

STEAMBOAT BASECAMP - DEVELOPMENT PLAN SUBMISSION

1901 CURVE PLAZA STEAMBOAT SPRINGS, COLORADO 80487

VICINITY MAP

 \bigcirc



PROJECT TEAM

OWNER

MAY RIEGLER PROPERTIES 2201 WISCONSIN AVENUE NW SUITE 200 WASHINGTON, DC 20007

PO BOX 881330 STEAMBOAT SPRINGS, CO 80488

ARCHITECT

KASA 3318 N. COLUMBUS ST. ARLINGTON, VA 22207

CIVIL ENGINEER

LANDMARK ENGINEERS & SURVEYORS 141 9TH STREET PO BOX 774943 STEAMBOAT SPRINGS, CO 80477

PROJECT SUMMARY TABLE

GROSS FLOOR AREA: NET FLOOR AREA: UNIT SIZE: NUMBER OF UNITS: ZONING: FRONTAGE:

USE BREAKDOWN PRINCIPAL USE ACCESSORY USES

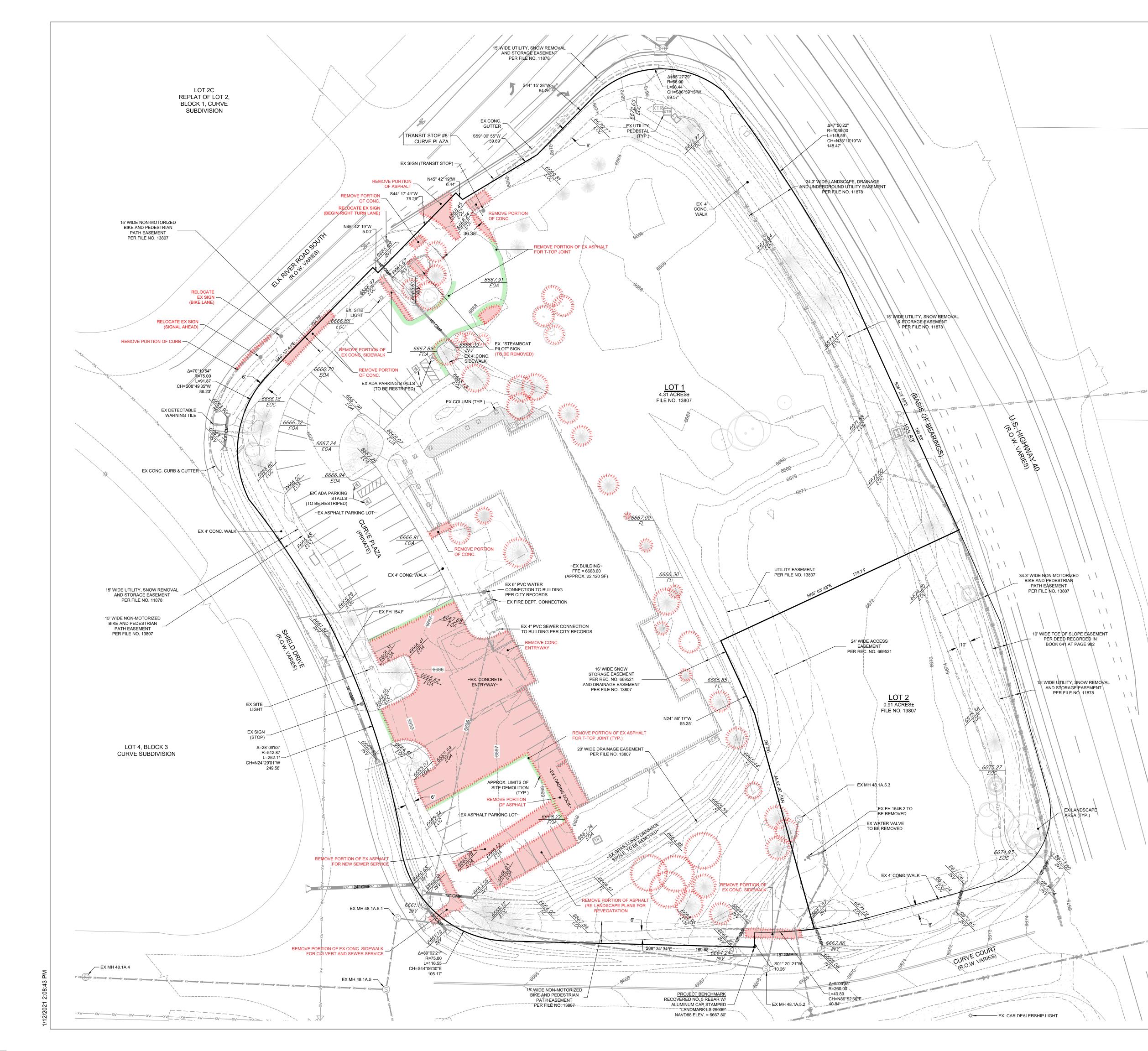
STANDARDS LOT AREA LOT COVERAGE OPEN SPACE FLOOR AREA RATIO OVERALL BLDG HT AVERAGE PLATE HT FRONTAGE AREA HT FRONT SETBACK SIDE SETBACK UPPER STORY SETBACK **REAR SETBACK** SECOND STORY INTENSITY PARKING SNOW STORAGE

64,073 GSF 52,142 NSF 616 SF AVERAGE 75 CS CURVE CT: 263' / SHIEL

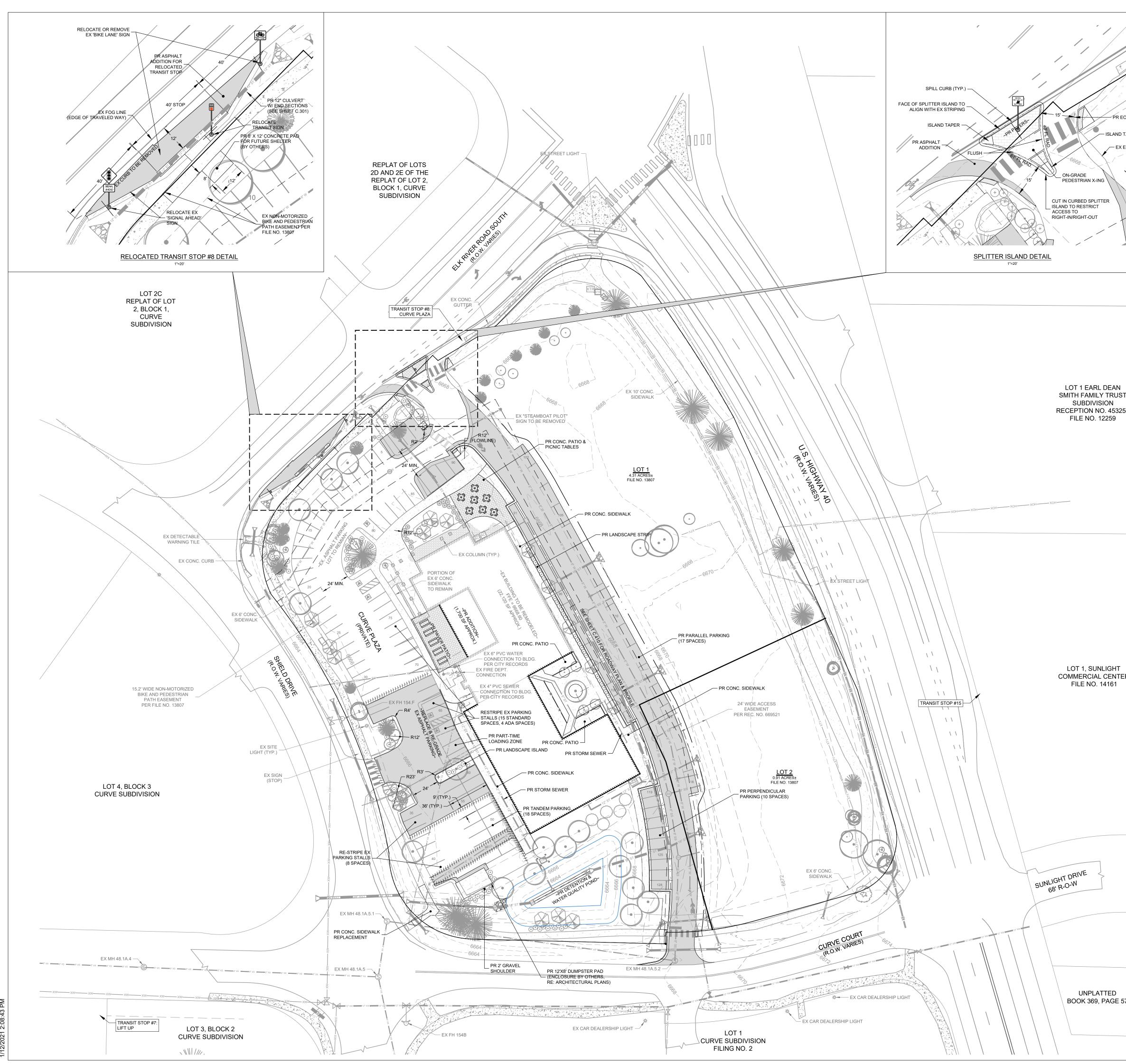
DESCRIPTION RESIDENTIAL COMMERCIAL

> ZONE DISTRICT NO MAX/NO MIN NO MAX/NO MIN 15% MIN NO MAX 63' MAX N/A 26' MIN 5 FT MIN 7.5 FT MIN OVER 45' OR 3 ST 7.5 FT MIN 50% MINIMUM 128 SPACES (SEE 29,301 SF

DRAWING LIST			APPROVAL	STAMPS:
G 1.0 COVER SHEET C.003 EXISTING CONDITIO C.100 SITE PLAN C.200 UTILITY PLAN C.210 WATER MAIN PLAN C.211 WATER MAIN PLAN C.212 WATER MAIN PLAN	I - OVERALL I & PROFILE	EXHIBIT	K	. Plan Set
 C.213 WATER MAIN PLAN C.214 WATER MAIN PLAN C.221 SANITARY SEWER P C.301 DETAILED GRADING C.302 DETAILED GRADING C.302 DETAILED GRADING C.303 STORM SEWER PLAN C.311 STORM SEWER PLAN C.400 MATERIALS, SIGNAN C.401 MATERIALS, SIGNAN C.401 MATERIALS, SIGNAN C.401 ROADWAY PLAN & C.700 EASEMENT EXHIBIT A 1.1 EXISTING GROUND A 1.2 EXISTING ROOF PLAN A 2.1 GROUND LEVEL PLAN A 2.1 GROUND LEVEL PLAN A 2.2 TYPICAL FLOOR PLAN A 2.3 FIFTH FLOOR PLAN A 2.4 ROOF PLAN A 2.5 ENLARGED UNIT PL A 3.01 EXISTING SOUTH AN A 3.02 EXISTING NORTH A A 3.11 PROPOSED SOUTH A 3.12 PROPOSED NORTH A 3.12 PROPOSED PROJEC A 4.3 PROPOSED PROJEC A 4.4 PROPOSED PROJEC 	I & PROFILE AN & PROFILE AN & PROFILE PLAN - OFFSITE PLAN - ONSITE N - OVERALL N & PROFILE GE, & STRIPING PLAN GE, & STRIPING PLAN PROFILE LEVEL PLAN NN AN AN AN AN AN AN AN AN AN AN AN A	IS RING RING RING RING RING RING	OWNER May Riegle 2201 Wisc Washingto PO Box 88 Steamboat ARCHITECT KEVIN & A 3318 N. Cc Arlington, V T.312.636. www.kasa- STRUCTURA M.E.P. & F.P. M.E.P. & F.P. CIVIL ENGIN LANDMAR 141 9th Str PO Box 77 Steamboat T.970.871.	Development Plan Submittal #4 Development Plan Submittal #3 Development Plan Submittal #2 Development #4 Development Plan Submittal #4 Development #4 Sakdo SPERRY ARCHITECTURE Development #4 Sakdo SPERRY ARCHITECTURE Sakdo SPERRY ARCHITECTURE Sakdo SPERRY ARCHITECTURE ARCHITECT Skadda Springs, Colorado 80477 Sakdo SPERRY ARCHITECTURE
63' / SHIELD DR: 350' / ELK	RIVER RD: 380' / HW`	Y 40: 377'	GENERAL C	ONTRACTOR
N SQUARE FO 55,934 SF 8,139 SF	DOTAGE # OF 75 -	UNITS		Steamboat
DISTRICT REQMTS X/NO MIN X/NO MIN IN X X	PROPOSED 2.64 ACRES 19.7% 52.67% 0.58 FAR 53'-3"	VARIANCE? (N N N N N	Y/N) DRAWING TI CO	Basecamp 1901 Curve Plaza Steamboat Springs, CO TLE VER EET
N IIN MIN 45' OR 3 STORIES MIN INIMUM	27'-7" (EXIST) / 51'- COMPLIES COMPLIES VARIES COMPLIES NEW CONST: 100%	N N Y N	SEAL	DATE: 03/27/20 DRAWN BY: CHECKED BY: PROJECT NO:
PACES (SEE NARRATIVE) SF	128 SPACES 32,478 SF	N N	DRAWING N	G 1.0

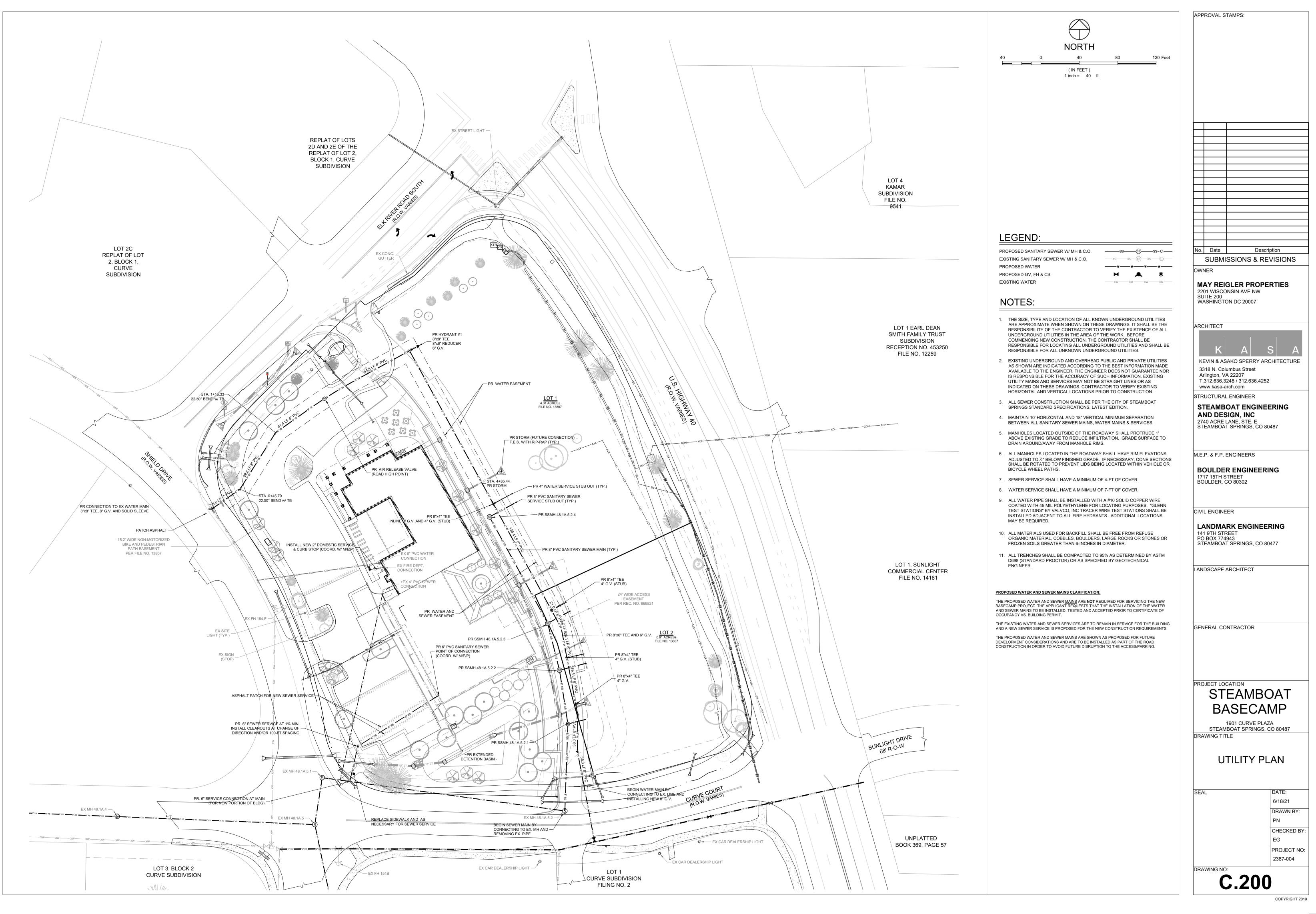


	60 90 Feet	
(IN FEET) 1 inch = 30 ft.		
LEGEND:		
PROPERTY BOUNDARY		
ADJACENT PROPERTY BOUNDARY EASEMENT		
FOUND MONUMENT FOUND SECTION CORNER		
BUILDING ROOF LINE/OVERHANG	<u> </u>	
DECK WALL		
FENCE MAJOR CONTOUR	<u> </u>	
MINOR CONTOUR ASPHALT		
CONCRETE GRAVEL		No. Date Description
SIGN SANITARY SEWER		SUBMISSIONS & REVISION
SANITARY SEWER MANHOLE AND CLEANOUT	S O	MAY REIGLER PROPERTIES
WATER LINE FIRE HYDRANT, GATE VALVE & CURB STOP	~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	2201 WISCONSIN AVE NW SUITE 200 WASHINGTON DC 20007
GAS GAS METER AND MANHOLE/VAULT	XGXGXG	
CABLE CABLE PEDESTAL	XTVXTV	ARCHITECT
FIBER OPTIC TELEPHONE	XF0 XF0 XF0 XT XT XT	
TELEPHONE PEDESTAL AND MANHOLE/VAULT ELECTRIC	T T 	
ELECTRIC PED, JUNCTION BOX AND METER LIGHT POLE AND LIGHT POLE W/ MAST		KEVIN & ASAKO SPERRY ARCHITECT 3318 N. Columbus Street
PROPOSED DITCH / SWALE UTILITY POLE AND GUY WIRE	хон хон хон — хон	Arlington, VA 22207 T.312.636.3248 / 312.636.4252 www.kasa-arch.com
AIR CONDITIONING UNIT DITCH/SWALE		STRUCTURAL ENGINEER
CULVERT W/ END SECTIONS		STEAMBOAT ENGINEERING AND DESIGN, INC
FLOW ARROWS		2740 ACRE LANE, STE. E STEAMBOAT SPRINGS, CO 80487
CONIFEROUS AND DECIDUOUS TREE SITE FEATURE T.B.R (COLORED)		
PAVEMENT TO BE MILLED (COLORED)		M.E.P. & F.P. ENGINEERS
		BOULDER ENGINEERING
NOTES:		
ALL REFERENCES HEREON TO BOOKS, PAGES NUMBERS AND FILE NUMBERS ARE TO PUBLIC		BOULDER ENGINEERING
ALL REFERENCES HEREON TO BOOKS, PAGES	DOCUMENTS FILED IN THE OR NOTED HEREON WERE D WERE NOT EXAMINED AS	BOULDER ENGINEERING 1717 15TH STREET BOULDER, CO 80302
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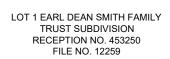
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	ELECTRIC —xe—xe—xe—xe— ELECTRIC PED, JUNCTION BOX AND METER Image: Comparison of the second seco	No. Date Description SUBMISSIONS & REVISIONS
	LIGHT POLE AND LIGHT POLE W/ MAST	OWNER
	UTILITY POLE AND GUY WIRE DITCH/SWALE	MAY REIGLER PROPERTIES
	EXISTING CULVERT W/ FES	2201 WISCONSIN AVE NW SUITE 200
	PROPOSED CULVERT W/ FES	WASHINGTON DC 20007
т	NOTES:	ARCHITECT
50		
	1. ALL REFERENCES HEREON TO BOOKS, PAGES, FILES, RECEPTION NUMBERS AND FILE NUMBERS ARE TO PUBLIC DOCUMENTS FILED IN THE RECORDS OF ROUTT COUNTY, COLORADO.	KEVIN & ASAKO SPERRY ARCHITECTURE
	2. EASEMENTS AND PUBLIC DOCUMENTS SHOWN OR NOTED HEREON WERE	3318 N. Columbus Street
	EXAMINED AS TO LOCATION AND PURPOSE AND WERE NOT EXAMINED AS TO RESERVATIONS, RESTRICTIONS, CONDITIONS, OBLIGATIONS, TERMS, OR AS TO THE RIGHT TO GRANT THE SAME.	Arlington, VA 22207 T.312.636.3248 / 312.636.4252 www.kasa-arch.com
	3. UTILITIES ARE SHOWN PER APPARENT SURFACE EVIDENCE TOGETHER	STRUCTURAL ENGINEER
	WITH RECORD INFORMATION. IF MORE ACCURATE LOCATIONS OF UNDERGROUND UTILITIES ARE REQUIRED, THE UTILITY WILL HAVE TO BE VERIFIED BY FIELD POTHOLING. LANDMARK CONSULTANTS, INC. AND THE	STEAMBOAT ENGINEERING
	SURVEYOR OF RECORD SHALL NOT BE LIABLE FOR THE LOCATION OF OR THE FAILURE TO NOTE THE LOCATION OF NON-VISIBLE UTILITIES.	AND DESIGN, INC 2740 ACRE LANE, STE. E
	4. ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND MONUMENT OR ACCESSORY,	STEAMBOAT SPRINGS, CO 80487
	COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508, C.R.S.	
	5. THIS SITE CONTAINS A CALCULATED AREA OF 4.31 ACRES.	M.E.P. & F.P. ENGINEERS
	6. NO PORTION OF THE SUBJECT PROPERTY IS LOCATED WITHIN SPECIAL FLOOD HAZARD AREAS. AS DETERMINED BY GRAPHIC INTERPRETATION	BOULDER ENGINEERING
	OF THE F.E.M.A FLOOD INSURANCE RATE MAP NUMBERS 08107C0876D & 08107C0713D, WITH AN EFFECTIVE DATE OF FEBRUARY 4, 2005.	BOULDER, CO 80302
	7. THE MEASURED DISTANCES SHOWN HEREON ARE IN U.S. SURVEY FEET.	
	8. THE PRESENTED GEOMETRY OF THE RELOCATED TRANSIT STOP ACCOMMODATES AASHTO CITY-BUS PER 2011 STANDARDS.	CIVIL ENGINEER
	9. ALL WORK WITH IN THE CITY OF STEAMBOAT SPRINGS RIGHT-OF-WAY SHALL BE SUBJECT TO PUBLIC IMPROVEMENTS CRITERIA.	LANDMARK ENGINEERING
	PROPERTY DESCRIPTION:	141 9TH STREET PO BOX 774943
	10. LOT 1, WORLDWEST SUBDIVSION, AS RECORDED AT FILE NO. 13807 IN THE CITY OF STEAMBOAT SPRINGS, ROUTT COUNTY, COLORADO.	STEAMBOAT SPRINGS, CO 80477
ER		LANDSCAPE ARCHITECT
	SPACES REQ'D SPACES PROVIDED 128 (5 ADA ACCESSIBLE) 128 (5 ADA ACCESSIBLE)	
		GENERAL CONTRACTOR
		STEAMBOAT
		BASECAMP
		1901 CURVE PLAZA STEAMBOAT SPRINGS, CO 80487
		DRAWING TITLE
		SITE PLAN
		SEAL DATE:
		6/18/21
		DRAWN BY:
		PN CHECKED BY:
-7		EG
57		PROJECT NO:
		2387-004 DRAWING NO:
		C.100
		0.100
		COPYRIGHT 2019



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LOT 1, SUNLIGHT COMMERCIAL CENTER FILE NO. 14161

/ /

11

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LEGEND:

PROPOSED SANITARY SEWER W/ MH & C.O. EXISTING SANITARY SEWER W/ MH & C.O. PROPOSED WATER PROPOSED GV, FH & CS EXISTING WATER

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NOTES:

- 1. THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK. BEFORE COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UNKNOWN UNDERGROUND UTILITIES.
- 2. EXISTING UNDERGROUND AND OVERHEAD PUBLIC AND PRIVATE UTILITIES AS SHOWN ARE INDICATED ACCORDING TO THE BEST INFORMATION MADE AVAILABLE TO THE ENGINEER. THE ENGINEER DOES NOT GUARANTEE NOR IS RESPONSIBLE FOR THE ACCURACY OF SUCH INFORMATION. EXISTING UTILITY MAINS AND SERVICES MAY NOT BE STRAIGHT LINES OR AS INDICATED ON THESE DRAWINGS. CONTRACTOR TO VERIFY EXISTING HORIZONTAL AND VERTICAL LOCATIONS PRIOR TO CONSTRUCTION.
- 3. ALL SEWER CONSTRUCTION SHALL BE PER THE CITY OF STEAMBOAT SPRINGS STANDARD SPECIFICATIONS, LATEST EDITION.
- 4. MAINTAIN 10' HORIZONTAL AND 18" VERTICAL MINIMUM SEPARATION BETWEEN ALL SANITARY SEWER MAINS, WATER MAINS & SERVICES.
- MANHOLES LOCATED OUTSIDE OF THE ROADWAY SHALL PROTRUDE 1' ABOVE EXISTING GRADE TO REDUCE INFILTRATION. GRADE SURFACE TO DRAIN AROUND/AWAY FROM MANHOLE RIMS.
- 6. ALL MANHOLES LOCATED IN THE ROADWAY SHALL HAVE RIM ELEVATIONS ADJUSTED TO $\frac{1}{4}$ " BELOW FINISHED GRADE. IF NECESSARY, CONE SECTIONS SHALL BE ROTATED TO PREVENT LIDS BEING LOCATED WITHIN VEHICLE OR BICYCLE WHEEL PATHS.
- 7. SEWER SERVICE SHALL HAVE A MINIMUM OF 4-FT OF COVER.
- 8. WATER SERVICE SHALL HAVE A MINIMUM OF 7-FT OF COVER.
- 9. ALL WATER PIPE SHALL BE INSTALLED WITH A #10 SOLID COPPER WIRE COATED WITH 45 MIL POLYETHYLENE FOR LOCATING PURPOSES. "GLENN TEST STATIONS" BY VALVCO, INC TRACER WIRE TEST STATIONS SHALL BE INSTALLED ADJACENT TO ALL FIRE HYDRANTS. ADDITIONAL LOCATIONS MAY BE REQUIRED.
- 10. ALL MATERIALS USED FOR BACKFILL SHALL BE FREE FROM REFUSE ORGANIC MATERIAL, COBBLES, BOULDERS, LARGE ROCKS OR STONES OR FROZEN SOILS GREATER THAN 6-INCHES IN DIAMETER.
- 11. ALL TRENCHES SHALL BE COMPACTED TO 95% AS DETERMINED BY ASTM D698 (STANDARD PROCTOR) OR AS SPECIFIED BY GEOTECHNICAL ENGINEER.

