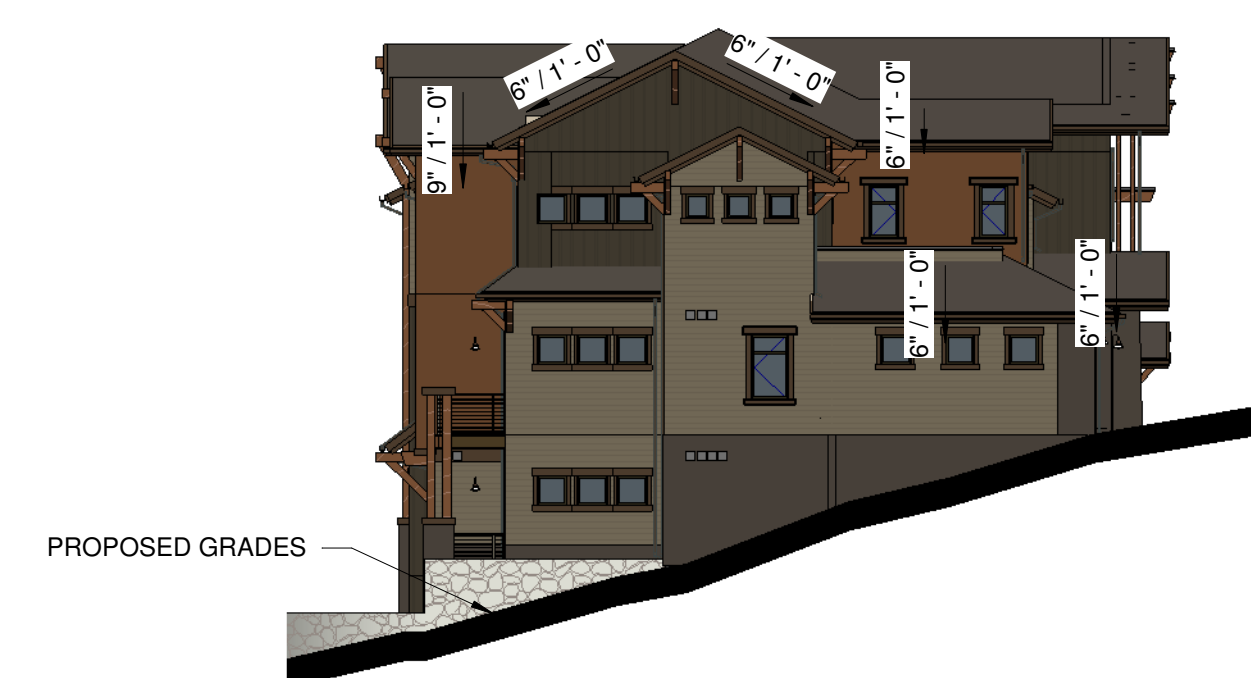
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<b>Project Phase</b>	
PLANNING SUBMITTAL	
<b>Sheet Title</b>	
BUILDING ELEVATIONS - BUILDING 5, 6 & POOL HOUSE	
<b>Sheet Number</b>	
DP-3.4	





<b><u>BUILDING 7 - GLAZING &amp; TRANSPARENCY</u></b>			
<b>ELEVATION</b>	<b>WALL AREA</b>	<b>WINDOW AREA</b>	<b>PERCENTAGE</b>
FRONT	5442.28 SF	1567.40 SF	28.8%
RIGHT	1642.99 SF	124.25 SF	7.6%
BACK	2466.49 SF	357.93 SF	14.5%
LEFT	2056.37 SF	602.97 SF	29.3%
<b>TOTAL</b>	<b>11608.13 SF</b>	<b>2652.55 SF</b>	<b>22.9%</b>

0' 8' 16' 32'  
SCALE: 1/16" = 1'-0"

**NOTICE: DUTY OF COOPERATION**

Release of these plans contemplates further cooperation among the owner, his contractor and the architect. Design and construction are complex. Although the architect and his consultants have performed services with due care and competence, they cannot guarantee perfection. Communication is imperfect and every contingency cannot be anticipated. Any ambiguity or discrepancy discovered by the use of these plans must be reported immediately to the architect. Failure to notify the architect compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to the architect shall not constitute a defense to the consequences. Changes made from the plans without consent of the architect are unauthorized and shall relieve the architect of responsibility for all consequences arising out of such changes.

