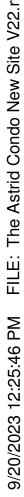
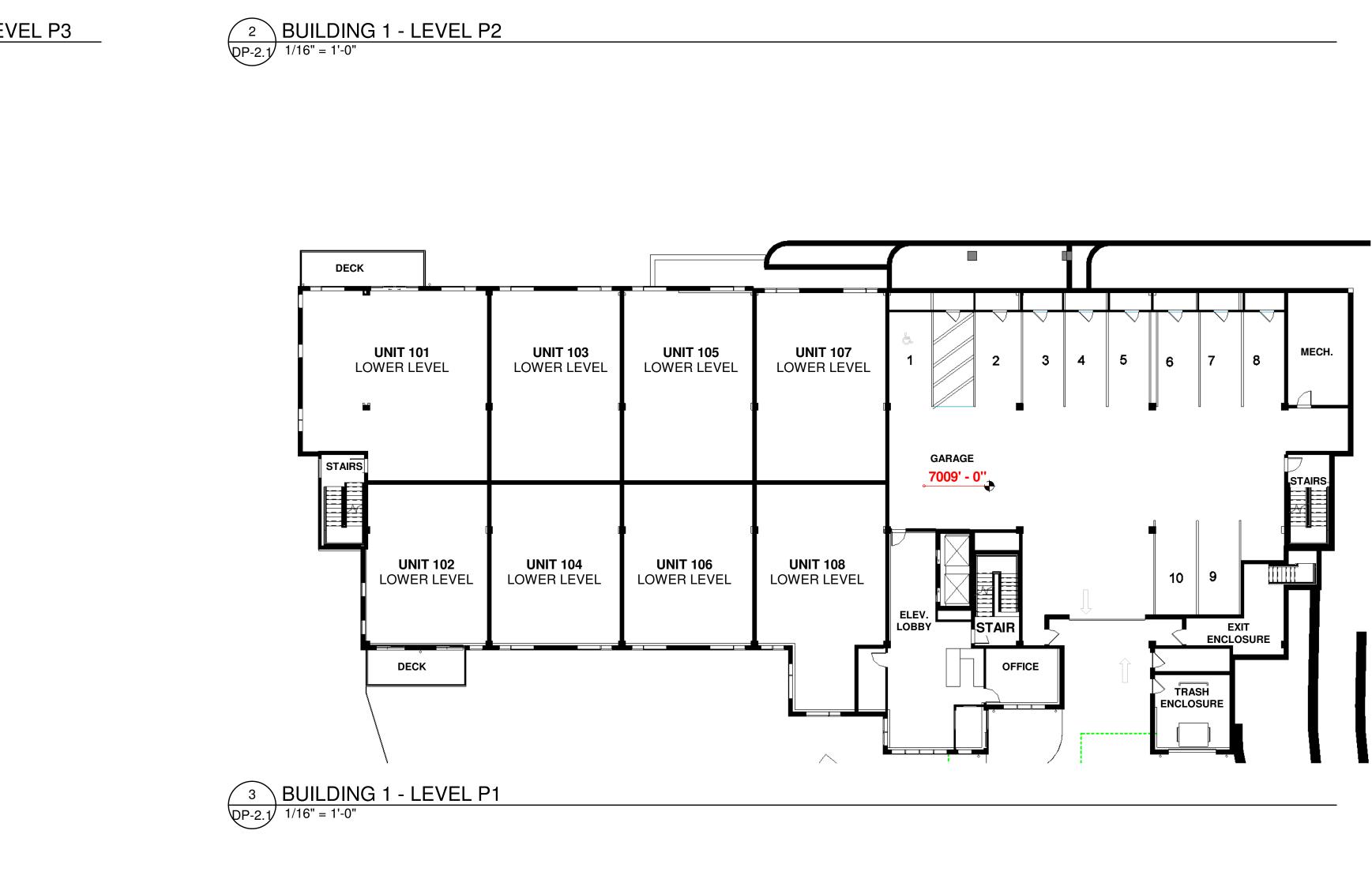
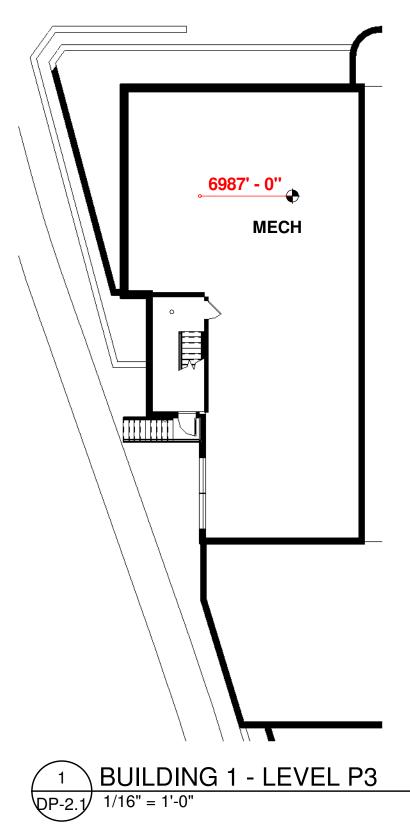


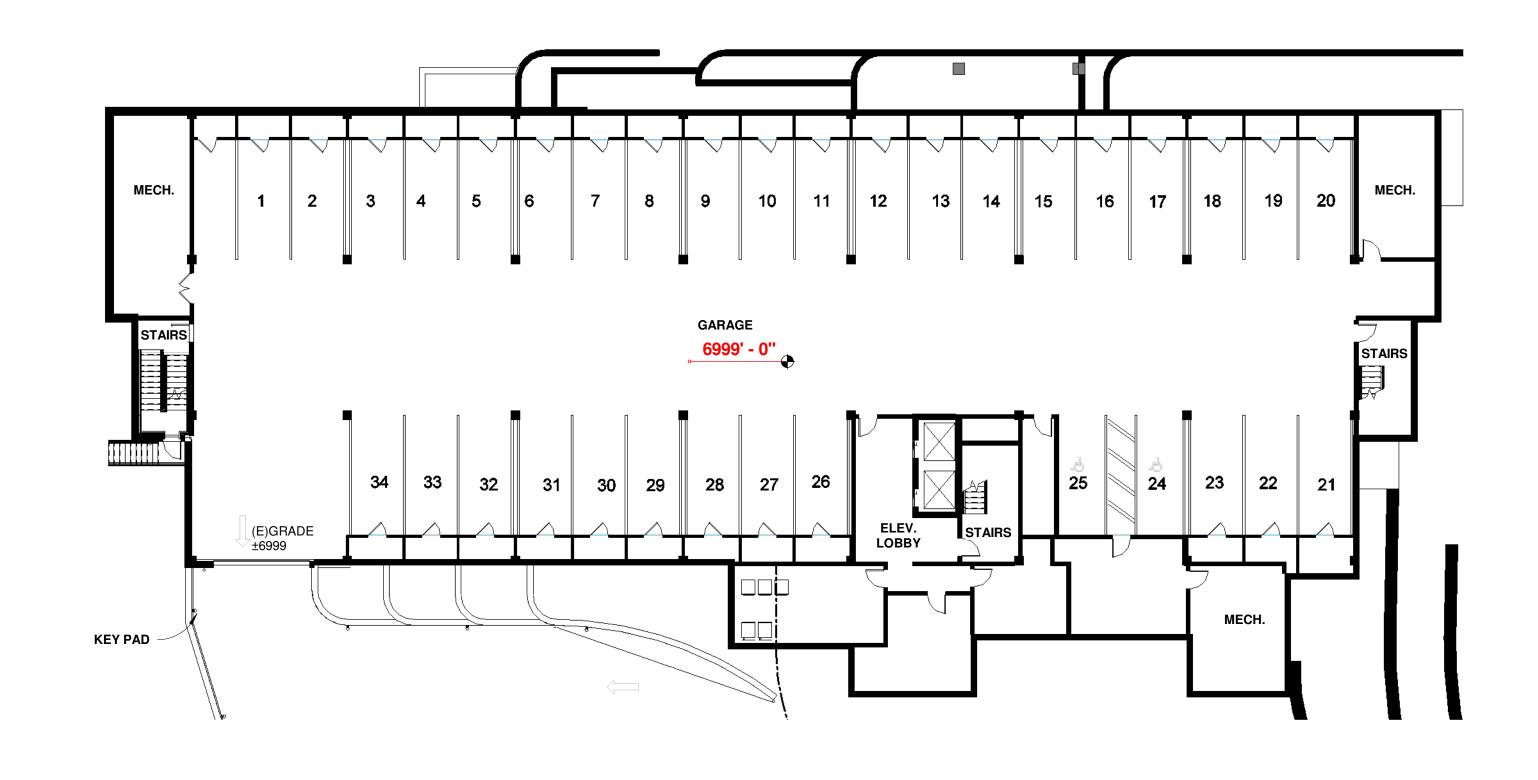
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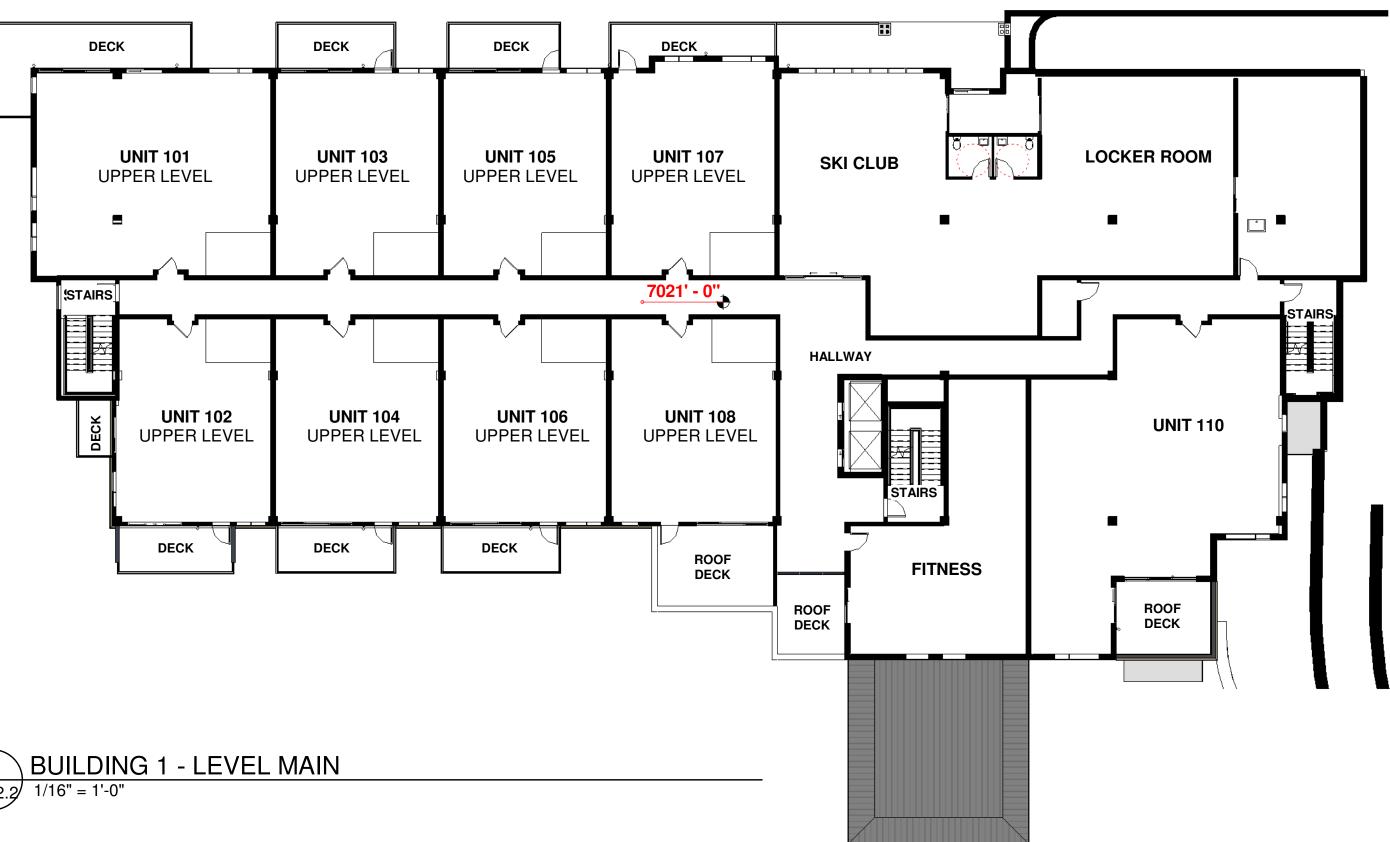


