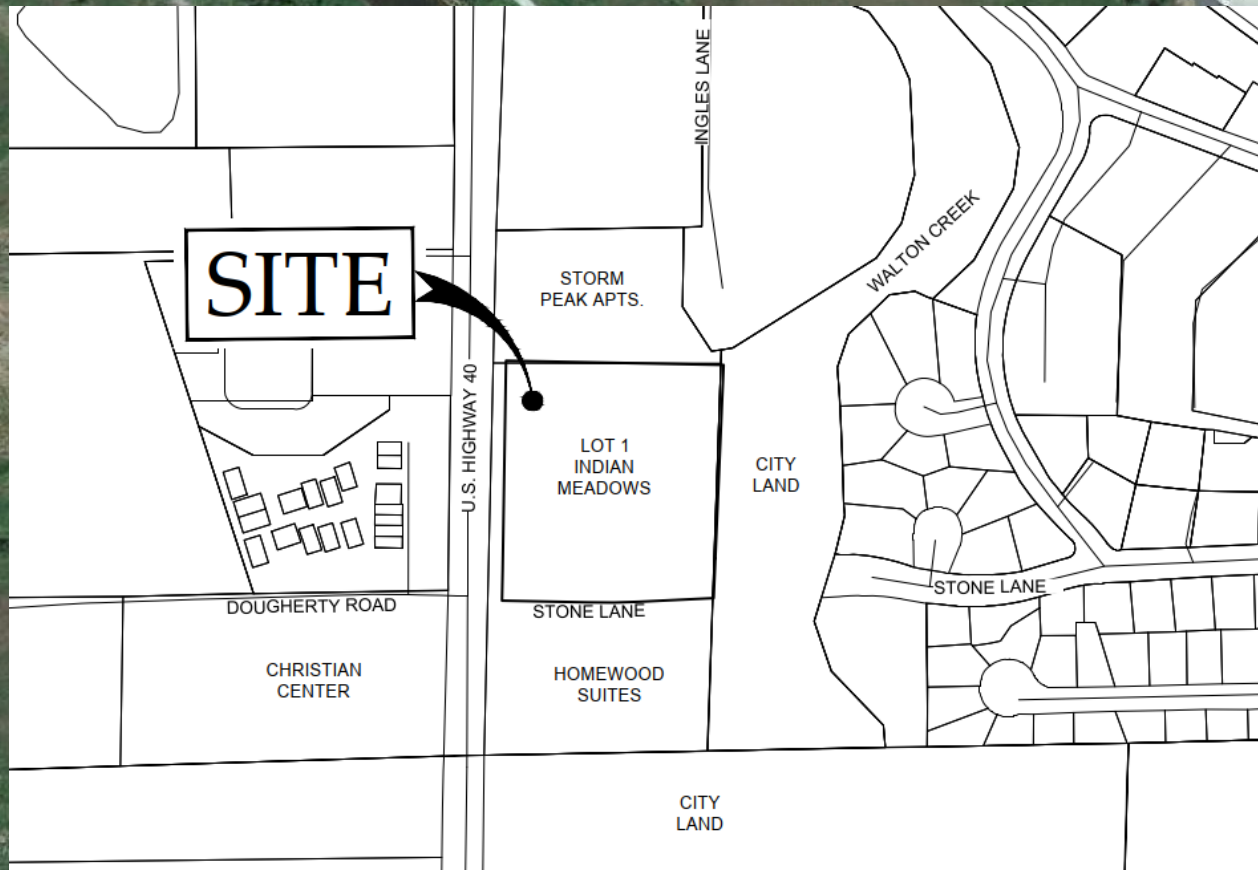


Lot 1, Filing 3, Indian Meadows Subdivision Development Plan



PROJECT
LOCATION

EXISTING CONDITIONS



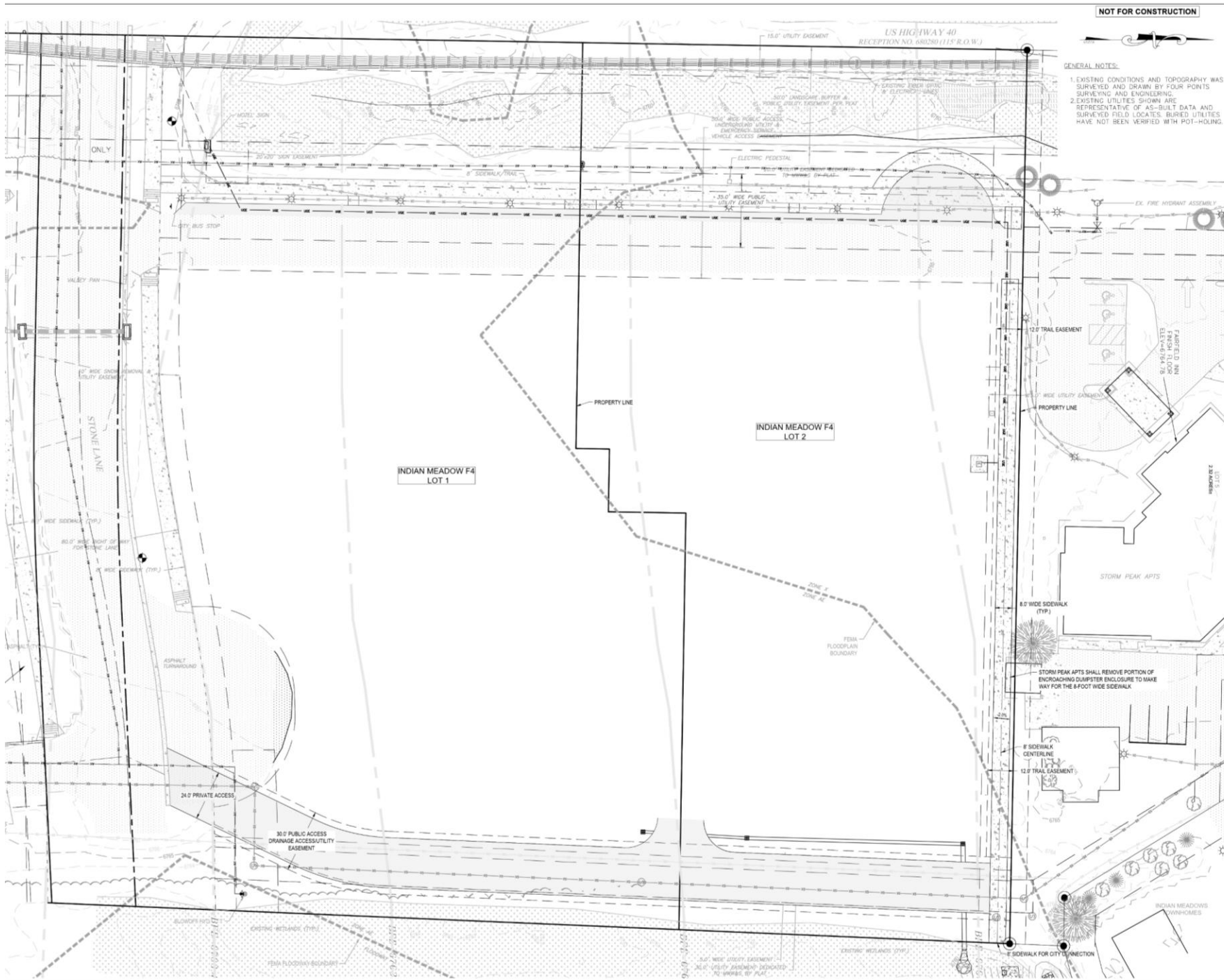


Existing Conditions:

The project is located in the floodzone AE. A HEC-RAS Analysis for the Walton Creek split flow was completed by Wohnrade Civil Engineers and reviewed by the City of Steamboat Springs.