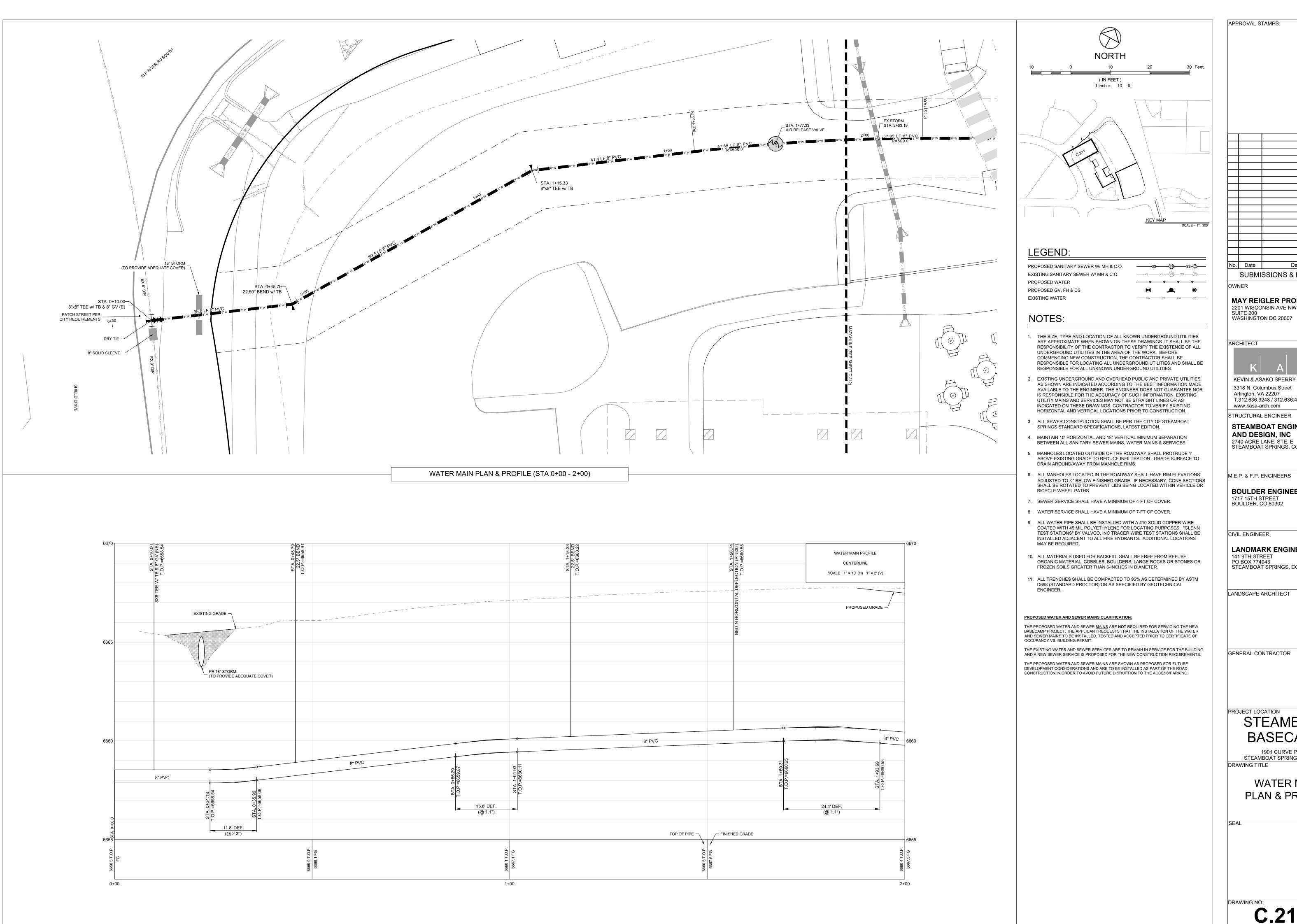
PROPOSED WATER AND SEWER MAINS CLARIFICATION:

THE PROPOSED WATER AND SEWER <u>MAINS</u> ARE **NOT** REQUIRED FOR SERVICING THE NEW BASECAMP PROJECT. THE APPLICANT REQUESTS THAT THE INSTALLATION OF THE WATER AND SEWER MAINS TO BE INSTALLED, TESTED AND ACCEPTED PRIOR TO CERTIFICATE OF OCCUPANCY VS. BUILDING PERMIT.

THE EXISTING WATER AND SEWER SERVICES ARE TO REMAIN IN SERVICE FOR THE BUILDING AND A NEW SEWER SERVICE IS PROPOSED FOR THE NEW CONSTRUCTION REQUIREMENTS. THE PROPOSED WATER AND SEWER MAINS ARE SHOWN AS PROPOSED FOR FUTURE DEVELOPMENT CONSIDERATIONS AND ARE TO BE INSTALLED AS PART OF THE ROAD CONSTRUCTION IN ORDER TO AVOID FUTURE DISRUPTION TO THE ACCESS/PARKING.

No. Date De	scription			
SUBMISSIONS & F				
MAY REIGLER PRO	PERTIES			
2201 WISCONSIN AVE NW SUITE 200 WASHINGTON DC 20007				
ARCHITECT				
K A	S A			
KEVIN & ASAKO SPERRY 3318 N. Columbus Street				
Arlington, VA 22207 T.312.636.3248 / 312.636.4 www.kasa-arch.com	252			
STRUCTURAL ENGINEER	EERING			
AND DESIGN, INC 2740 ACRE LANE, STE. E STEAMBOAT SPRINGS, CC				
M.E.P. & F.P. ENGINEERS				
BOULDER ENGINEE 1717 15TH STREET BOULDER, CO 80302	RING			
CIVIL ENGINEER				
LANDMARK ENGINE 141 9TH STREET PO BOX 774943 STEAMBOAT SPRINGS, CO	-			
LANDSCAPE ARCHITECT				
GENERAL CONTRACTOR				
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APPROVAL STAMPS:



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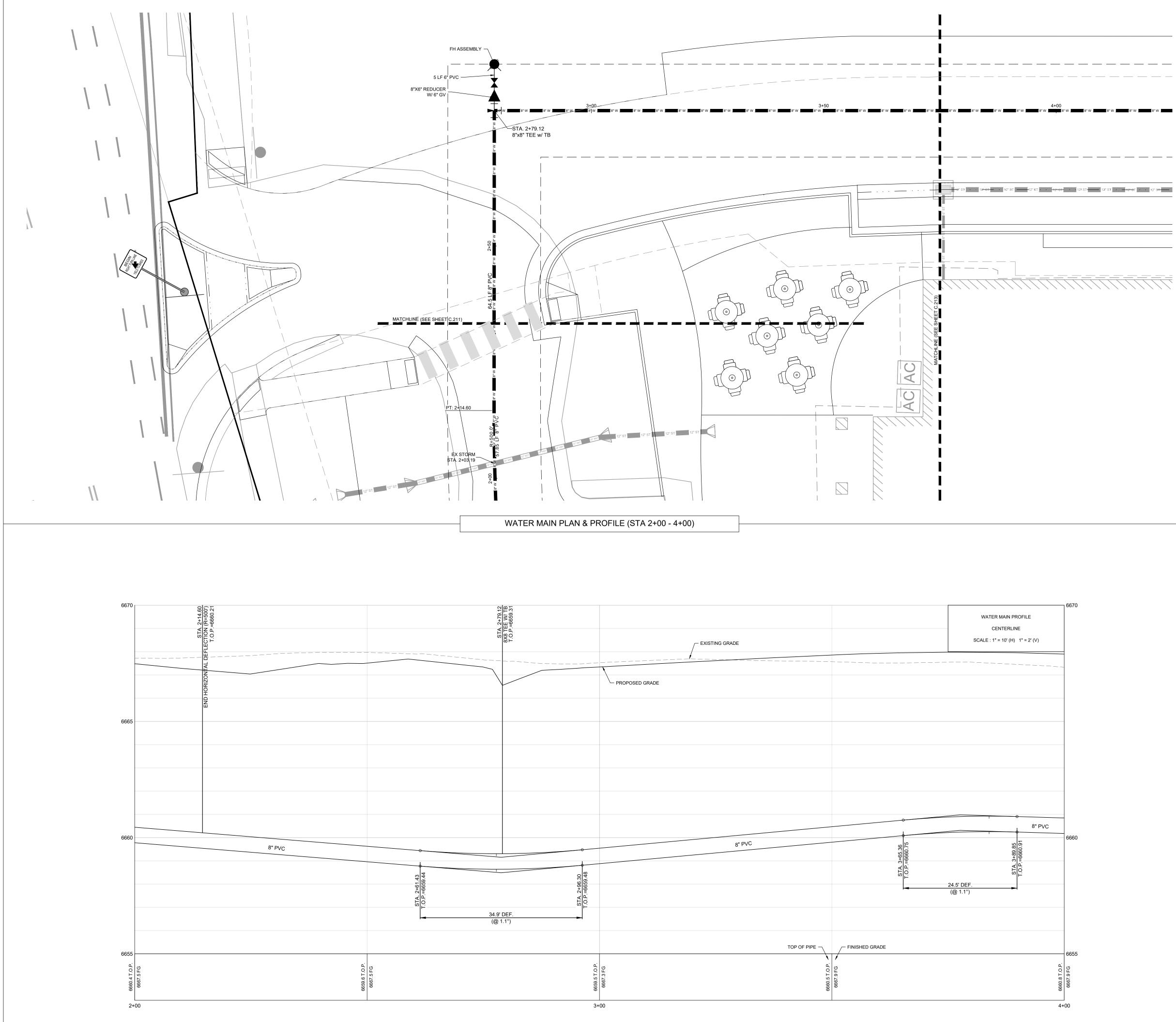
GENERAL CONTRACTOR

PROJECT LOCATION STEAMBOAT BASECAMP

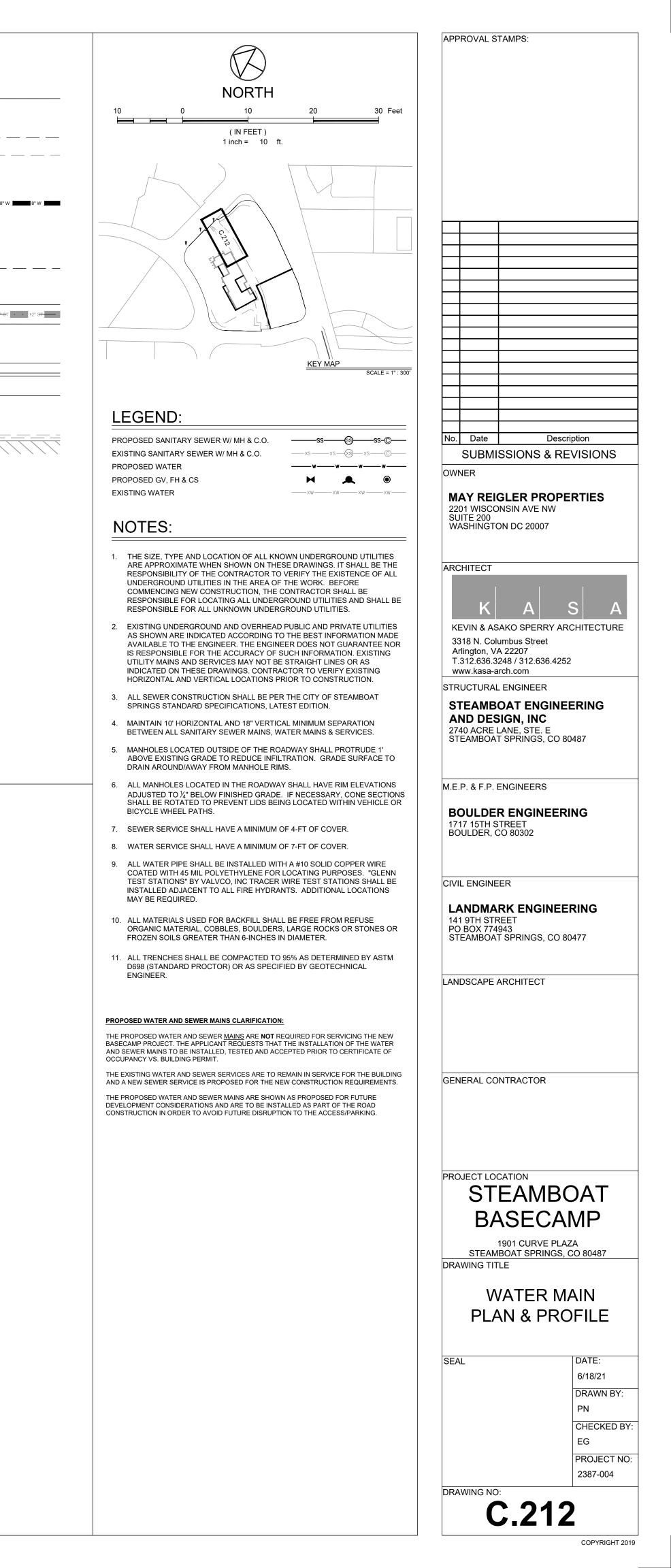
1901 CURVE PLAZA STEAMBOAT SPRINGS, CO 80487

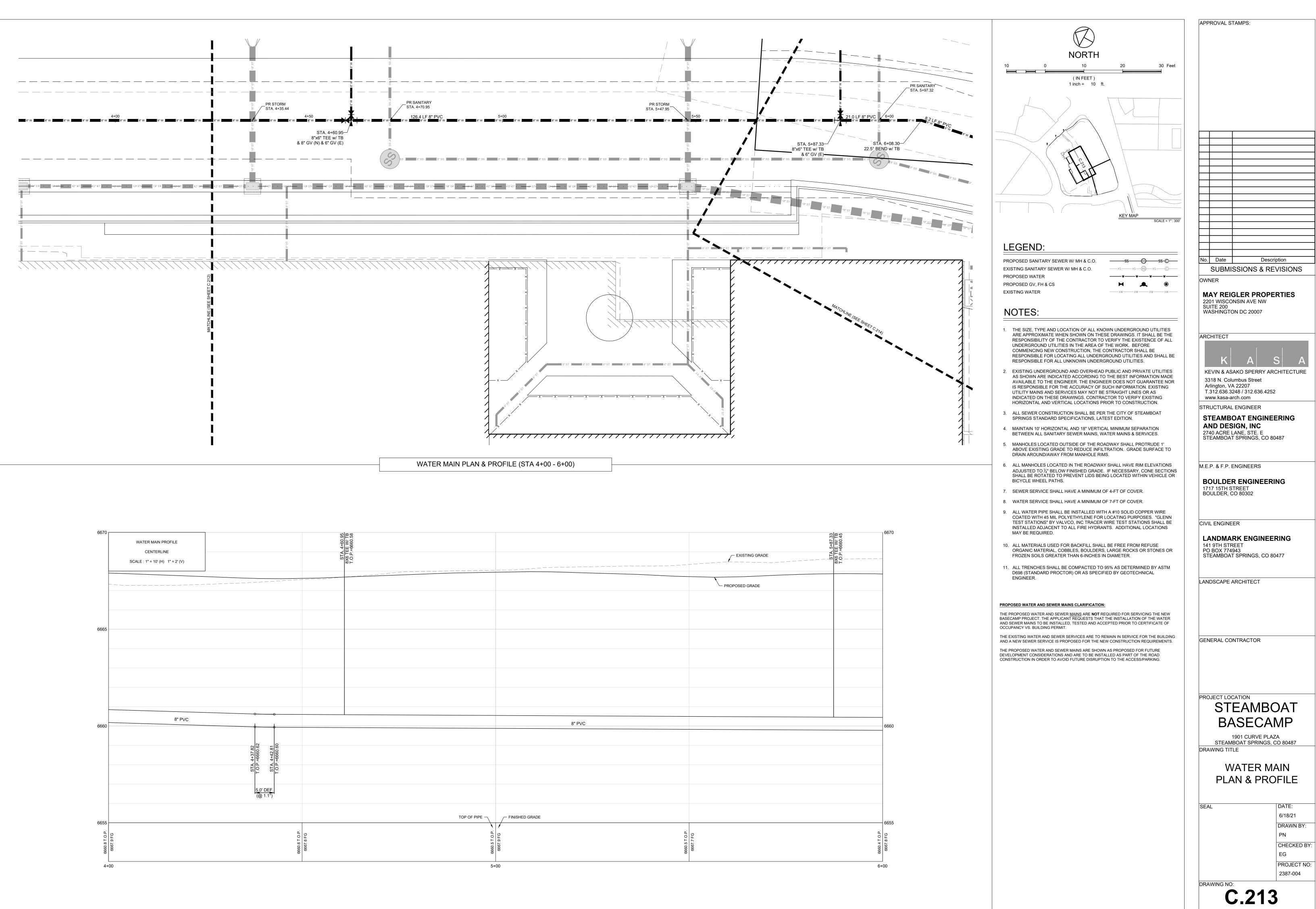
WATER MAIN PLAN & PROFILE

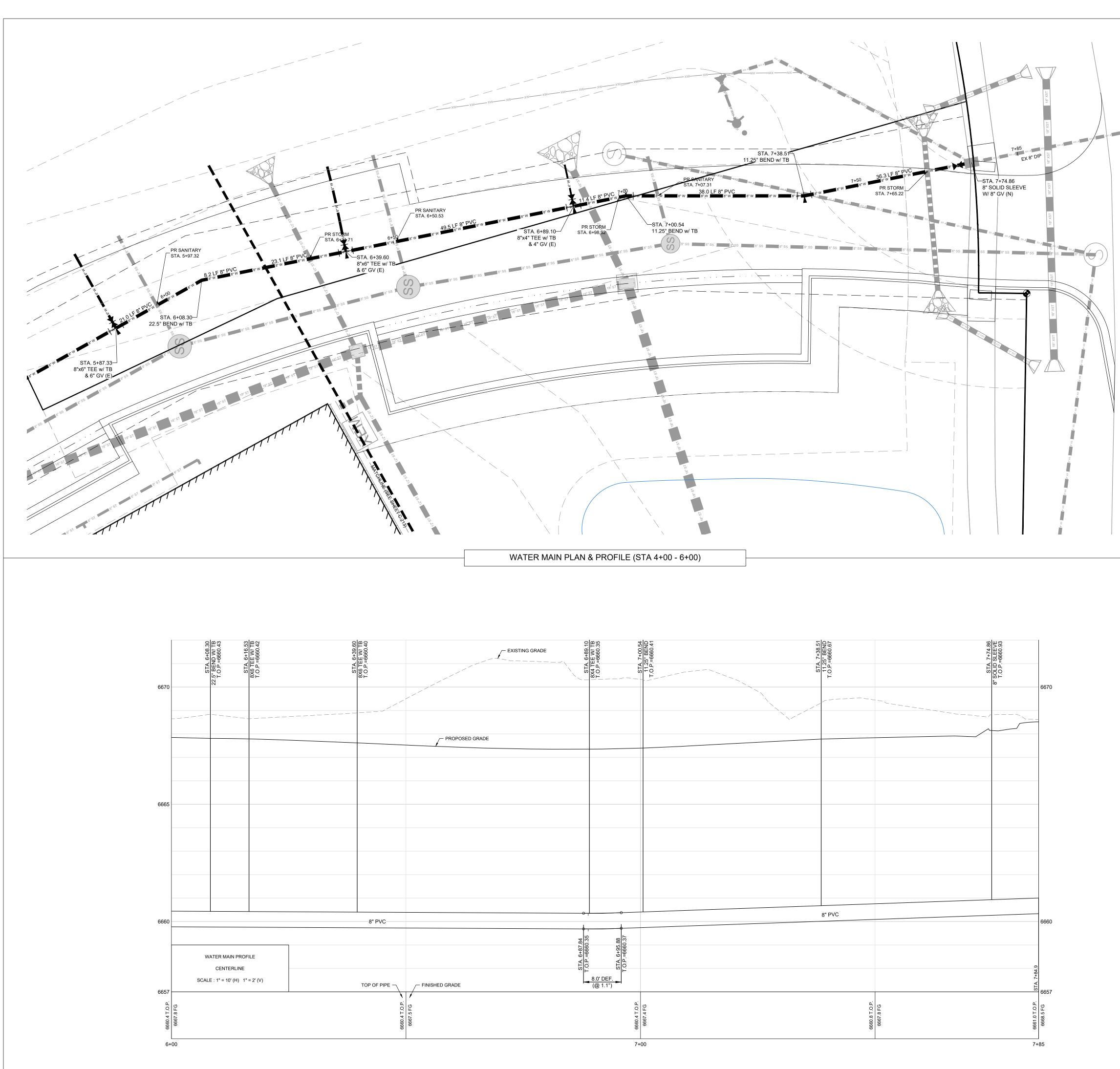
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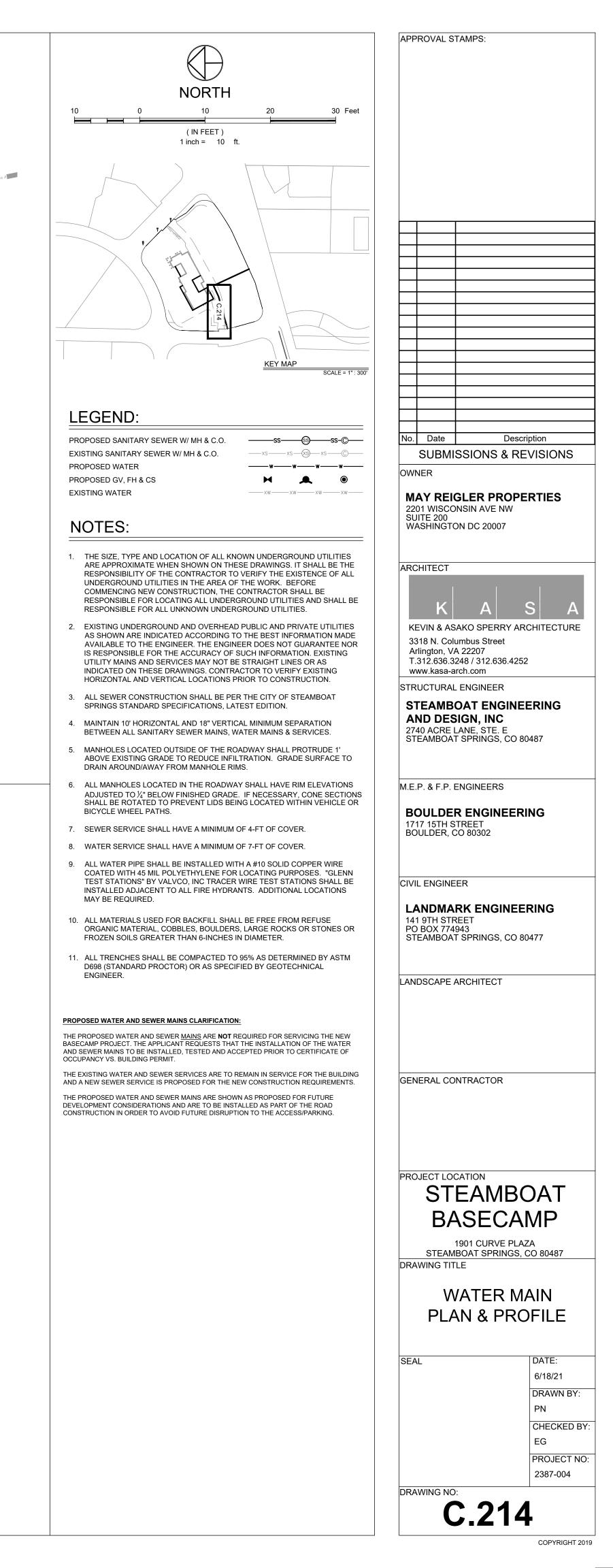
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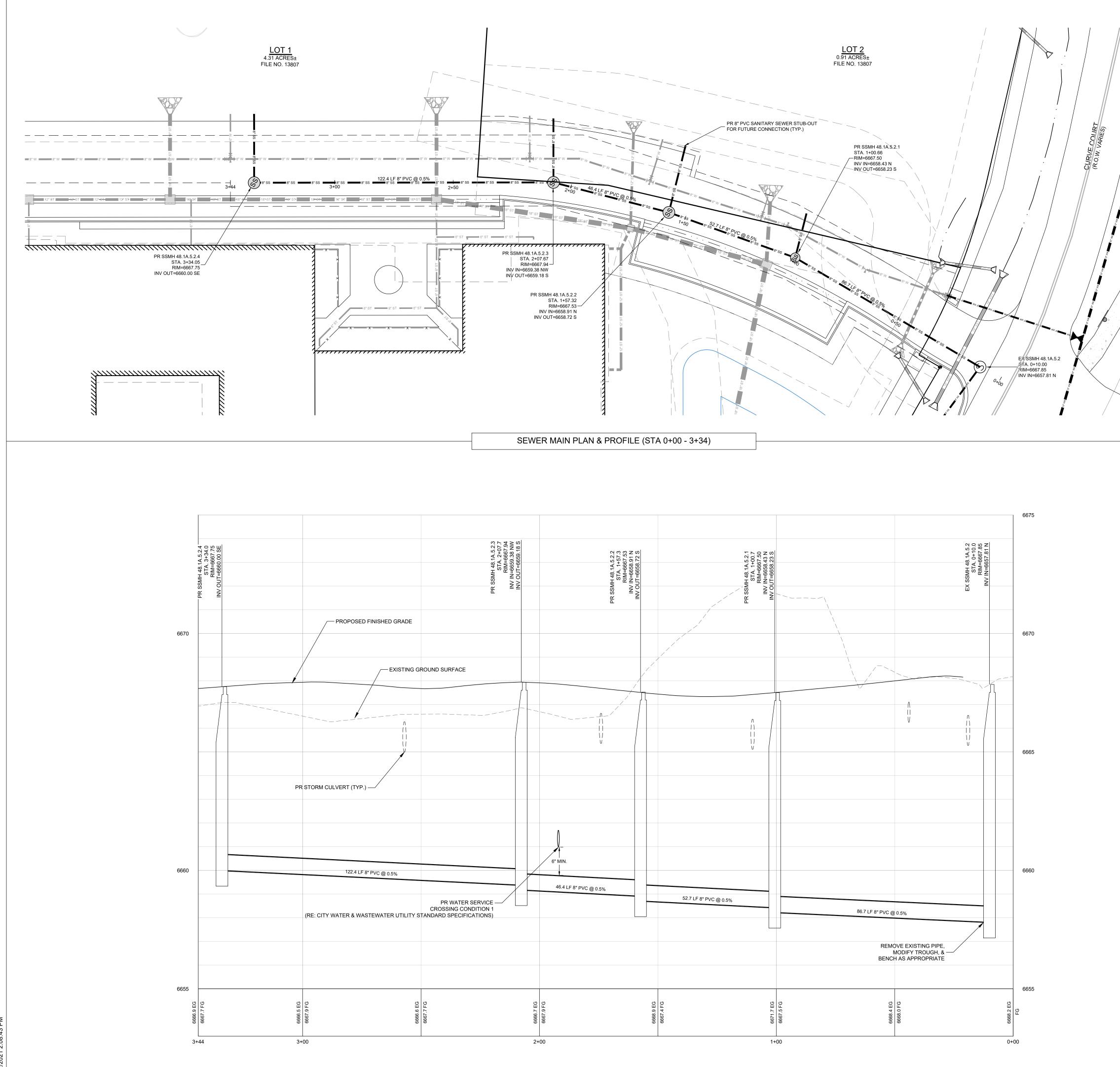