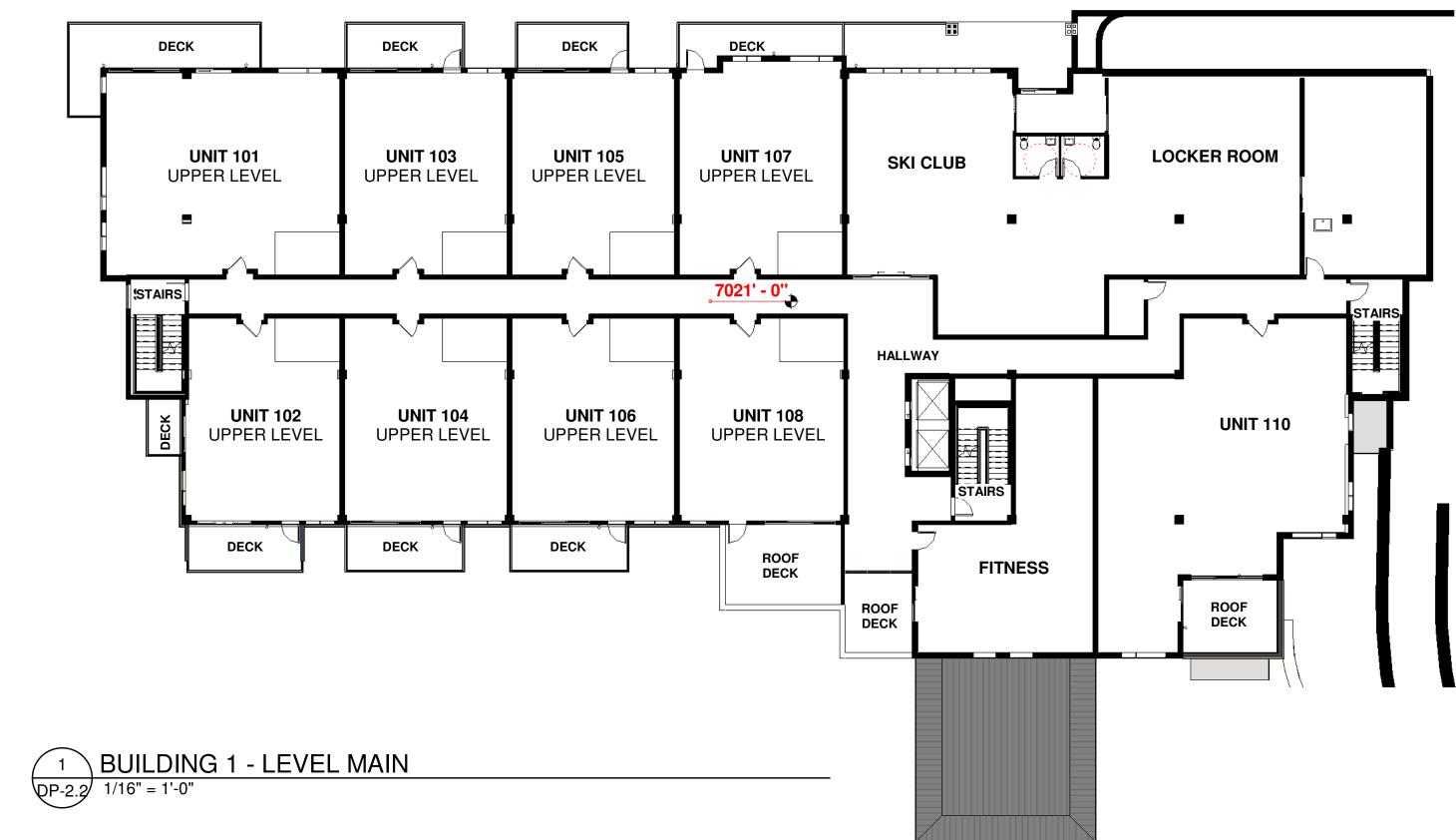


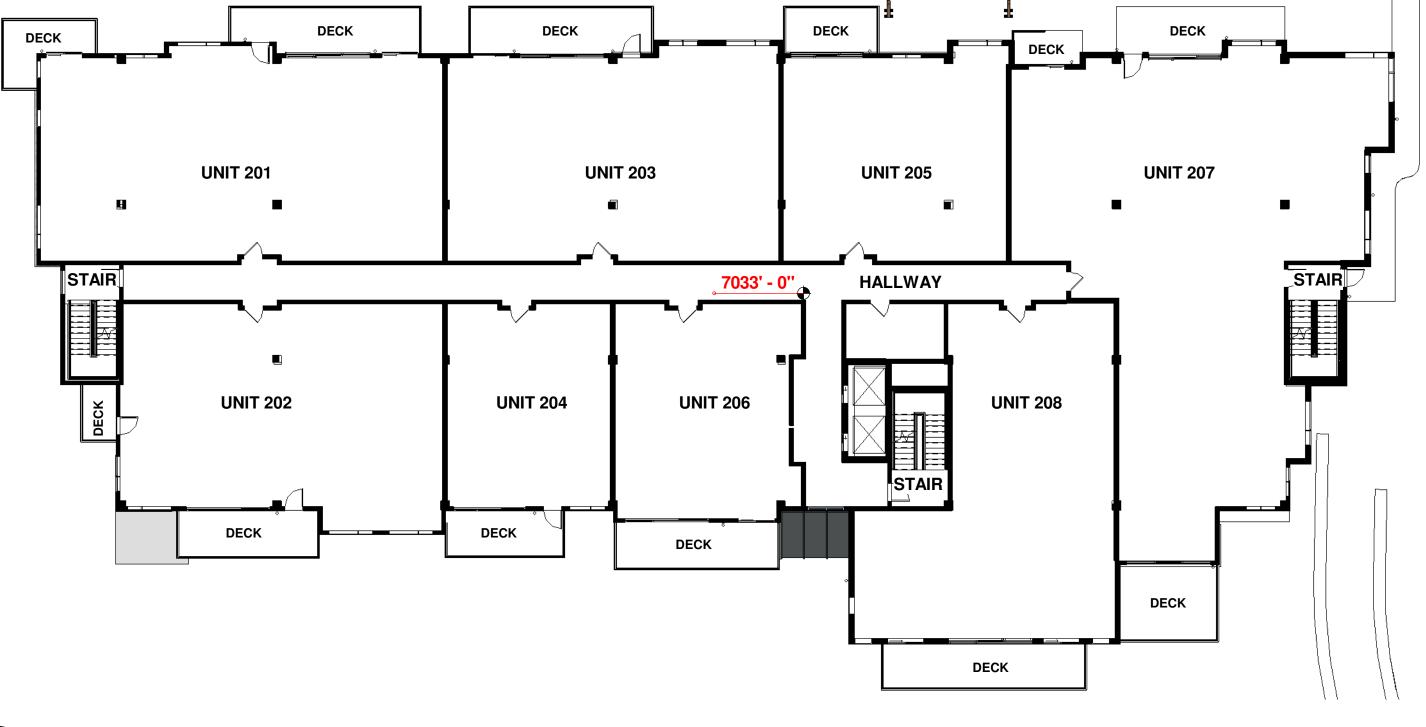
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ERIC SMITH ASSOCIATES, P.C.	1919 SEVENTH STREET BOULDER, COLORADO, 80302 (303) 442-5458, (303) 442-4745 FAX
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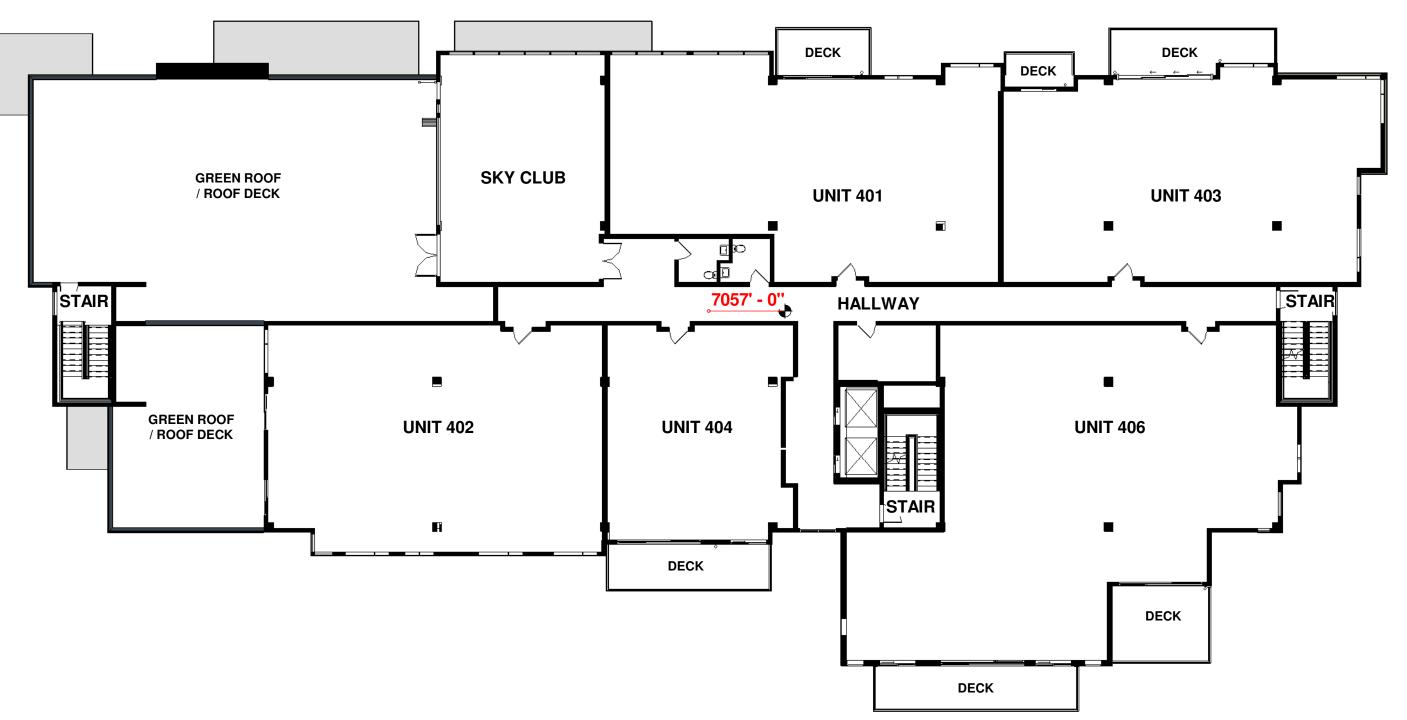