A new culvert was installed on the entry to Stone Lane from US 40 and the Ingles Lane culvert was upsized in Spring 2023 as part of the drainage improvements for the site.

The Walton Creek is a split flow in this area.



Site Plan:

The owner is proposing to develop two independent hotels on the two lots of Indian Meadows Filing No. 4.

The South hotel would break ground in Fall 2023 and currently there are not plans to begin construction on the Lot 2 parcel.

EW/CTB



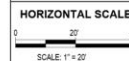
NOT FOR CONSTRUCTION



440 S. Lincoln Ave, Suite 4A
P.O. Box 775966
Steamboat Springs, CO 80487
(970)-871-6772
www.fourpointsse.com

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**HOLIDAY INN EXPRESS & HOTEL B
DEVELOPMENT PLANS
INDIAN MEADOWS FIL. NO. 4
LOTS 1 AND 2
STEAMBOAT SPRINGS, CO 80487**



DATE: 6/30/2023
JOB #: 1448-005
DRAWN BY: AP/WM
DESIGN BY: AP/WM
REVIEW BY: FPSE

UTILITY PLAN


DRAWING-

SHEET NO.

C10

PHASE TWO LANDSCAPE MASTER PLAN

SHEET NO. L1



440 S. Lincoln Ave. Suite 4A
P.O. Box 73986
Steamboat Springs, CO 80487
(970) 871-4772
www.hourpointesur.com

NO.	DATE	REVISIONS	INT
1	6-19-22	BASE LAYOUT & E/FACE DOCUMENTS	ASB
2	6-20-22	BASE LAYOUT & E/FACE DOCUMENTS	ASB
3	6-20-22	UPDATED SITE PLAN FOR PHASE 2	ASB
4	6-20-22	UPDATED SITE PLAN FOR PHASE 2	ASB
5	6-20-22	STONE IN MESSAGE PADDED ROOM	ASB
6	6-20-22	STONE IN MESSAGE PADDED ROOM	ASB

HORIZONTAL SCALE

0'
40'

SCALE: 1" = 20'

CONTOUR INTERVAL = 1 FT

DATE: 04/01/2022

FOR: 145-0000

DRAWN BY: AAS

DESIGN BY: AAS

REVIEW BY: JAL

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Landscape Plan

1 LANDSCAPE AREA DELINEATION PLAN LEGEND

1	PROPERTY BOUNDARY	EXISTING FENCE
2	ADJACENT PROPERTY BOUNDARY	PROPOSED CURB OF CONCRETE
3	EXISTING EASEMENT	BLANK
4	PROPOSED 2" FENCE	PROPOSED FENCE
5	EXISTING EDGE OF GRAVEL	EXISTING SIDE OF GRAVEL
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2 LANDSCAPE PLAN PREPARATION WORKSHEET

Project Name: Lot 1, Indian Meadows (Building K)
100 N. Highway 88 E
Steamboat Springs, CO 80487

Submission Date: 04-01-2022

Applicant: City of Steamboat Springs
818 E. 200th Ave
Steamboat, CO 80487

Project Siting: CC Community Commercial - EC

Project Land Use: Commercial

Landscape Requirements: INTERIOR PARKING LOT LANDSCAPE AREA: 200 sq ft per 1000 sq ft of Building Footprint
FRONTAGE LANDSCAPE AREA (OF DEPOT): 1 tree per 200 Square Feet
INTERIOR LANDSCAPE AREA: 1 tree per 300 Square Feet

Entry Corridor Overlay Zone: Yes, No

INTERIOR PARKING LOT LANDSCAPE AREA CALCULATIONS: 200 sq ft per 1000 sq ft of Building Footprint
PLANT DISTRIBUTION CALCULATIONS: NEW PARKING SPACES (based on current building and development codes)
1481 (81 + 10.2) x 200 = 3,242 sq ft of Interior Parking Landscape Area Required (3,200 sq ft provided)