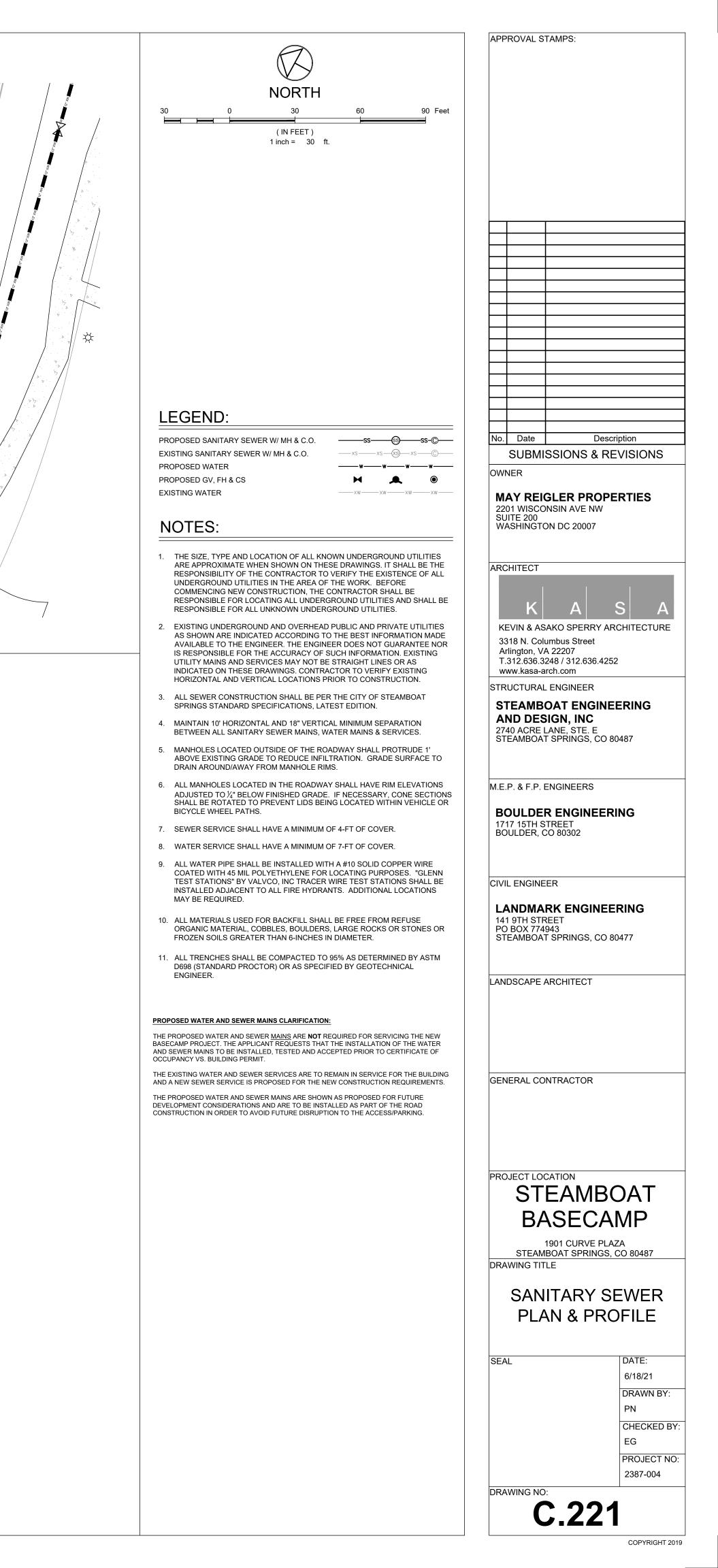
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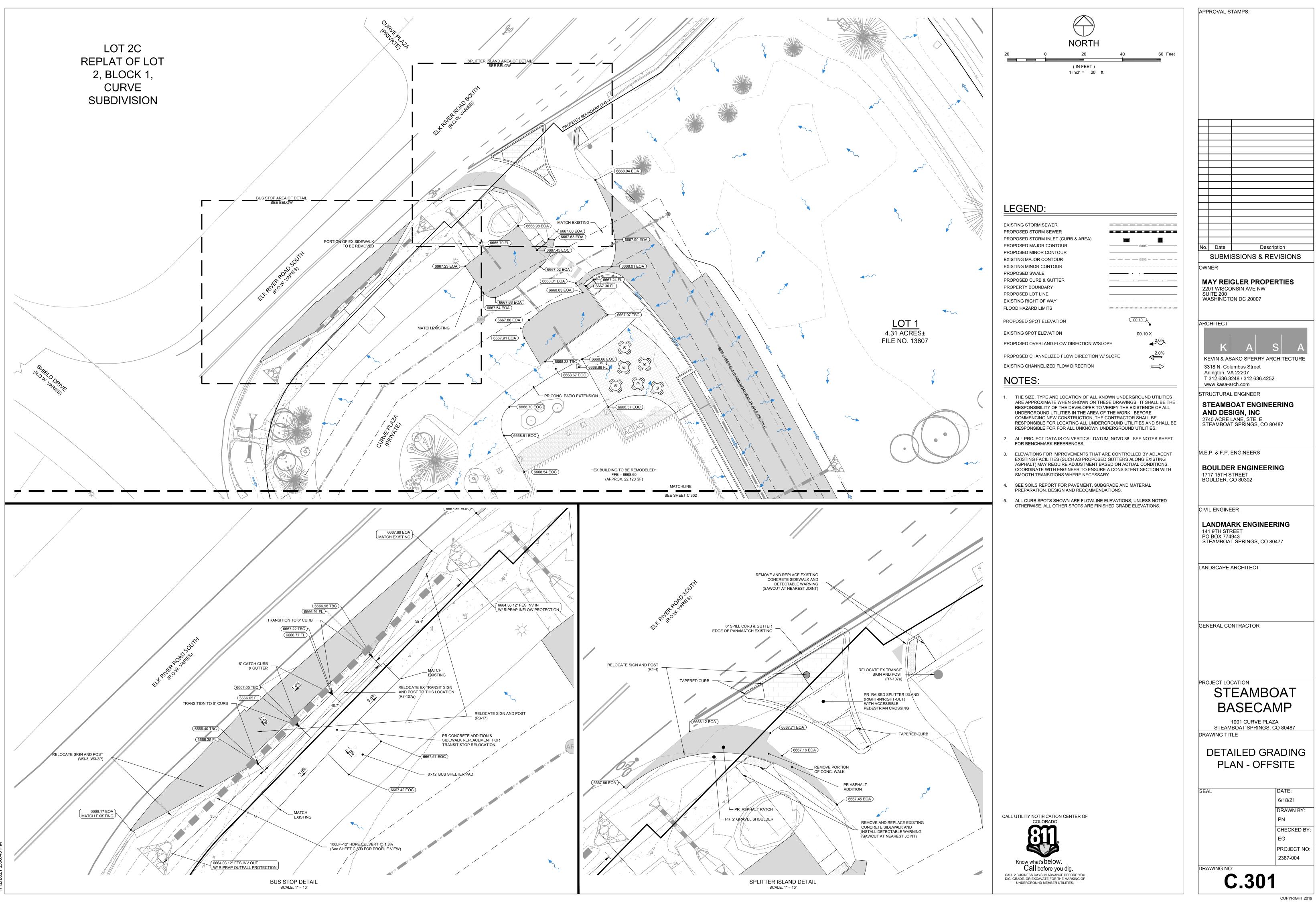


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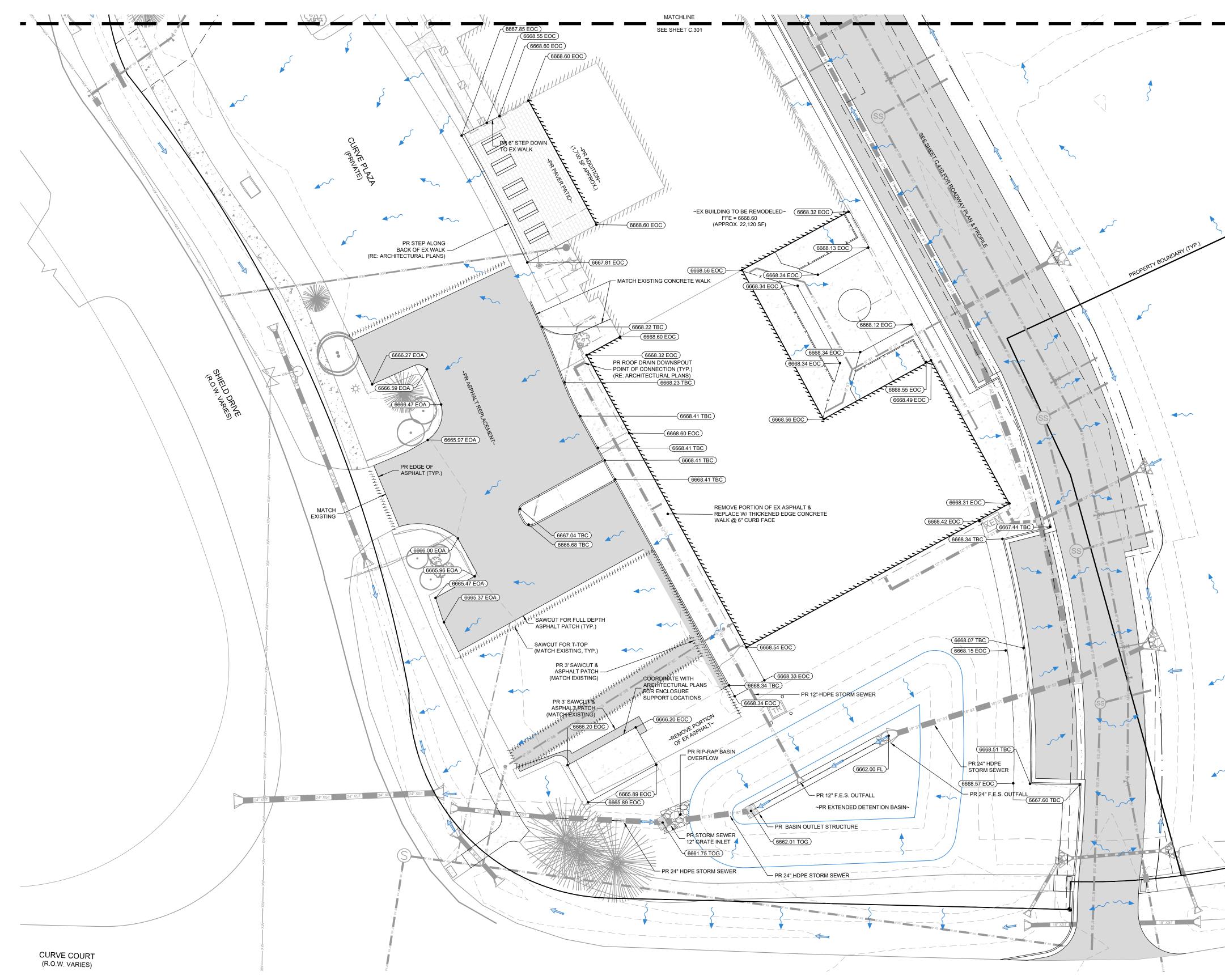


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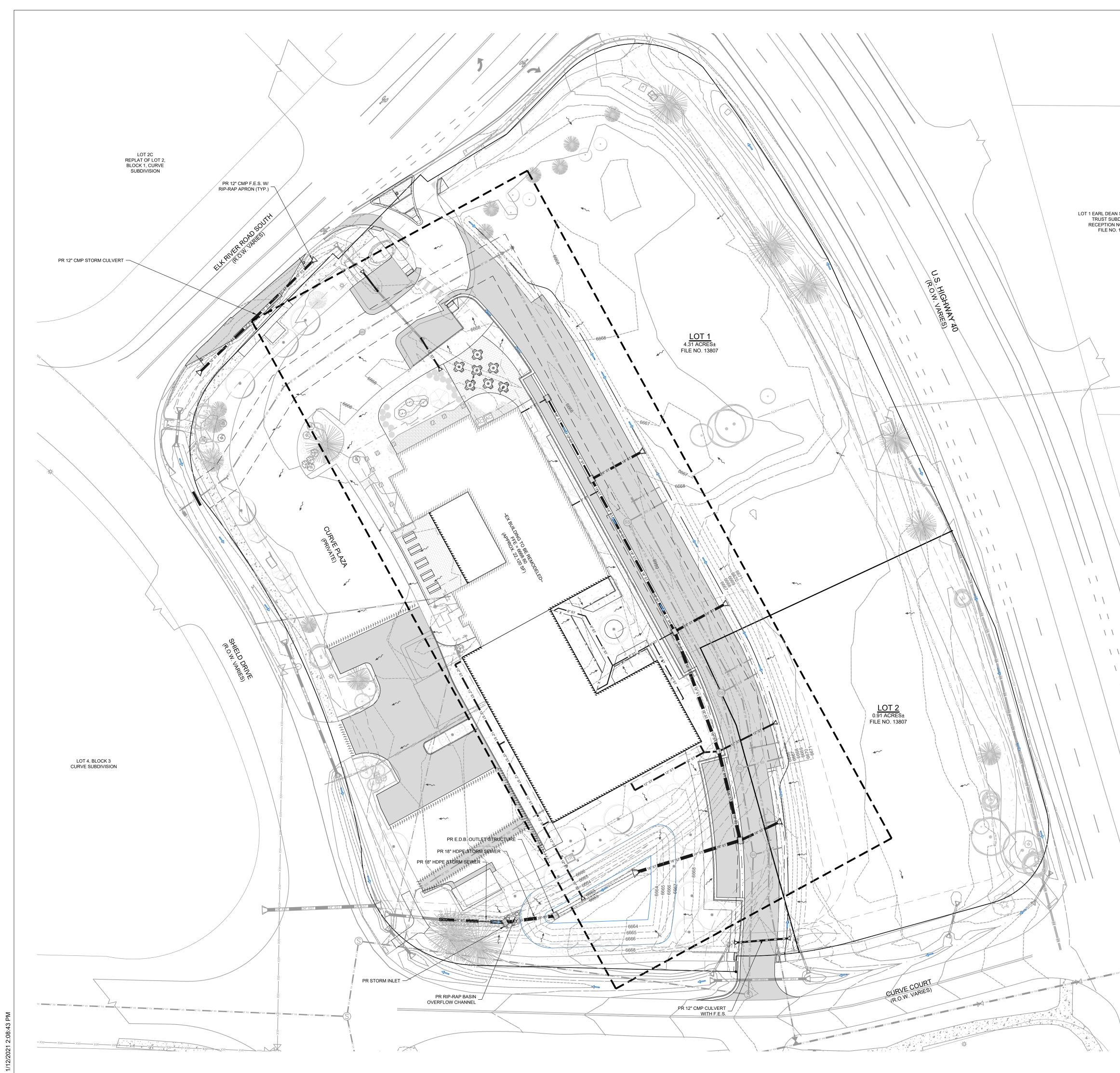


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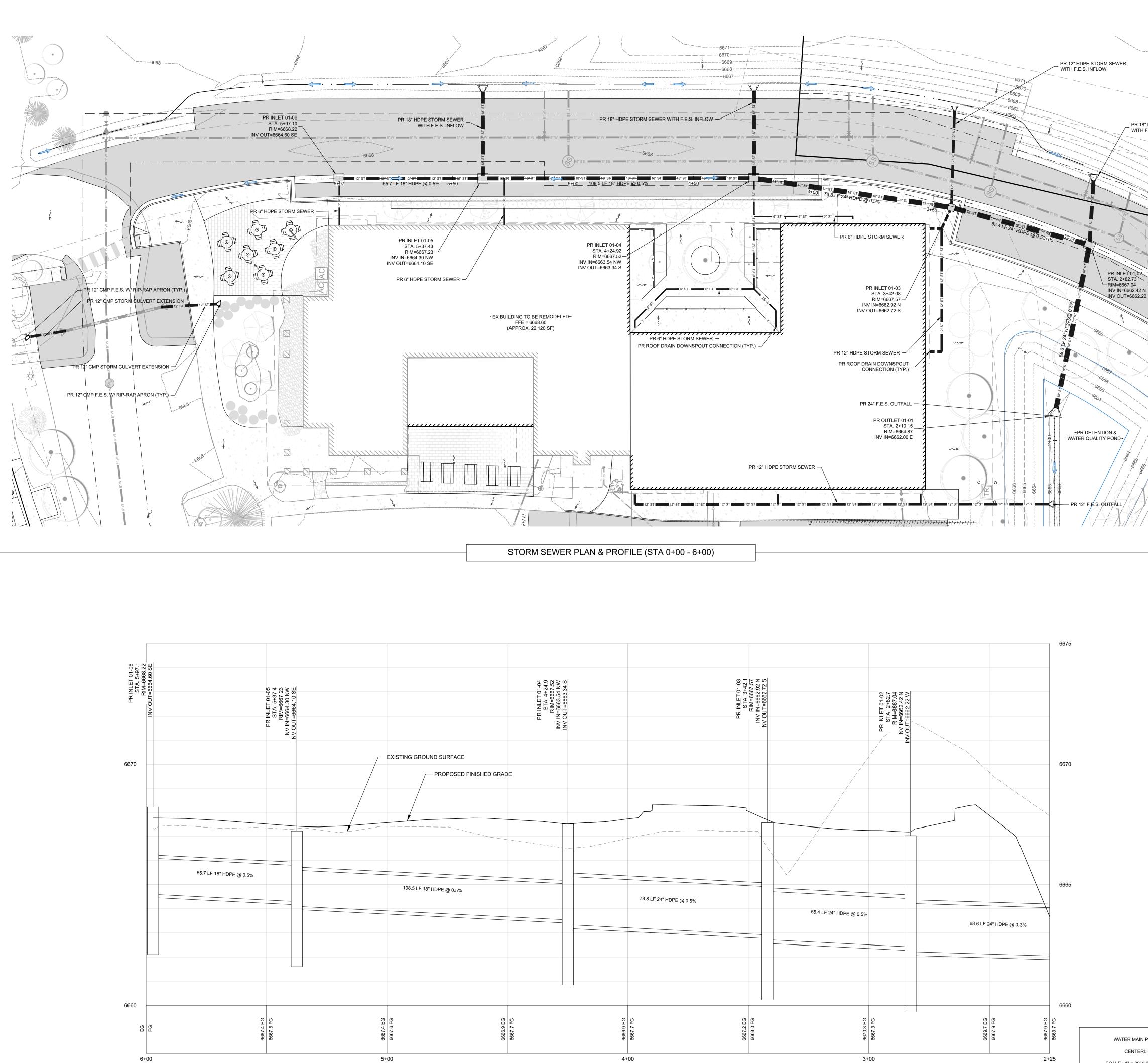


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$ \begin{array}{c} $	APPROVAL STAMPS:
LEGEND: EXISTING STORM SEWER PROPOSED STORM NEWER PROPOSED STORM INLET (CURB & AREA)	
PROPOSED MAJOR CONTOUR	No. Date Description SUBMISSIONS & REVISIONS OWNER MAY REIGLER PROPERTIES 2201 WISCONSIN AVE NW SUITE 200 WASHINGTON DC 20007
FLOOD HAZARD LIMITS PROPOSED SPOT ELEVATION EXISTING SPOT ELEVATION 00.10 X PROPOSED OVERLAND FLOW DIRECTION W/SLOPE PROPOSED CHANNELIZED FLOW DIRECTION W/SLOPE EXISTING CHANNELIZED FLOW DIRECTION NOTES:	ARCHITECT K A S A KEVIN & ASAKO SPERRY ARCHITECTURE 3318 N. Columbus Street Arlington, VA 22207 T.312.636.3248 / 312.636.4252 www.kasa-arch.com
 THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK. BEFORE COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR FOR ALL UNKNOWN UNDERGROUND UTILITIES. ALL PROJECT DATA IS ON VERTICAL DATUM; NGVD 88. SEE NOTES SHEET FOR BENCHMARK REFERENCES. ELEVATIONS FOR IMPROVEMENTS THAT ARE CONTROLLED BY ADJACENT EXISTING FACILITIES (SUCH AS PROPOSED GUTTERS ALONG EXISTING ASPHALT) MAY REQUIRE ADJUSTMENT BASED ON ACTUAL CONDITIONS. COORDINATE WITH ENGINEER TO ENSURE A CONSISTENT SECTION WITH 	STRUCTURAL ENGINEER STEAMBOAT ENGINEERING AND DESIGN, INC 2740 ACRE LANE, STE. E STEAMBOAT SPRINGS, CO 80487 M.E.P. & F.P. ENGINEERS BOULDER ENGINEERING
 SEE SOILS REPORT FOR PAVEMENT, SUBGRADE AND MATERIAL PREPARATION, DESIGN AND RECOMMENDATIONS. ALL CURB SPOTS SHOWN ARE FLOWLINE ELEVATIONS, UNLESS NOTED OTHERWISE. ALL OTHER SPOTS ARE FINISHED GRADE ELEVATIONS. 	1717 15TH STREET BOULDER, CO 80302 CIVIL ENGINEER LANDMARK ENGINEERING 141 9TH STREET PO BOX 774943 STEAMBOAT SPRINGS, CO 80477
	LANDSCAPE ARCHITECT
	GENERAL CONTRACTOR
	PROJECT LOCATION STEAMBOAT BASECAMP 1901 CURVE PLAZA STEAMBOAT SPRINGS, CO 80487 DRAWING TITLE DETAILED GRADING PLAN - ONSITE
CALL UTILITY NOTIFICATION CENTER OF COLORADO	SEAL DATE: 6/18/21 DRAWN BY: PN CHECKED B EG PROJECT N
Know what's below. Call before you dig. CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.	2387-004 DRAWING NO: C.302



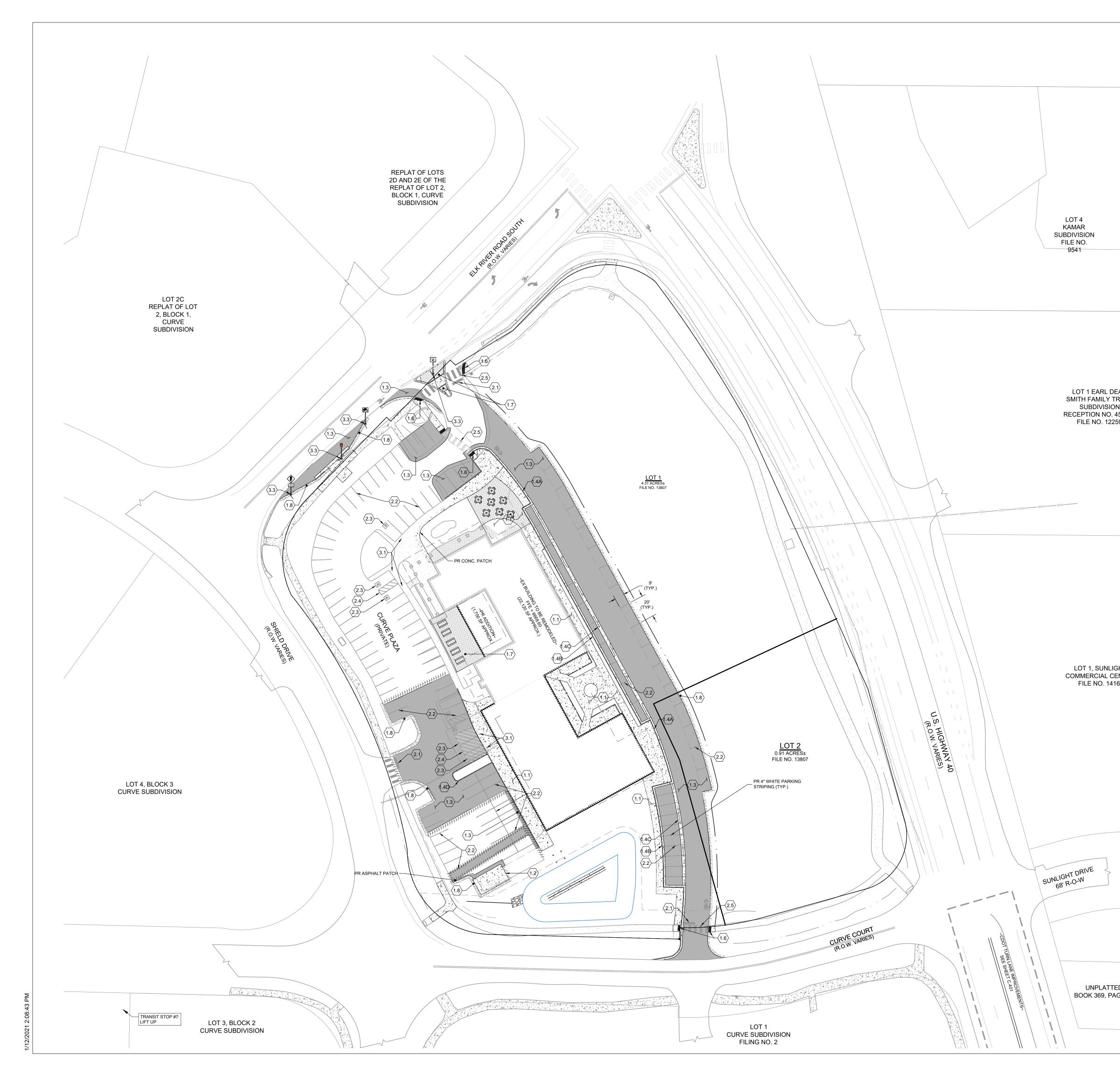
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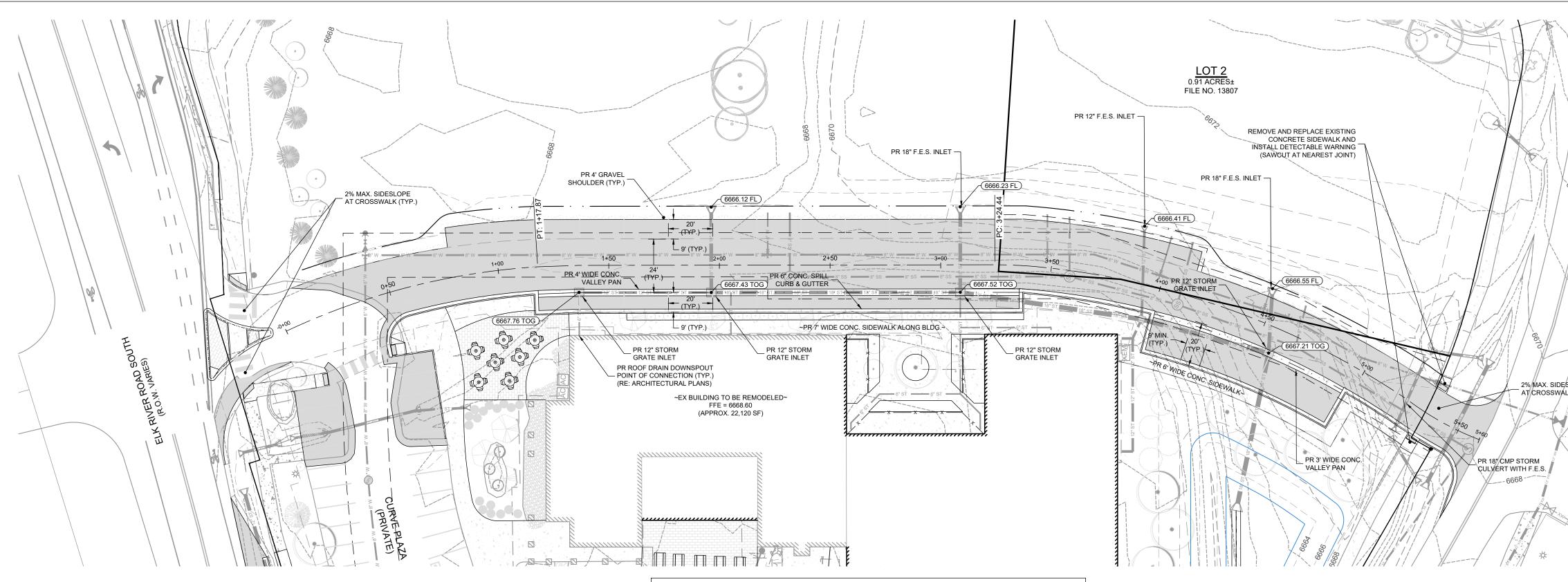


