



STEAMBOAT BASECAMP - DEVELOPMENT PLAN SUBMISSION

1901 CURVE PLAZA
STEAMBOAT SPRINGS, COLORADO 80487

VICINITY MAP



PROJECT TEAM

OWNER
MAY RIEGLER PROPERTIES
2201 WISCONSIN AVENUE NW SUITE 200
WASHINGTON, DC 20007

PO BOX 881330
STEAMBOAT SPRINGS, CO 80488

ARCHITECT
KASA
3318 N. COLUMBUS ST.
ARLINGTON, VA 22207

CIVIL ENGINEER

LANDMARK ENGINEERS & SURVEYORS
141 9TH STREET
PO BOX 774943
STEAMBOAT SPRINGS, CO 80477

- DRAWING LIST
- G 1.0 COVER SHEET
 - C.003 EXISTING CONDITIONS & SITE REMOVAL EXHIBIT
 - C.100 SITE PLAN
 - C.200 UTILITY PLAN
 - C.210 WATER MAIN PLAN - OVERALL
 - C.211 WATER MAIN PLAN & PROFILE
 - C.212 WATER MAIN PLAN & PROFILE
 - C.213 WATER MAIN PLAN & PROFILE
 - C.214 WATER MAIN PLAN & PROFILE
 - C.221 SANITARY SEWER PLAN & PROFILE
 - C.301 DETAILED GRADING PLAN - OFFSITE
 - C.302 DETAILED GRADING PLAN - ONSITE
 - C.310 STORM SEWER PLAN - OVERALL
 - C.311 STORM SEWER PLAN & PROFILE
 - C.400 MATERIALS, SIGNAGE, & STRIPING PLAN
 - C.401 MATERIALS, SIGNAGE, & STRIPING PLAN
 - C.410 ROADWAY PLAN & PROFILE
 - C.700 EASEMENT EXHIBIT
 - A 1.1 EXISTING GROUND LEVEL PLAN
 - A 1.2 EXISTING ROOF PLAN
 - A 1.3 DEMOLITION PLAN
 - A 2.1 GROUND LEVEL PLAN
 - A 2.2 TYPICAL FLOOR PLAN
 - A 2.3 FIFTH FLOOR PLAN
 - A 2.4 ROOF PLAN
 - A 2.5 ENLARGED UNIT PLANS
 - A 3.01 EXISTING SOUTH AND WEST ELEVATIONS
 - A 3.02 EXISTING NORTH AND EAST ELEVATIONS
 - A 3.11 PROPOSED SOUTH AND WEST ELEVATIONS
 - A 3.12 PROPOSED NORTH AND EAST ELEVATIONS
 - A 3.2 BUILDING SECTIONS
 - A 4.1 PROPOSED PROJECT PERSPECTIVE RENDERING
 - A 4.2 PROPOSED PROJECT PERSPECTIVE RENDERING
 - A 4.3 PROPOSED PROJECT PERSPECTIVE RENDERING
 - A 4.4 PROPOSED PROJECT PERSPECTIVE RENDERING
 - A 4.5 PROPOSED PROJECT PERSPECTIVE RENDERING
 - A 5.0 LIGHTING PLAN
 - A 5.1 LIGHTING SPECIFICATIONS
 - L 1 LANDSCAPE PLAN
 - MEP 1 PHOTOMETRIC SITE PLAN
 - MEP 2 PHOTOMETRIC SCHEDULES AND DETAILS

PROJECT SUMMARY TABLE

GROSS FLOOR AREA:	64,073 GSF
NET FLOOR AREA:	52,142 NSF
UNIT SIZE:	616 SF AVERAGE
NUMBER OF UNITS:	75
ZONING:	CS
FRONTAGE:	CURVE CT: 263' / SHIELD DR: 350' / ELK RIVER RD: 380' / HWY 40: 377'

USE BREAKDOWN	DESCRIPTION	SQUARE FOOTAGE	# OF UNITS
PRINCIPAL USE	RESIDENTIAL	55,934 SF	75
ACCESSORY USES	COMMERCIAL	8,139 SF	-

STANDARDS	ZONE DISTRICT REQMTS	PROPOSED	VARIANCE? (Y/N)
LOT AREA	NO MAX/NO MIN	2.64 ACRES	N
LOT COVERAGE	NO MAX/NO MIN	19.7%	N
OPEN SPACE	15% MIN	52.67%	N
FLOOR AREA RATIO	NO MAX	0.58 FAR	N
OVERALL BLDG HT	63' MAX	53'-3"	N
AVERAGE PLATE HT	N/A		
FRONTAGE AREA HT	26' MIN	27'-7" (EXIST) / 51'-9" (NEW)	N
FRONT SETBACK	5 FT MIN	COMPLIES	N
SIDE SETBACK	7.5 FT MIN	COMPLIES	N
UPPER STORY SETBACK	OVER 45' OR 3 STORIES	VARIES	Y
REAR SETBACK	7.5 FT MIN	COMPLIES	N
SECOND STORY INTENSITY	50% MINIMUM	NEW CONST: 100%	N
PARKING	128 SPACES (SEE NARRATIVE)	128 SPACES	N
SNOW STORAGE	29,301 SF	32,478 SF	N

APPROVAL STAMPS:

K. Plan Set

No.	Date	Description
5	6/17/2021	Development Plan Submittal #5
4	4/19/2021	Development Plan Submittal #4
3	10/14/2020	Development Plan Submittal #3
2	7/8/2020	Development Plan Submittal #2
1	3/27/2020	Development Plan Submittal #1

SUBMISSIONS & REVISIONS

OWNER

May Riegler Properties
2201 Wisconsin Avenue NW Suite 200
Washington, DC 20007
PO Box 881330
Steamboat Springs, CO 80488

ARCHITECT

KASA
KEVIN & ASAKO SPERRY ARCHITECTURE
3318 N. Columbus Street
Arlington, VA 22207
T.312.636.3248 / 312.636.4252
www.kasa-arch.com

STRUCTURAL ENGINEER

M.E.P. & F.P. ENGINEERS

CIVIL ENGINEER

LANDMARK CONSULTANTS, INC.
141 9th Street
PO Box 774943
Steamboat Springs, Colorado 80477
T.970.871.9494

LANDSCAPE ARCHITECT

MGO DESIGN, INC.
PO Box 773522
Steamboat Springs, Colorado 80477
T.970.879.7740

GENERAL CONTRACTOR

PROJECT LOCATION

Steamboat Basecamp

1901 Curve Plaza
Steamboat Springs, CO

DRAWING TITLE

COVER SHEET

SEAL

DATE:

03/27/20

DRAWN BY:

CHECKED BY:

PROJECT NO:

DRAWING NO:

G 1.0



NOTES:

1. ALL REFERENCES HEREON TO BOOKS, PAGES, FILES, RECEPTION NUMBERS AND FILE NUMBERS ARE TO PUBLIC DOCUMENTS FILED IN THE RECORDS OF ROUTT COUNTY, COLORADO.
 2. EASEMENTS AND PUBLIC DOCUMENTS SHOWN OR NOTED HEREON WERE EXAMINED AS TO LOCATION AND PURPOSE AND WERE NOT EXAMINED AS TO RESERVATIONS, RESTRICTIONS, CONDITIONS, OBLIGATIONS, TERMS, OR AS TO THE RIGHT TO GRANT THE SAME.
 3. UTILITIES ARE SHOWN PER APPARENT SURFACE EVIDENCE TOGETHER WITH RECORD INFORMATION. IF MORE ACCURATE LOCATIONS OF UNDERGROUND UTILITIES ARE REQUIRED, THE UTILITY WILL HAVE TO BE VERIFIED BY FIELD POT-HOLING. LANDMARK CONSULTANTS, INC. AND THE SURVEYOR OF RECORD SHALL NOT BE LIABLE FOR THE LOCATION OF OR THE FAILURE TO NOTICE THE LOCATION OF NON-VISIBLE UTILITIES.
 4. ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND MONUMENT OR ACCESSORY, COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-6-508, C.R.S.
 5. THIS SITE CONTAINS A CALCULATED AREA OF 4.31 ACRES.
 6. NO PORTION OF THE SUBJECT PROPERTY IS LOCATED WITHIN SPECIAL FLOOD HAZARD AREAS. AS DETERMINED BY GRAPHIC INTERPRETATION OF THE F.E.M.A FLOOD INSURANCE RATE MAP NUMBERS 981070876D & 981070273D, WITH AN EFFECTIVE DATE OF FEBRUARY 4, 2005.
 7. THE MEASURED DISTANCES SHOWN HEREON ARE IN U.S. SURVEY FEET.
 8. CONTRACTOR IS ENCOURAGED TO PERFORM DEMOLITION IN A MANNER THAT MAXIMIZES SALVAGE, RE-USE, AND RECYCLING OF MATERIALS. THIS INCLUDES PROPERLY SEPARATING AND STORING, IN PARTICULAR, THE DEMOLISHED CONCRETE, ASPHALT, AND BASE COURSE SHOULD BE RECYCLED IF POSSIBLE.
 9. LIMITS OF STREET CUT ARE APPROXIMATE. FINAL LIMITS ARE TO BE DETERMINED IN THE FIELD. ALL REPAIRS TO BE IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS OR THE AHI (ROUTT COUNTY IF WITHIN CR 42 ROW AND CDOT IF WITHIN THE US HWY 46 ROW).
 10. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND COORDINATING DEMOLITION, WASTE REMOVAL, REPLACEMENT, AND DISPOSAL OF ALL FACILITIES AND MATERIALS.
 11. DEMOLITION INDICATED HEREON IS FOR CONVENIENCE ONLY. ALL LIMITS OF DEMOLITION ARE TO BE DETERMINED BY CONTRACTOR AS NECESSARY TO PERFORM WORK IN A SAFE AND EFFICIENT MANNER.
 12. SOME OFF-SITE AND ADJACENT PROPERTY INFORMATION WAS DIGITIZED FROM AERIAL IMAGERY. DISCREPANCIES MAY EXIST.
- PROPERTY DESCRIPTION:
- LOTS 1 AND LOT 2, WORLDWIDE SUBDIVISION, AS RECORDED AT FILE NO. 13807 IN THE CITY OF STEAMBOAT SPRINGS, ROUTT COUNTY, COLORADO

PROPERTY DESCRIPTION:



Know what's below.
Call before you dig.
 CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU
 DIG, GRADE, OR EXCAVATE FOR THE MARKING OF
 UNDERGROUND MEMBER UTILITIES.