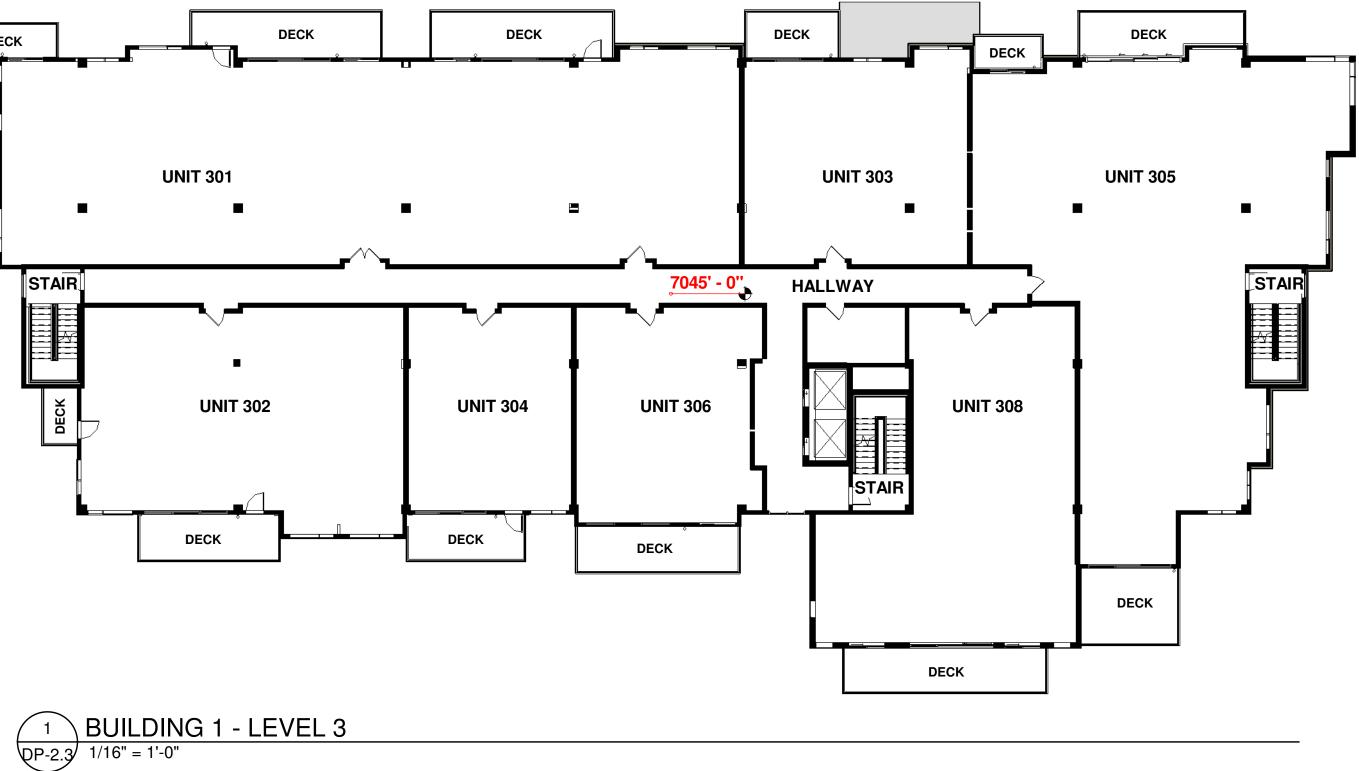


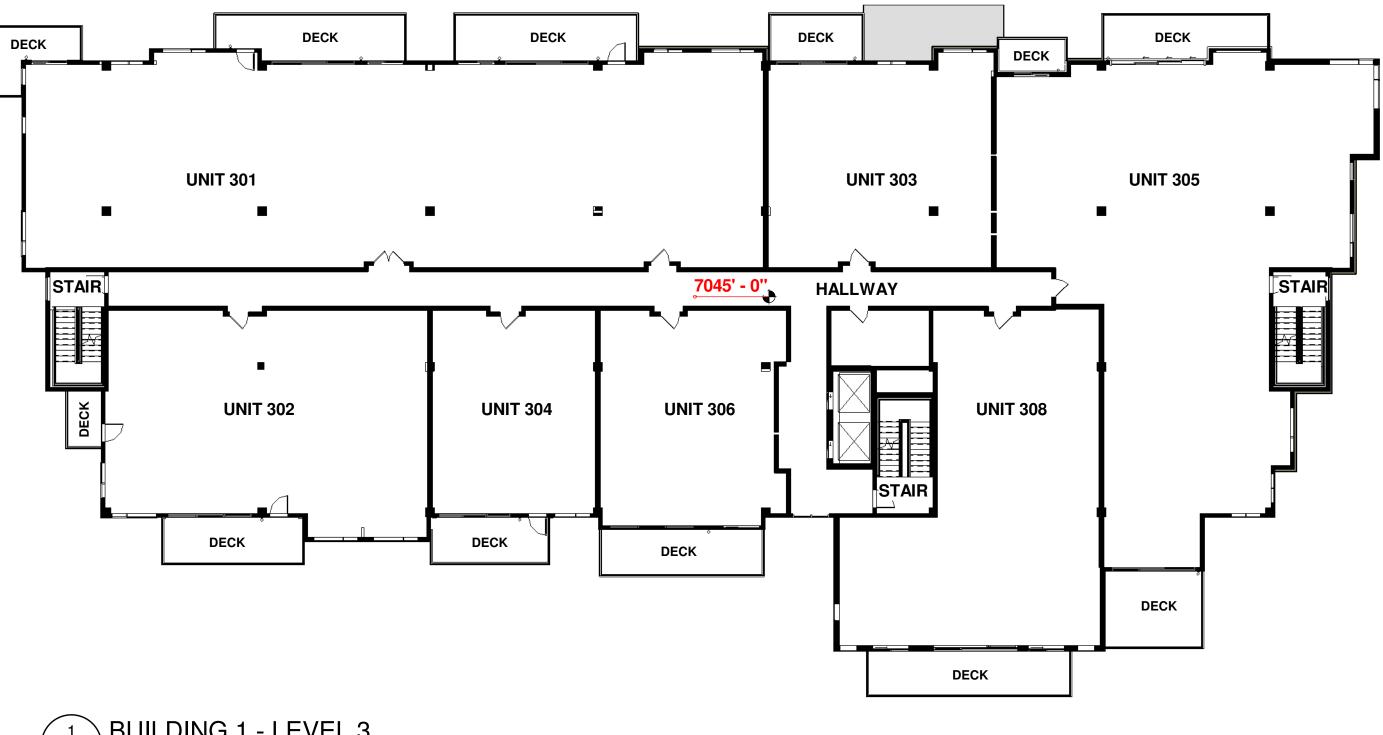
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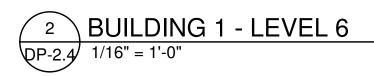




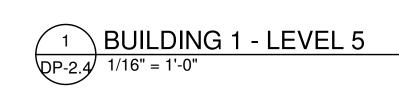