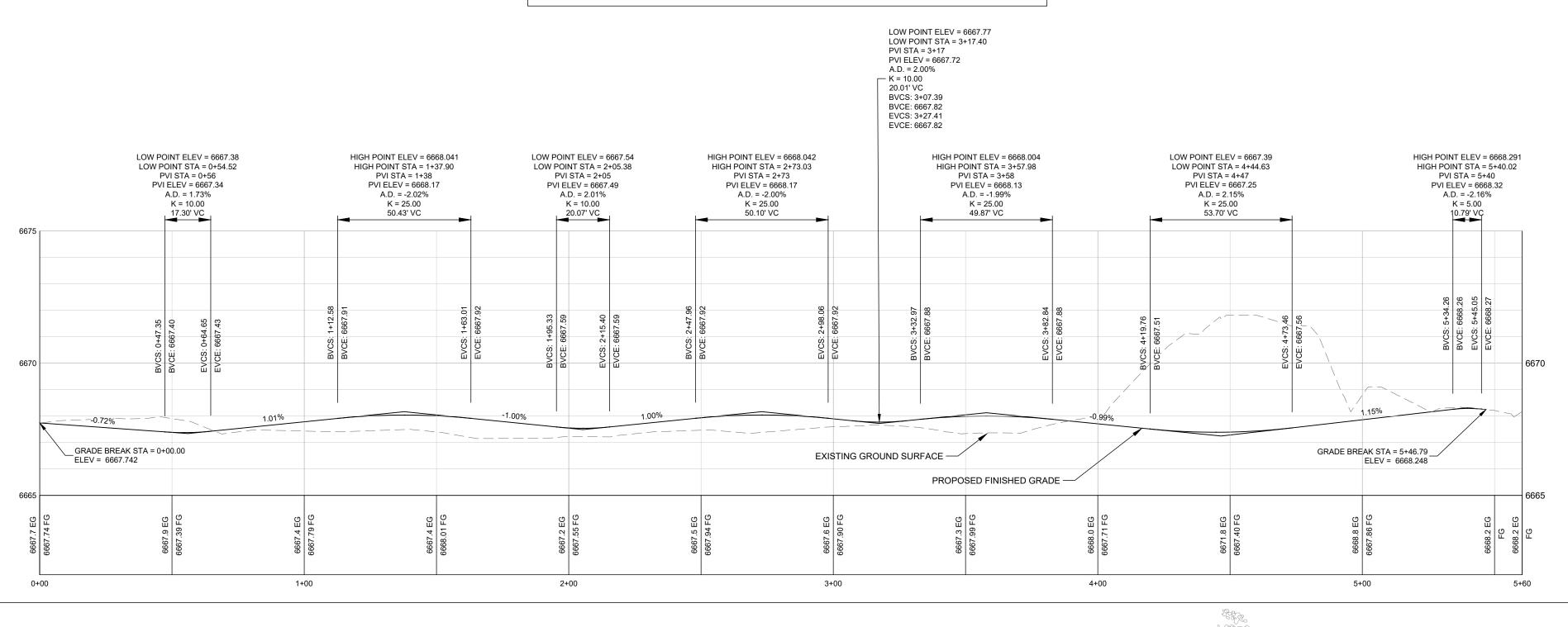
		APPROVAL STAMPS:
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	(IN FEET) 1 inch = 40 ft.	
	LEGEND:	
	(1.0) PAVING	
	1.1 CONCRETE PAVING1.2 DUMPSTER PAD (ENCLOSURE BY OTHER, RE: ARCHITECTURAL PLANS)	
	1.3 ASPHALT PAVING 1.4 CONCRETE CURB & GUTTER	
	1.4A CATCH CURB 1.4B SPILL CURB	
	1.4C VALLEY PAN 1.4D THICKENED EDGE RIBBON CURB	
	1.4E TAPERED CURB NOSE 1.5 CURB RAMP	
	1.6 DETECTABLE WARNING SURFACE 1.7 PAVERS	
	2.0 PAINTING / STRIPING 2.1 STOP BAR	
	2.2 4-INCH WIDE SOLID WHITE (PARKING/FOG LINE) 2.3 ADA PARKING SYMBOL	
	2.3 ADA FARRING STMBOL 2.4 ADA LOADING AISLE 2.5 CROSSWALK STRIPING	
	2.6 BIKE LANE SYMBOL 2.7 SHARED LANE SYMBOL	
	(3.0) SIGNAGE	No. Date Description
	3.1 ADA PARKING SIGNAGE	SUBMISSIONS & REVISIONS
	3.2 FIRELANE NO PARKING SIGN 3.3 AS SHOWN ON PLANS	OWNER
	3.4 STOP SIGN 3.5 DO NOT ENTER SIGN	MAY REIGLER PROPERTIES
	3.6 YIELD SIGN	2201 WISCONSIN AVE NW SUITE 200
	(RE: LANDSCAPE (RE: LANDSCAPE PLANS)	WASHINGTON DC 20007
	4.1 NATIVE SEED 4.2 LANDSCAPE BOULDER SEAT	
EAN	4.3 FLAGSTONE PAVER4.4 SYNTHETIC TURF (GREEN)	ARCHITECT
RUST	4.5 SYNTHETIC TURF (BROWN)4.6 SPADE DUG EDGE	
N 453250		K A S A
59	ASPHALT	KEVIN & ASAKO SPERRY ARCHITECTURE
	PLAIN CONCRETE	3318 N. Columbus Street
		Arlington, VA 22207 T.312.636.3248 / 312.636.4252
	PAVERS	www.kasa-arch.com
	GRAVEL	STRUCTURAL ENGINEER
		STEAMBOAT ENGINEERING AND DESIGN, INC
	PROPOSED SIGN	2740 ACRE LANE, STE. E
		STEAMBOAT SPRINGS, CO 80487
		M.E.P. & F.P. ENGINEERS
		BOULDER ENGINEERING 1717 15TH STREET
		BOULDER, CO 80302
		LANDMARK ENGINEERING
		141 9TH STREET PO BOX 774943
		STEAMBOAT SPRINGS, CO 80477
GHT ENTER	NOTES:	LANDSCAPE ARCHITECT
161	1. THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE	
	APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE	
	RESPONSIBILITY OF THE DEVELOPER TO VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK. BEFORE COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE	
	RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR FOR ALL UNKNOWN UNDERGROUND UTILITIES.	
	2. ALL PROJECT DATA IS ON VERTICAL DATUM; NGVD 88. SEE NOTES SHEET	
	FOR BENCHMARK REFERENCES.	GENERAL CONTRACTOR
	3. ELEVATIONS FOR IMPROVEMENTS THAT ARE CONTROLLED BY ADJACENT EXISTING FACILITIES (SUCH AS PR GUTTERS ALONG EXISTING ASPHALT) MAY	
	REQUIRE ADJUSTMENT BASED ON ACTUAL CONDITIONS. COORDINATE WITH ENGINEER TO ENSURE A CONSISTENT SECTION WITH SMOOTH TRANSITIONS	
	WHERE NECESSARY.	
	4. SEE SOILS REPORT FOR PAVEMENT, SUBGRADE AND MATERIAL PREPARATION, DESIGN AND RECOMMENDATIONS.	
	5. ALL CURB SPOTS SHOWN ARE FLOWLINE ELEVATIONS, UNLESS NOTED	PROJECT LOCATION
	OTHERWISE. ALL OTHER SPOTS ARE FINISHED GRADE ELEVATIONS.	STEAMBOAT
	6. EXISTING UNDERGROUND AND OVERHEAD PUBLIC AND PRIVATE UTILITIES AS SHOWN ARE INDICATED ACCORDING TO THE BEST INFORMATION MADE	BASECAMP
	AVAILABLE TO THE ENGINEER. THE ENGINEER DOES NOT GUARANTEE NOR IS RESPONSIBLE FOR THE ACCURACY OF SUCH INFORMATION. EXISTING UTILITY	
	MAINS AND SERVICES MAY NOT BE STRAIGHT LINES OR AS INDICATED ON THESE DRAWINGS. CONTRACTOR TO VERIFY EXISTING HORIZONTAL AND	1901 CURVE PLAZA STEAMBOAT SPRINGS, CO 80487
	VERTICAL LOCATIONS PRIOR TO CONSTRUCTION.7. ALL WATER AND SEWER CONSTRUCTION SHALL BE PER CITY OF STEAMBOAT	DRAWING TITLE
	7. ALL WATER AND SEWER CONSTRUCTION SHALL BE PER CITY OF STEAMBOAT SPRINGS UTILITIES STANDARD SPECIFICATIONS, LATEST EDITION, AS ADMINISTERED THROUGH THE STEAMBOAT II METROPOLITAN DISTRICT.	MATERIALS,
	8. THE SCOPE REFLECTED ON THIS PLAN SHALL ONLY BE USED FOR ITEMS	SIGNAGE, &
	SPECIFIED AND DETAILED ON DRAWINGS PREPARED BY LANDMARK CONSULTANTS, INC. REFERENCES TO "BY OTHERS", "LANDSCAPE",	STRIPING PLAN
	"LANDSCAPE PLANS" AND/OR SIMILAR NOTATION ARE EXCLUDED FROM THIS PLAN. CONTACT LANDMARK CONSULTANTS, INC. AND THE DESIGN TEAM IF	
	DISCREPANCIES ARE DISCOVERED.	SEAL DATE:
		6/18/21
		DRAWN BY:
		PN
ED		CHECKED BY:
AGE 57		EG
		PROJECT NO: 2387-004
		DRAWING NO:
		C.400
		COPYRIGHT 2019

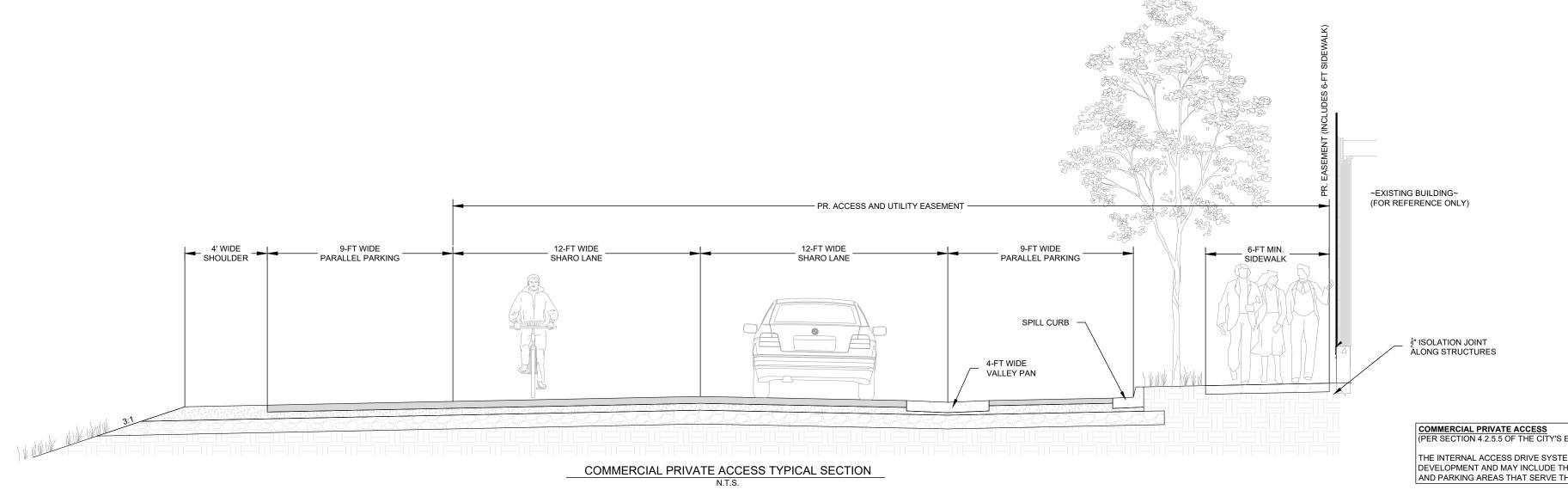


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	 DETECTABLE WARNING SURFACE PAVERS 				
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	2.3 ADA PARKING SYMBOL 2.4 ADA LOADING AISLE	i og line)			
	2.5 CROSSWALK STRIPING 2.6 BIKE LANE SYMBOL 2.7 SHARED LANE SYMBOL				
3.	SIGNAGE				
	3.1 ADA PARKING SIGNAGE 3.2 FIRELANE NO PARKING SIGN		OWNER	IBMISSIONS & R	EVISIONS
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4.	LANDSCAPE 4.1 NATIVE SEED	(RE: LANDSCAPE PLANS)		INGTON DC 20007	
	4.2 LANDSCAPE BOULDER SEAT4.3 FLAGSTONE PAVER		ARCHITE		
	4.4 SYNTHETIC TURF (GREEN)4.5 SYNTHETIC TURF (BROWN)4.6 SPADE DUG EDGE		ARCHIT		
				K A	S A
	ASPHALT		KEVIN	I & ASAKO SPERRY A	RCHITECTURE
	PLAIN CONCRETE		Arlingt	N. Columbus Street on, VA 22207	50
	PAVERS		www.k	636.3248 / 312.636.42 (asa-arch.com	
	GRAVEL			URAL ENGINEER	FRING
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	OOT NOTES:			IBOAT SPRINGS, CO	80487
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	PROPOSED IN COMPLIANCE WITH THE TERM ACCESS PERMIT TO BE ISSUED AS PART OF		M.E.P. &	F.P. ENGINEERS	
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	CONFLICT BETWEEN THESE PLANS AND THE APPLICABLE STANDARDS, THE MOST RESTR		CIVIL EN	IGINEER	
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	WHERE NECESSARY.				
	SEE SOILS REPORT FOR PAVEMENT, SUBG PREPARATION, DESIGN AND RECOMMENDA				
	ALL CURB SPOTS SHOWN ARE FLOWLINE E OTHERWISE. ALL OTHER SPOTS ARE FINIS				ωατ
	EXISTING UNDERGROUND AND OVERHEAD SHOWN ARE INDICATED ACCORDING TO TH	E BEST INFORMATION MADE		BASECA	
	AVAILABLE TO THE ENGINEER. THE ENGINE RESPONSIBLE FOR THE ACCURACY OF SUC MAINS AND SERVICES MAY NOT BE STRAIG	CH INFORMATION. EXISTING UTILITY			
	THESE DRAWINGS. CONTRACTOR TO VERIFICAL LOCATIONS PRIOR TO CONSTRU	TY EXISTING HORIZONTAL AND	ST DRAWIN	TEAMBOAT SPRINGS	
	ALL WATER AND SEWER CONSTRUCTION S SPRINGS UTILITIES STANDARD SPECIFICAT	IONS, LATEST EDITION, AS		OFFSIT	
	ADMINISTERED THROUGH THE STEAMBOAT			MATERIA	,
	SPECIFIED AND DETAILED ON DRAWINGS F CONSULTANTS, INC. REFERENCES TO "BY	PREPARED BY LANDMARK OTHERS", "LANDSCAPE",			•
	"LANDSCAPE PLANS" AND/OR SIMILAR NO PLAN. CONTACT LANDMARK CONSULTANT DISCREPANCIES ARE DISCOVERED.			STRIPING	
			SEAL		DATE: 6/18/21
					DRAWN BY:
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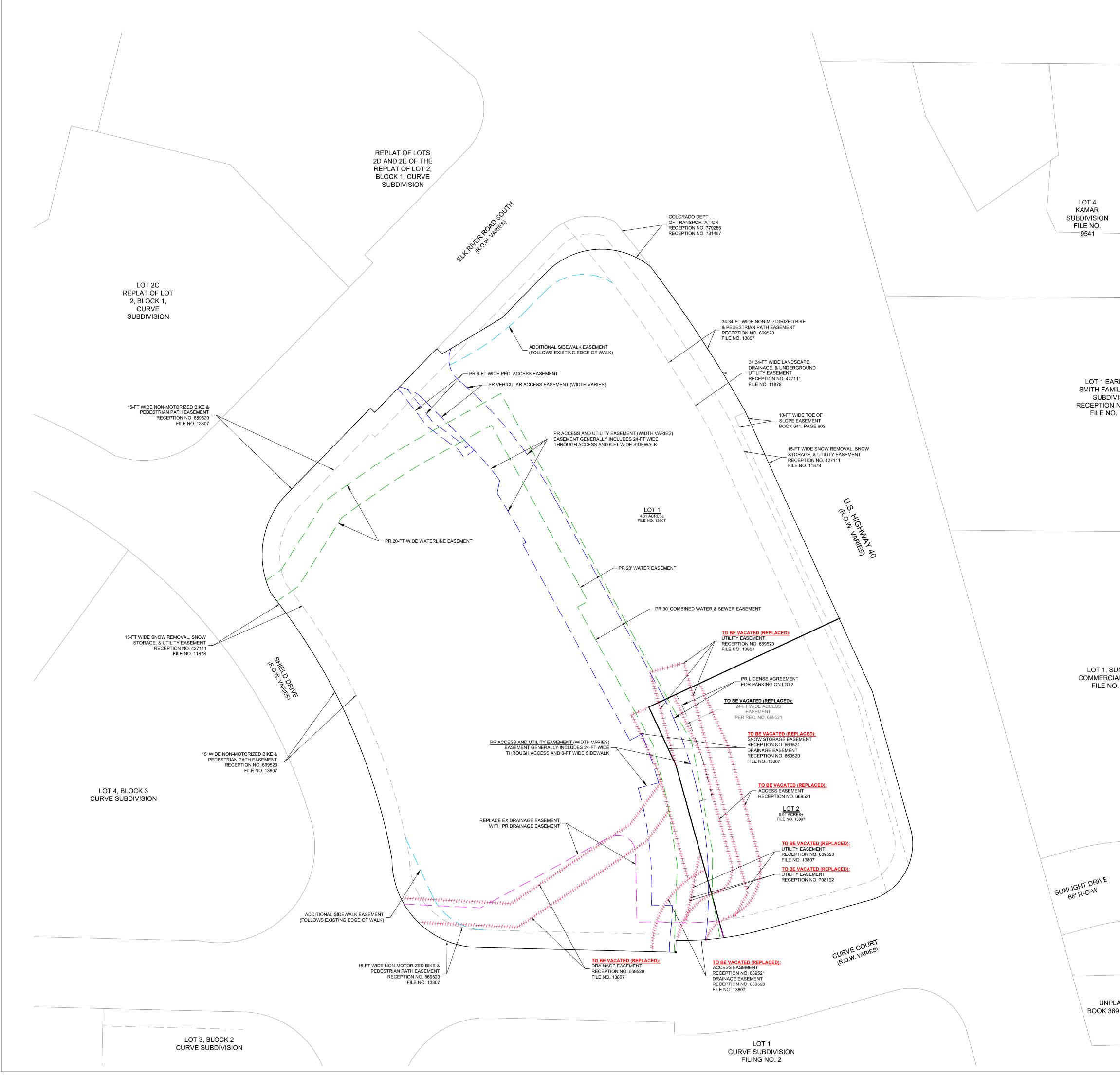




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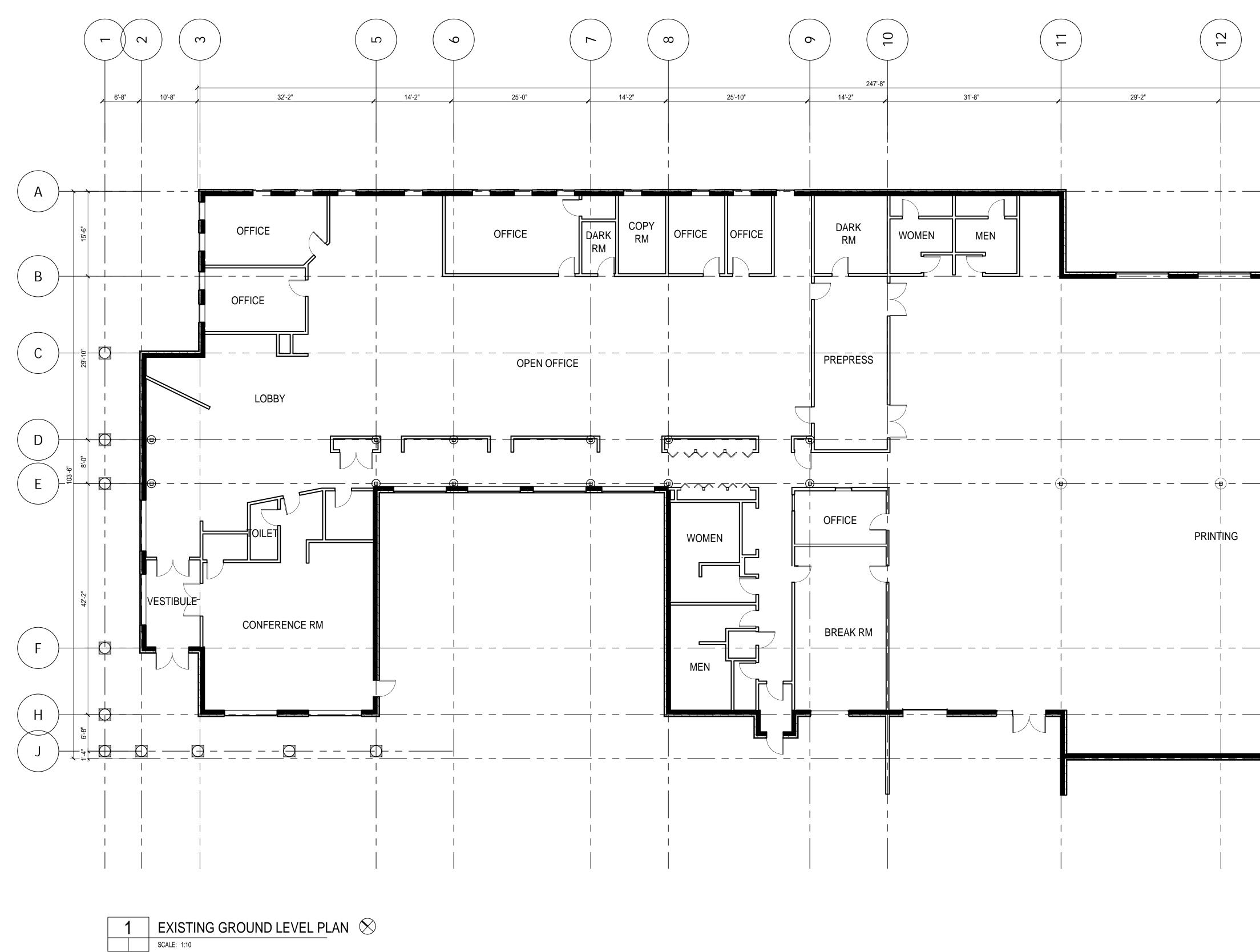
THE INTERNAL ACCESS DRIVE SYSTEM DEVELOPMENT AND MAY INCLUDE THE AND PARKING AREAS THAT SERVE THE

	$(\overline{\lambda})$		APPROVAL STAMPS:
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Z COURT WARIES)	30 0 30 60 (IN FEET) 1 inch = 30 ft.	90 Feet	
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66 A			
	LEGEND:		
ESLOPE ALK (TYP:)	PROPOSED STORM SEWER PROPOSED STORM INLET (CURB & AREA) PROPOSED MAJOR CONTOUR PROPOSED MAJOR CONTOUR	6805	No. Date Description
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	PROPERTY BOUNDARY PROPOSED LOT LINE	· · · · <u></u>	MAY REIGLER PROPERTIES 2201 WISCONSIN AVE NW SUITE 200 WASHINGTON DC 20007
m sm	EXISTING RIGHT OF WAY FLOOD HAZARD LIMITS	00.10	ARCHITECT
tu.	EXISTING SPOT ELEVATION PROPOSED OVERLAND FLOW DIRECTION W/SLOPE	00.10 X 4 2.0%	K A S A
	PROPOSED CHANNELIZED FLOW DIRECTION W/ SLOPE EXISTING CHANNELIZED FLOW DIRECTION		KEVIN & ASAKO SPERRY ARCHITECTURE 3318 N. Columbus Street Arlington, VA 22207
	1. THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNI		T.312.636.3248 / 312.636.4252 www.kasa-arch.com STRUCTURAL ENGINEER
	ARE APPROXIMATE WHEN SHOWN ON THESE DRAV RESPONSIBILITY OF THE DEVELOPER TO VERIFY TH UNDERGROUND UTILITIES IN THE AREA OF THE WC COMMENCING NEW CONSTRUCTION, THE CONTRAV RESPONSIBLE FOR LOCATING ALL UNDERGROUND	VINGS. IT SHALL BE THE HE EXISTENCE OF ALL RK. BEFORE CTOR SHALL BE	STEAMBOAT ENGINEERING AND DESIGN, INC 2740 ACRE LANE, STE. E
	 ALL PROJECT DATA IS ON VERTICAL DATUM; NGVD FOR BENCHMARK REFERENCES. 	OUND UTILITIES.	STEAMBOAT SPRINGS, CO 80487
	3. ELEVATIONS FOR IMPROVEMENTS THAT ARE CONT EXISTING FACILITIES (SUCH AS PROPOSED GUTTEF ASPHALT) MAY REQUIRE ADJUSTMENT BASED ON A COORDINATE WITH ENGINEER TO ENSURE A CONS	RS ALONG EXISTING ACTUAL CONDITIONS.	M.E.P. & F.P. ENGINEERS BOULDER ENGINEERING
	 SMOOTH TRANSITIONS WHERE NECESSARY. 4. SEE SOILS REPORT FOR PAVEMENT, SUBGRADE AN PREPARATION, DESIGN AND RECOMMENDATIONS. 		1717 15TH STREET BOULDER, CO 80302
	5. ALL CURB SPOTS SHOWN ARE FLOWLINE ELEVATIO OTHERWISE. ALL OTHER SPOTS ARE FINISHED GRA		
			141 9TH STREET PO BOX 774943 STEAMBOAT SPRINGS, CO 80477
			LANDSCAPE ARCHITECT
			GENERAL CONTRACTOR
			PROJECT LOCATION STEAMBOAT BASECAMP
			1901 CURVE PLAZA STEAMBOAT SPRINGS, CO 80487 DRAWING TITLE
			ROADWAY PLAN & PROFILE
			SEAL DATE: 6/18/21 DRAWN BY:
			PN CHECKED BY:
			EG PROJECT NO: 2387-004
ENGINEERING STANDARDS): TEM FOR A COMMERCIAL LOT OR THE DRIVEWAY, ACCESS DRIVES, THE DEVELOPMENT.			DRAWING NO: C.410