[illegible]

No.	Date	Description
SUBMISSIONS & REVISIONS		

OWNER

MAY REIGLER PROPERTIES

2201 WISCONSIN AVE NW
SUITE 200
WASHINGTON DC 20007

ARCHITECT



KEVIN & ASAKO SPERRY ARCHITECTURE
3318 N. Columbus Street
Arlington, VA 22207
T.312.636.3248 / 312.636.4252
www.kasa-arch.com

STRUCTURAL ENGINEER

**STEAMBOAT ENGINEERING
AND DESIGN, INC**

2740 ACRE LANE, STE. E
STEAMBOAT SPRINGS, CO 80487

M.E.P. & F.P. ENGINEERS

BOULDER ENGINEERING

1717 15TH STREET
BOULDER, CO 80302

CIVIL ENGINEER

LANDMARK ENGINEERING

141 9TH STREET
PO BOX 774943
STEAMBOAT SPRINGS, CO 80477

LANDSCAPE ARCHITECT

1000

GENERAL CONTRACTOR

PROJECT LOCATION

STEAMBOAT BASECAMP

1901 CURVE PLAZA
STEAMBOAT SPRINGS, CO 80487

DRAWING TITLE

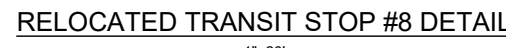
**EXISTING CONDITIONS
& SITE REMOVAL
EXHIBIT**

SEAL	DATE:
	6/18/21
	DRAWN BY:
	PN
	CHECKED BY:
	JG
	PROJECT NO:
	2387-004

DRAWING NO:

C.003





LOT 2C
REPLAT OF LOT
2, BLOCK 1,
CURVE
SUBDIVISION

REPLAT OF LOTS
2D AND 2E OF THE
REPLAT OF LOT 2
BLOCK 1, CURVE
SUBDIVISION



LOT 1 EARL DEAN
SMITH FAMILY TRUST
SUBDIVISION
RECEPTION NO. 453250
FILE NO. 12259

LOT 1, SUNLIGHT
COMMERCIAL CENTER
FILE NO. 14161



PROPERTY BOUNDARY
EASEMENT
CENTERLINE
BUILDING
ROOF LINE/OVERHANG
ASPHALT
CONCRETE
EXISTING SANITARY SEWER W/ MH
EXISTING WATER
GAS
CABLE
CABLE PEDESTAL
FIBER OPTIC
TELEPHONE
TELEPHONE PEDESTAL AND MAN-HOLE/VAULT
ELECTRIC
ELECTRIC PED, JUNCTION BOX AND METER
LIGHT POLE AND LIGHT POLE W/ MAST
UTILITY POLE AND GUY WIRE
DITCH/SWALE
EXISTING CULVERT W/ FES
PROPOSED CULVERT W/ FES
CONIFEROUS AND DECIDUOUS TREE

NOTES:

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 5. THIS SITE CONTAINS A CALCULATED AREA OF 4.31 ACRES.
 6. NO PORTION OF THE SUBJECT PROPERTY IS LOCATED WITHIN SPECIAL FLOOD HAZARD AREAS, AS DETERMINED BY GRAPHIC INTERPRETATION OF THE F.E.D. FLOOD INSURANCE RATE MAP NUMBERS 86107008670 & 08107073130, WITH AN EFFECTIVE DATE OF FEBRUARY 4, 2005.
 7. THE MEASURED DISTANCES SHOWN HEREON ARE IN U.S. SURVEY FEET.
 8. THE PRESENTED GEOMETRY OF THE RELOCATED TRANSIT STOP ACCOMMODATES AASHTO CITY-BUS PER 2011 STANDARDS.
 9. ALL WORK WITHIN IN THE CITY OF STEAMBOAT SPRINGS RIGHT-OF-WAY SHALL BE SUBJECT TO PUBLIC IMPROVEMENTS CRITERIA.
- PROPERTY DESCRIPTION:
10. LOT 1, WORLDWIDE SUBDIVISION, AS RECORDED AT FILE NO. 13807 IN THE CITY OF STEAMBOAT SPRINGS, ROUTT COUNTY, COLORADO.

PROPERTY DESCRIPTION:

SPACES REQ'D	SPACES PROVIDED
128 (5 ADA ACCESSIBLE)	128 (5 ADA ACCESSIBLE)

APPROVAL STAMPS:

[illegible]

SUBMISSIONS & REVISIONS

OWNER

MAY REIGLER PROPERTIES

2201 WISCONSIN AVE NW
SUITE 200
WASHINGTON DC 20007

ARCHITECT

K A S A
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STRUCTURAL ENGINEER

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CIVIL ENGINEER

LANDMARK ENGINEERING

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PO BOX 774943
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LANDSCAPE ARCHITECT

GENERAL CONTRACTOR

PROJECT LOCATION

STEAMBOAT BASECAMP

1901 CURVE PLAZA
STEAMBOAT SPRINGS, CO 80487

DRAWING TITLE

SITE PLAN

SEAL

DATE:

6/18/2

DRAW

PN

CHEC

FG

PROJECT

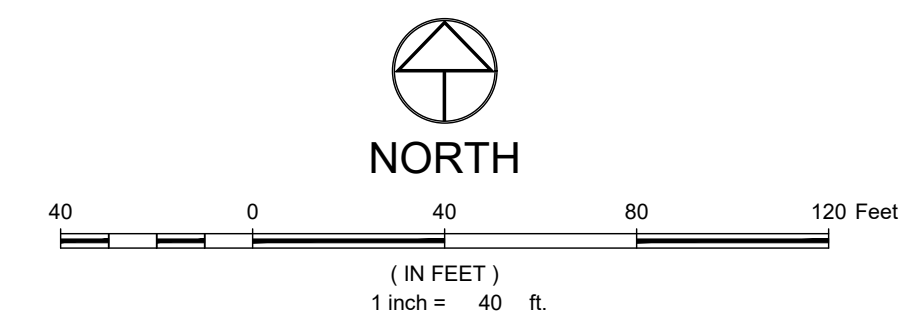
2387-

DRAWING NO:

C.100

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PROPOSED SANITARY SEWER W/ MH & C.O.
EXISTING SANITARY SEWER W/ MH & C.O.
PROPOSED WATER
PROPOSED GV, FH & CS
EXISTING WATER

NOTES:

PROPOSED WATER AND SEWER MAINS CLARIFICATION:

APPROVAL STAMPS:

No.	Date	Description
SUBMISSIONS & REVISIONS		

MAY REIGLER PROPERTIES
2201 WISCONSIN AVE NW
SUITE 200
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BOULDER, CO 80302