DISTRIBUTION OF PLANT MATERIAL:
Shrubland Trees Required: 1 per 200 sq ft of building + 11 each (2.07 Gallons) = 11 TOTAL PROVIDED
Shrubland Trees Required: 4 per 200 sq ft of building + 40 each (80 Gallons) = 44 TOTAL PROVIDED

US HIGHWAY 40 LANDSCAPE FRONTAGE AREA CALCULATIONS: 1 Planting per 200 sq ft of Landscape Frontage Area Required
10,200 sq ft = 51 Plantings
Species: Red Cedar

PLANT DISTRIBUTION CALCULATIONS: 40 Total Plantings Required as Calculated Above
Existing Planting Credits = 21 (10 Trees and 11 Shrubs)

Distribution of 21 Total Plantings Required per the City of Steamboat Springs Community Development Code:
Evergreen Trees (100%): 10 PROPOSED
Evergreen Trees (50%): 10 PROPOSED
Evergreen Trees (25%): 10 PROPOSED
40% Deciduous Trees (2.07) = 8
20% Deciduous Trees (2.07) = 4
10% Deciduous Trees (2.07) = 2
21 Total Plantings Provided

STONE LANE LANDSCAPE FRONTAGE AREA CALCULATIONS: 1 Planting per 200 sq ft of Landscape Frontage Area Required
2,700 sq ft = 14 Plantings
Species: Red Cedar

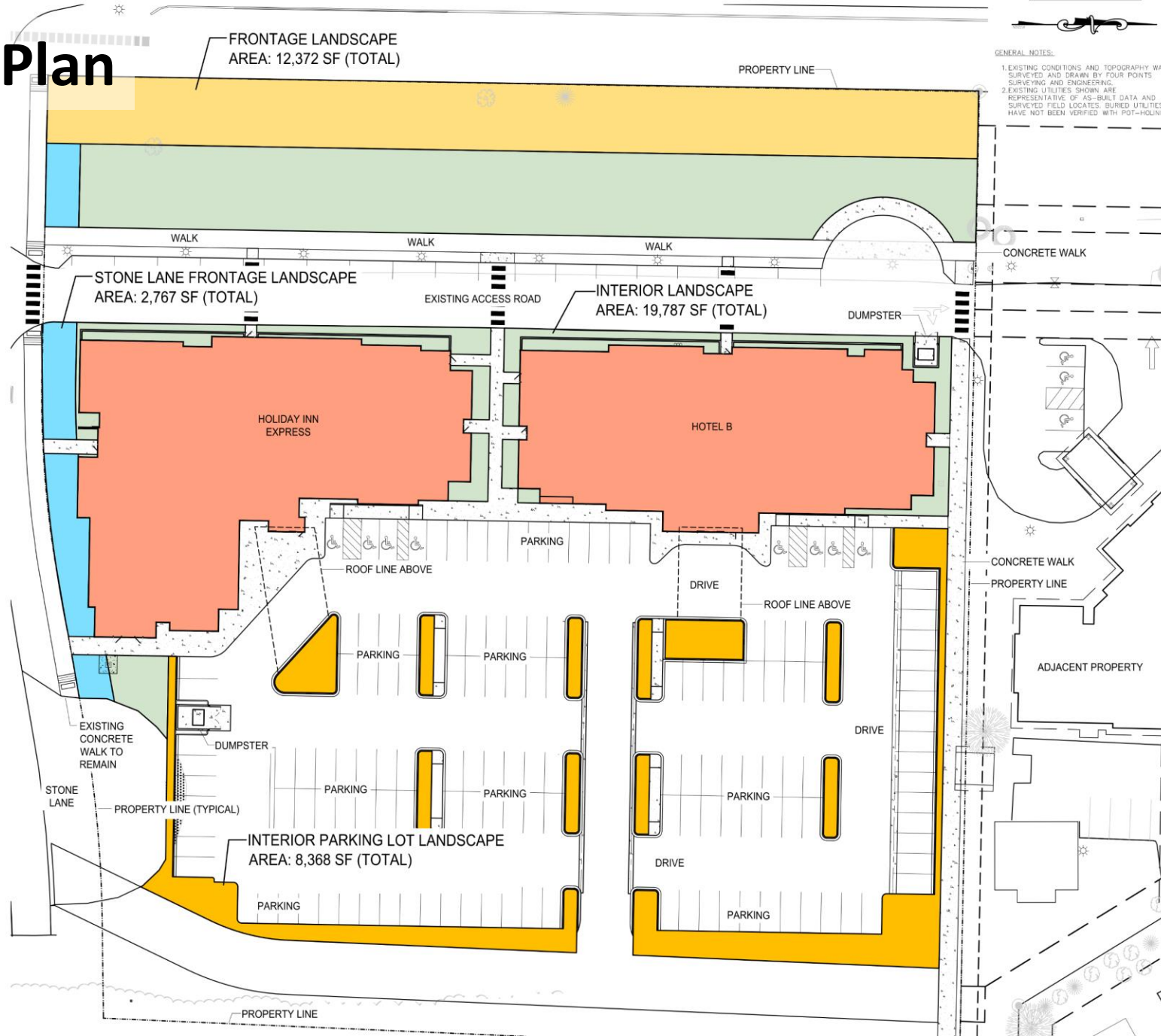
PLANT DISTRIBUTION CALCULATIONS: 14 Total Plantings Required as Calculated Above
Existing Planting Credits = 10 (Existing Aspects)