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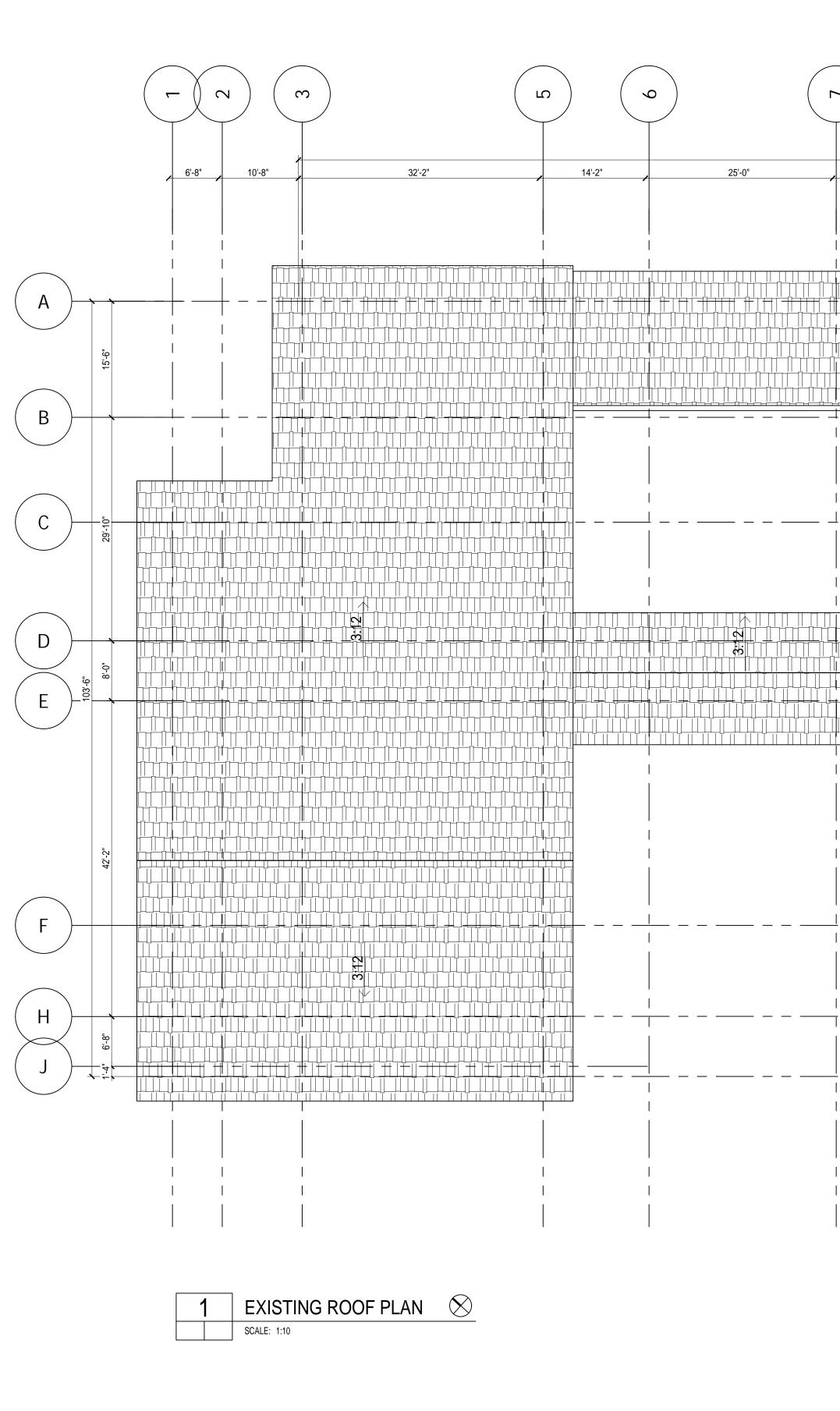
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N	PROPERTY BOUNDARY EX. EASEMENT (TO REMAIN) PR. WATER/SEWER EASEMENT PR. ACCESS/UTILITY EASEMENT PR. ADDITIONAL SIDEWALK EASEMENT PR. DRAINAGE EASEMENT EASEMENT TO BE VACATED (REPLACED)		Image:
EARL DEAN AMILY TRUST DIVISION DN NO. 453250 NO. 12259			OWNER <section-header></section-header>
SUNLIGHT CIAL CENTER NO. 14161	EASEMENT VACATION NOTE: THE EASEMENTS LABELED, "TO BE VACATED (REPLACED) I PROPOSED DEVELOPMENT. THEY ARE REDUNDANT WITH T THE IMPROVEMENTS HAVE BEEN INSTALLED. THIS WILL BE (FUTURE) EASEMENT VACATION APPLICATION REQUEST.	DO NOT INTERFERE WITH THE THE PROPOSED EASEMENTS AFTER PROPOSED UNDER A SEPARATE	M.E.P. & F.P. ENGINEERS BOULDER ENGINEERING 1717 15TH STREET BOULDER, CO 80302 CIVIL ENGINEER LANDMARK ENGINEERING 141 9TH STREET PO BOX 774943 STEAMBOAT SPRINGS, CO 80477 LANDSCAPE ARCHITECT GENERAL CONTRACTOR
			PROJECT LOCATION STEAMBOAT BASECAMP 1901 CURVE PLAZA STEAMBOAT SPRINGS, CO 80487 DRAWING TITLE EASEMENT EXHIBIT
PLATTED 369, PAGE 57			SEAL DATE: 6/18/21 DRAWN BY: PN CHECKED BY: EG PROJECT NO: 2387-004
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			56/17/2021Development Plan Submittal #544/19/2021Development Plan Submittal #4310/14/2020Development Plan Submittal #327/9/2020Development Plan Submittal #213/27/2020Development Plan SubmittalNo.DateDescription
	ELEC. ROOM		SUBMISSIONS & REVISIONS OWNER May Riegler Properties 2201 Wisconsin Avenue NW Suite 200 Washington, DC 20007 PO Box 881330
		· /	Steamboat Springs, CO 80488 ARCHITECT K A S A KEVIN & ASAKO SPERRY ARCHITECTURE 3318 N. Columbus Street Arlington, VA 22207 T.312.636.3248 / 312.636.4252 www.kasa-arch.com STRUCTURAL ENGINEER
			M.E.P. & F.P. ENGINEERS
			CIVIL ENGINEER LANDMARK CONSULTANTS, INC. 141 9th Street PO Box 774943 Steamboat Springs, Colorado 80477 T.970.871.9494
 		[LANDSCAPE ARCHITECT MGC DESIGN, INC. PO Box 773522 Steamboat Springs, Colorado 80477 T.970.879.7740
		·	GENERAL CONTRACTOR
			PROJECT LOCATION Steamboat Basecamp 1901 Curve Plaza Steamboat Springs, CO DRAWING TITLE
			EXISTING GROUND LEVEL PLAN
			O3/27/20 DRAWN BY: CHECKED BY:
			PROJECT NO: DRAWING NO: A1.1 COPYRIGHT 2019

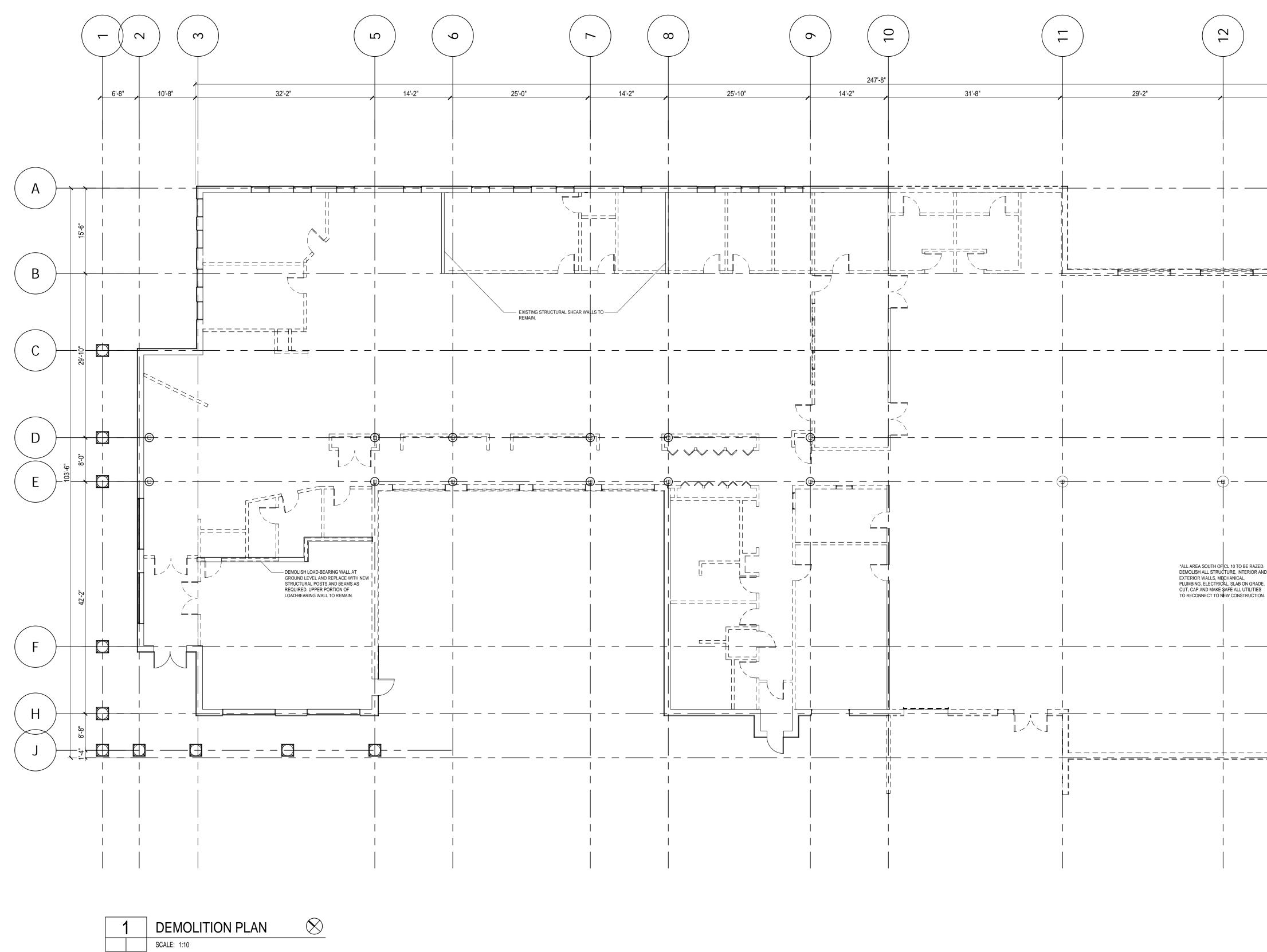
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	13/27/2020Development Plan SubmittalNo.DateDescription
	SUBMISSIONS & REVISIONS
	OWNER May Riegler Properties
	2201 Wisconsin Avenue NW Suite 200 Washington, DC 20007 PO Box 881330
	Steamboat Springs, CO 80488
	ARCHITECT
	KEVIN & ASAKO SPERRY ARCHITECTURE
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	M.E.P. & F.P. ENGINEERS
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	LANDMARK CONSULTANTS, INC. 141 9th Street
	PO Box 774943 Steamboat Springs, Colorado 80477 T.970.871.9494
	LANDSCAPE ARCHITECT
	MGC DESIGN, INC. PO Box 773522 Steamboat Springs, Colorado 80477
	T.970.879.7740
	GENERAL CONTRACTOR
	PROJECT LOCATION
	Steamboat Basecamp
	1901 Curve Plaza
	Steamboat Springs, CO DRAWING TITLE
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	SEAL DATE: 03/27/20
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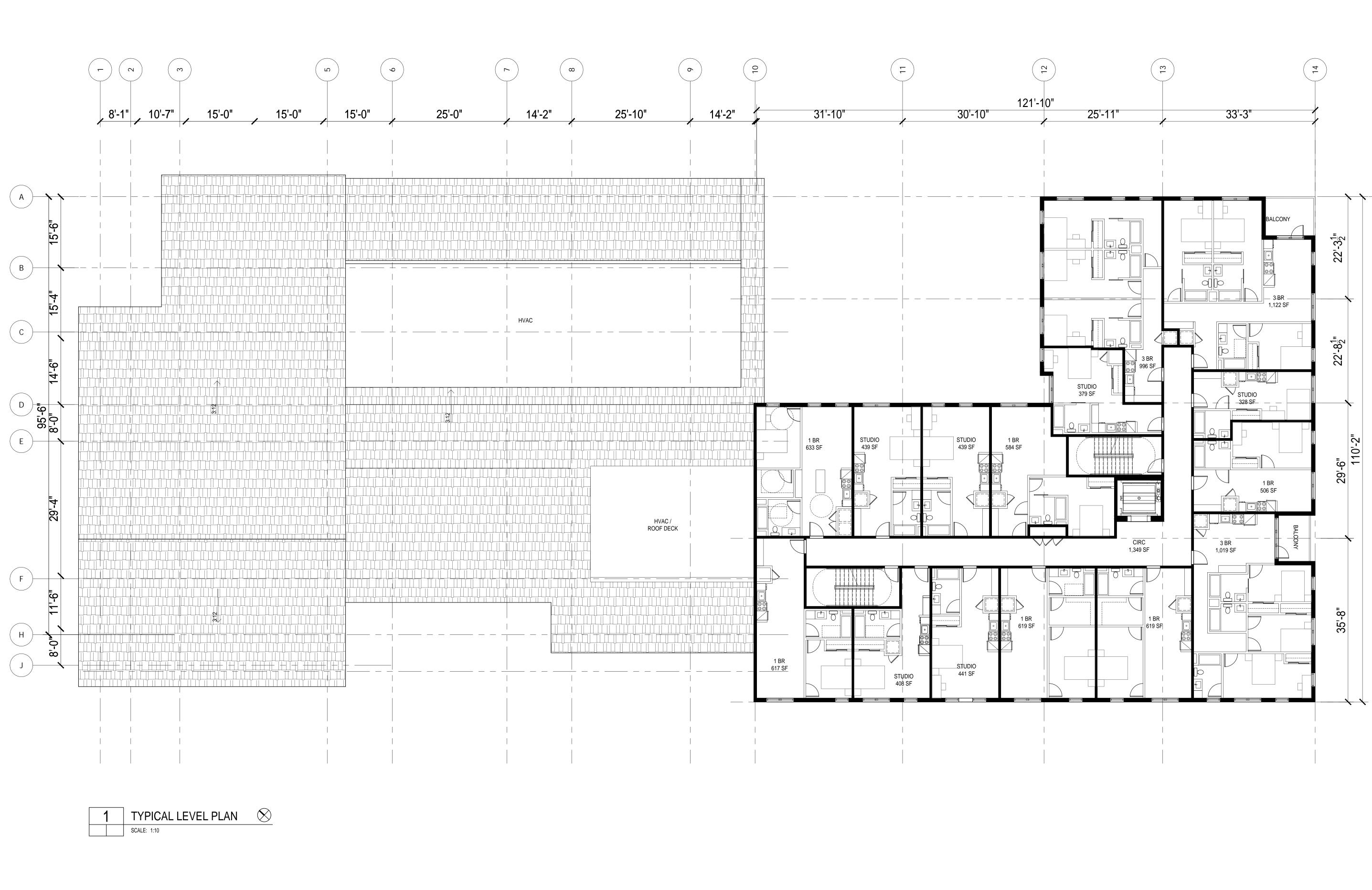
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<u></u>		· <u>- </u>		 PO Box 881330 Steamboat Springs, CO 80488 ARCHITECT KEVIN & ASAKO SPERRY ARCHITECTU 3318 N. Columbus Street Arlington, VA 22207 T.312.636.3248 / 312.636.4252 www.kasa-arch.com STRUCTURAL ENGINEER
				 M.E.P. & F.P. ENGINEERS
				 CIVIL ENGINEER LANDMARK CONSULTANTS, INC. 141 9th Street PO Box 774943 Steamboat Springs, Colorado 80477 T.970.871.9494 LANDSCAPE ARCHITECT MGC DESIGN, INC. PO Box 773522
				 Steamboat Springs, Colorado 80477 T.970.879.7740 GENERAL CONTRACTOR
DE				PROJECT LOCATION Steamboat Basecamp 1901 Curve Plaza Steamboat Springs, CO DRAWING TITLE DEMOLITION PLA
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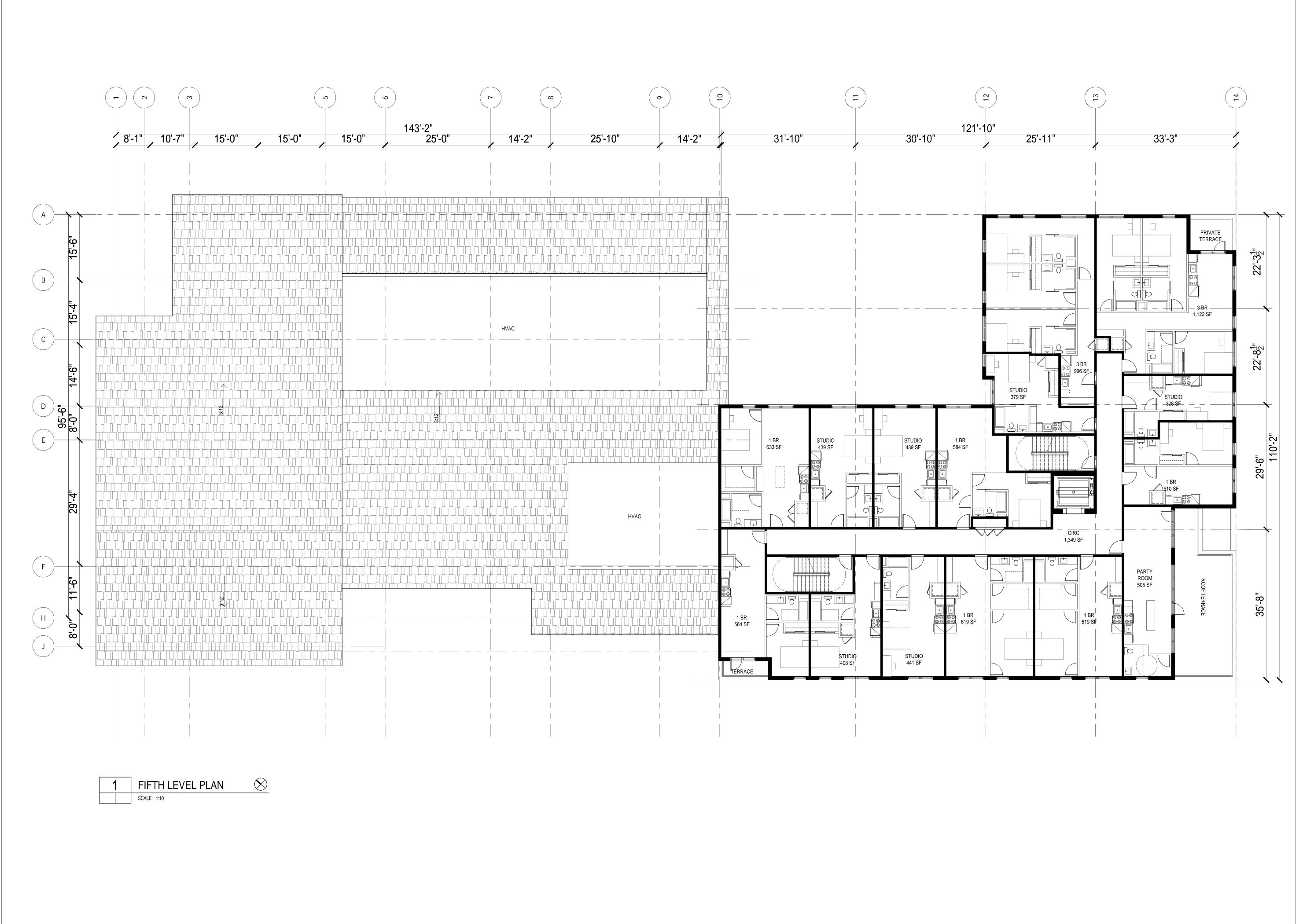


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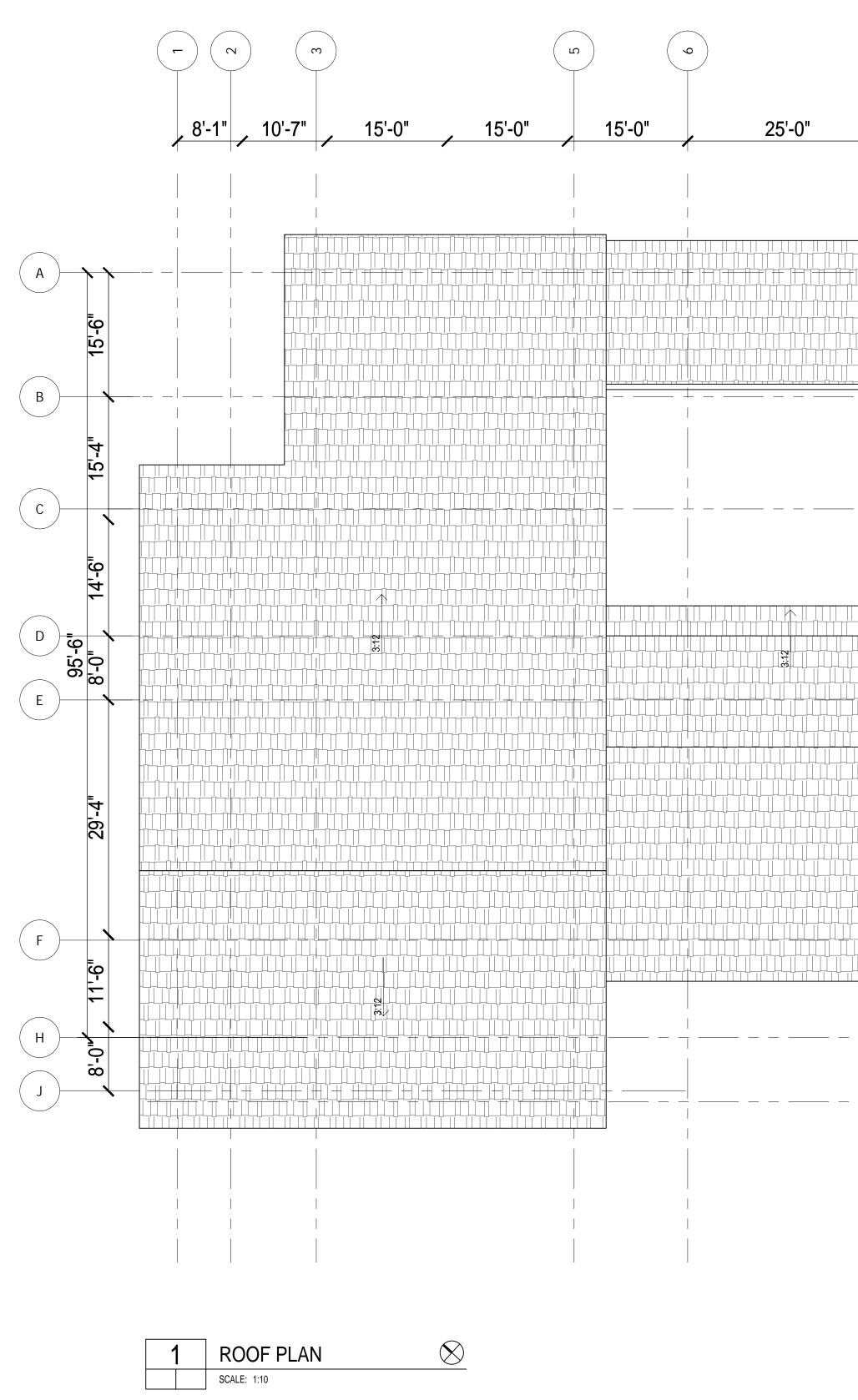


APPROVAL STAMPS:	
5 6/17/2021 Development	Plan Submittal #5
4 4/19/2021 Development 3 10/14/2020 Development	Plan Submittal #4 Plan Submittal #3
1 3/27/2020 Developmen	Plan Submittal #2 nt Plan Submittal scription
SUBMISSIONS & F	
OWNER May Riegler Properties	
2201 Wisconsin Avenue NW Washington, DC 20007 PO Box 881330	/ Suite 200
Steamboat Springs, CO 804	88
ARCHITECT	
KA	S A
KEVIN & ASAKO SPERRY A 3318 N. Columbus Street	ARCHITECTURE
Arlington, VA 22207 T.312.636.3248 / 312.636.42	252
www.kasa-arch.com	
KL&A ENGINEERS & BUILD 1717 Washington Ave.	DERS
Golden, Colorado 80401 T. 303.384.9910	
M.E.P. & F.P. ENGINEERS BOULDER ENGINEERING (COMPANY
1717 15th Street Boulder, CO 80302 T. 303.444.6038	
CIVIL ENGINEER	
LANDMARK CONSULTANT 141 9th Street PO Box 774943	S, INC.
Steamboat Springs, Colorad T.970.871.9494	o 80477
LANDSCAPE ARCHITECT	
MGC DESIGN, INC.	
PO Box 773522 Steamboat Springs, Colorad T.970.879.7740	o 80477
GENERAL CONTRACTOR	
CALCON CONSTRUCTORS 2270 W. Bates Ave. Englewood, CO 80110	S, INC.
T.303.762.1554	
Steamb Baseca	
1901 Curve Pla	aza
Steamboat Spring DRAWING TITLE	js, UU
LEVELS 2-4	
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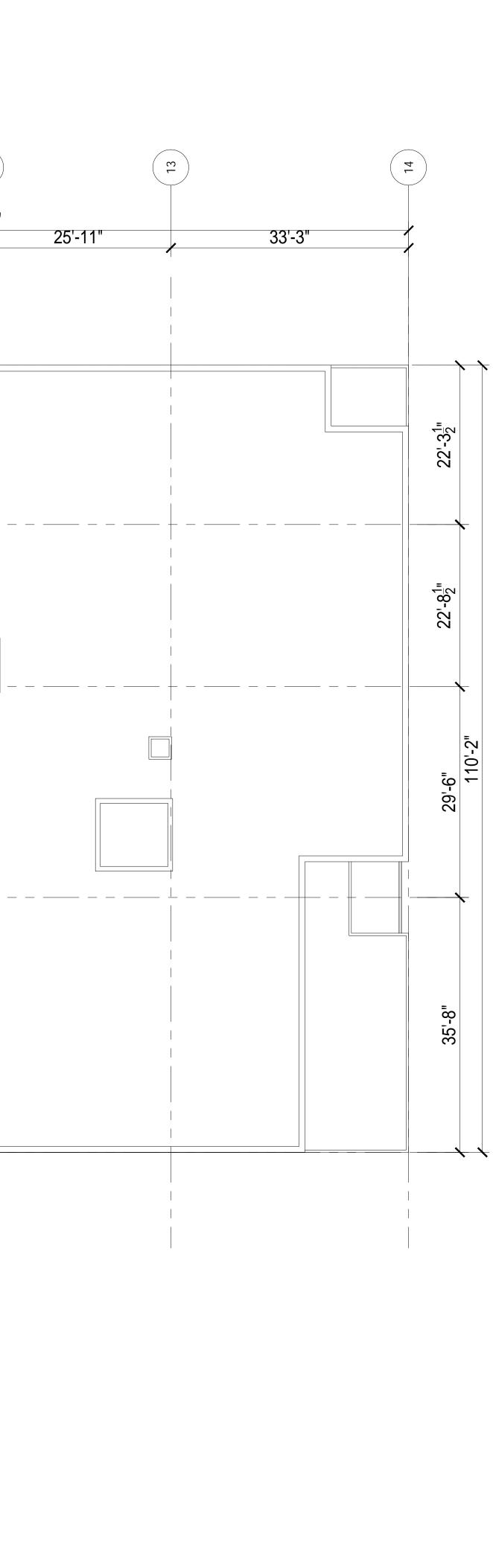


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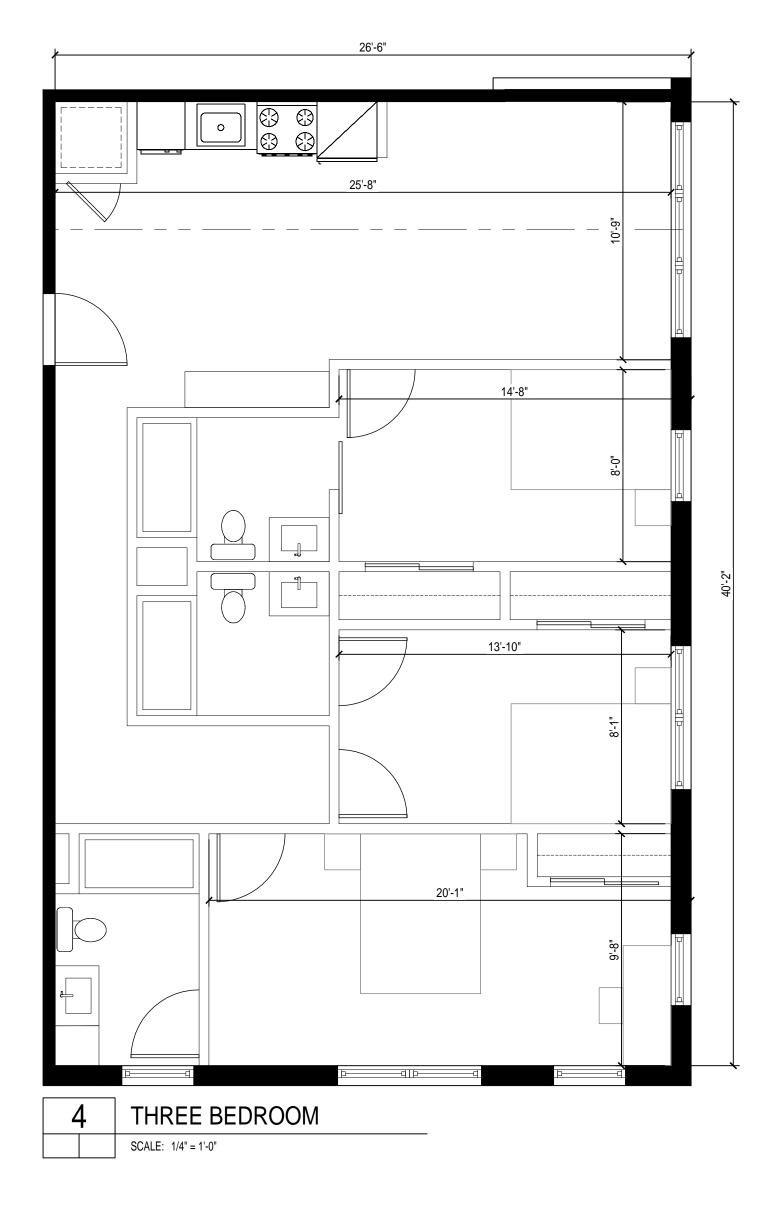