LANDMARK ENGINEERING
141 9TH STREET
PO BOX 774943
STEAMBOAT SPRINGS, CO 80477

GENERAL CONTRACTOR

PROJECT LOCATION

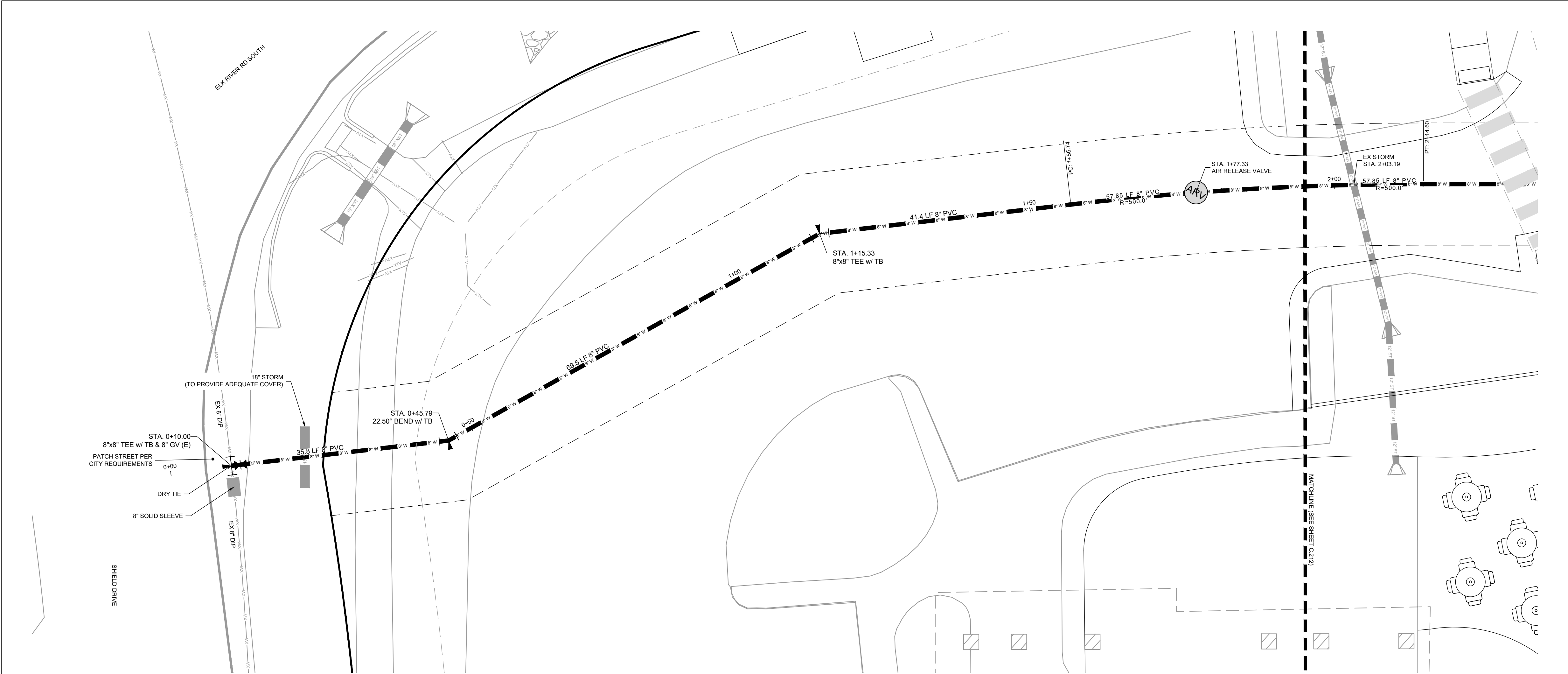
**STEAMBOAT
BASECAMP**

1901 CURVE PLAZA
STEAMBOAT SPRINGS, CO 80487

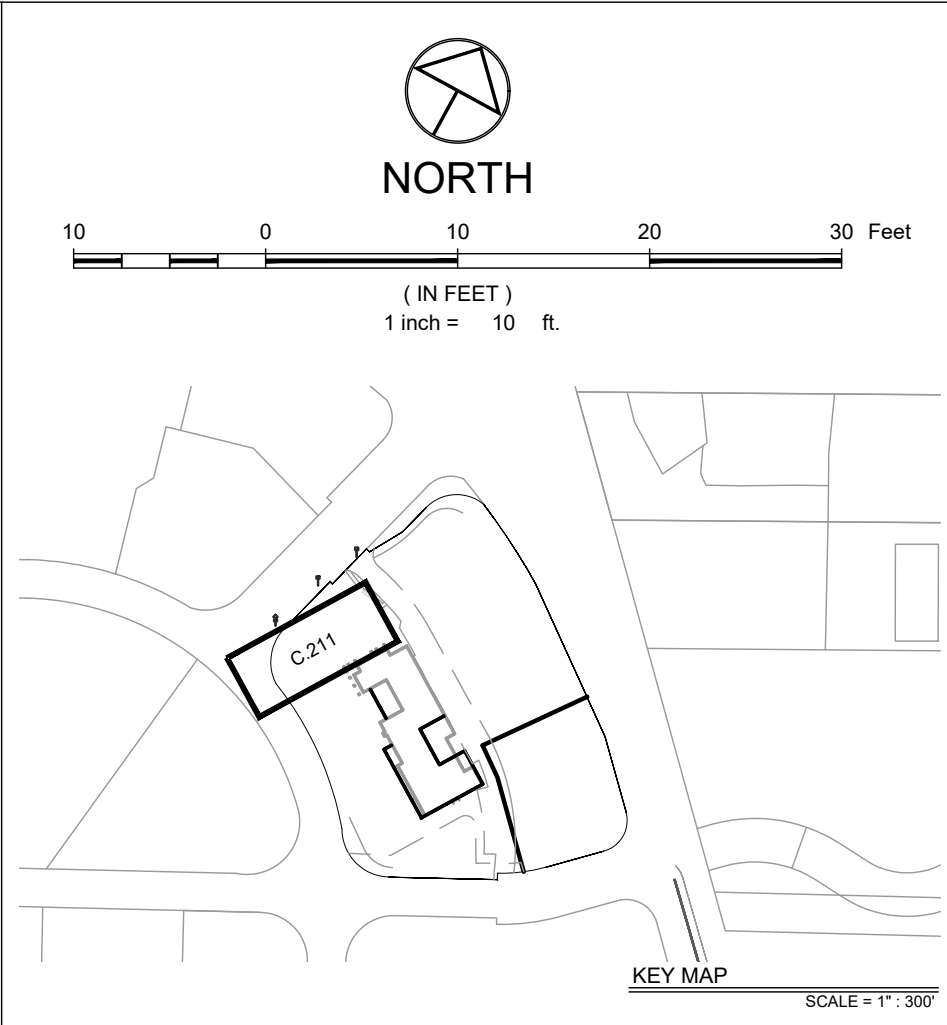
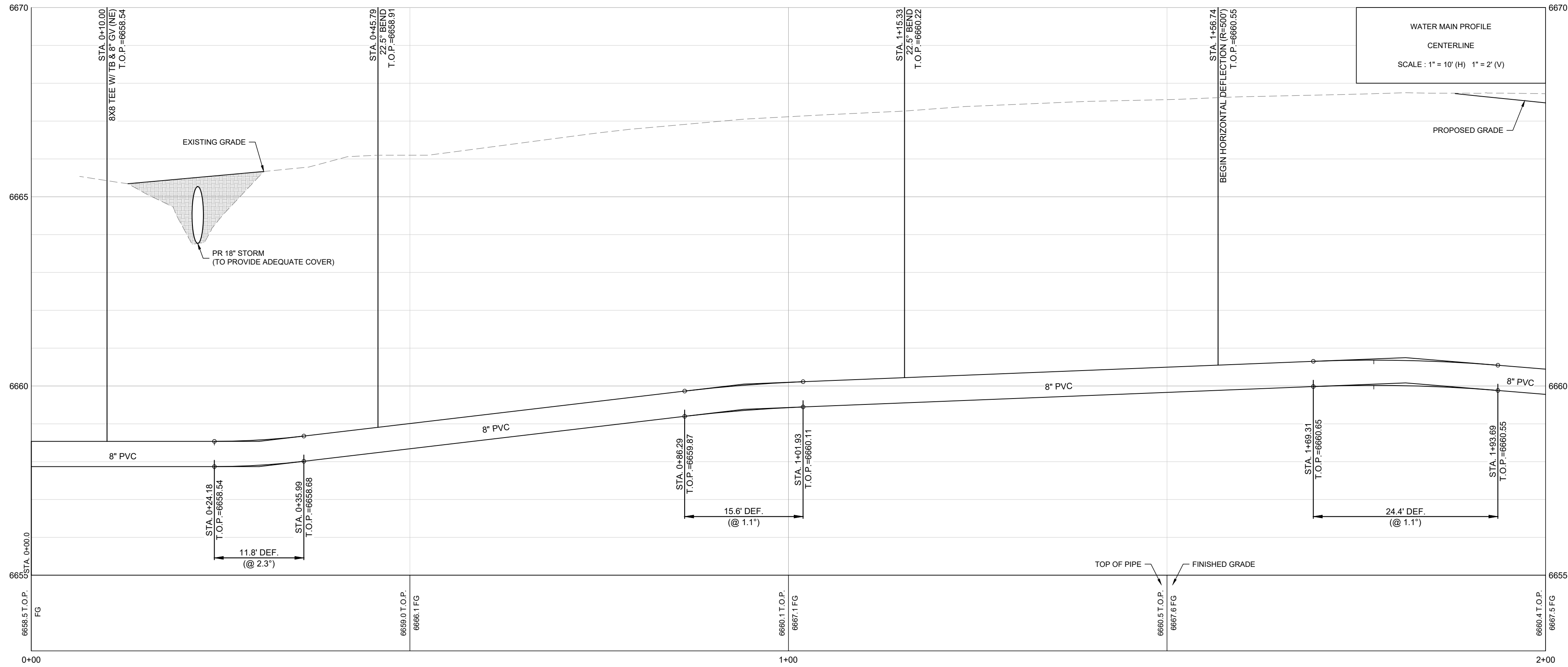
DRAWING TITLE

SEAL	DATE:
	6/18/21
	DRAWN BY:
	PN
	CHECKED BY:
	EG
	PROJECT NO:
	2387-004

C.200



WATER MAIN PLAN & PROFILE (STA 0+00 - 2+00)



LEGEND:

PROPOSED SANITARY SEWER W/ MH & C.O.
EXISTING SANITARY SEWER W/ MH & C.O.
PROPOSED WATER
PROPOSED GV, FH & CS
EXISTING WATER

- NOTES:**
- THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK. BEFORE COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UNKNOWN UNDERGROUND UTILITIES.
 - EXISTING UNDERGROUND AND OVERHEAD PUBLIC AND PRIVATE UTILITIES AS SHOWN ARE INDICATED ACCORDING TO THE BEST INFORMATION MADE AVAILABLE TO THE ENGINEER. THE ENGINEER DOES NOT GUARANTEE NOR IS RESPONSIBLE FOR THE ACCURACY OF SUCH INFORMATION. EXISTING UTILITY MAINS AND SERVICES MAY NOT BE STRAIGHT LINES OR AS INDICATED ON THESE DRAWINGS. CONTRACTOR TO VERIFY EXISTING HORIZONTAL AND VERTICAL LOCATIONS PRIOR TO CONSTRUCTION.
 - ALL SEWER CONSTRUCTION SHALL BE PER THE CITY OF STEAMBOAT SPRINGS STANDARD SPECIFICATIONS, LATEST EDITION.
 - MAINTAIN 10' HORIZONTAL AND 18" VERTICAL MINIMUM SEPARATION BETWEEN ALL SANITARY SEWER MAINS, WATER MAINS & SERVICES.
 - MANHOLES LOCATED OUTSIDE OF THE ROADWAY SHALL PROTRUDE 1' ABOVE EXISTING GRADE TO REDUCE INFILTRATION. GRADE SURFACE TO DRAIN AROUND/AWAY FROM MANHOLE RIMS.
 - ALL MANHOLES LOCATED IN THE ROADWAY SHALL HAVE RIM ELEVATIONS ADJUSTED TO 1/2" BELOW FINISHED GRADE. IF NECESSARY, CONE SECTIONS SHALL BE ROTATED TO PREVENT LIDS BEING LOCATED WITHIN VEHICLE OR BICYCLE WHEEL PATHS.
 - SEWER SERVICE SHALL HAVE A MINIMUM OF 4-FT OF COVER.
 - WATER SERVICE SHALL HAVE A MINIMUM OF 7-FT OF COVER.
 - ALL WATER PIPE SHALL BE INSTALLED WITH A #10 SOLID COPPER WIRE COATED WITH 45 MIL POLYETHYLENE FOR LOCATING PURPOSES. "GLENN TEST STATIONS" BY VALVCO, INC TRACER WIRE TEST STATIONS SHALL BE INSTALLED ADJACENT TO ALL FIRE HYDRANTS. ADDITIONAL LOCATIONS MAY BE REQUIRED.
 - ALL MATERIALS USED FOR BACKFILL SHALL BE FREE FROM REFUSE, ORGANIC MATERIAL, CORBBLES, BOULDERS, LARGE ROCKS OR STONES OR FROZEN SOILS GREATER THAN 6-INCHES IN DIAMETER.
 - ALL TRENCHES SHALL BE COMPACTED TO 95% AS DETERMINED BY ASTM D698 (STANDARD PROCTOR) OR AS SPECIFIED BY GEOTECHNICAL ENGINEER.

PROPOSED WATER AND SEWER MAINS CLARIFICATION:

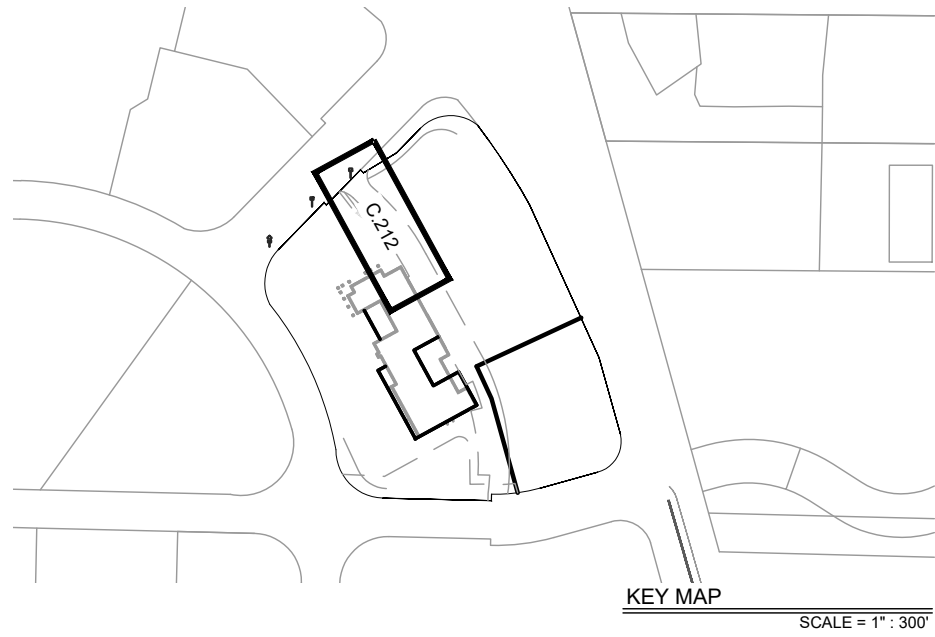
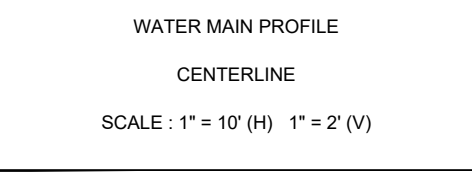
THE PROPOSED WATER AND SEWER MAINS ARE **NOT** REQUIRED FOR SERVING THE NEW BASECAMP PROJECT. THE APPLICANT REQUESTS THAT THE INSTALLATION OF THE WATER AND SEWER MAINS TO BE INSTALLED, TESTED AND ACCEPTED PRIOR TO CERTIFICATE OF OCCUPANCY VS. BUILDING PERMIT.