Distribution of 14 Total Plantings Required per the City of Steamboat Springs Community Development Code:
Evergreen Trees (100%): 10 PROPOSED
Evergreen Trees (50%): 10 PROPOSED
Evergreen Trees (25%): 10 PROPOSED
40% Deciduous Trees (2.07) = 8
20% Deciduous Trees (2.07) = 4
10% Deciduous Trees (2.07) = 2
14 Total Plantings Provided

INTERIOR LANDSCAPE AREA CALCULATIONS: 1 Planting per 300 sq ft of Interior Landscape Area Required
8,368 sq ft = 28 Plantings
Species: Red Cedar

PLANT DISTRIBUTION CALCULATIONS: 40 Total Plantings Required as Calculated Above
Existing Planting Credits = 24 (10 Trees and 14 Shrubs)

Distribution of 40 Total Plantings Required per the City of Steamboat Springs Community Development Code:
Evergreen Trees (100%): 10 PROPOSED
Evergreen Trees (50%): 10 PROPOSED
Evergreen Trees (25%): 10 PROPOSED
40% Deciduous Trees (2.07) = 8
20% Deciduous Trees (2.07) = 4
10% Deciduous Trees (2.07) = 2
40 Total Plantings Provided



NOT FOR CONSTRUCTION

GENERAL NOTES:

1. EXISTING CONDITIONS AND TOPOGRAPHY WAS SURVEYED AND DRAWN BY FOUR POINTS SURVEYING AND ENGINEERING.

2. EXISTING UTILITIES SHOWN ARE REPRESENTATIVE OF AS-BUILT DATA AND SURVEYED FIELD LOCATES. BURIED UTILITIES HAVE NOT BEEN VERIFIED WITH POT-HOLING.