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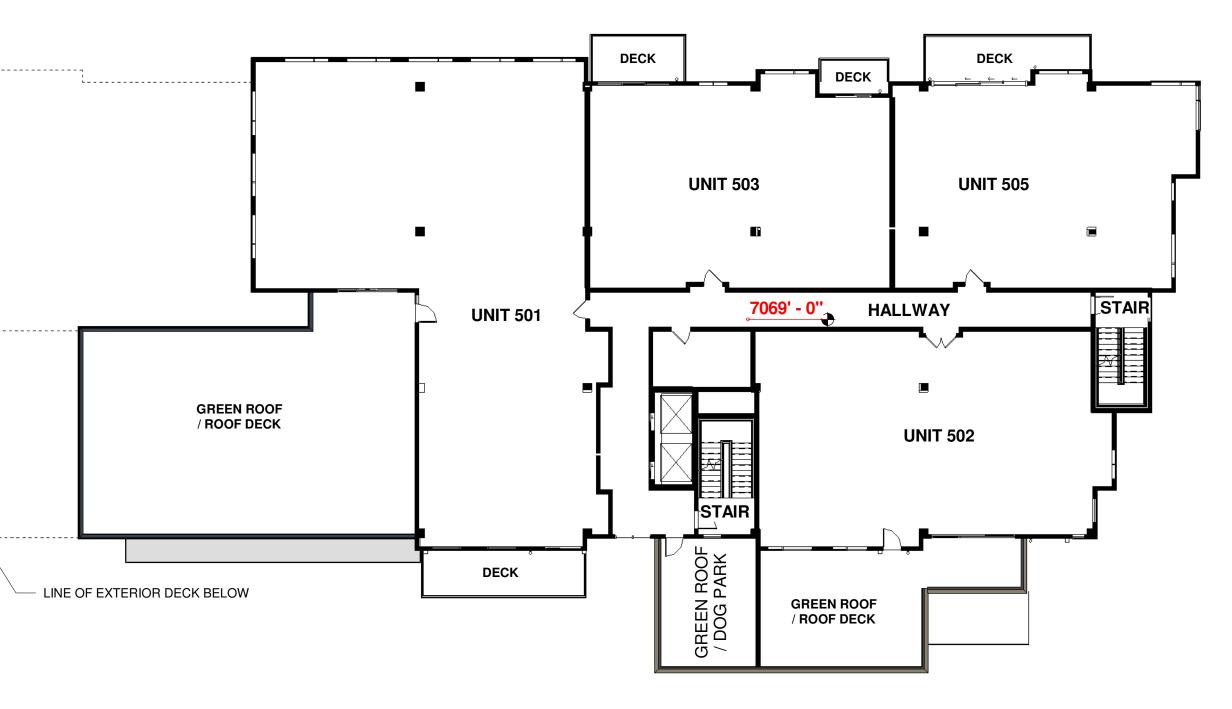
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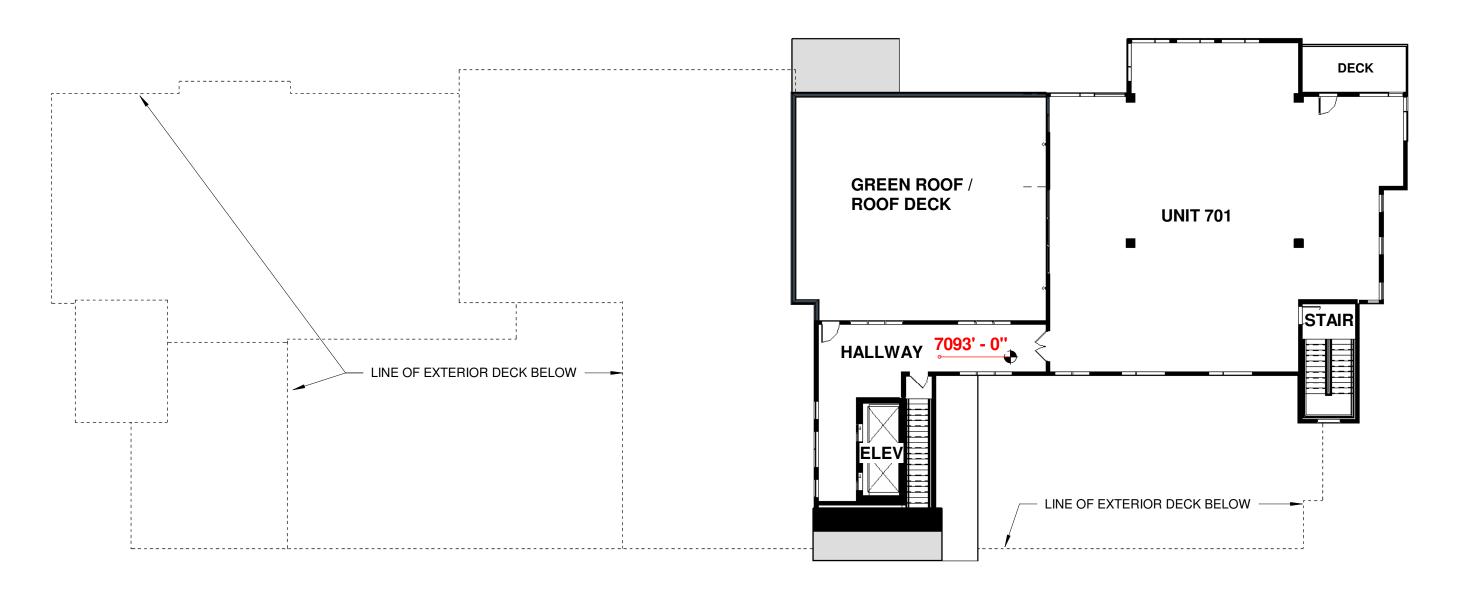