THE EXISTING WATER AND SEWER SERVICES ARE TO REMAIN IN SERVICE FOR THE BUILDING AND A NEW SEWER SERVICE IS PROPOSED FOR THE NEW CONSTRUCTION REQUIREMENTS.

THE PROPOSED WATER AND SEWER MAINS ARE SHOWN AS PROPOSED FOR FUTURE DEVELOPMENT CONSIDERATIONS AND ARE TO BE INSTALLED AS PART OF THE ROAD CONSTRUCTION IN ORDER TO AVOID FUTURE DISRUPTION TO THE ACCESS/PARKING.

APPROVAL STAMPS:

No.	Date	Description
SUBMISSIONS & REVISIONS		
OWNER		
MAY REIGLER PROPERTIES 2201 WISCONSIN AVE NW SUITE 200 WASHINGTON DC 20007		
ARCHITECT		
K A S A KEVIN & ASAKO SPERRY ARCHITECTURE 3318 N. Columbus Street Arlington, VA 22207 T. 312.636.3248 / 312.636.4252 www.kasa-arch.com		
STRUCTURAL ENGINEER		
STEAMBOAT ENGINEERING AND DESIGN, INC 2740 ACRE LANE, STE. E STEAMBOAT SPRINGS, CO 80487		
M.E.P. & F.P. ENGINEERS		
BOULDER ENGINEERING 1717 15TH STREET BOULDER, CO 80302		
CIVIL ENGINEER		
LANDMARK ENGINEERING 141 9TH STREET PO BOX 174343 STEAMBOAT SPRINGS, CO 80477		
LANDSCAPE ARCHITECT		
GENERAL CONTRACTOR		
PROJECT LOCATION		
STEAMBOAT BASECAMP 1901 CURVE PLAZA STEAMBOAT SPRINGS, CO 80487		
DRAWING TITLE		
WATER MAIN PLAN & PROFILE		
SEAL	DATE: 6/18/21 DRAWN BY: PN CHECKED BY: EG PROJECT NO: 2387-004	
DRAWING NO: C.211		



PROPOSED SANITARY SEWER W/ MH & C.O.

EXISTING SANITARY SEWER W/ MH & C.O.

PROPOSED WATER

PROPOSED GV, FH & CS

EXISTING WATER

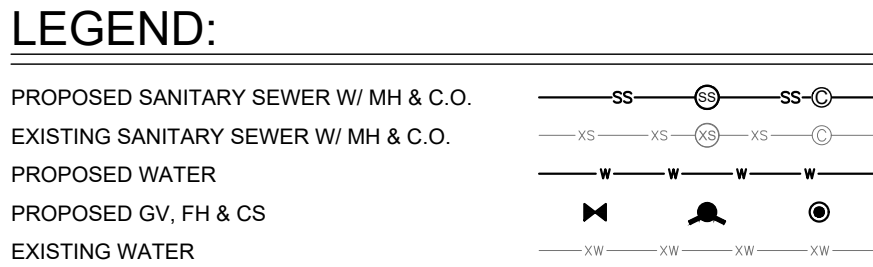
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2. EXISTING UNDERGROUND AND OVERHEAD PUBLIC AND PRIVATE UTILITIES AS SHOWN ARE INDICATED ACCORDING TO THE BEST INFORMATION MADE AVAILABLE TO THE ENGINEER. THE ENGINEER DOES NOT GUARANTEE NOR IS RESPONSIBLE FOR THE ACCURACY OF SUCH INFORMATION. EXISTING UTILITY MAINS AND SERVICES MAY NOT BE STRAIGHT LINES OR AS INDICATED ON THESE DRAWINGS. CONTRACTOR TO VERIFY EXISTING HORIZONTAL AND VERTICAL LOCATIONS PRIOR TO CONSTRUCTION.
3. ALL SEWER CONSTRUCTION SHALL BE PER THE CITY OF STEAMBOAT SPRINGS STANDARD SPECIFICATIONS, LATEST EDITION.
4. MAINTAIN 10" HORIZONTAL AND 18" VERTICAL MINIMUM SEPARATION BETWEEN ALL SANITARY SEWER MAINS, WATER MAINS & SERVICES.
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6. ALL MANHOLES LOCATED IN THE ROADWAY SHALL HAVE RIM ELEVATIONS ADJUSTED TO 1/2" BELOW FINISHED GRADE. IF NECESSARY, CONC. SECTIONS SHALL BE ROTATED TO PREVENT LIDS BEING LOCATED WITHIN VEHICLE OR BICYCLE WHEEL PATHS.
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THE PROPOSED WATER AND SEWER MAINS ARE **NOT** REQUIRED FOR SERVICING THE NEW BASECAMP PROJECT. THE APPLICANT REQUESTS THAT THE INSTALLATION OF THE WATER AND SEWER MAINS BE TO BE INSTALLED, TESTED AND ACCEPTED PRIOR TO CERTIFICATE OF OCCUPANCY VS. BUILDING PERMIT.

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C.212



- # NOTES:
1. THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATELY SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK. BEFORE COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UNKNOWN UNDERGROUND UTILITIES.
 2. EXISTING UNDERGROUND AND OVERHEAD PUBLIC AND PRIVATE UTILITIES AS SHOWN ARE INDICATED ACCORDING TO THE BEST INFORMATION MADE AVAILABLE TO THE ENGINEER. THE ENGINEER DOES NOT GUARANTEE NOR IS RESPONSIBLE FOR THE ACCURACY OF SUCH INFORMATION. EXISTING UTILITY MARKS AND SERVICES MAY NOT BE STRAIGHT LINES OR AS INDICATED ON THESE DRAWINGS. CONTRACTOR TO VERIFY EXISTING HORIZONTAL AND VERTICAL LOCATIONS PRIOR TO CONSTRUCTION.
 3. ALL SEWER CONSTRUCTION SHALL BE PER THE CITY OF STEAMBOAT SPRINGS STANDARD SPECIFICATIONS, LATEST EDITION.
 4. MAINTAIN 10' HORIZONTAL, AND 18" VERTICAL MINIMUM SEPARATION BETWEEN ALL SANEY SEWER MAINS, WATER MAINS & SERVICES.
 5. MANHOLES LOCATED OUTSIDE OF THE ROADWAY SHALL PROTRUDE 1' ABOVE EXISTING GRADE TO REDUCE INFILTRATION. GRADE SURFACE TO DRAIN AROUND/WAY FROM MANHOLE RIMS.
 6. ALL MANHOLES LOCATED IN THE ROADWAY SHALL HAVE RIM ELEVATIONS ADJUSTED TO 1/2" BELOW FINISHED GRADE. IF NECESSARY, CONE SECTIONS SHALL BE ROTATED TO PREVENT LIDS BEING LOCATED WITHIN VEHICLE OR BICYCLE WHEEL PATHS.
 7. SEWER SERVICE SHALL HAVE A MINIMUM OF 4'-0" OF COVER.
 8. WATER SERVICE SHALL HAVE A MINIMUM OF 7'-0" OF COVER.
 9. A WATER PIPE SHALL BE INSTALLED WITH A #10 SOLID COPPER WIRE COATED WITH 45 MIL POLYETHYLENE FOR LEAKING SUBPAGES. "GLENN WATER STATUTES" BY VALLEY COUNTY, COLORADO, SHALL BE FOLLOWED. BE INSTALLED ADJACENT TO ALL FIRE HYDRANTS. ADDITIONAL LOCATIONS MAY BE REQUIRED.
 10. ALL MATERIALS USED FOR BACKFILL SHALL BE FREE FROM ROCKS OR ORGANIC MATERIAL. COBBLES, Boulders, LARGE REFUSE OR STONES OR FROZEN SOLIDS GREATER THAN 6-INCHES IN DIAMETER.
 11. ALL TRENCHES SHALL BE COMPACTED TO 95% AS DETERMINED BY ASTM D698 (STANDARD PROCTOR) OR AS SPECIFIED BY GEOTECHNICAL ENGINEER.

PROPOSED WATER AND SEWER MAINS CLARIFICATION:

THE PROPOSED WATER AND SEWER MAINS ARE **NOT** REQUIRED FOR SERVING THE NEW BASECAMP PROJECT. THE APPLICANT REQUESTS THAT THE INSTALLATION OF THE WATER AND SEWER MAINS TO BE INSTALLED, TESTED AND ACCEPTED PRIOR TO CERTIFICATE OF OCCUPANCY VS. BUILDING PERMIT.

THE EXISTING WATER AND SEWER SERVICES ARE TO REMAIN IN SERVICE FOR THE BUILDING AND A NEW SEWER SERVICE IS PROPOSED FOR THE NEW CONSTRUCTION REQUIREMENTS.

THE PROPOSED WATER AND SEWER MAINS ARE SHOWN AS PROPOSED FOR FUTURE DEVELOPMENT CONSIDERATIONS AND ARE TO BE INSTALLED AS PART OF THE ROAD CONSTRUCTION IN ORDER TO AVOID FUTURE DISRUPTION TO THE ACCESS/PARKING.