FOUR POINTS
SURVEYING ENGINEERING

DATE	REVISIONS	INT
04-01-2022	1	BASE MAP UPDATE & TAG COMMENTS
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04-01-2022	100	BASE MAP UPDATE & TAG COMMENTS

HOLIDAY INN EXPRESS & HOTEL B
LOT 1, INDIAN MEADOWS FILING NO. 3
STEAMBOAT SPRINGS, CO 80487

HORIZONTAL SCALE
0 20' 40'
SCALE: 1" = 20'

CONTOUR INTERVAL = 1 FT

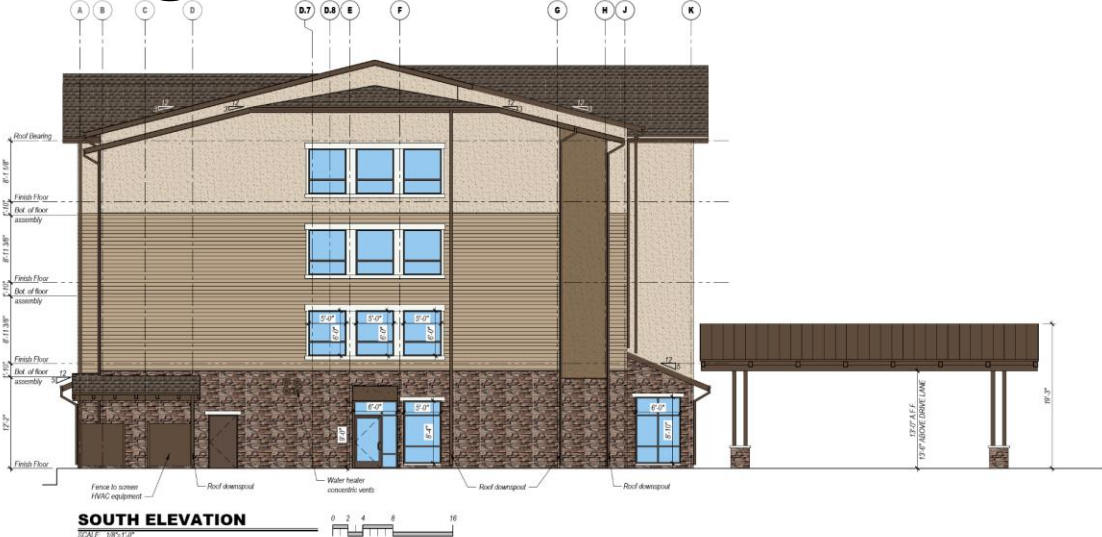
DATE: 04-01-2022
JOB #: 1448-003
DRAWN BY: AAS
DESIGNED BY: AAS
REVIEW BY: RL

PHASE TWO
LANDSCAPE AREA
DELINEATION PLAN

DRAWING: L2

SHEET NO.

Renderings



COLOR LEGEND

- EPS R1: Medium sand texture, Color match to Benjamin Moore: 1031 Carlie Cream
- EPS R2: Medium sand texture, Color match to Benjamin Moore: 1036 Deer Trail
- STONE VENEER: Connacht Stone "Dark Slack - Coastal Brown" Install over continuous insulation as per NCMA ASTM C1780 installation guide, figure 4b or equal.
- SIDING: Central Co-201 Horizontal Orientation, Color match to Benjamin Moore: 1031 Hillborough Drive
- WINDOW TRIM: Color match to Benjamin Moore: OC-63 Chantilly Lane
- ACCENT: Fascia, Gables, bays, gutters and downspouts. Color match to Benjamin Moore: 2117-01 Cloudy Blue Brown
- ROOFING: Asphalt Shingles, GAF Timberline HDZ, Color: "Mission Brown"

GENERAL NOTES:

- Door and window schedules for door and window types. Doors, windows and louvers to be prefabricated. All windows to be factory assembled with thermally broken frames.
- Provide blocking and joists for all exterior signage. All signage shall be as per hotel standards (size, color, etc.). Signage shall be aluminum characters, internally illuminated (I.L.D.), with colored acrylic faces. Final sign package shall be submitted under separate sign permit for approval. Coordinate installation of exterior signage prior to closing up the walls.
- Shower system to be EPS typical. Provide "Y" joints as shown. Install as per manufacturer's requirements and details. Colors shall match paint colors noted.
- Medium resistant board (MRB) shall be field applied, typical throughout. Install as per manufacturer's requirements based on the trapes to be used. Utilize sheathing tape, flashing membrane, drain edge tape, and other accessories as necessary for a complete single source system.
- Install stone as per manufacturer's recommendations. Provide a 3/8" slip barrier between stone base and MRB if required by MRB manufacturer.
- Metal gutters and downspouts shall be pre-finished and shall match fascia color, typical. Pitch outlets away from building foundation.
- Building lighting is primarily via wall mounted surface LED lights.