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<b>Project Phase</b>
PLANNING SUBMITTAL

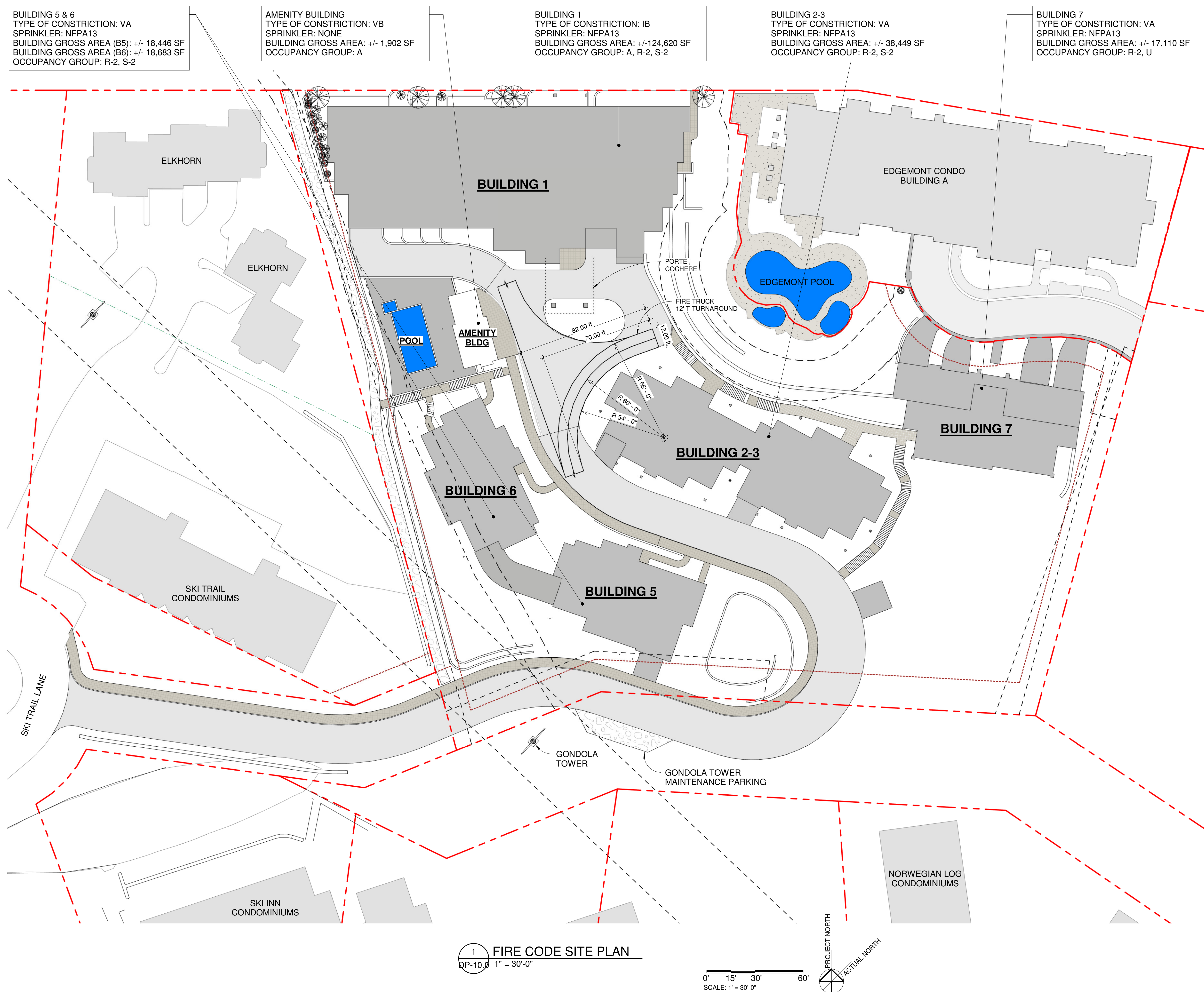
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BUILDING ELEVATIONS - BUILDING 7	

Sheet Number  
**DP-3.5**









**NOTICE: DUTY OF COOPERATION**

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<b>Project Phase</b>	PLANNING SUBMITTAL
<b>Sheet Title</b>	CDC CODE REVIEW

Sheet Number  
**DP-10.0**