[illegible]

No.	Date	Description
SUBMISSIONS & REVISIONS		
OWNER		
MAY REIGLER PROPERTIES 2201 WISCONSIN AVE NW SUITE 200 WASHINGTON DC 20007		

ARCHITECT

K A S A

KEVIN & ASAKO SPERRY ARCHITECTURE

3318 N. Columbus Street
Arlington, VA 22207
T.312.636.3248 / 312.636.4252
www.kasa-arch.com

STRUCTURAL ENGINEER

**STEAMBOAT ENGINEERING
AND DESIGN, INC**
2740 ACRE LANE, STE. E
STEAMBOAT SPRINGS, CO 80487

M.E.P. & F.P. ENGINEERS

BOULDER ENGINEERING
1717 15TH STREET
BOULDER, CO 80302

CIVIL ENGINEER

LANDMARK ENGINEERING
141 9TH STREET
PO BOX 774943
STEAMBOAT SPRINGS, CO 80477

LANDSCAPE ARCHITECT

GENERAL CONTRACTOR

PROJECT LOCATION

**STEAMBOAT
BASECAMP**

1901 CURVE PLAZA
STEAMBOAT SPRINGS, CO 80487

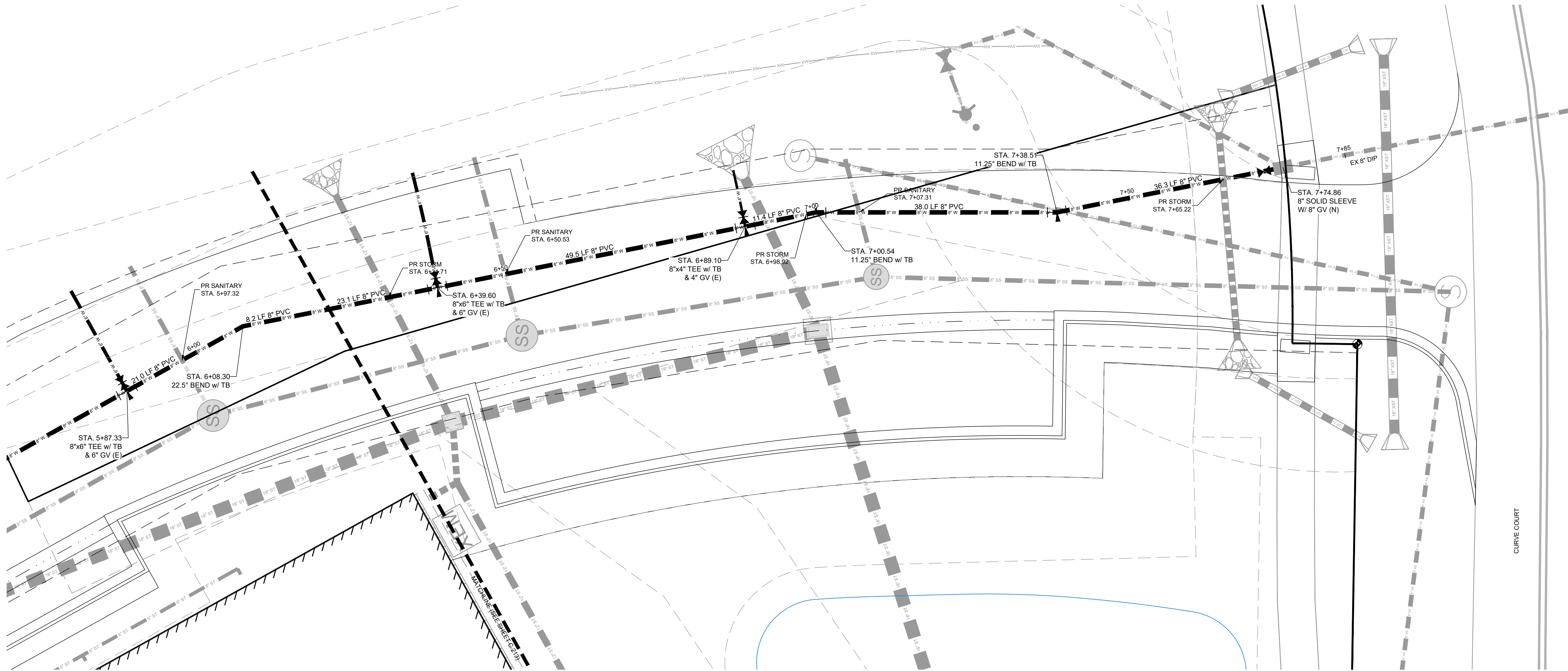
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WATER MAIN PLAN & PROFILE

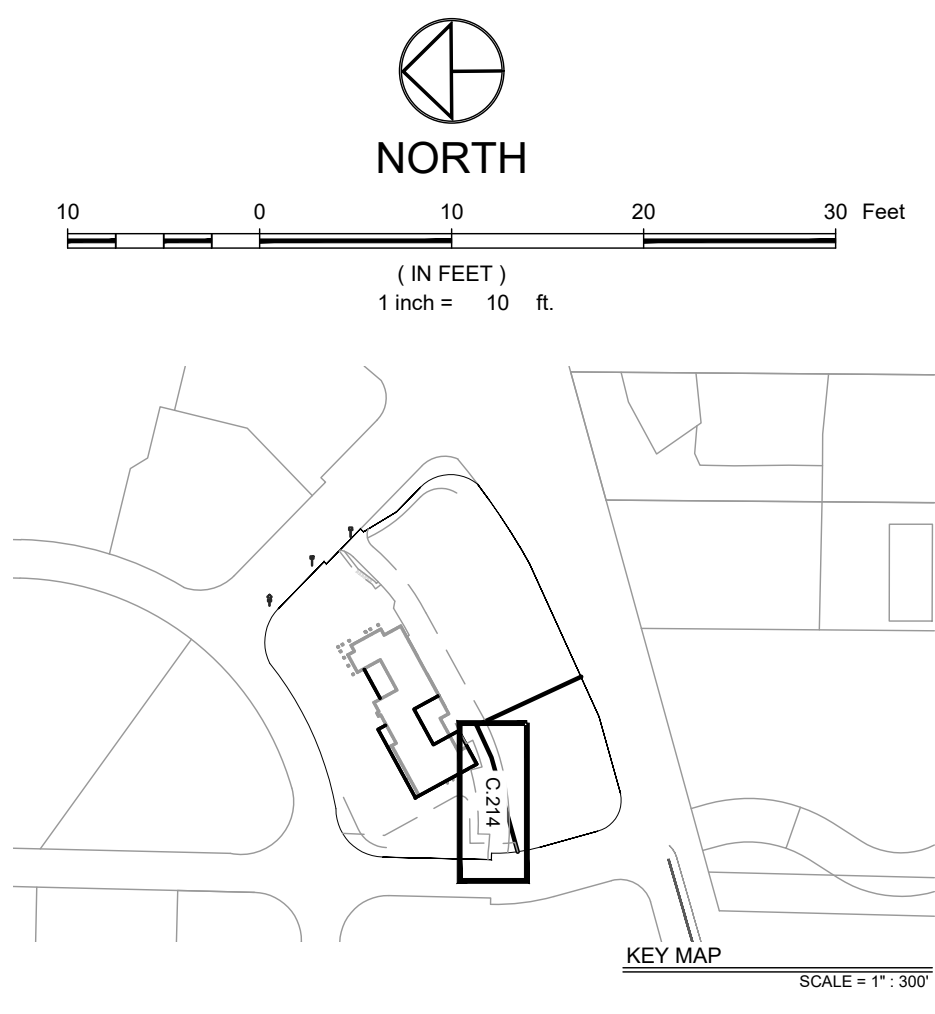
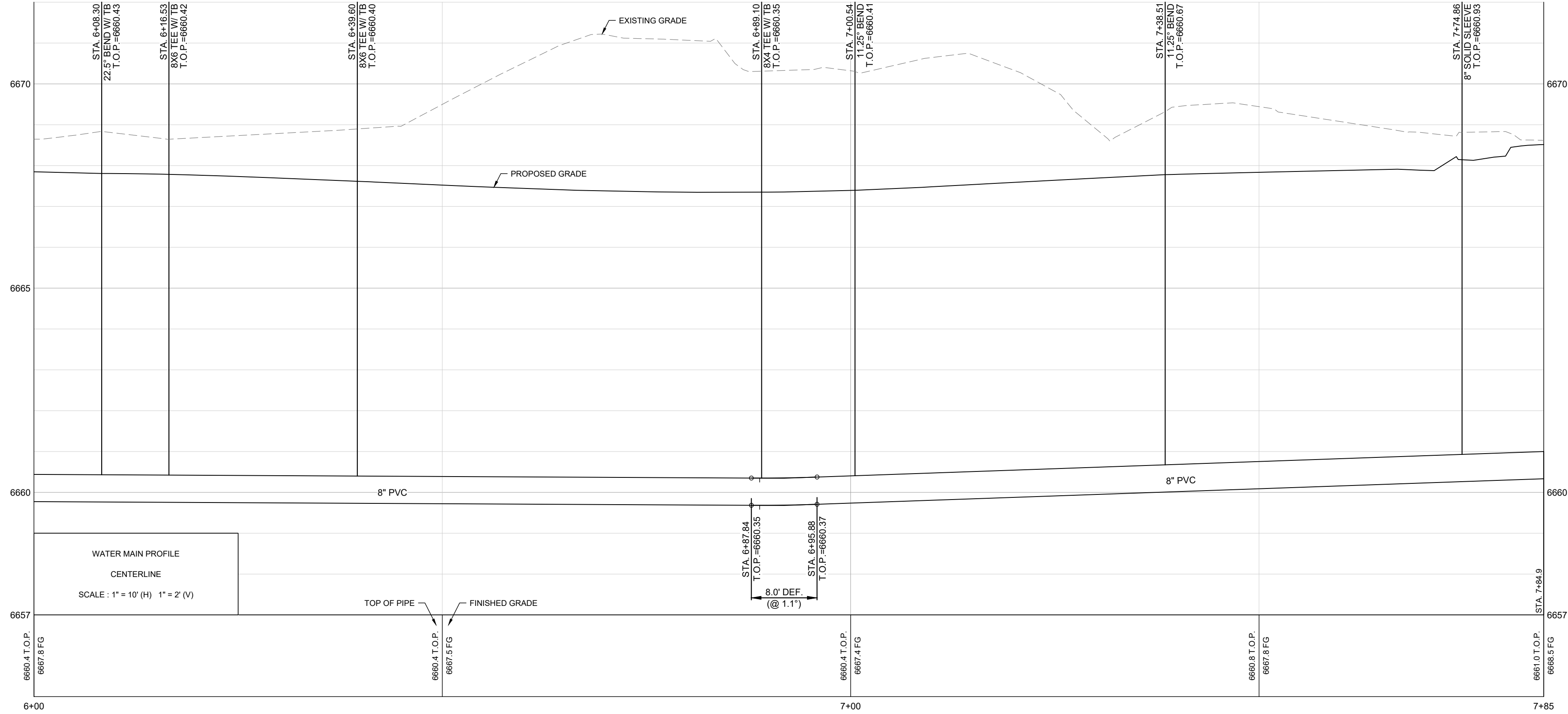
SEAL	DATE: 6/18/21
	DRAWN BY: PN
	CHECKED BY: EG
	PROJECT NO: 2387-004