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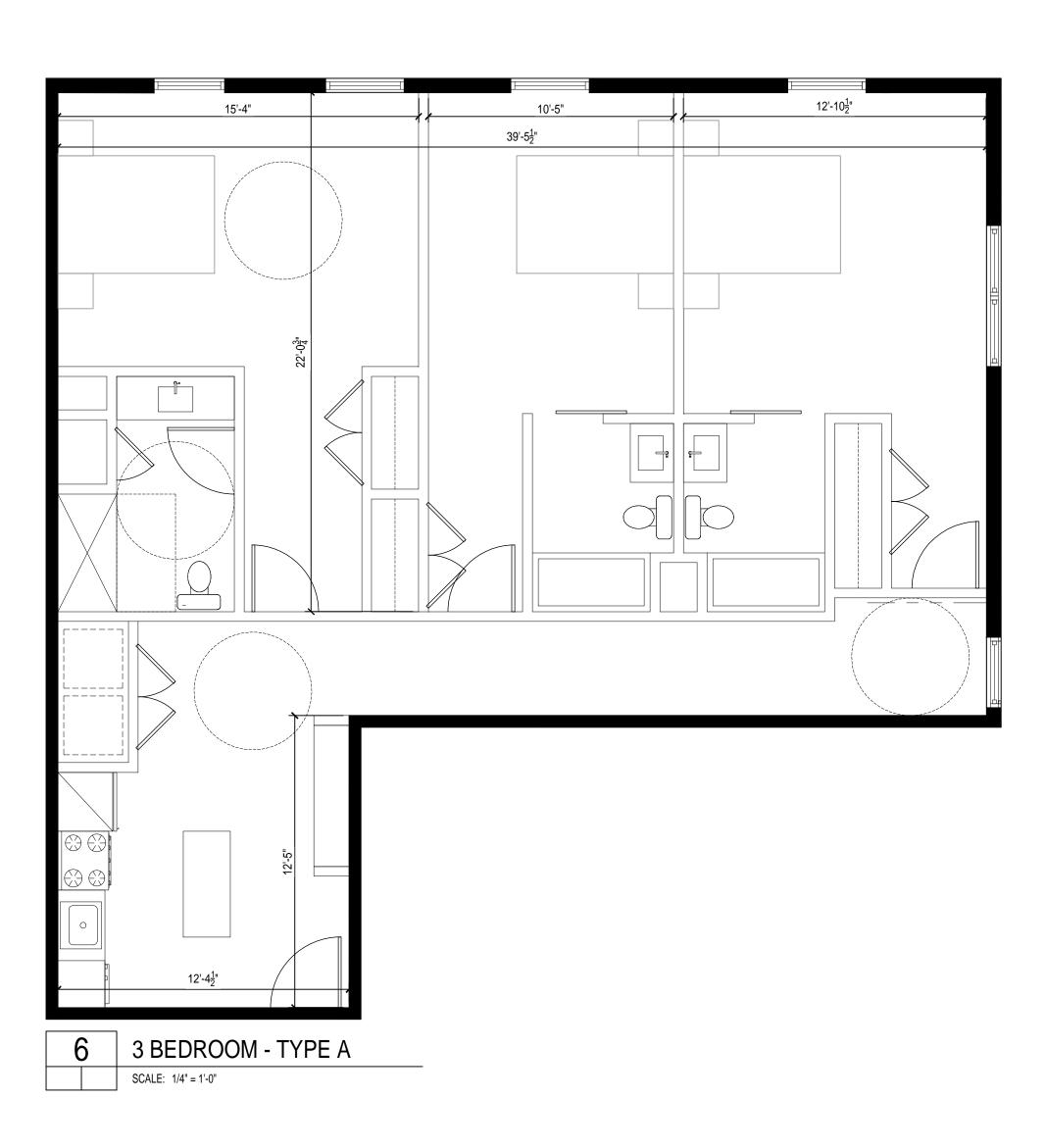
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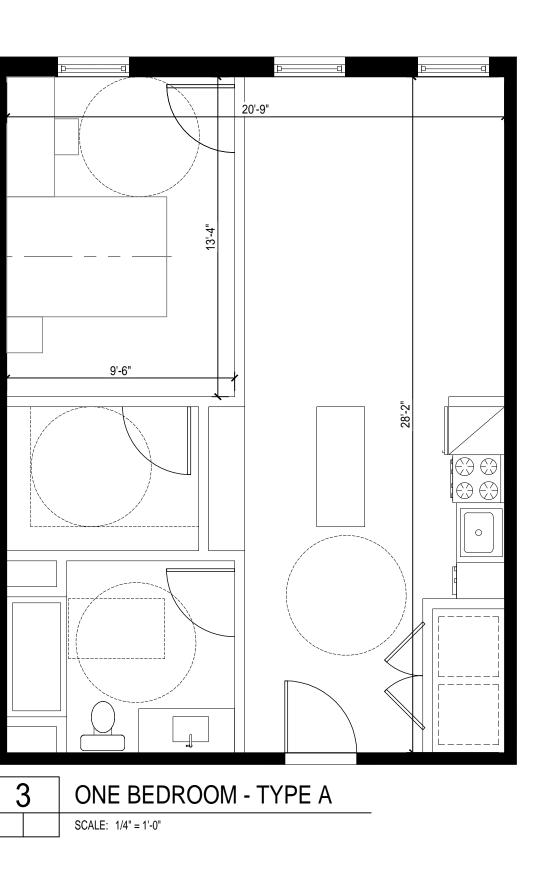


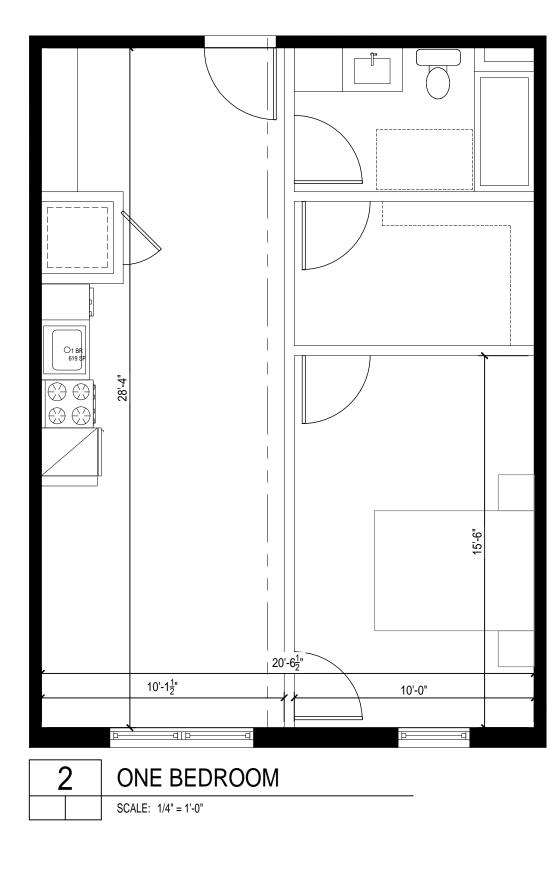
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2		nsin Avenue	NW Suite 200
P	O Box 8813	DC 20007 330 Springs, CO 8	80488
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Т	rlington, VA .312.636.32 ww.kasa-a	248 / 312.63	6.4252
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17	717 Washir		JILDERS
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17	717 15th St	reet	IG COMPANY
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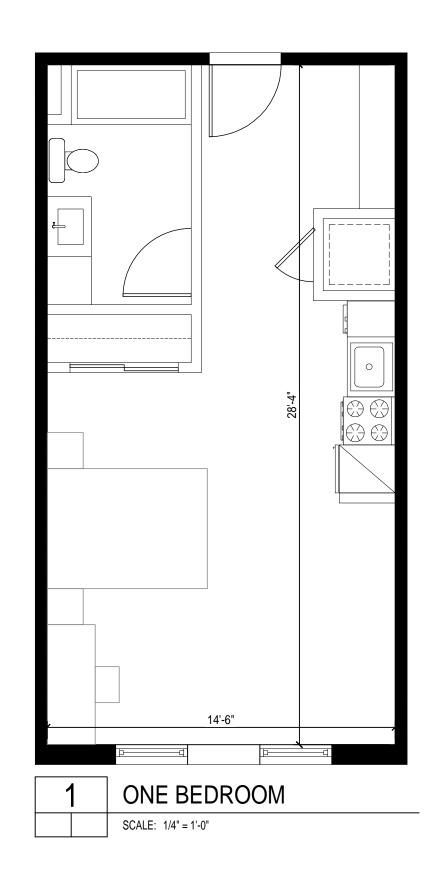






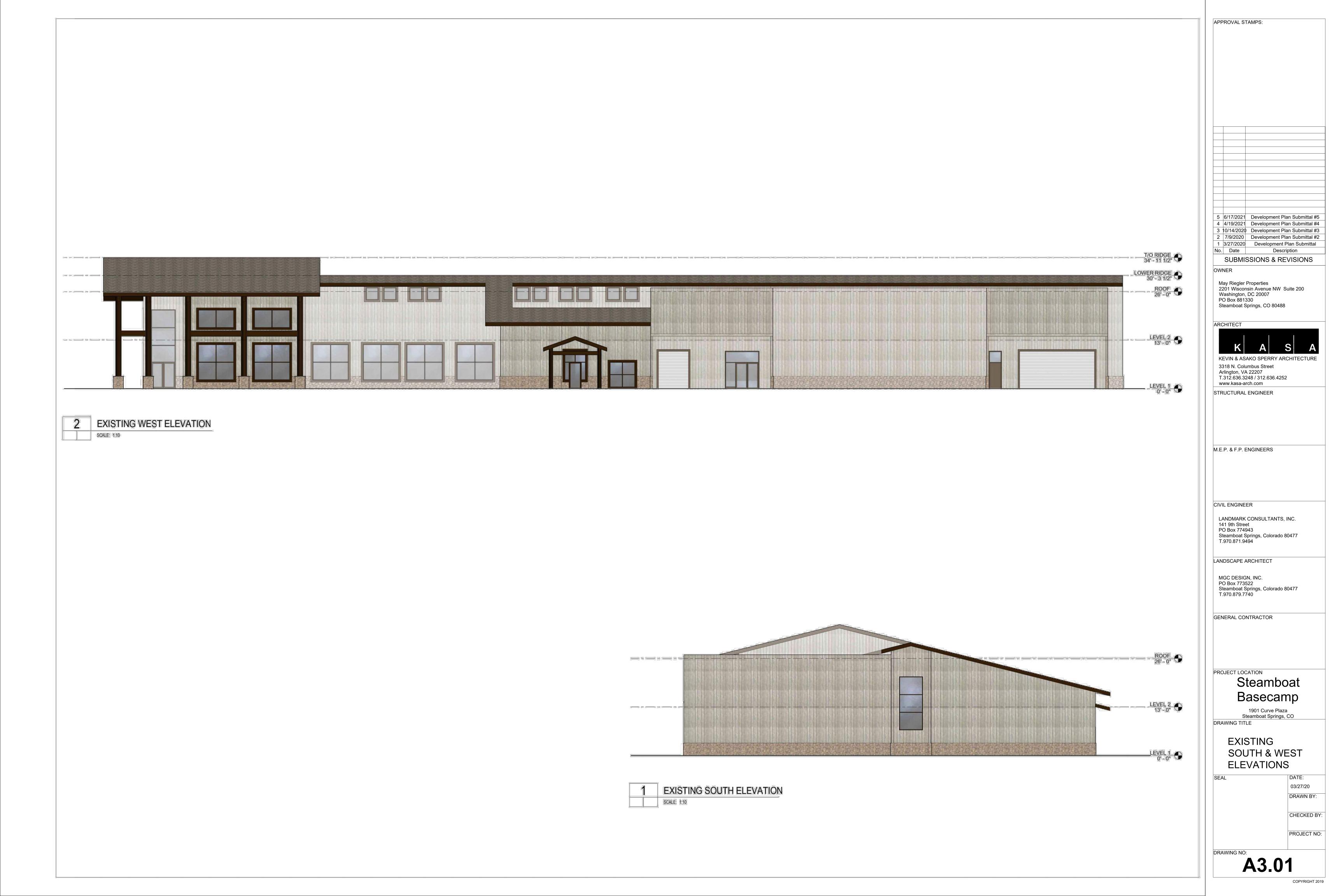






APPROVAL STAMPS:	
3 10/14/2020 Developme 2 7/9/2020 Developme	ent Plan Submittal #5 ent Plan Submittal #3 ent Plan Submittal #2
	nent Plan Submittal Description
OWNER	
May Riegler Properties 2201 Wisconsin Avenue N Washington, DC 20007 PO Box 881330	W Suite 200
Steamboat Springs, CO 8	0488
ARCHITECT	
KEVIN & ASAKO SPERR	
3318 N. Columbus Street Arlington, VA 22207 T.312.636.3248 / 312.636	
www.kasa-arch.com STRUCTURAL ENGINEER	.72.02
KL&A ENGINEERS & BUI 1717 Washington Ave. Golden, Colorado 80401	ILDERS
T. 303.384.9910	
M.E.P. & F.P. ENGINEERS	
BOULDER ENGINEERIN 1717 15th Street Boulder, CO 80302	G COMPANY
T. 303.444.6038	
CIVIL ENGINEER	
LANDMARK CONSULTAI 141 9th Street PO Box 774943 Steamboat Springs, Color	
T.970.871.9494	au 30477
LANDSCAPE ARCHITECT	
MGC DESIGN, INC. PO Box 773522 Steamboat Springs, Color T.970.879.7740	ado 80477
1.570.075.7740	
GENERAL CONTRACTOR	RS INC
2270 W. Bates Ave. Englewood, CO 80110 T.303.762.1554	
PROJECT LOCATION	
Steam	
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Steamboat Spr DRAWING TITLE	ings, CO
ENLARGE PLANS	D UNIT
	D 475
SEAL	DATE: 06/06/21 DRAWN BY:
	CHECKED BY:
	PROJECT NO:









MATERIAL LEGEND

- 01 CORRUGATED MTL. WALL PANEL
- 02 WOOD TEXTURED MTL. WALL PLANKS 03 GROUND FACE CMU. COLOR: DESATURATED BEIGE
- 04 SOLID COLOR MTL. WALL PLANKS
- 05 ASPHALT SHINGLE TO MATCH EXISTING
- 06 EXISTING ASPHALT SHINGLE TO REMAIN
- 07 EXISTING WOOD SIDING TO BE CLEANED & STAINED
- 08 EXISTING STONE WATER TABLE TO BE CLEANED & STAINED/PAINTED 09 EXISTING WOOD COLUMN & BEAM TO BE CLEANED & PAINTED
- 10 EXISTING WOOD FASCIA TO BE CLEANED & PAINTED
- 11 EXISTING WOOD SIDING TO BE RELOCATED, CLEANED & STAINED 12 EXISTING STONE WATER TABLE TO BE RELOCATED, CLEANED & STAINED
- 13 PTD. WOOD FASCIA
- 14 PTD. MTL. RAILING
- 15 PTD. MTL. TRIM 16 PTD. MTL. CANOPY
- 17 PTD. MTL. COPING

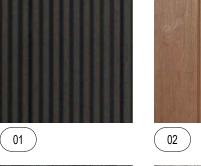
KEY NOTE LEGEND

- A NEW EXTERIOR LIGHT FIXTURES. REFER TO A.XX & A.XX FOR DETAILS
- B HATCHED WINDOWS INDICATE EXISTING TO REMAIN C GARAGE DOOR
- D STOREFRONT
- WOOD PRIVACY FENCE Е F WALL MURAL

TRANSPARENCY CALCULATIONS

PRIMARY STREET FACADES - NEW CONSTRUCTION

PRIMART STREET FACADES - NEW COL	NSTRUCTION				
FACADE LOCATION	AREA	% REQUIREMENT	TRANSPARENCY REQUIRED	TRANSPARENCY PROVIDED	%
NORTH FACADE / GROUND LEVEL:	2,581 SF	30%	774.3 SF	557.8 SF	2
EAST FACADE / GROUND LEVEL:	3,001 SF	30%	900.3 SF	306.1 SF	10
SOUTH FACADE / GROUND LEVEL:	1,128 SF	30%	270.1 SF	213.3 SF	18
WEST FACADE / GROUND LEVEL:	4,243 SF	30%	1,272.9 SF	1,032.4 SF	24
NORTH FACADE / UPPER LEVELS:	N/A	N/A	N/A	N/A	N
EAST FACADE / UPPER LEVELS:	6,230 SF	25%	1,557.5 SF	1,309 SF	2'
SOUTH FACADE / UPPER LEVELS:	4,185 SF	25%	1,046 SF	882.5 SF	2
WEST FACADE / GROUND LEVELS:	5,350 SF	25%	1,337.5 SF	1,195.1 SF	22



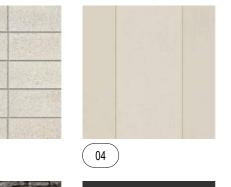
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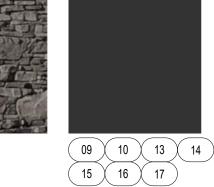


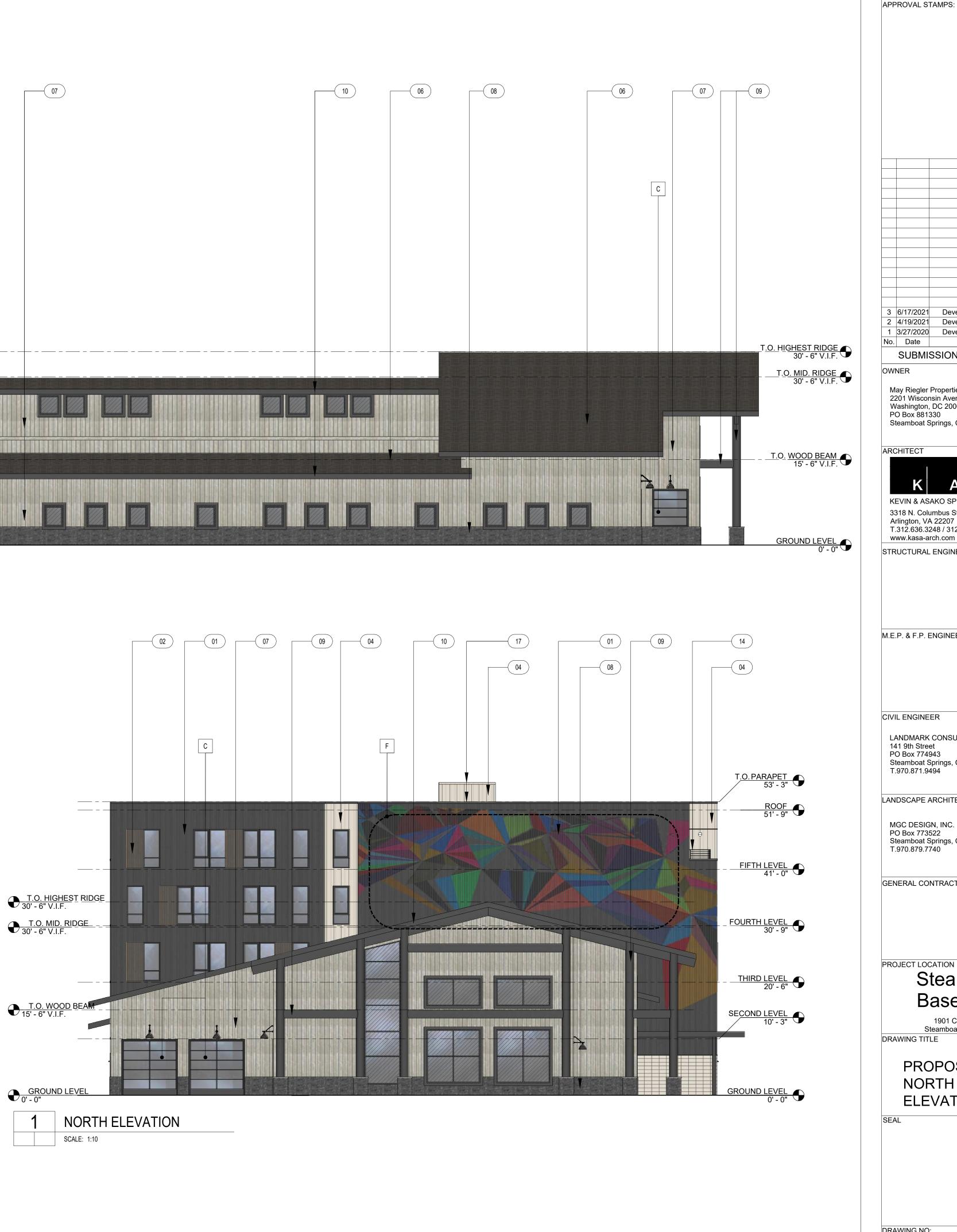
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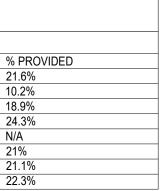


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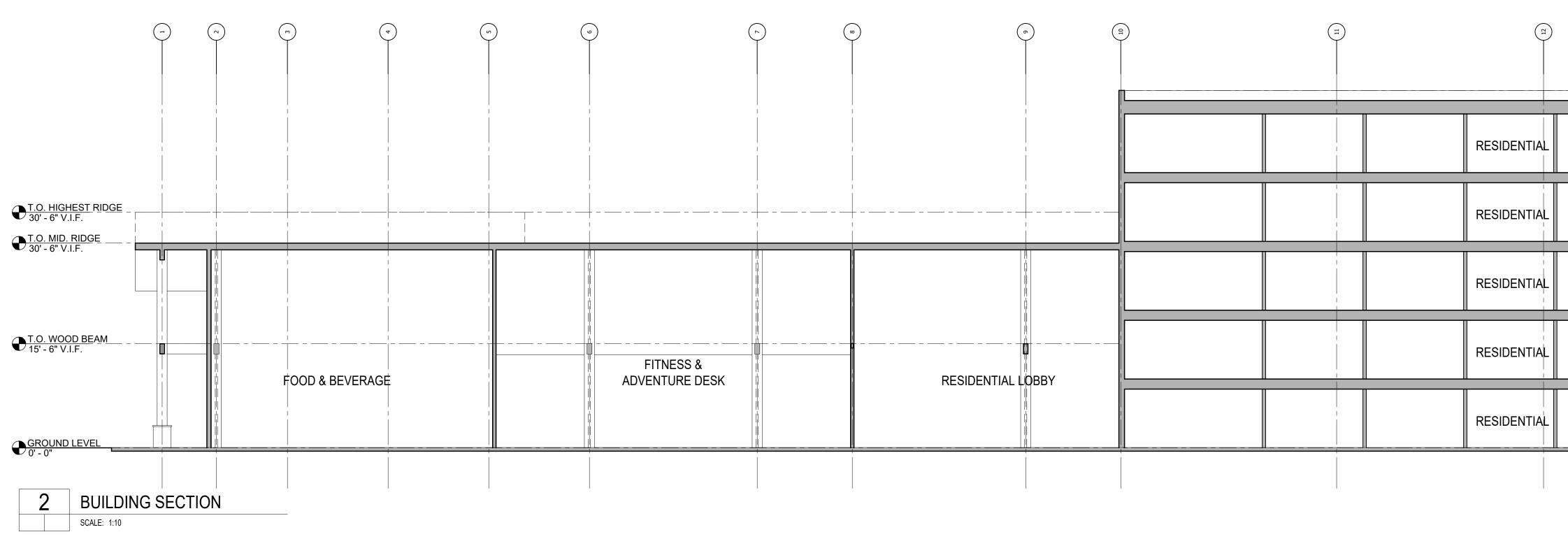


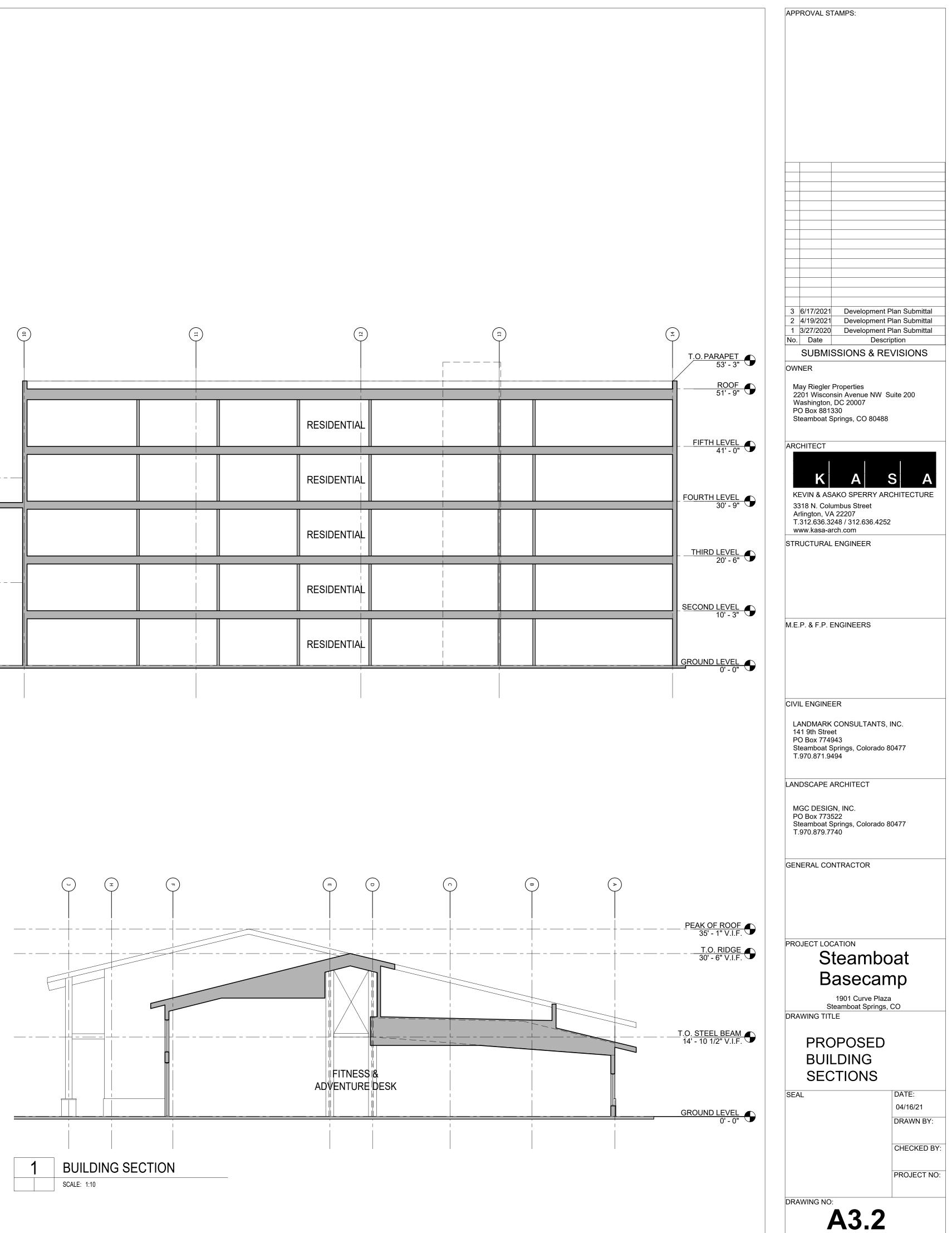






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	Springs, CO 804	488
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	umbus Street	ARCHITECTURE
T.312.636.3 www.kasa-a	248 / 312.636.4	252
TRUCTURAL	- ENGINEER	
IVIL ENGINE	ER	
141 9th Stre PO Box 774	943 Springs, Colorad	
ANDSCAPE	ARCHITECT	
MGC DESIG		
	Springs, Colorad	do 80477
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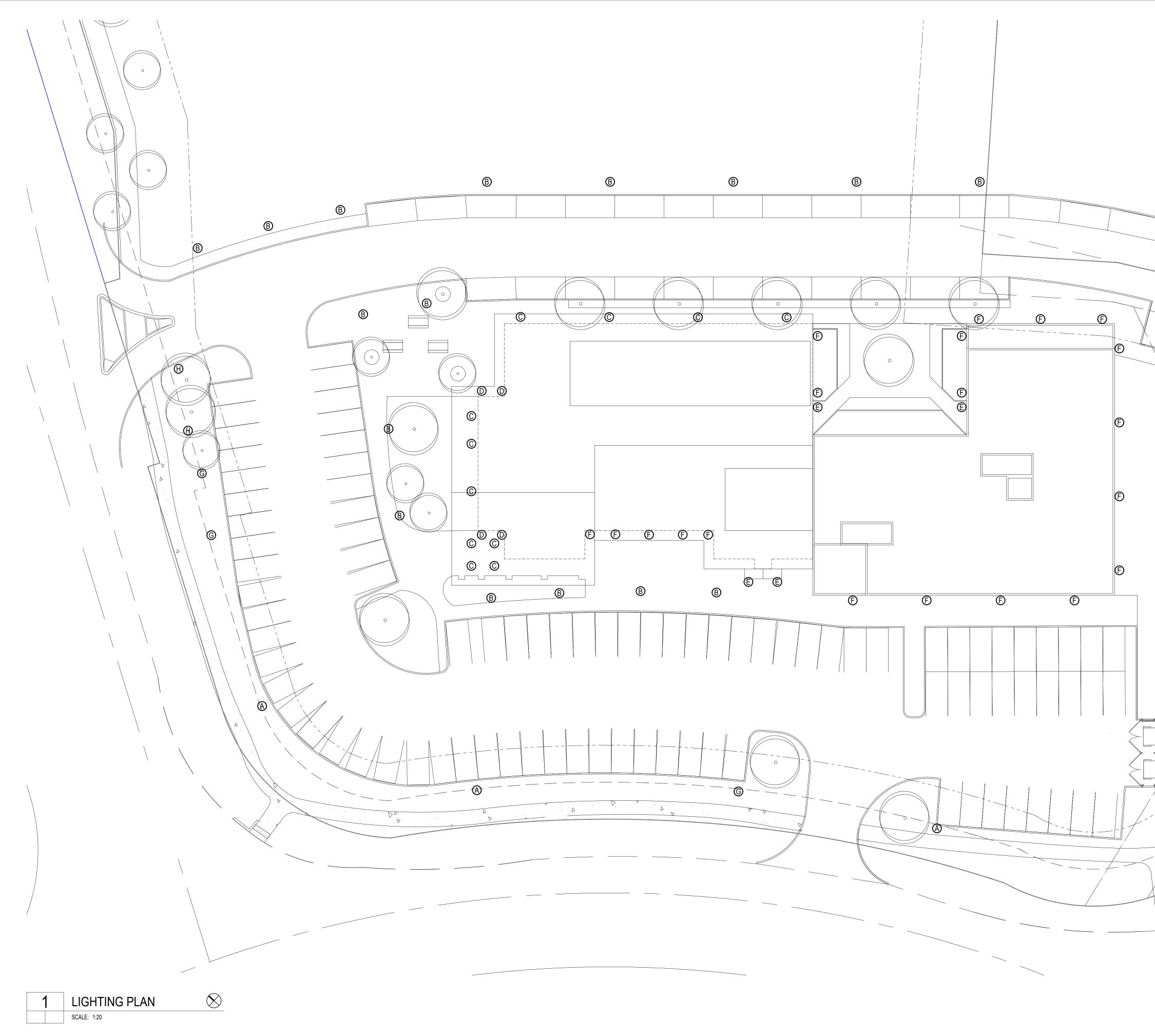