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NOTICE: DUTY OF COOPERATION Release of these plans contemplates further cooperation among the owner, his contractor and architect. Design and construction are comple Although the architect and his consultants has performed their services with due care and dilige they cannot guarantee perfection. Communicatic imperfect and every contingency cannot be anticit Any ambiguity or discrepancy discovered by the u these plans shall be reported immediately to the architect. Failure to notify the architect compoun misunderstanding and increases construction cost failure to cooperate by a simple notice to the arch shall relieve the architect are unauthorized and s relieve the architect are unauthorized and s relieve the architect of responsibility for all consequences arriving out of such changes. All design, documents and data prepared by E Smith Associates, P.C. as instruments of servi shall remain property of Eric Smith Associates, I por written consent of Eric Smith Associates, P.C.	d the ex. ve mnce, on is bated. use of ne nds sts. A nitect the thout hall rric cice P.C. any ess
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ERIC SMITH ASSOCIATES, P.C. 1919 SEVENTH STREET	(303) 442-5458, (303) 442-4745 FAX
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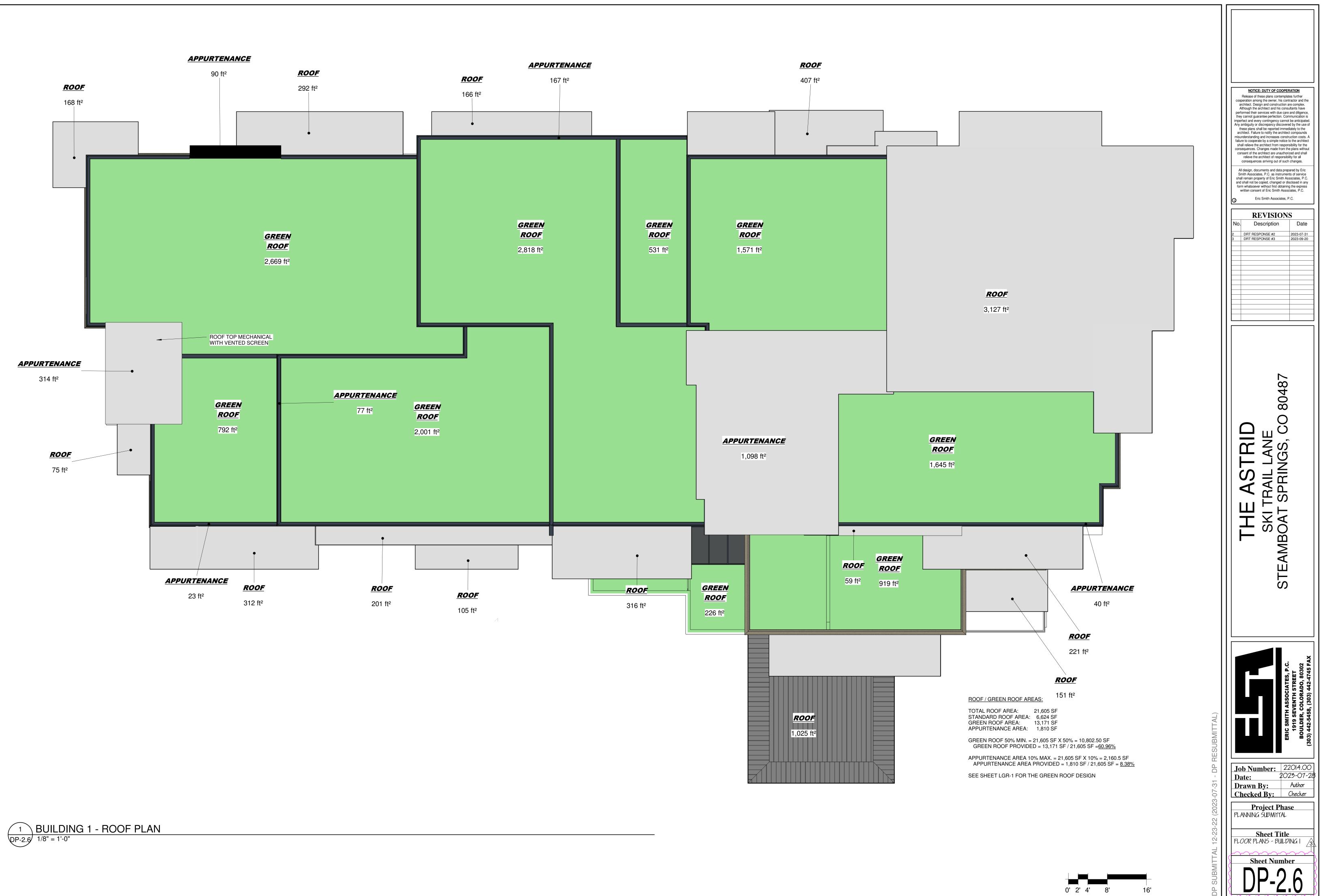
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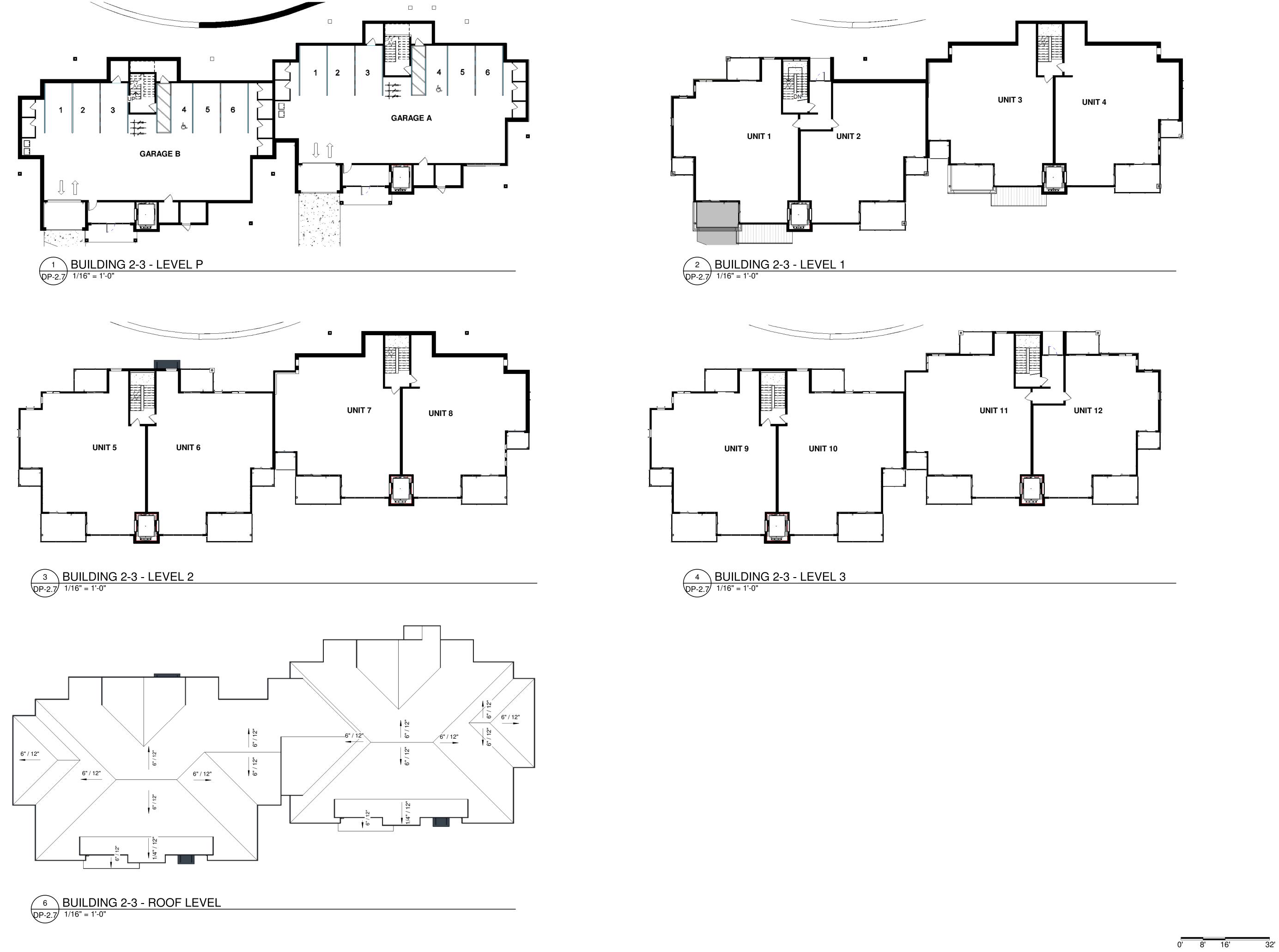