DRAWING NO:
C.213

1/12/2021 2:08:43 PM



WATER MAIN PLAN & PROFILE (STA 4+00 - 6+00)



LEGEND:

PROPOSED SANITARY SEWER W/ MH & C.O.
EXISTING SANITARY SEWER W/ MH & C.O.
PROPOSED WATER
PROPOSED GV, FH & CS
EXISTING WATER

NOTES:

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10. ALL MATERIALS USED FOR BACKFILL SHALL BE FREE FROM REFUSE, ORGANIC MATERIAL, CORBLES, BOULDERS, LARGE ROCKS OR STONES OR FROZEN SOILS GREATER THAN 6-INCHES IN DIAMETER.
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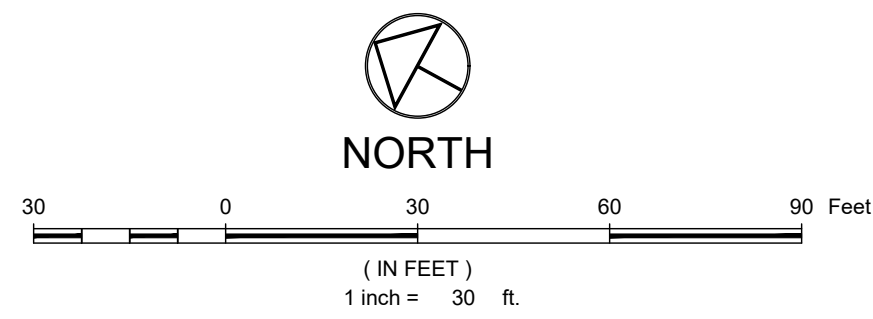
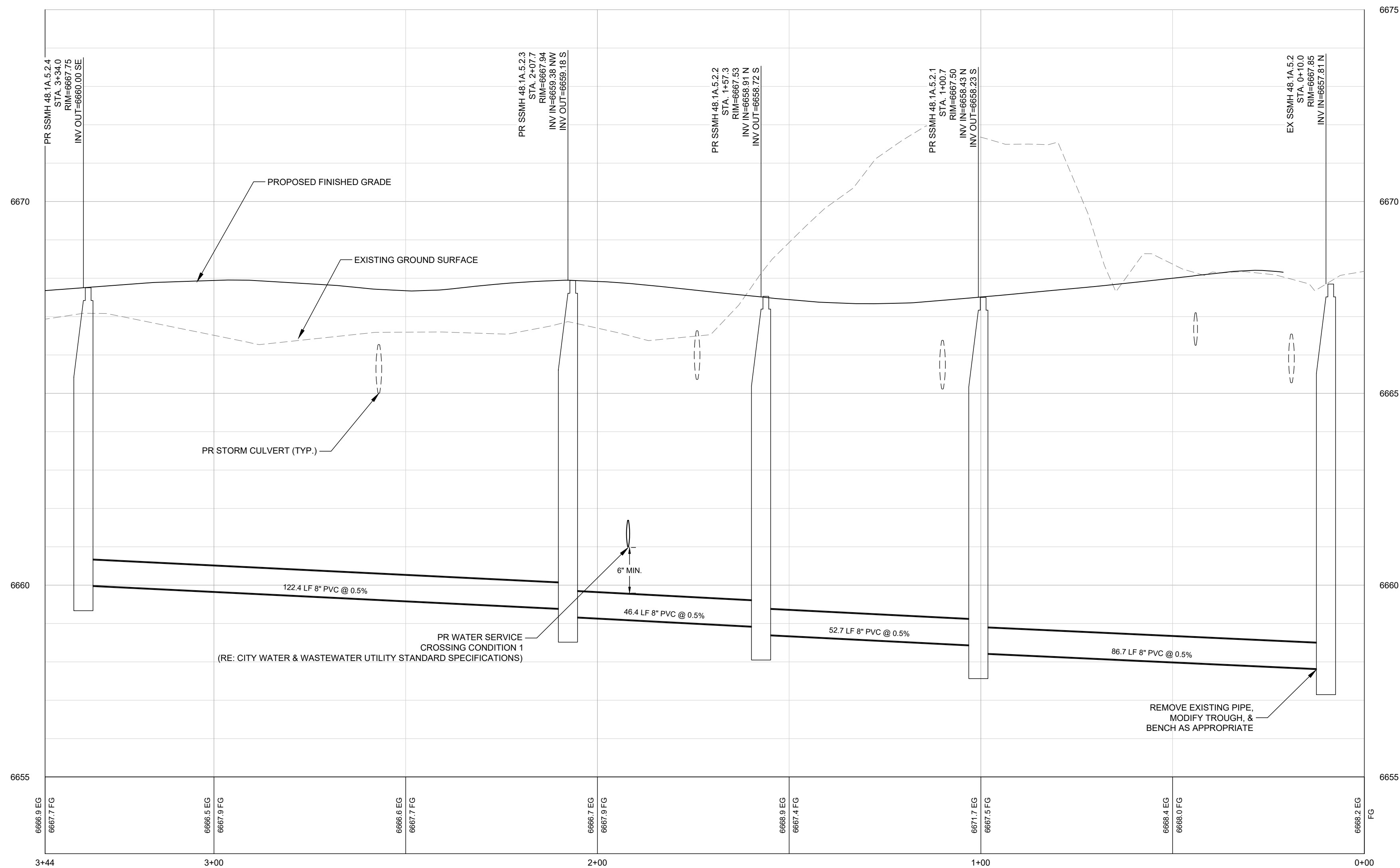
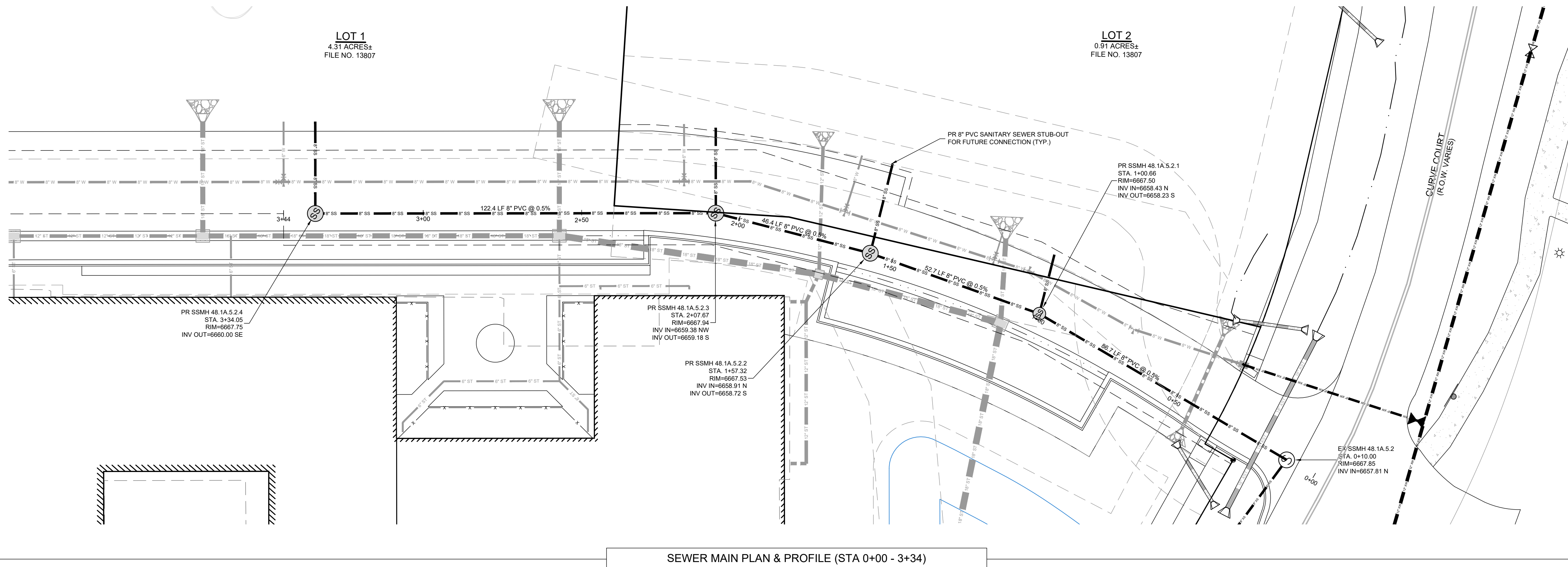
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APPROVAL STAMPS:

No.	Date	Description
SUBMISSIONS & REVISIONS		
OWNER		
MAY REIGLER PROPERTIES 2201 WISCONSIN AVE NW SUITE 200 WASHINGTON DC 20007		
ARCHITECT		
K A S A KEVIN & ASAKO SPERRY ARCHITECTURE 3318 N. Columbus Street Arlington, VA 22207 T. 312.636.3248 / 312.636.4252 www.kasa-arch.com		
STRUCTURAL ENGINEER		
STEAMBOAT ENGINEERING AND DESIGN, INC 2740 ACRE LANE, STE. E STEAMBOAT SPRINGS, CO 80487		
M.E.P. & F.P. ENGINEERS		
BOULDER ENGINEERING 1717 15TH STREET BOULDER, CO 80302		
CIVIL ENGINEER		
LANDMARK ENGINEERING 141 9TH STREET PO BOX 174343 STEAMBOAT SPRINGS, CO 80477		
LANDSCAPE ARCHITECT		
GENERAL CONTRACTOR		
PROJECT LOCATION		
STEAMBOAT BASECAMP 1901 CURVE PLAZA STEAMBOAT SPRINGS, CO 80487		
DRAWING TITLE		
WATER MAIN PLAN & PROFILE		
SEAL	DATE: 6/18/21 DRAWN BY: PN CHECKED BY: EG PROJECT NO: 2387-004	
DRAWING NO:		C.214

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LEGEND:

PROPOSED SANITARY SEWER W/ MH & C.O.

EXISTING SANITARY SEWER W/ MH & C.O.