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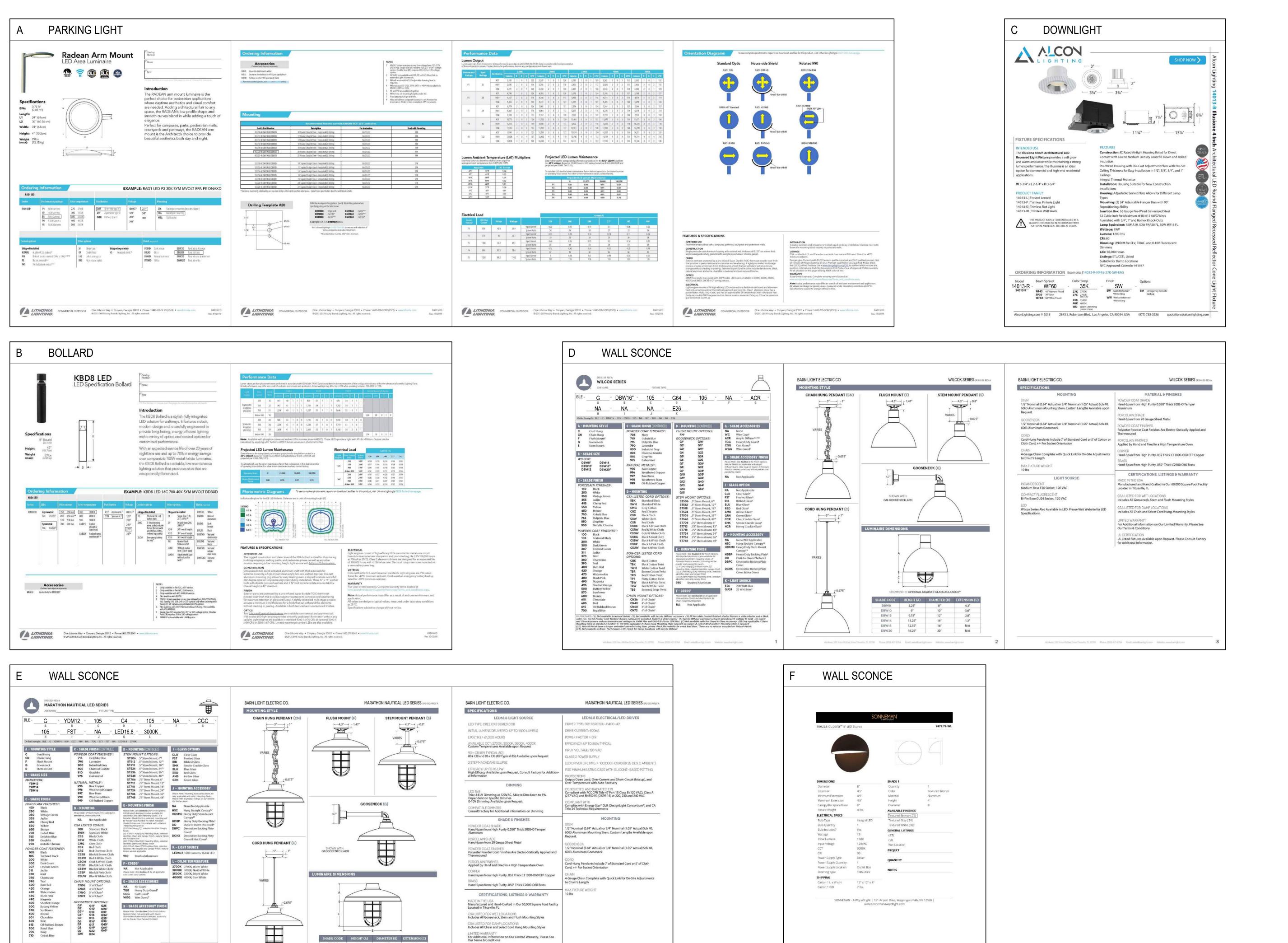
APPROVAL STAMPS:	
5 6/17/2021 Development PI 4 4/19/2021 Development PI 3 10/14/2020 Development PI	an Submittal #4
2 7/9/2020 Development Pl 1 3/27/2020 Development I	an Submittal #2
No. Date Descr SUBMISSIONS & RE	iption
OWNER	
May Riegler Properties 2201 Wisconsin Avenue NW S	Suite 200
Washington, DC 20007 PO Box 881330	
Steamboat Springs, CO 80488	
ARCHITECT	
КА	S A
KEVIN & ASAKO SPERRY AR	CHITECTURE
3318 N. Columbus Street Arlington, VA 22207 T.312.636.3248 / 312.636.4252	>
www.kasa-arch.com	
M.E.P. & F.P. ENGINEERS	
CIVIL ENGINEER	
LANDMARK CONSULTANTS, 141 9th Street	INC.
PO Box 774943 Steamboat Springs, Colorado 8 T.970.871.9494	30477
1.970.071.9494	
LANDSCAPE ARCHITECT	
MGC DESIGN, INC. PO Box 773522	
Steamboat Springs, Colorado 8 T.970.879.7740	30477
GENERAL CONTRACTOR	
PROJECT LOCATION	
Steambo	bat
Basecan	np
1901 Curve Plaza Steamboat Springs,	
PROPOSED	
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SEAL	DATE:
SEAL	03/27/20
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	PROJECT NC
DRAWING NO:	



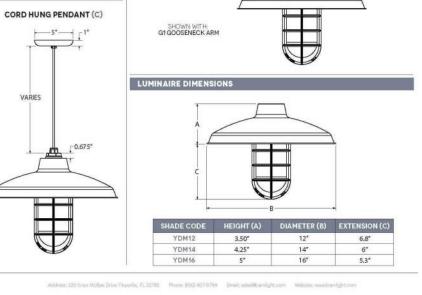
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	LIGHTING LEGEND
	A PARKING LIGHT: LITHONIA RADEAN 20'H ARMMOUNT LED AREA LUMINAIRE.
	BBOLLARD:LITHONIA KBD8 LED SPECIFICATION BOLLARDCDOWNLIGHT:ALCON 14013-R ILLUSION 4'' ARCHITECTURAL LED ROUND
	FLANGED REFLECTOR CONE LIGHT FIXTUREDWALL SCONCE:BARN LIGHT ELECTRIC SPS-0158 REV A WILCOX SERIESEWALL SCONCE:BARN LIGHT ELECTRIC SPS-0529 REV A MARATHON
	DWALL SCONCE:BARN LIGHT ELECTRIC SPS-0158 REV A WILCOX SERIESEWALL SCONCE:BARN LIGHT ELECTRIC SPS-0529 REV A MARATHON NAUTICAL LED SERIESFWALL SCONCE:INTERGLOBAL FE 363 COMPOSITE OUTDOOR LIGHTING
	DWALL SCONCE:BARN LIGHT ELECTRIC SPS-0158 REV A WILCOX SERIESEWALL SCONCE:BARN LIGHT ELECTRIC SPS-0529 REV A MARATHON NAUTICAL LED SERIES

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APPROVAL STAMPS:



IMPORTART: (1) Not available in Natural Metals. (2) Not compatible with 16" shade size and larger (3) All Porcelain Enamel finished shades feature a white interior and a block outer tim. (4) All Novider Cost finished shades, Calvinneed excluded, Isotune a white interior. (5) Only applicable H Chain Hough Novembry Style selected in Section A, select accepted on Histaria Metals (7) Only applicable I Stam Movings Style selection. Section A, Sector A, Se Address 320 Yoros McRee Drive Thumile, FL30260 Phone (000-407-8794 Errah sales@banlight.com Website www.banlight.com



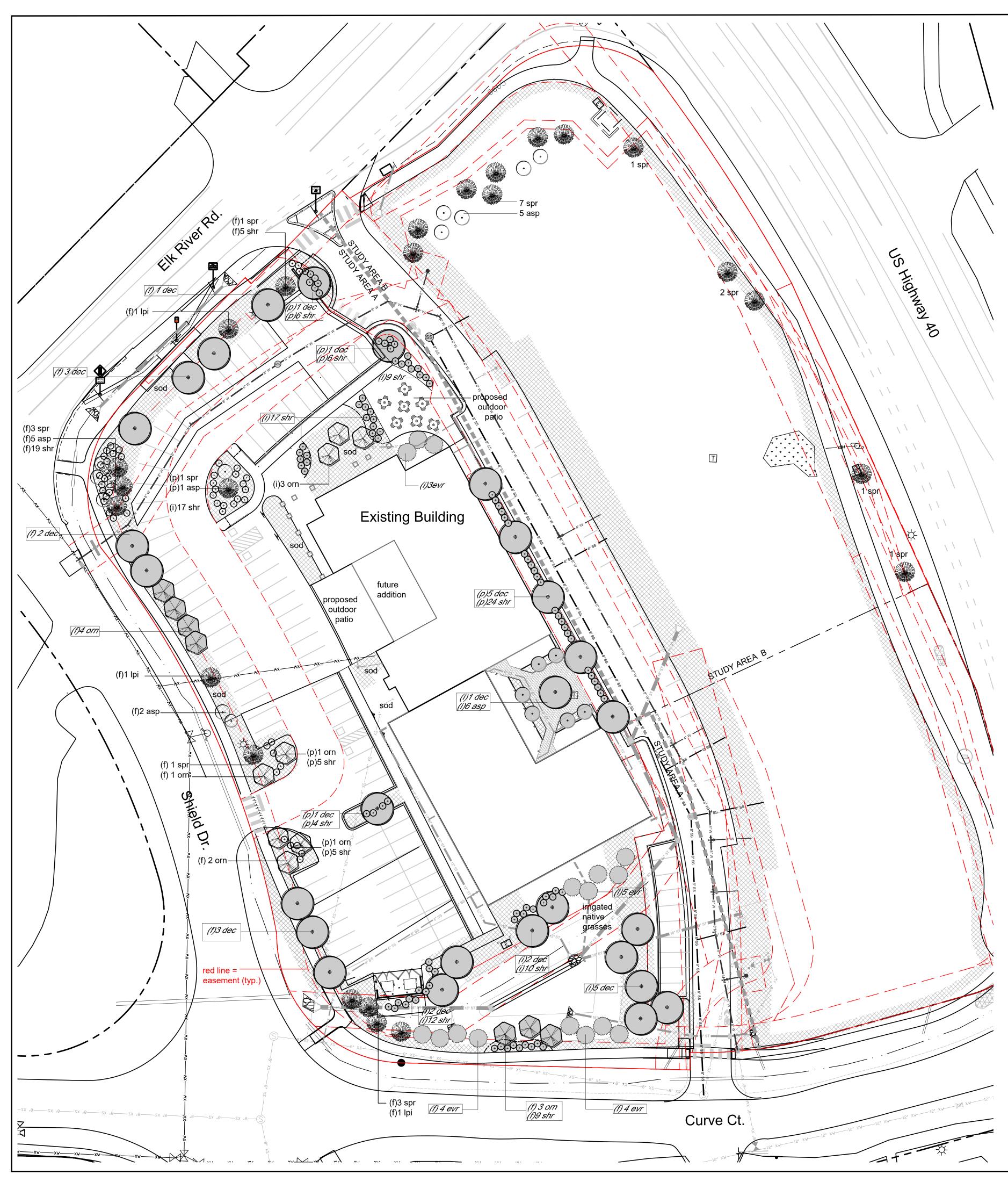
ARN LIGHT ELECTRIC CO.	MARATHON NAUTICAL LED SERIES SP5-0529 REV
SPECIFICATIONS	
LED16.8 LIGHT SOURCE	LED16.8 ELECTRICAL/LED DRIVER
LED TYPE: CREE CXB SERIES COB	DRIVER TYPE: ERP EBR020U-0400-42
NITIAL LUMENS DELIVERED: UP TO 1600 LUMENS	DRIVE CURRENT: 400MA
_90 (11K) > 61,000 HOURS	POWER FACTOR > 0.9
AVAILABLE CCT-2700K, 3000K, 3500K, 4000K Custom Temperatures Available upon Request	EFFICIENCY: UP TO 86% TYPICAL
90+ CRI (R9 TYPICAL 60)	INPUT VOLTAGE: 120 VAC
80+ CRI and 95+ CRI (R9 Typical 85) Available upon Request	CLASS 2 POWER SUPPLY
2 STEP MACADAMS ELLIPSE	LED DRIVER LIFETIME: > 100,000 HOURS (@ 25 DEG C AMBIENT)
EFFICACY: UP TO 96 LPW High Efficacy Available upon Request, Consult Factory for Addition-	IP20 MINIMUM RATING CASE WITH SILICONE-BASED POTTING
al Information	PROTECTIONS Output Open Load, Over-Current and Short-Circuit (hiccup), and Over-Temperature with Auto Recovery
DIMMING LED 16.8 Triac & ELV Dimming at 120VAC, Able to Dim down to 1%. Dependent on Specific Dimmer. 0-10V Dimming Available upon Request. COMPATIBLE DIMMERS CONSULT Factory for Additional Information on Dimming	CONDUCTED AND RADIATED EMI Compliant with FCC CFR Title 47 Part 15 Class B (120 VAC), Class A (277 VAC) and EN55015 (CISPR 15) at 220, 230 and 240 VAC COMPLIANT WITH Complies with Energy Star* DLR (DesignLight Consortium*) and CA Title 24 Technical Requirements
SHADE & FINISHES	MOUNTING
SHADE & FINISHES POWDER COAT SHADE Hand-Spun from High Purity 0.050" Thick 3003-O Temper Aluminum PORCELAIN SHADE	STEM 1/2* Nominal (0.84* Actual) or 3/4* Nominal (1.05* Actual) Sch 40, 6063 Aluminum Mounting Stem. Custom Lengths Available upon Request.
Hand-Spun from 20 Gauge Sheet Metal POWDER COAT FINISHES Polyester Powder Coat Finishes Are Electro-Statically Applied and Thermocured	GOOSENECK 1/2" Nominal (0.84" Actual) or 3/4" Nominal (1.05" Actual) Sch 40, 6053 Aluminum Gooseneck
PORCELAIN FINISHES Applied by Hand and Fired in a High Temperature Oven	CORD Cord-Hung Pendants Include 7' of Standard Cord or 5' of Cloth Cord, +/- For Socket Orientation
COPPER Hand-Spun from High Purity .032 Thick C11000-O60 ETP Copper BRASS Hand-Spun from High Purity .050" Thick C2600-O60 Brass	CHAIN 4-Gauge Chain Complete with Quick Link for On-Site Adjustments to Chain's Length
CERTIFICATIONS, LISTINGS & WARRANTY	MAX FIXTURE WEIGHT 10 lbs
MADE IN THE USA Manufactured and Hand-Crafted in Our 60,000 Square Foot Facility Located in Titusville, FL	
CSA LISTED FOR WET LOCATIONS Includes All Gooseneck, Stem and Flush Mounting Styles	
CSA LISTED FOR DAMP LOCATIONS Includes All Chain and Select Cord Hung Mounting Styles	
LIMITED WARRANTY For Additional Information on Our Limited Warranty, Please See Our Terms & Conditions	
OPERATING TEMPERATURE	

5	6/17/2021	Development Plan Submittal #
4	4/19/2021 10/14/2020	Development Plan Submittal #4 Development Plan Submittal #3
2 1 No.	7/9/2020 3/27/2020 Date	Development Plan Submittal #2 Development Plan Submittal Description
<u></u>		SSIONS & REVISIONS
N	lay Riegler	
۷ P	Vashington, O Box 8813	330
		Springs, CO 80488
AR	CHITECT	
	K	A S A
3	318 N. Colu	AKO SPERRY ARCHITECTURE
Т	rlington, VA .312.636.32 /ww.kasa-al	248 / 312.636.4252
STF	RUCTURAL	. ENGINEER
M.E	P. & F.P. E	ENGINEERS
M.E	P. & F.P. E	ENGINEERS
M.E	P. & F.P. E	ENGINEERS
	.P. & F.P. E	
CIV	IL ENGINE ANDMARK	ER CONSULTANTS, INC.
CIV Li 14 S	IL ENGINE ANDMARK 41 9th Stree O Box 7749 teamboat S	ER CONSULTANTS, INC. et 943 Springs, Colorado 80477
CIV Li 14 S	IL ENGINE ANDMARK 41 9th Stree O Box 7749	ER CONSULTANTS, INC. et 943 Springs, Colorado 80477
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PROJECT NO:

DRAWING NO:

A5.1



LEGEND **existing** existing plants are per field observation - not survey — deciduous shade tree Ð – evergreen tree $\dot{\mathbf{O}}$ -aspen — deciduous shrubs - ornamental tree

NOTES

- 1. Site layout plan and snow storage calculations provided by Landmark Consultants Inc.
- 2. All proposed landscape plantings will be under an automatic irrigation system.
- 3. All landscape will be maintained in a professional manner to industry standard. 4. Owner or landscape architect to approve layout of all proposed work prior to installation.
- 5. Refer to grading and layout and materials plans for additional information on all proposed work.
- 6. This landscape plan is intended only as a City of Steamboat Springs planning
- submittal document. It does not contain the necessary information for construction.

PLANT LIST

REES proposed total 56 SYM BOTANIC NAME	 27 large deciduous, 16 evergreen,13 as COMMON NAME 	SIZE
7 dec populus sp.	cottonwood	2.5" cal.
spr picea pungens	colorado spruce	6'-7' ht.
spr picea pungens	colorado spruce	8'-9' ht.
spr picea pungens	colorado spruce	10' ht
asp populus tremuloide	es quaking aspen	2" cal.
orn malus sp.	ornamental crabtree	2" cal.
SYM BOTANIC NAME	king lot, 48 shrub for tree substitution COMMON NAME	SIZE
SYM BOTANIC NAME shr potentilla fruticosa	COMMON NAME native yellow potentilla	SIZE 5 gal.
 SYM BOTANIC NAME shr potentilla fruticosa shr prunus virginiana 	COMMON NAME native yellow potentilla native chokecherry	
 SYM BOTANIC NAME shr potentilla fruticosa shr prunus virginiana shr amelanchier alnifolia 	COMMON NAME native yellow potentilla native chokecherry saskatoon serviceberry	5 gal.
 SYM BOTANIC NAME shr potentilla fruticosa shr prunus virginiana 	COMMON NAME native yellow potentilla native chokecherry	5 gal.
 SYM BOTANIC NAME shr potentilla fruticosa shr prunus virginiana shr amelanchier alnifolia 	COMMON NAME native yellow potentilla native chokecherry saskatoon serviceberry	5 gal.

preparation. All shrubs will be low water usage plants and be within Appendix A - recommended plant list - in the Community Development Code.

SNOW STORAGE CALCULATIONS

76,695 s.f.	TOTAL PAVED AREA
38,348 s.f. 28,761 s.f.	50% snow storage requirement TOTAL REQUIRED (after 25% reduction for el
540 s.f.	addition due 18 evergreen trees in storage are
29,301 s.f.	TOTAL REQUIRED
32,478 s.f.	TOTAL AVAILABLE

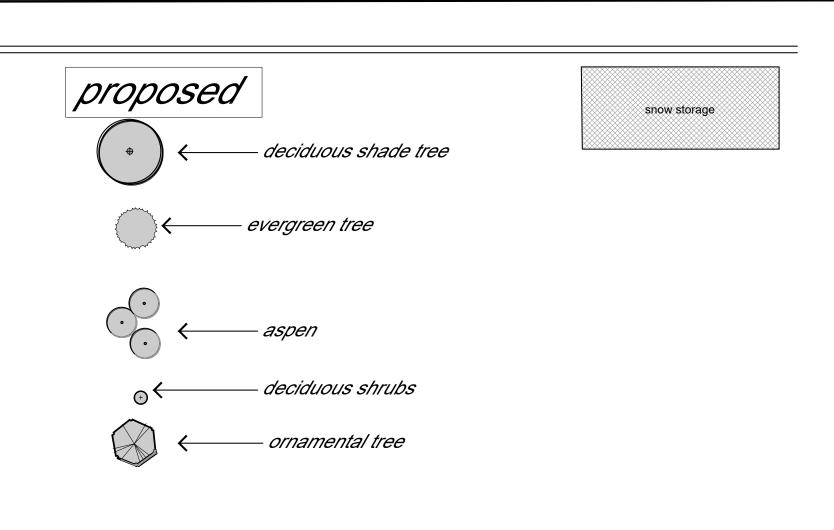
LANDSCAPING STANDARDS TABLE - STUDY AREA A

Description	Landscape Area	CS Zone district Requirements	Required	Existing	Proposed		Tree pro	Dec	Tree pro	Orn	Tree pro
Parking Lot (p)	2,500 sf	1 tree/200sf + 4 shrubs/200sf	12/50*	4/10	8/40*	1	0	0	8	3	0
Frontage (f)	9,500 sf	Category EC - 1tree/200sf	48	21	24/3	11	8	0	8	10	7
Interior (i)	13,500 sf	Category EC3 - 1tree/500sf	27	3	24	0	8	0	11	3	6
Number of Required Trees/Planting Units			87								
Existing Trees to Remain				28							
3 shrubs=1 tree	e 27 existing in frontag	e=0 trees 48 proposed= int. 16 trees		0	16						
shrubs required for parking lot landscape not a part of shrub for tree substitution			on	28	59			1		1	
Total Planting Units					87						

Total Planting Units

LANDSCAPING STANDARDS TABLE - STUDY AREA B

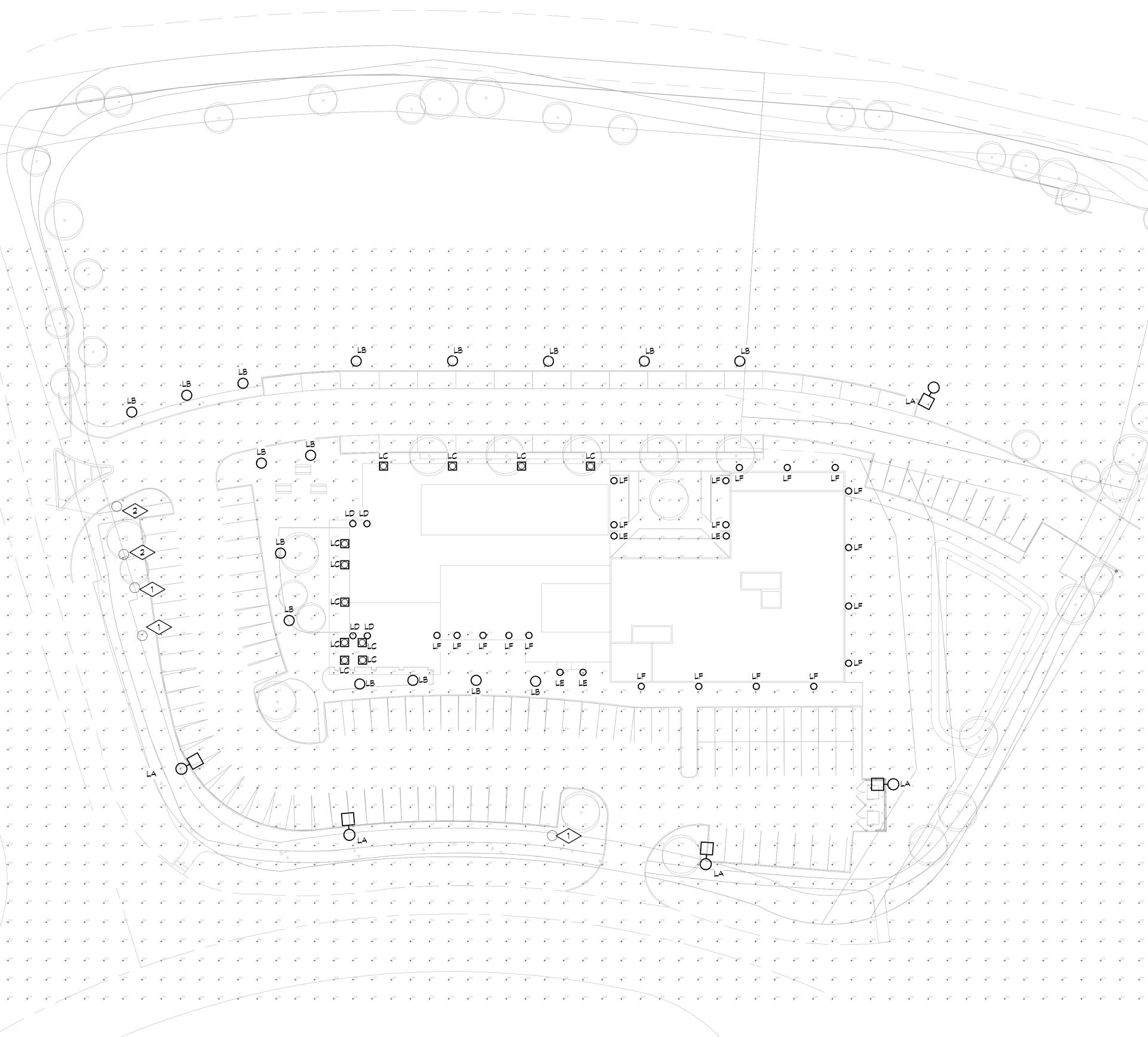
Description	Landscape Area	CS Zone district Requirements	Required	Existing	Proposed		Tree pro		Tree pro		Tree pro
Frontage (f)	15,450 sf	Category EC - 1tree/200sf	77	17	0	12		0	0	0	5
Interior (i)	48,700 sf	Category EC3 - 1tree/500sf	97	0	0	7	0	0	0	6	0
Number of Required Trees/Planting Units		174								•	
Existing Trees to Remain				17							
Total Proposed					0			•		•	



elevation)

00 00 00 00 10 1''=30'' 1''=30''' 1''=30''' 1''=30''' 1''=30'''' 1''=30''''''''''''''''''''''''''''''''''
landscape plan
amp Dr. orado
Steamboat Basecamp Elk River Rd. and Shield Dr. Steamboat Springs, Colorado
MGC DESIGN, INC.