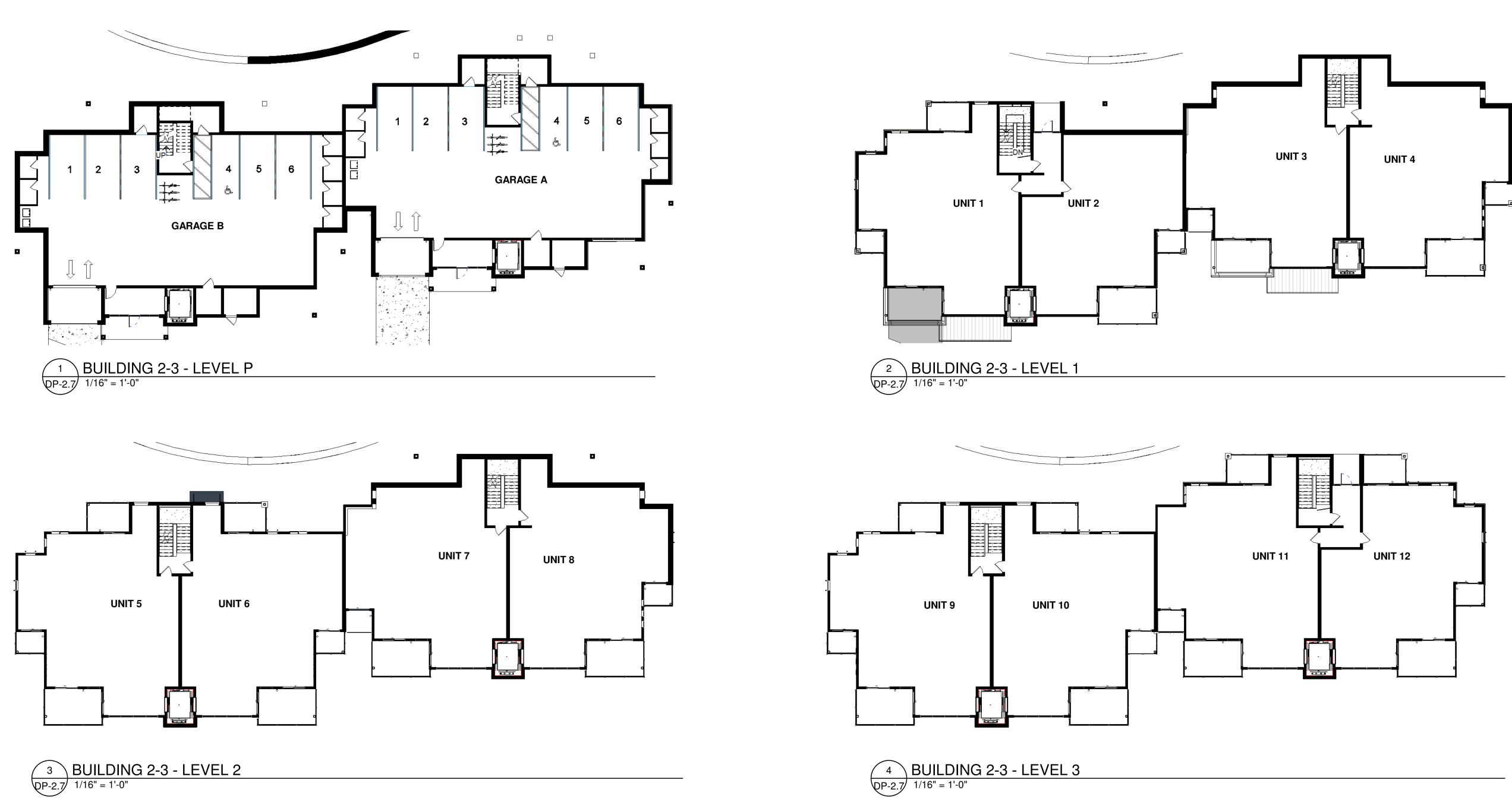


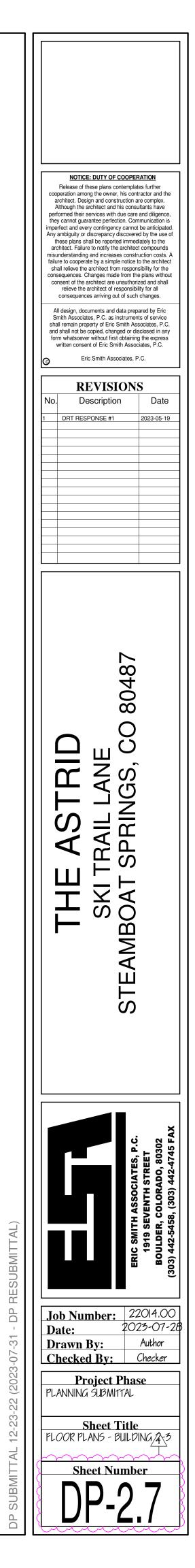
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			ERIC SMITH ASSOCIATES, P.C.	1919 SEVENTH STREET BOULDER, COLORADO, 80302 (303) 442-5458, (303) 442-4745 FAX
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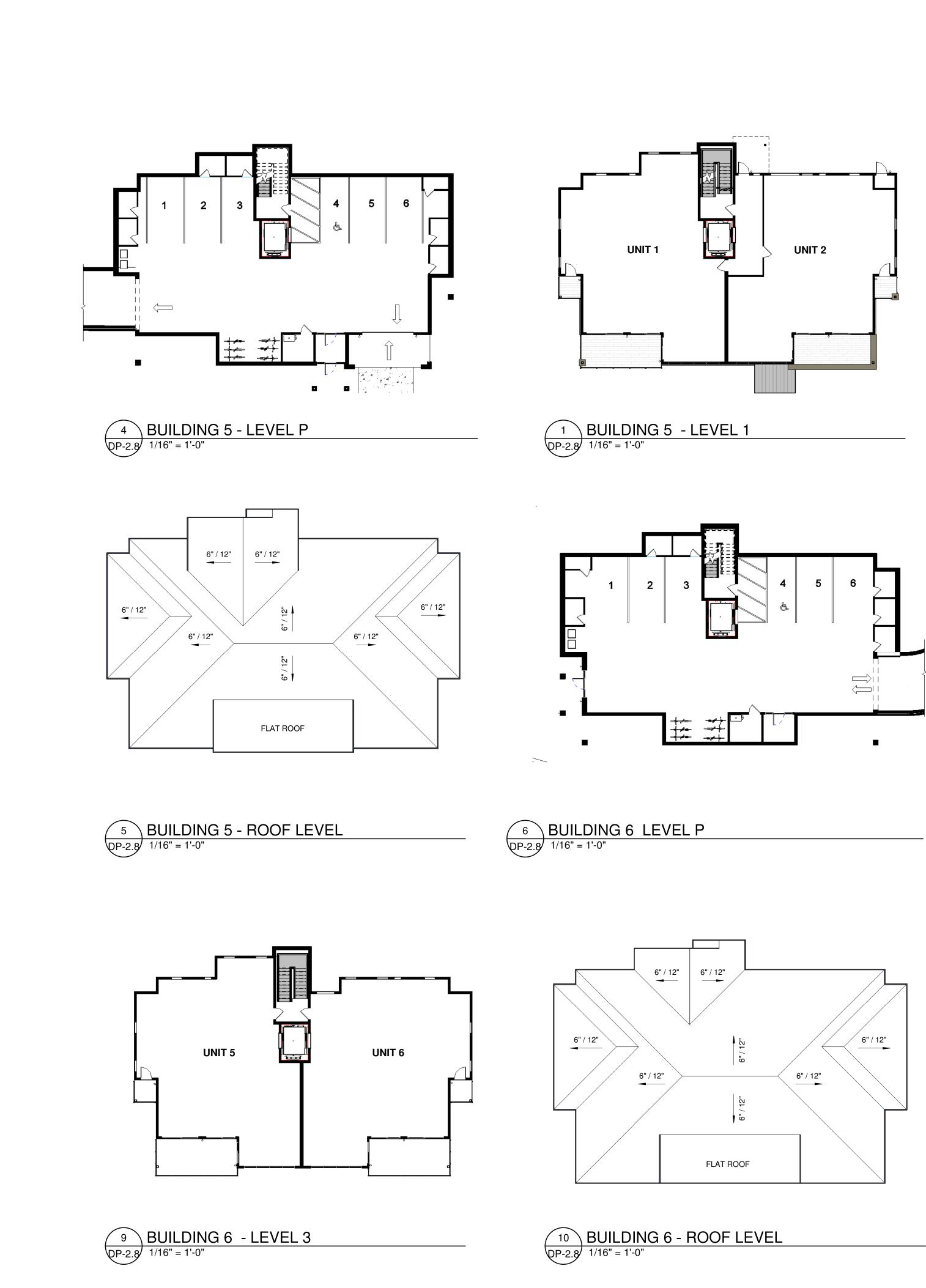
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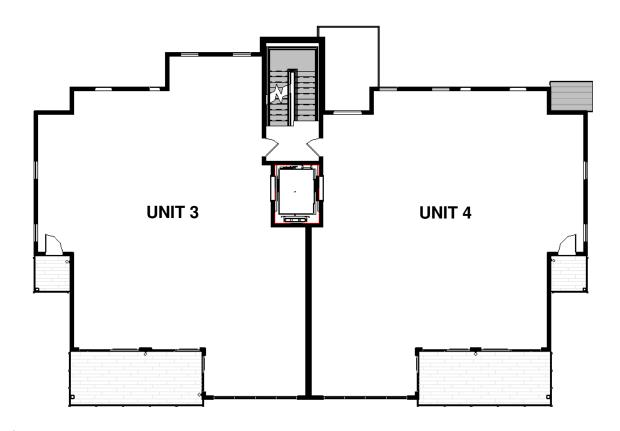