PROPOSED WATER

PROPOSED GV, FH & CS

EXISTING WATER

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APPROVAL STAMPS:

[illegible]

SUBMISSIONS & REVISIONS

OWNER

MAY REIGLER PROPERTIES
2201 WISCONSIN AVE NW
SUITE 200
WASHINGTON DC 20007

ARCHITECT

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KEVIN & ASAKO SPERRY ARCHITECTURE
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www.kasa-arch.com

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1717 15TH STREET
BOULDER, CO 80302

CIVIL ENGINEER

LANDMARK ENGINEERING
141 9TH STREET
PO BOX 774943
STEAMBOAT SPRINGS, CO 80477

LANDSCAPE ARCHITECT

GENERAL CONTRACTOR

PROJECT LOCATION

STEAMBOAT
BASECAMP

1901 CURVE PLAZA
STEAMBOAT SPRINGS, CO 80487
DRAWING TITLE

SANITARY SEWER PLAN & PROFILE

SEAL

DATE:

6/18/21

DRAWN BY:

PN

CHECKED BY:

EG

PROJECT NO:

2387 004

DRAWING NO:

C.221

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LOT 2C
REPLAT OF LOT
2, BLOCK 1,
CURVE
SUBDIVISION

LOT 1
4.31 ACRES±
FILE NO. 13807

SHIELD DRIVE
(R.O.W. VARIES)

CURVE PLAZA
(PRIVATE)

ELK RIVER ROAD SOUTH
(R.O.W. VARIES)

ELK RIVER ROAD SOUTH
(R.O.W. VARIES)

SPLITTER ISLAND AREA OF DETAIL
SEE BELOW

PROPERTY BOUNDARY (TYP)

PORTRION OF EX SIDEWALK
TO BE REMOVED

BUS STOP AREA OF DETAIL
SEE BELOW

MATCH EXISTING

6666.98 EOA

6667.60 EOA

6667.63 EOA

6667.90 EOA

6668.04 EOA

6667.23 EOA

6667.70 FL

6667.45 EOC

6667.02 EOA

6668.01 EOA

6667.24 FL

6667.30 FL

6668.03 EOA

6667.63 EOA

6667.64 EOA

6667.88 EOA

6667.91 EOA

6668.33 TBC

6668.66 EOC

6668.68 FL

6668.67 EOC

6668.70 EOC

6668.61 EOC

6668.54 EOC

6668.67 EOC

6668.66 EOC

6668.68 FL

6668.67 EOC

6668.70 EOC

6668.61 EOC

6668.54 EOC

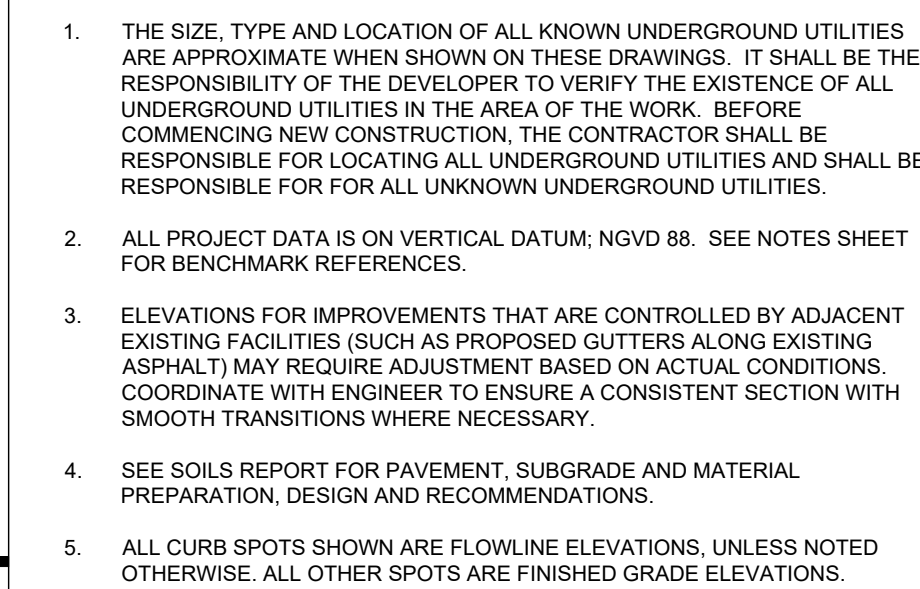
PR CONC. PATIO EXTENSION

ACAO

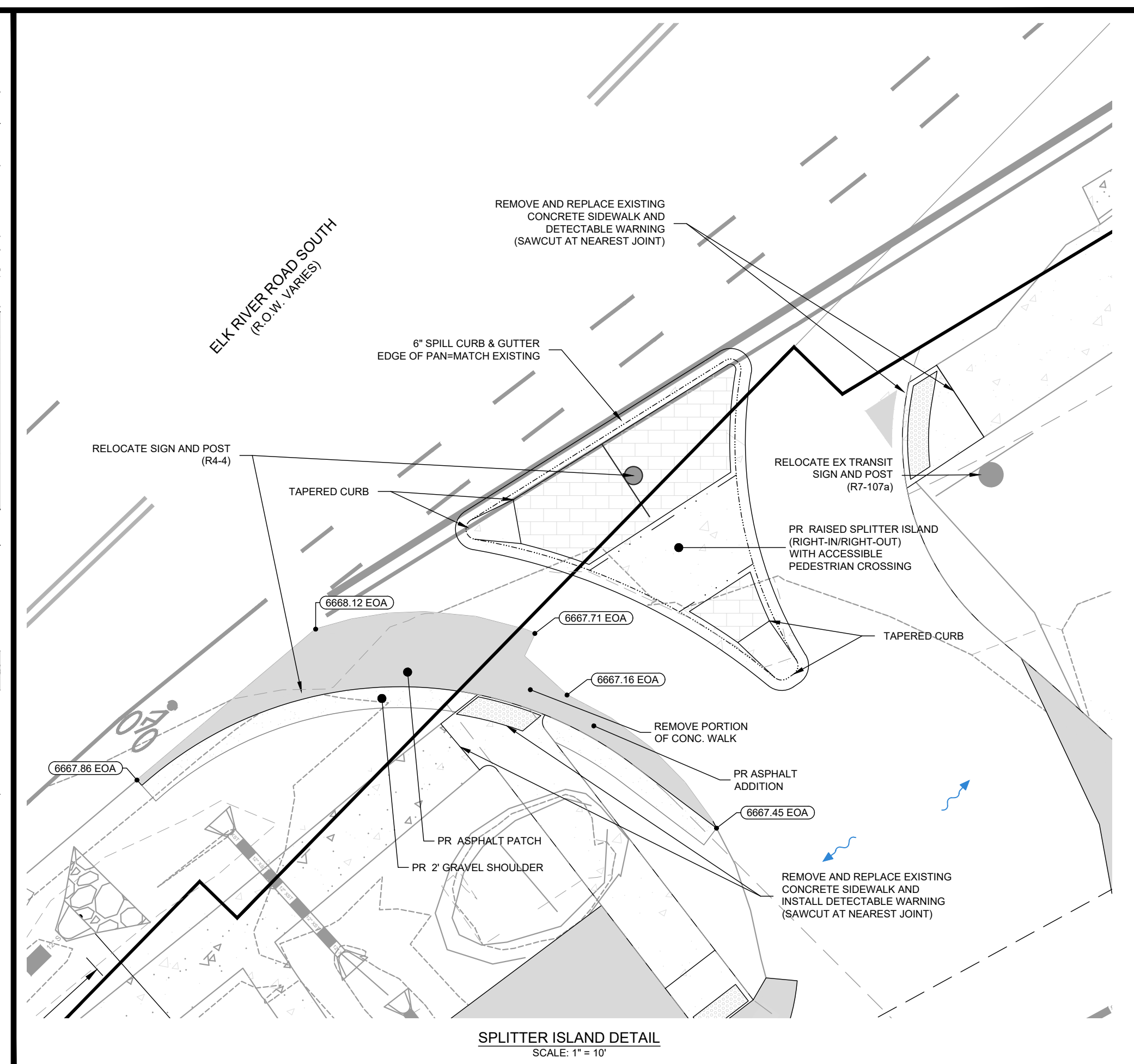
SEE SHEET C-10 FOR ROADWAY PLAN AND PROFILE

MATCHLINE
SEE SHEET C-302


~EX BUILDING TO BE REMODELED~
PFE = 6668.60
(APPROX. 22,120 SF)



C.301



CALL UTILITY NOTIFICATION CENTER OF
COLORADO



Know what's below.
Call before you dig.

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU
DIG, GRADE, OR EXCAVATE FOR THE MARKING OF
UNDERGROUND MEMBER UTILITIES.



- 1.0 PAVING
 - 1.1 CONCRETE PAVING
 - 1.2 DUMPSITER PAD (ENCLOSURE BY OTHER, RE: ARCHITECTURAL PLANS)
 - 1.3 ASPHALT PAVING
 - 1.4 CONCRETE CURB & GUTTER
 - 1.4A CATCH CURB
 - 1.4B SPILL CURB
 - 1.4C VALLEY PAN
 - 1.4D THICKENED EDGE RIBBON CURB
 - 1.4E TAPERED CURB NOSE
 - 1.5 CURB RAMP
 - 1.6 DETECTABLE WARNING SURFACE
 - 1.7 PAVERS
 - 1.8 GRAVEL SURFACING

- ## 2.0 PAINTING / STRIPING
- 2.1 STOP BAR
 - 2.2 4-INCH WIDE SOLID WHITE (PARKING/FOG LINE)
 - 2.3 ADA PARKING SYMBOL
 - 2.4 ADA LOADING AISLE
 - 2.5 CROSSWALK STRIPING
 - 2.6 BIKE LANE SYMBOL
 - 2.7 SHARED LANE SYMBOL

- 3.0 SIGNAGE**
- 3.1 ADA PARKING SIGNAGE
 - 3.2 FIRELANE NO PARKING SIGN
 - 3.3 AS SHOWN ON PLANS
 - 3.4 STOP SIGN
 - 3.5 DO NOT ENTER SIGN
 - 3.6 YIELD SIGN

- LANDSCAPE** (RE: LANDSCAPE PLANS)
- 4.1 NATIVE SEED
4.2 LANDSCAPE BOULDER SEAT
4.3 FLAGSTONE PAVER
4.4 SYNTHETIC TURF (GREEN)
4.5 SYNTHETIC TURF (BROWN)
4.6 SPADE DUG EDGE

ASPHALT

PLAIN CONCRETE

PAVERS

GRAVEL

PROPOSED SIGN

NOTES:

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2. ALL PROJECT DATA IS ON VERTICAL DATUM: NGVD 86. SEE NOTES SHEET FOR BENCHMARK REFERENCES.
3. ELEVATIONS FOR IMPROVEMENTS THAT ARE CONTROLLED BY ADJACENT EXISTING FACILITIES (SUCH AS PAVEMENTS ALONG EXISTING ASPHALT) MAY REQUIRE ADJUSTMENT BASED ON ACTUAL CONDITIONS. COORDINATE WITH THE CONTRACTOR TO ENSURE A CONSISTENT SECTION WITH SMOOTH TRANSITIONS WHERE NECESSARY.
4. SEE SOILS REPORT FOR PAVEMENT, SUBGRADE AND MATERIAL PREPARATION, DESIGN AND RECOMMENDATIONS.
5. ALL CURB SPOTS SHOWN ARE FLOWLINE ELEVATIONS, UNLESS NOTED OTHERWISE. ALL OTHER SPOTS ARE FINISHED GRADE ELEVATIONS.