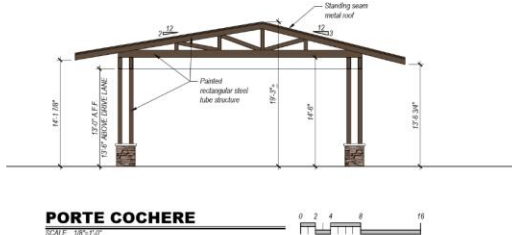
TRANSPARENCY CALCULATIONS

NOTE: STORY HEIGHT MEASUREMENTS TAKEN FROM FINISH FLOOR TO BOTTOM OF FLOOR/CEILING OR ROOF/CEILING ASSEMBLY ABOVE.

GROUND FLOOR FRONT FACADE (LR 40) - 40% REQUIRED
TOTAL SURFACE AREA = 104' X 12' 11" (STORY HEIGHT) = 1,239.3 SQ. FT.
TOTAL TRANSPARENT AREA PROVIDED = 896.7 SQ. FT. (60.1%)

GROUND FLOOR OTHER FACADES - 30% REQUIRED
TOTAL SURFACE AREA = 140' X 12' 11" (STORY HEIGHT) = 1,705.2 SQ. FT.
TOTAL TRANSPARENT AREA PROVIDED = 1,275.9 SQ. FT. (74.8%)

UPPER FLOOR FACADES (ALL SIDES, 2ND STORY CALCULATIONS) - 25% REQUIRED
TOTAL SURFACE AREA = 322' X 9' (STORY HEIGHT) = 4098 SQ. FT.
TOTAL TRANSPARENT AREA PROVIDED = 1,234.4 SQ. FT. (29.8%)



DESIGN 2 FUNCTION, LLC
P.O. BOX 800487
ALBUQUERQUE, NM 87100-3368
info@design2function.com
505.873.6881
© 2022 Design 2 Function, LLC

Independent Hotel B
Site Development Package
3300 S. LINCOLN AVE
STEAMBOAT SPRINGS, CO 80487

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DRAWING ISSUE DATES:
2023.03.01 Site Development Package
2023.03.01 Elevation Color Change

DRAWING REVISION DATES:
2023.03.01 Elevation Color Change

PROJECT MANAGER:
NICK PROSE
DESIGN BY:
NAP

SHEET TITLE:
SOUTH AND EAST ELEVATIONS

A2.1B
SHEET: 18 OF 20

Renderings



Renderings



Renderings



Renderings



[illegible][illegible]

HOLIDAY INN EXPRESS & HOTEL B
DEVELOPMENT PLANS
INDIAN MEADOWS FILL NO. 4
LOTS 1 AND 2
STEAMBOAT SPRINGS, CO 80487

HORIZONTAL SCALE



CONTOUR INTERVAL = 1 FT

DATE: 5/25/2023
JOB #: 1448-005
DRAWN BY: AP/WM
DESIGN BY: AP/WM
REVIEW BY: FPSE

IF THIS DRAWING IS PRESENTED IN A
FORMAT OTHER THAN 24" X 36", THE
GRAPHIC SCALE SHOULD BE UTILIZED

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GRADING & DRAINAGE PLAN

DRAW

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SHEET NO.

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1997, 1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 26

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PUBLIC OUTREACH

Floodplain Development

Landscape Screening

Conditional Use
Lighting