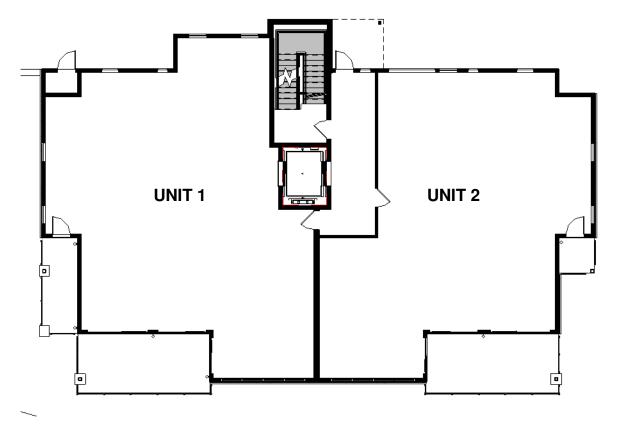




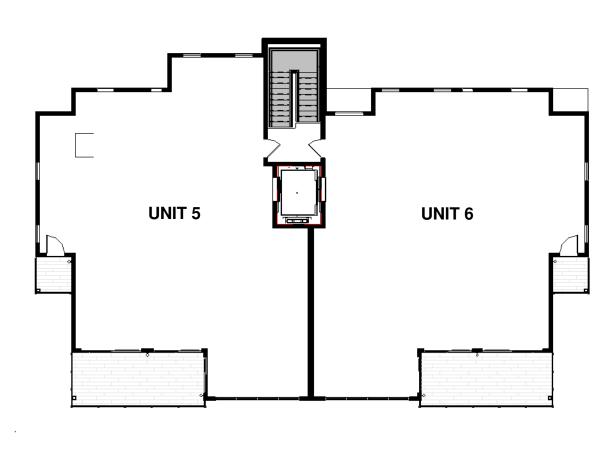




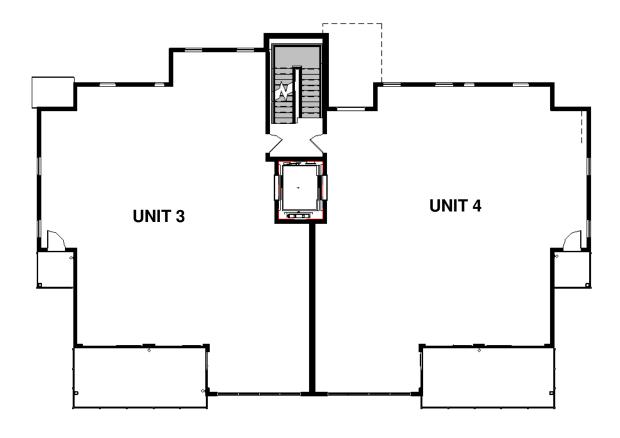
2 BUILDING 5 - LEVEL 2 DP-2.8 1/16" = 1'-0"



7 BUILDING 6 - LEVEL 1 DP-2.8 1/16" = 1'-0"

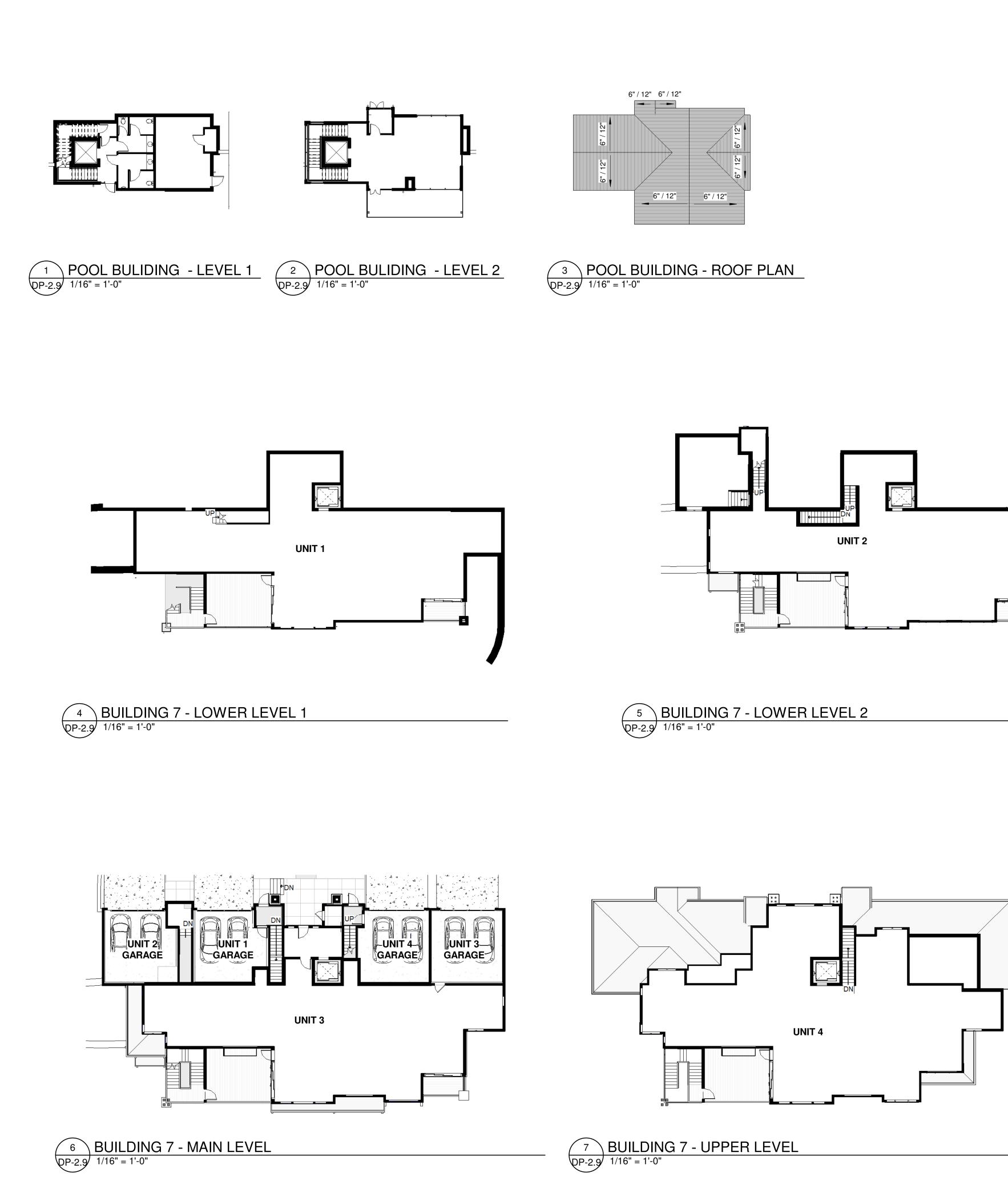


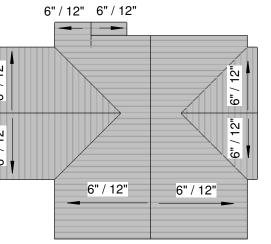


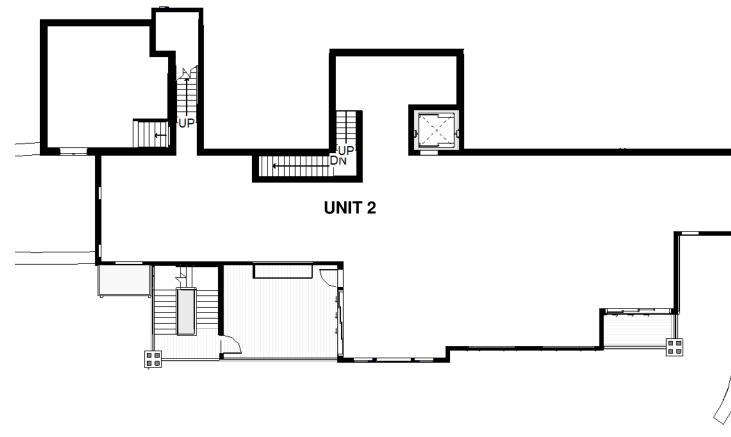


8 BUILDING 6 - LEVEL 2 DP-2.8 1/16" = 1'-0"

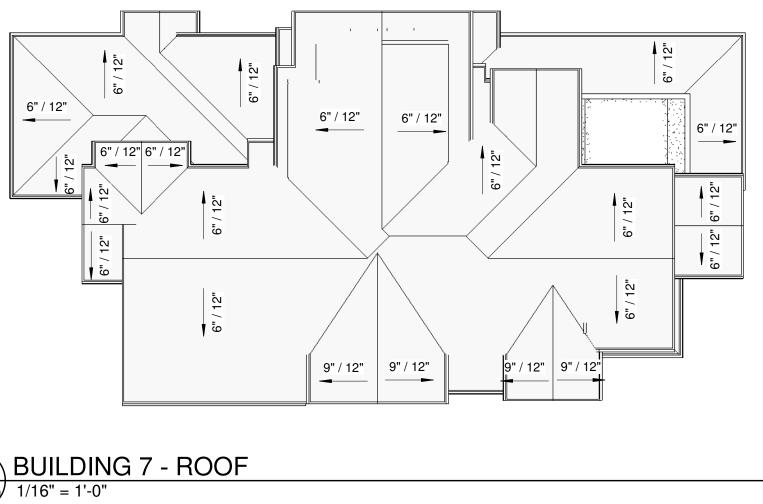
NOTICE: DUTY OF COOPERATION Release of these plans contemplates further cooperation among the owner, his contractor and the architect. Design and construction are complex. Although the architect and his consultants have performed their services with due care and diligence, they cannot guarantee perfection. Communication is imperfect and every contingency cannot be anticipated. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the architect. Failure to notify the architect compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to the architect shall relieve the architect from responsibility for the consequences. Changes made from the plans without consent of the architect of responsibility for all consequences arriving out of such changes. All design, documents and data prepared by Eric Smith Associates, P.C. as instruments of service shall relieve twithout first obtaining the express written consent of Eric Smith Associates, P.C. Image: Complexity
THE ASTRID SKI TRAIL LANE STEAMBOAT SPRINGS, CO 80487
Job Number: 22014.00 103) 442-5458, (303) 442-07-28 Drawn By: Author Checked By: Checker