+LB +1.5 +0.2 \bigcirc 27LB \bigcirc +0.3 +0.2 0 \bigcirc +^{1.6} +^{0.9} +^{0.5} +0.1 +0.7 $+^{1.3}$ $+^{0.7}$ $+^{0.4}$ $+^{0.2}$ +0.4 +1.8 $+^{2.8}$ $+^{1.5}$ $+^{0.8}$ $+^{0.4}$ $+^{0.2}$ LB \bigcirc +^{1.7} +^{0.8} +^{0.4} +^{0.2} +0.1 +0.2 +4.8 +1.7 +0.7 +0.3 +0.2 +0.1 +0.2 +0.3 +2.0 $+^{0.3}$ $+^{0.2}$ $+^{0.1}$ $+^{0/2}$ $+^{0.2}$ $+^{0.3}$ +^{3.4} O⁺ +^{5.2} +^{1.6} +^{0.6} +^{0.2} +^{0.1} +^{0.1} +5.9 +8.6 $+^{1.6}$ $+^{0.5}$ $+^{0.2}$ $+^{0.1}$ $+^{0.1}$ +11 +45 $+\frac{1}{26}$ $+\frac{3}{5}$ $+\frac{2.6}{2.6}$ $+\frac{0.8}{2.6}$ $+^{0.3}$ $+^{0.1}$ $+^{0.1}$ $+^{0.1}$ $+^{0.1}$ +0.0 +0.0 +0.7 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +^{1.7} +^{0.8} +^{0.3} +^{0.1} 50 **4**^{1,4} 4^{0,4} 4^{0,2} 4^{0,1} 4^{0,1} 4^{0,1} 4^{0,2} 4^{0,2} 4^{0,2} 4^{0,1} 4^{0,1} 4^{0,1} 4^{0,1} 4^{0,1} $+^{0.0}$ $+^{0.0}$ $+^{0.0}$ $+^{0.0}$ $+^{0.0}$ $+^{0.1}$ $+^{0.3}$ $+^{1.1}$ $+^{4.0}$ $+^{7.8}$ $+^{1.7}$ $+^{0.4}$ $+^{0.2}$ $+^{0.1}$ $+^{0.2}$ $+^{0.3}$ $+^{0.4}$ $+^{0.4}$ $+ \frac{1}{20} + \frac{1}{20$ +0.0 +0.0 +0.0 +0.0 $+^{0.1}$ $+^{0.1}$ // $+^{0.1}$ // $+^{0.2}$ / $+^{0.4}$ $+^{1.3}$ +^{0.0} +^{0.0} +^{0.0} +^{0.0} + (1) + (1+^{0.0} +^{0.0} +^{0.0} +^{0.0} +^{0.0} +0.0 +0.0 +0.0 +0.0 +0.0 $+^{00}$ $+^{00}$ $+^{00}$ $+^{00}$ $+^{00}$ $+^{00}$ $+^{00}$ $+^{00}$ $+^{00}$ $+^{01}$ $+^{01}$ $+^{01}$ $+^{01}$ $+^{01}$ +^{0.0} +^{0.0} +^{0.0} +^{0.0} +^{0.0} / +^{0.0} +^{0.0} +^{0.0} +^{0.0} +^{0.0} +^{0.0}



PHOTOMETRIC SITE PLAN

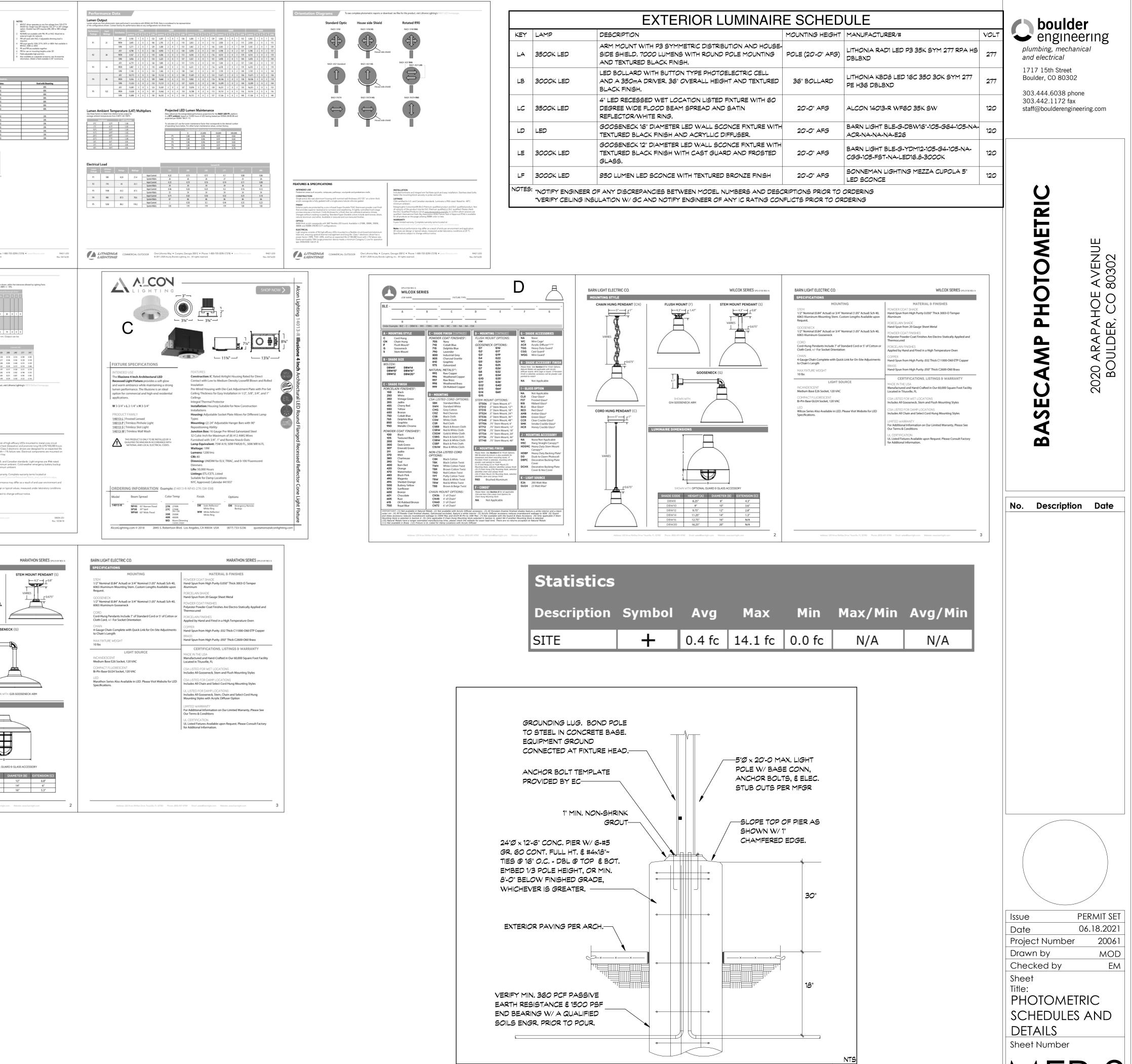
DETAIL NOTES THIS SHEET

- LIGHTING FIXTURE 'G' IS EXISTING TO REMAIN PARKING LOT LIGHT. FIXTURE NOT INDCLUDED IN LIGHTING FIXTURE SCHEDULE.
- 2. LIGHT FIXTURE 'H' IS EXISTING TO REMAIN SIGN LIGHT. FIXTURE NOT INDCLUDED IN LIGHTING FIXTURE SCHEDULE.

boulder engineering plumbing, mechanical and electrical 1717 15th Street Boulder, CO 80302 303.444.6038 phone 303.442.1172 fax staff@boulderengineering.com

PHOTOMETRIC 2020 ARAPAHOE AVENUE BOULDER, CO 80302 **MP** SEC Ω No. Description Date 1 Revision 1 Date 1 PERMIT SET Issue 06.18.2021 Date 20061 Project Number MOD Drawn by ΕM Checked by Sheet Title: PHOTOMETRIC SITE PLAN Sheet Number

		Radean Arm Mount	Ordering Information
	LEGEND	LED Area Luminaire	Accessories Deterring of Algorithmetery M20 Insure and Algorithmetery M20 Insure and Algorithmetery (Fig. 8)
	MAIN DISTRIBUTION CENTER	Ht the Tab bay or mouse over the page to see all otheractive elements.	M3011 Add two control of PE (public lyandy low) For more assend optical, war and action
		Specifications EPA: 0.75 ft ² EPA: 0.05 m ²	
	ELECTRIC SERVICE METER CURRENT TRANSFORMER	Length: L1 24*(61cm) L2 30*(60.96 cm)	Mounting Recommended Poles for use with RADEAN RAD1 LED Luminaires.
	TRANSFORMER	Width: 24* (stem) Perfection campases, pars, presentian mains, courtyards and pathways, the RADEAN arm mount is the Architect's choice to provide beautiful aesthetics both day and night. Weight: 29bs beautiful aesthetics both day and night.	Acuity Part Namber Description For Amistades: 855 51-86 DIVENAD CODED 11° Ill aund Smalph Taller. Templane XID Uniting 8.4011.00 855 51-86 DIVENAD CODED 11° Ill aund Smalph Taller. Templane XID Uniting 8.4011.00 855 51-86 DIVENAD CODED 11° Ill aund Smalph Taller. Templane XID Uniting 8.4011.00 855 51-86 DIVENAD CODED 11° Ill aund Smalph Taller. Templane XID Uniting 8.4011.00
	CONCEALED CIRCUIT		K53 11-00 001640 (2000) 11º Rund Syngle Seef-Brugher X50 Drilling 4.801 LID K55 11-00 001640 (2000) 11º Rund Synglet Seef-Brugher X50 Drilling 4.801 LID K55 31-00 001640 (2000) 11º Rund Synglet Seef-Brugher X50 Drilling 4.801 LID K55 31-00 001640 (2000) 21º Rund Synglet Seef-Brugher X50 Drilling 4.801 LID K55 31-00 001640 (2000) 22º Rund Synglet Seef-Brugher X50 Drilling 4.801 LID
	UNDERFLOOR / UNDERGROUND CIRCUIT	A	SSS TV AC DRIFNAD TORID TO Space Symphysics Sec: Torigine xXD briding RAD1 LD SSS TV AC DRIFNAD TORID TX Space Symphysics Forugine xXD briding RAD1 LD SSS TV AC DRIFNAD TORID TX Space Symphysics Forugine xXD briding RAD1 LD SSS TV AC DRIFNAD TORID TX Space Symphysics Forugine xXD briding RAD1 LD SSS TV AC DRIFNAD TORID TX Space Symphysics Forugine xXD briding RAD1 LD SSS TV AC DRIFNAD TORID TX Space Symphysics Forugine xXD briding RAD1 LD
	EXPOSED CIRCUIT	Ordering Information EXAMPLE: RAD1 LED P3 30K SYM MVOLT RPA PE DNAXD	2011 Her Control Control 112 Against Strapping and Hingsing and Hings
	WIREMOLD (SURFACE WIREWAY)	RADT LED Performance package Celler temperature Distribution Valitage Meanting RADT LED P1 3500 Linners 278 27005 SYM. Sprinerit:type'/ MV0(1") 277" SPA Squee piek mounting link/sks.adaptd	Drilling Template #20 Setting paten Specify the Automatic Specify
PM → → P-3	PLUGMOLD HOMERUN TO PANELBOARD	Part Los P1 Accounting	BHIMAD Steph with BHOMAD 2 // 10° BHOMAD 2 // 10° BHOMAD 2 // 10° BHOMAD 2 // 10° BHOMAD 2 // 10° BHOMAD 2 // 10° BHOMAD 3 // 10° BHOMAD 4 // 50° BHOMAD 3 // 10° BHOMAD Fammyler SSA // K ONTHRAD (CBID 3 // 10°
	(ONE ARROW / CKT, PNL & CKT #'S SHOWN)	Control options Other options Field, (maximal)	1 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2
(44,46)		Shipped installed SF Single fuse! Shipped separately DDRXD Durkhonzee DDRXD Textured dark honzee MUARE2 stight stated optics DF Dotable fixe! HS Housestersheld* DDRXD Natured dark honzee PR Billered matter stated optics HS Housestersheld* DDRXD Natural during and animaen	0.49
•o	FOR SPECIFIED PANEL	PE Batton-phonodil ^{1,5} R90 Right suband spitos DMHGXD Wilkite DMHGXD Testaned white HoD Reid adjusable cutyri ^{11,10}	
	CONDUIT TURNS DOWN		
Ū	JUNCTION BOX	COMMERCIAL OUTDOOR One Lithonia Way • Convers. Georgia 3012 • Phone: 1-800-705-5ERV (7376) • essentitivoria.com #AD1.LED	COMMERCIAL OUTDOOR One Lithoria Way • Carvers, Georgia 30012 • Phone: 1:800-70 © 2013-2000 Anuto Barrels Lindros Inc. All Index named
ß	PORCELAIN LAMP HOLDER (PC: PULL CHAIN)	COnvertencine. CUI UCCAR @ 2011-2009 Acuity Brands Lighting, hz. All rights reserved. Rev 0916/20	COMMERCIAL OUT DOOR © 2011-000 Acuty Brinds Lighting, Inc. All highs neared.
0	LIGHT FIXTURE: SURFACE MOUNTED	KBD8 LED LED Specification Bollard	Performance Data Lines obey to for phononent rest performed in accordance with IESNA (M-79-40. Data) is considered to be representative of the configurations down, with Accurate performance multiple analysis of and use environment and applications. Actual writing multiple by 1-15 when generating between 129-2007 V-107
Ø	RECESSED LIGHT FIXTURE		Actual performance may filter by 1- BC when spanning between US2-8007-10-10 Light for a ward of end-use environment end application. Actual vertages may effer by 1- BC when spanning between US2-8007-10-10 Light for a ward of end-use environment end application. Actual vertages may effer by 1- BC when spanning between US2-8007-10-10 Light for a ward with the mass of the product of a spanning between US2-8007-10-10 Colspan="2">Colspan="2">Colspan="2">Colspan="2">Colspan="2">Colspan="2">Colspan="2">Colspan="2">Colspan="2">Colspan="2">Colspan="2">Colspan="2">Colspan="2">Colspan="2">Colspan="2">Colspan="2">Colspan="2">Colspan="2">Colspan="2" Colspan="2">Colspan="2" Colspan="2" Colspan="2"
이 어	WALL MOUNTED LIGHT FIXTURE	To the Tabley or recease over the page to see all retreactes elements. Introduction The KBD8 Bollard is a stylish, fully integrated	Mymedicity 13 biggies (74) 530 2.2 947 6.8 1 1 1.5 1 1 1.6 2.5 1 1 1 1.6 1.5 1 1 1 1.6 1.5 1 1 1 1.5 1 1 1 1.5 1
⊗ ∧	EXIT LIGHT: DIRECTIONAL ARROW	LED solution for walkways. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting	333 20 884 44 1 0 1 5 1 0 1 2 0 0 1 1 0 0 1 0 0 1 0 0 0 1 0 0 1 0 0 1 0 0 1 0 0 1 0 0 0 1 0 </th
	BATTERY PACK	B* Round (203.org) with a variety of optical and control options for customized performance. Height: 42* (002.org) With an expected service life of over 20 years of	Note: Available with phosphor-converted ambar LED's (non-mediature AMBPC); These LED's produce light with 17+% > 530 nm. Outpu calculated by applying a 0.7 factor to 4000 K kmen values and photometric files. Projected LED Lumen Maintenance Electrical Load
	SURFACE FLUORESCENT FIXTURE	Weight 27bs nightme use and up to 70% in energy savings (max): (12.5%) over comparable 100W metal halide luminaires, the KBDB Bollard is a reliable, low-maintenance the KBDB Bollard is a reliable, low-maintenance	Data inference the estimational performance projectices for the platform stated is a 25°C whether based = 10,000 Hours of IED testing heated per ISNA 1M40.08 and projectical per ISNA 1M42.01 Hours of IED testing heated per ISNA 1M40.08 and To acludate LIJ, set the larveen mananesses fracture that the deviced number of opposite provides black. For other testing mananesses, control focusion
Φ	RECESSED FLUORESCENT FIXTURE SINGLE OUTLET: C-CLOCK (+70")	→ D i→ lighting solution that produces sites that are exceptionally illuminated.	Operating Starts 0 25,993 56,000 146,000 Lamin Multimeter 1,00 0,98 6,07 0,93 2,000 100,000 Lamin Multimeter 1,00 0,98 6,97 0,95 1,00 0,98 1,00 0,98 0,97 1,00 0,98 0,97 1,00 0,98 0,97 1,00 0,98 0,97 0,99 1,19 0,98 1,00 0,98 1,00 0,98 1,00 0,98 1,00 0,98 1,00 0,98 1,00 0,98 1,00 0,98 1,00 0,98 1,00 0,98 1,00 0,98 1,00 0,98 1,00 0,98 1,00 0,98 1,00 0,98 1,00 0,98 1,00 0,98 1,00 0,98 1,00 0,98 1,00 1,00 1,00 1,00 1,00 1,00 1,00 1,00 1,00 1,00 1,00 1,00 1,00 1,00 1,00 1,00 1,00 1,00 1,00<
₽	DUPLEX RECEPTACLE	Ordering Information EXAMPLE: KBD8 LED 16C 700 40K SYM MVOLT DDBXD BBDBLED	Photometric Diagrams To see complete photometric reports or download jes fies for this product, visit Lith Isofostande plots for the KB LED Bollinda. Distances are in units of mounting height []].
	IG: ISOLATED GROUND S: SAFETY	Series LEDs Drive current Caffer temperature Distribution Valtage Contral options Other patients Finish resurce NSDB LED Asymmetric 12X 339 339 nA 34K 3000 K Asymmetric 40K MVXUT ¹ Shipped installed PE Shipped installed bitsman yet	
©= ⊕	DUPLEX RECEPTACLE - GFCI SPLIT WIRE DUPLEX	Symmetric 730 730 mit AMRPC Antony 201 Distancy 277,200 % Antony 16K 16 (15) % 700 700 mit AMRPC 200 BMR 64 (16) mit may drospher BE 221,200 % 00000 Data 16K 16(25) % 700 mit AMRPK Antony 201 BMR 64 (16) mit may drospher BE 224 (16) % 00000 Data 16K 16(25) % 70 mit 72 (17) % anternal control 244 (16) % BE 245 (16) % BE 245 (16) % 245 (16	
♥	QUADRAPLEX (DOUBLE DUPLEX)	workdragm 12 backport Land port Land	FEATURES & SPECIFICATIONS
Ś	COMB. SWITCH / RECEPTACLE	U/88 4 doctrantize without active bolist ¹	INTENDED USE The rugged construction and clean lines of the KBA bollard in ideal for illuminating building entryways, walking paths, and pedestrian piszas, as well as any other location requiring a low mounting height Eght source with fully cutoff illumination. CONSTRUCTION
· · · · · · · · · · · · · · · · · · ·	FLOOR MOUNTED RECEPTACLE	Accessories	One-price Binch round estrudied aluminum shaft with thick ide wals for extreme durability, a high-impact clear anylic lears and welded top cop. De-cast aluminum mounting ring alumits for any leveling own in sloped coations and a ful 300-degree notation for priorities alignment during installation. Three V" a 11" and/or bolts with oluble nuts and walkers and 3 4" bolt circle temptice request stability. WARRANTY
0	SPECIAL PURPOSE (AS NOTED)	Accessories Access	Overall height is 42° standard. FNISH Exterior parts are protected by a zinc-infused super durable TGIC thermoset powder cost finish that provides superior resistance to corrolic and weathering for mairum materiation of gloss and kates. A traffic corrolic durable tasge process
▼	TELEVISION OUTLET MOTOR OUTLET	 failing 2012 (LDF spectrum), and production 2014 for production 2014 for	without cracking or paeling. Available in both textured and non-textured finishes. OPPICS Two fully cutoff optical distributions are available: symmetrical and asymmetrical.
(M)	sto - switched thermal overload TELEPHONE TERMINAL	Che Lithonia Way • Conyers, Georgia 30012 • Phone: 600.229-8041 • www.lithonia.com	PH6 sealed LED light engine provides amothly grakated likarination without any uright. Light engines are available in standard and 00K (>10 CBI) or cotronal 300X (>80 CBI) or 5000 K (b7 CBI). Limited-wavelength amber LEDs are also available.
	TELEPHONE OUTLET	LIGHTING. © 2012-2018 Assiry Banda Lighting, Inc. All rights reserved.	© 2013-2018 Acuty Banda Lighting, Inc. All rights reasoned.
♥	FLOOR MTD. TELEPHONE OUTLET		
		SPS-OTOP REVA MARATHON SERIES	BARN LIGHT ELECTRIC CO.
▼ S	COMB. TELE/COMPUTER OUTLET		MOUNTING STYLE CHAIN HUNG PENDANT (CN) FLUSH MOUNT (F)
	a-switching p-pilot light 2-2 pole k-keyed	H I J K Order Example: BLE - C - YDM16 - 999 - 5BK - 200 - NA - WGG - 975 - FST - NA - E26	
	3-3 way to-thermal overload 4-4 way t-timer	A - MOUNTING STYLE C - SHADE FINISH (CONTINUED) D - MOUNTING (CONTINUED) G - SHADE ACCESSORIES C Cord Hung POWDER COAT FINISHES*: FLUSH MOUNT OPTIONS: FM CN Chain Hung 705 Navy FM WC Wire Cage!	VARIES
M	MOTION DETECTOR DIMMER	F Flush Mount 710 Cobalt Blue GOOSENECK OPTIONS: CGG Heavy Duty Guardi G Gooseneck 715 Delphite Blue GOOSENECK OPTIONS: CGG Cast Guardi S Stem Mount 790 Lavender G1' G2' G17 WGG Wire Guardi B - SHADE SIZE 800 Industrial Grey G3' G19' H - SHADE ACCESSORY FINISH	GOOSENECI
	THERMOSTAT	B - SKADE SIZE BOD Construction on stratme G4 C22 H - SKADE ALCE-SSORY FINISH MARATHON: 810 Graphite G5 C24 Measure from Constant Finish YDM12 NATURAL METALS ² : G6 G25 or dawlar bette for Advance with the Cole YDM14 NATURAL METALS ² : G7 G26/ accessory with a water or actine for month YDM16 995 Raw Copper G8 G32 NA Not Applicable	
TS	TIME SWITCH	Open Construction Open Construling Open Construling	
PE	PHOTOCELL	250 White D - MOUNTING OT3 Ot49 FST Frosted Glass* 350 Vintage Green D - MOUNTING G14 G65' RIB Ribbed Glass* 355 Jadite CSA LISTED CORD OPTIONS: G15 G15 BLU Blue Glass* 455 Cherny Red SBK Standard Black STEM MOUNT OPTIONS: RED Red Glass* 550 Vellow SWH Standard White ST506 S' Stem Mount, 6" Amber Glass*	CORD HUNG PENDANT (C)
	PUSH-BUTTON STATION	650 Brozze CMG Grey Cotton ST512	
凸	SAFETY SWITCH	POWDER COAT FINISHES*: CSBB Bilark & Brown Cloth ST706 37's term Mount, 0" J - MOUNTING ACCESSORY 100 Bilark CSSW Gold A Winte Cloth ST718 .7's term Mount, 12" NA Non-Nor-Not Applicable 105 Textured Bilark CSSW Gold A Winte Cloth ST718 .7's term Mount, 12" NA Non-Nor-Not Applicable	
	LIGHTING CONTACTOR	300 Dark Green CSBW Black & While Cloth CST48 75* Stem Mount, 48* Numer Cloth 307 Emerald Green CSBW Black & White Cloth ST748 75* Stem Mount, 48* Numer Cloth Canopy* 311 Judite CSUW Black & White Cloth E - MOUNTING FINISH Do Dusk-to-Jawn Photocell 370 Mint White Cloth E - MOUNTING FINISH Do Dusk-to-Jawn Photocell	VARIES
	COMBINATION MOTOR STARTER	300 Chartreside OPTIONS: Mode with: 30 explaining of vision (source) available for conserver and source) sources. Cover Cover 300 Barn Red TBK Black Cotton Sources and sources available for conserver and sources available for conserver and sources available for conserver and sources available for conserver and sources available for cover a land cover available for cover avai	
R	RELAY	490 Magenta TPT Putty Cotton Twist destrete chail and any fixes E26 200 Walt Max 495 Sherbet Chail and any fixes Based & White Twist PW Based & White Twist GU24 23 Waitt Max 500 Buttery Yellow TBW Red & White Twist 980 Brushed Aluminum GU24 23 Waitt Max	
FACP	FIRE ALARM CONTROL PANEL	600 Bronze F = CORDS3 601 Charolate CHAIN MOUNT OPTIONS: F = CORDS3 605 Rust CN36 3' of Chain' Cover the red of and cord cover there of the cover	SHOWN WITH OPTIONAL GUARD
	PULL STATION	TOO Royal Blue CN60 5' of Chain' NA Not Applicable IMPORTANT: (1) Not evelopide in Naturel Metals (2) Natural Nat	SHADE CODE HEIGHT (A) DIA YDM12 3.50" 1000000000000000000000000000000000000
	HORN	evoluted, findure a white interior (3) Cityl applicable if Chain Fung Houring Style selected of Section A, select AM another Mounting Style is selected (4) Guard and Glass accessory reduces incandencent wattage to 100W Hax and GG24 B-Pin to 18W Hax (7) Only applicable 4 Stern Mounting Style is selected in Section A.	YDM16 5*
	HORN / LIGHT COMBINATION	Address: 320 Koss McBas Dive Thurolle, FL32780 Peone: (602) 407-4074 Email: sales@barnlight.com Website: www.barnlight.com	Address: 320 Koss Mellas Drive Tauvelle, FL 32280 Horne: (803):407-4224 Email: submillandight.com
	HORN / STROBE STROBE		
	BELL	SONNEMAN	
	OS & Y VALVE	mezza cupola™ 5° LED Sconce 7470.72-WL	
E	FLOW SWITCH		
0	ROOM DETECTOR (SMOKE)		
• T	ROOM DETECTOR (THERMAL)	DIMENSIONS SHADE 1 Diameter 5" Quantity 1	
	DUCT DETECTOR REMOTE INDICATING	Extension 3° Color Textured Broze Minimum Extension 3° Material Aluminum Maximum Extension 3° Height 2.5°	
	LIGHT / TEST SWITCH DOOR HOLDER	Canopy/Backplate/Base 5* Diameter 5 Future Weight 2 lbs. AVAILABLE FINISHES ELECTRICAL SPECS Textured Bronze (-72)	
	CHIME	Buib Type Integral LED Textured Gray (74) Buib Quantity 1 Textured White (98) Buib Included? Yes GENERAL LISTINGS Wattage 8 r=T	
.\~	FUSED SWITCH	Initial Lumens 950 cUL Delivered Lumens 430 ADA Input Voltage 120VAC Wet Location	
		CCT 3000K PROJECT CRI 90 POWEr Supply Type Driver QUANTITY Power Supply Quantity 1 QUANTITY	
	GROUND CONNECTOR	Power Supply Location Outlet Box NOTES Dimming Type TRIAC/ELV NOTES SHIPPING	
	MECHANICAL EQUIPMENT	Carton 1 L x W x H 9° x 9° x 7° Carton 1 GW 4 lbs.	
	DETAIL NOTE	SONNEMAN - A Way of Light 151 Airport Drive, Wappingers Falls, NY 12590 www.sonnemanawayoflight.com	
	KITCHEN / MEDICAL EQUIPMENT		
(E)	EXISTING TO REMAIN		
(ER) (ED)	EXISTING TO BE REPLACED		
	EXISTING TO BE DEMOLISHED		



PARKING LOT LIGHT POLE BASE DETAIL