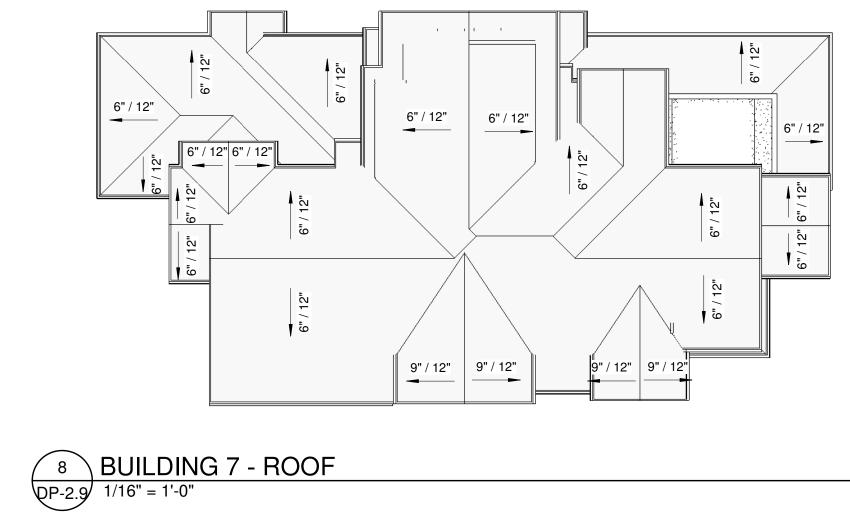






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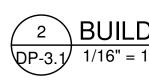




1 BUILDING 1 - NORTH ELEVATION DP-3.1 1/16" = 1'-0"







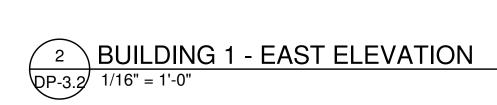
2 BUILDING 1 - WEST ELEVATION DP-3.1 1/16" = 1'-0"

ELEVATION	WALL AREA	WINDOW AREA	PERCENTAGE
FRONT (SOUTH)	17047.49 SF	4841.37 SF	28.4%
RIGHT (EAST)	6802.53 SF	1121.38 SF	16.5%
BACK (NORTH)	15485.91 SF	5307.46 SF	34.3%
LEFT (WEST)	9025.49 SF	1739.43 SF	19.3%
TOTAL	48361.42 SF	13009.64 SF	26.9%

0	' 8	8' 1	6'		32'
S	CAL	.E: 1	/16"	-	1'-0"

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			ERIC SMITH ASSOCIATES, P.C.	1919 SEVENTH STREET BOULDER, COLORADO, 80302 (303) 442-5458, (303) 442-4745 FAX
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¹ BUILDING 1 - SOUTH ELEVATION

DP-3.2 1/16" = 1'-0"

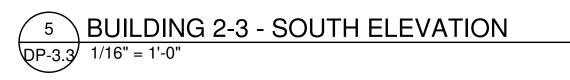


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DRT RESPONSE #2 2023-05-19 2023-07-31 2023-09-20 DRT RESPONSE #3 48 80 Ο TRID \mathbf{O} - LANE NGS, C THE AS SKI TRAIL EAMBOAT SPRIN STE/ Job Number:22014.00Date:2023-07-28Drawn By:AuthorChecked By:Checker Project Phase PLANNING SUBMITTAL Sheet Title Building Elevations -Building I Sheet Number DP-3.2

0' 8' 16' 32' SCALE: 1/16" - 1'-0"

PROPOSED GRADES







8 BUILDING 2-3 - WEST ELEVATION DP-3.3 1/16" = 1'-0"



4 BUILDING 2-3 - EAST ELEVATION DP-3.3 1/16" = 1'-0"

NOTICE: DUTY OF COOPERATION Release of these plans contemplates further cooperation among the owner, his contractor and the architect. Design and construction are complex. Although the architect and his consultants have performed their services with due care and dilgence, they cannot guarantee perfection. Communication is imperfect and every contingency cannot be anticipated. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the architect. Failure to notify the architect compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to the architect shall relieve the architect are unauthorized and shall relieve the architect are unauthorized and shall relieve the architect or responsibility for all consequences. Changes made from the plans without consent of the architect or esponsibility for all consequences arriving out of such changes. All design, documents and data prepared by Eric Smith Associates, P.C. and shall not be copied, changed or disclosed in any form whatsoever without first obtaining the express written consent of Eric Smith Associates, P.C. Image: The test of the architect is Smith Associates, P.C. Image: The test of the architect is the architect is the architect is copied, changed or disclosed in any form whatsoever without first obtaining the express written consent of Eric Smith Associates, P.C. Image: The test of the architect is the architect is the architect is a stall remain property of Eric Smith Associates, P.C. Image: The test of the test of the architect is the architect is a stall remain property of the architect and the architect is the architect is the architect is a stall not the architect is the architect is a stall not the architect is
THE ASTRID SKI TRAIL LANE STEAMBOAT SPRINGS, CO 80487
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BUILDING 2-3 Sheet Number DP-3.3

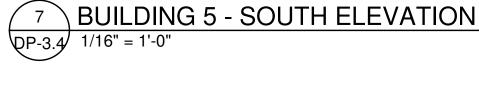
BUILDING 2-3 - GLAZING & TRANSPARENCY

ELEVATION	WALL AREA	WINDOW AREA	PERCENTAGE
FRONT	9148.68 SF	4355.66 SF	47.6%
RIGHT	2670.63 SF	466.50 SF	17.5%
ВАСК	4718.42 SF	942.44 SF	20.0%
LEFT	3173.12 SF	347.20 SF	10.9%
TOTAL	19710.85 SF	6111.80 SF	31.0%

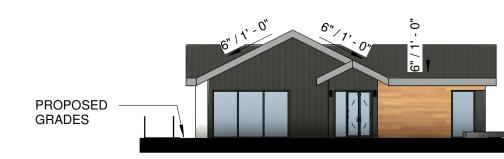
0' 8' 16' 32' SCALE: 1/16" - 1'-0"













BUILDING 6 - GLAZING & TRANSPARENCY

12831.64 SF 3412.11 SF

306.94 SF

13.7%

26.6%

2242.98 SF

TOTAL

ELEVATION	WALL AREA	WINDOW AREA	PERCENTAGE
FRONT	4668.26 SF	2085.68 SF	44.7%
RIGHT	2278.71 SF	307.38 SF	13.5%
ВАСК	3227.61 SF	615.19 SF	19.1%
LEFT	2520.18 SF	382.38 SF	15.2%
TOTAL	12694.76 SF	3390.63 SF	26.7%

POOL BUILDING - GLAZING & TRANSPARENCY

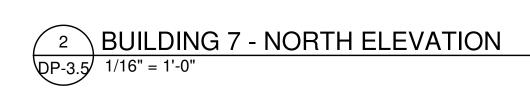
ELEVATION	WALL AREA	WINDOW AREA	PERCENTAGE
FRONT	375.14 SF	63.04 SF	16.8%
RIGHT	462.86 SF	198.82 SF	43.0%
ВАСК	320.20 SF	149.33 SF	46.6%
LEFT	1062.53 SF	293.41 SF	27.6%
TOTAL	2220.73 SF	704.60 SF	31.7%





4 BUILDING 7 - SOUTH ELEVATION DP-3.5 1/16" = 1'-0"



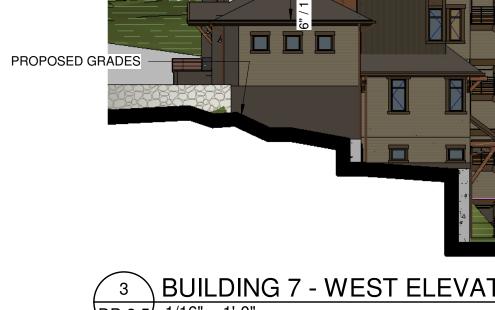




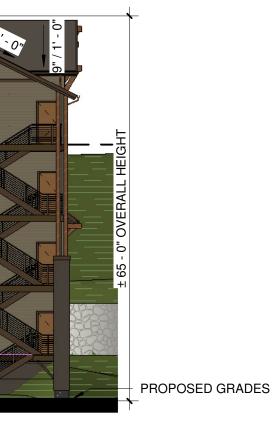
PROPOSED GRADES

- PROPOSED GRADES

PROPOSED GRADES — 1 BUILDING 7 - EAST ELEVATION DP-3.5 1/16" = 1'-0"



3 BUILDING 7 - WEST ELEVATION DP-3.5 1/16" = 1'-0"





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BUILDING 7 - GLAZING & TRANSPARENCY

ELEVATION	WALL AREA	WINDOW AREA	PERCENTAGE
FRONT	5442.28 SF	1567.40 SF	28.8%
RIGHT	1642.99 SF	124.25 SF	7.6%
ВАСК	2466.49 SF	357.93 SF	14.5%
LEFT	2056.37 SF	602.97 SF	29.3%
TOTAL	11608.13 SF	2652.55 SF	22.9%

0' 8' 16' 32' SCALE: 1/16" - 1'-0"