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8. THE SCOPE REFLECTED ON THIS PLAN SHALL ONLY BE USED FOR ITEMS SPECIFIED AND DETAILED ON DRAWINGS PREPARED BY LANDMARK CONSULTANTS, INC. REFERENCES TO "BY OTHERS", "LANDSCAPE", "LANDSCAPE PLANS" AND SIMILAR NOTATIONS ARE EXCLUDED FROM THE PROJECT. CONTRACT LANDMARK CONSULTANTS, INC. AND THE DESIGN TEAM IF DISCREPANCIES ARE DISCOVERED.

APPROVAL STAMPS:

[illegible]

SUBMISSIONS & REVISIONS

OWNER

MAY REIGLER PROPERTIES

2201 WISCONSIN AVE NW
SUITE 200
WASHINGTON DC 20007

ARCHITECT

K	A	S	A
---	---	---	---

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www.kasa-arch.com

STRUCTURAL ENGINEER

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BOULDER, CO 80302

CIVIL ENGINEER

LANDMARK ENGINEERING

141 9TH STREET
PO BOX 774943
STEAMBOAT SPRINGS, CO 80477

LANDSCAPE ARCHITECT

GENERAL CONTRACTOR

PROJECT LOCATION

STEAMBOAT BASECAMP

1901 CURVE PLAZA
STEAMBOAT SPRINGS, CO 80487

DRAWING TITLE

MATERIALS, SIGNAGE, & STRIPING PLAN

SEAL

DATE: _____

6/18/21

PN

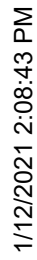
CHECKED BY _____

PROJECT NO.

0287 004

DRAWING NO:

C.400



- ## 2.0 PAINTING / STRIPING

- ### 3.0 SIGNAGE

- 4.0 LANDSCAPE (RE: LANDSCAPE PLANS)

- ASPHALT

PLAIN CONCRETE

PAVERS

GRAVEL

PROPOSED SIGN

CDOT NOTES:

1. IMPROVEMENTS SHOWN IN THE STATE HIGHWAY RIGHT-OF-WAY ARE PROPOSED IN COMPLIANCE WITH THE TERMS & CONDITIONS OF THE CDOT ACCESS PERMIT TO BE ISSUED AS PART OF THE SUBJECT DEVELOPMENT.
2. ALL MATERIALS, EQUIPMENT, INSTALLATION, AND CONSTRUCTION WITHIN THE STATE HIGHWAY RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE FOLLOWING STANDARD REFERENCES, AS APPLICABLE: CDOT MATERIALS MANUAL, CDOT CONSTRUCTION MANUAL, CDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (2016 EDITION), CDOT STANDARD SPECIAL PROVISIONS (AS APPLICABLE TO THE PROJECT), CDOT STANDARD PLANS (M&S STANDARDS), WHERE THERE IS A DIRECT CONFLICT BETWEEN THESE PLANS AND THE SPECIFICATIONS, OR ANY APPLICABLE STANDARDS, THE MOST RESTRICTIVE STANDARD SHALL APPLY.

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2. ALL PROJECT DATA IS ON VERTICAL DATUM: NGVD 88. SEE NOTES SHEET FOR BENCHMARK REFERENCES.
3. ELEVATIONS FOR IMPROVEMENTS THAT ARE CONTROLLED BY ADJACENT EXISTING FACILITIES (SUCH AS PR GUTTERS ALONG EXISTING ASPHALT) MAY REQUIRE ADJUSTMENT BASED ON ACTUAL CONDITIONS. COORDINATE WITH ENGINEER TO ENSURE A CONSISTENT SCHEDULE WITH SMOOTH TRANSITIONS WHERE NECESSARY.
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No.	Date	Description
SUBMISSIONS & REVISIONS		

OWNER

MAY REIGLER PROPERTIES

2201 WISCONSIN AVE NW
SUITE 200
WASHINGTON DC 20007

ARCHITECT

K A S A
KEVIN & ASAKO SPERRY ARCHITECTURE
 3318 N. Columbus Street
 Arlington, VA 22207
 T.312.636.3248 / 312.636.4252
www.kasa-arch.com

STRUCTURAL ENGINEER

STEAMBOAT ENGINEERING

AND DESIGN, INC
2740 ACRE LANE, STE. E
STEAMBOAT SPRINGS, CO 80487

M.E.P. & F.P. ENGINEERS

BOULDER ENGINEERING

1717 15TH STREET
BOULDER, CO 80302

CIVIL ENGINEER

LANDMARK ENGINEERING

141 9TH STREET
PO BOX 774943
STEAMBOAT SPRINGS, CO 80477

LANDSCAPE ARCHITECT

GENERAL CONTRACTOR

PROJECT LOCATION

STEAMBOAT BASECAMP

1901 CURVE PLAZA
STEAMBOAT SPRINGS, CO 80487

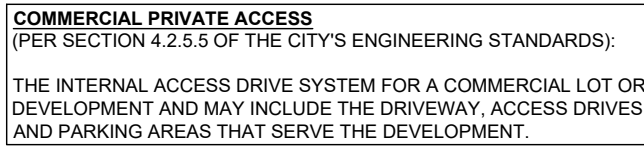
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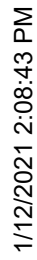
OFFSITE
MATERIALS,
SIGNAGE, &
STRIPING PLAN

SEAL	DATE:
	6/18/21
	DRAWN BY:
	PN
	CHECKED BY:
	EG
	PROJECT NO:
	2387-004

DRAWING NO:

C.401





No.	Date	Description
-----	------	-------------

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SUITE 200
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ARCHITECT



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CIVIL ENGINEER

LANDMARK ENGINEERING

141 9TH STREET
PO BOX 774943
STEAMBOAT SPRINGS, CO 80477

LANDSCAPE ARCHITECT

GENERAL CONTRACTOR

PROJECT LOCATION

STEAMBOAT
BASECAMP

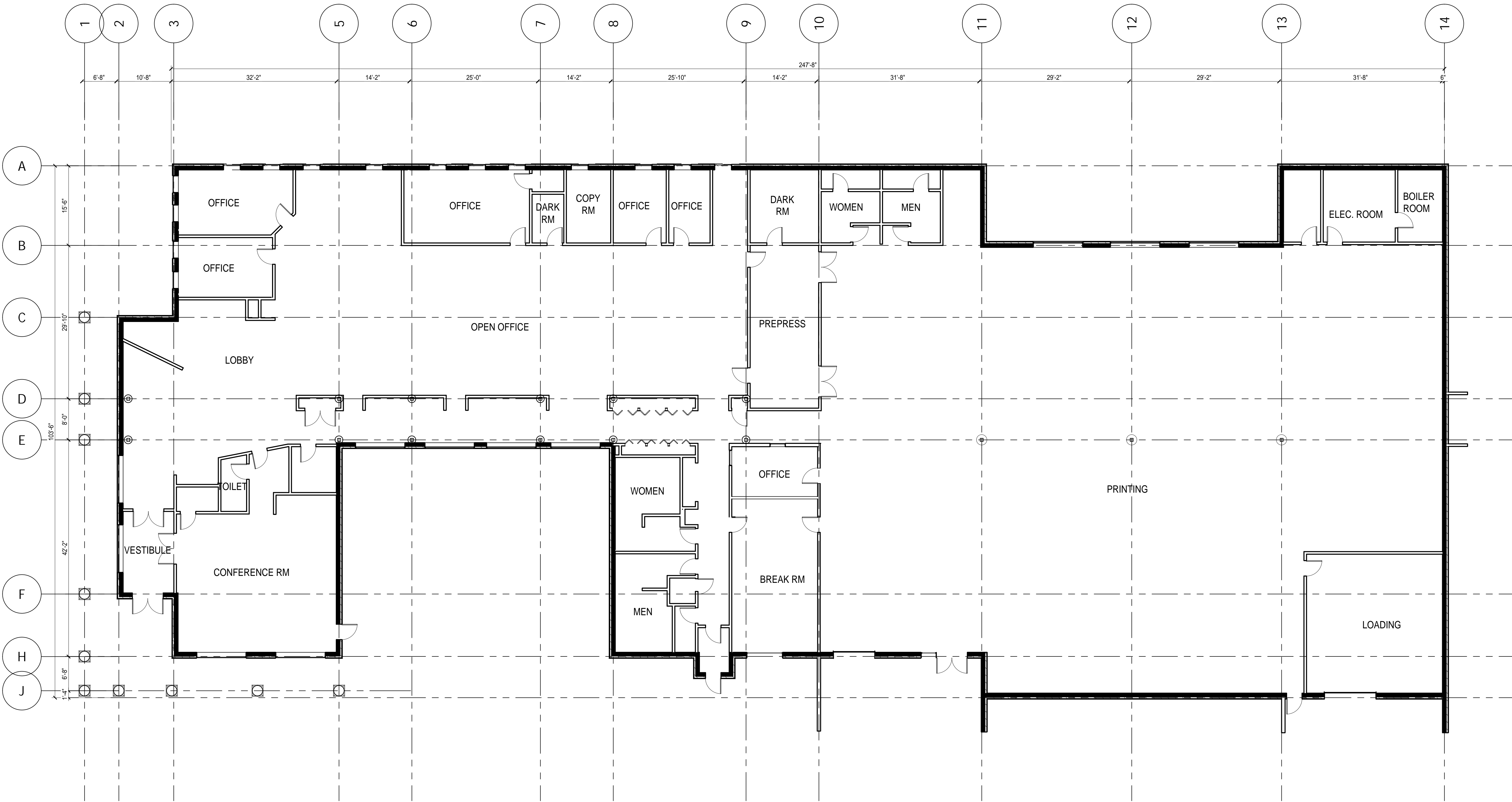
1901 CURVE PLAZA
STEAMBOAT SPRINGS, CO 80487

EASEMENT EXHIBIT

SEAL	DATE: 6/18/21
	DRAWN BY: PN
	CHECKED BY: EG
	PROJECT NO: 2387-004

DRAWING NO:

C.700



1 EXISTING GROUND LEVEL PLAN

SCALE: 1:10

3/12/2020 11:00:28 AM

APPROVAL STAMPS:

5	6/17/2021	Development Plan Submittal #5
4	4/19/2021	Development Plan Submittal #4
3	10/14/2020	Development Plan Submittal #3
2	7/9/2020	Development Plan Submittal #2
1	3/27/2020	Development Plan Submittal

SUBMISSIONS & REVISIONS

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LANDSCAPE ARCHITECT

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GENERAL CONTRACTOR

PROJECT LOCATION

**Steamboat
Basecamp**

1901 Curve Plaza
Steamboat Springs, CO

DRAWING TITLE

**EXISTING GROUND
LEVEL PLAN**

SEAL	DATE: 03/27/20
	DRAWN BY:
	CHECKED BY:
	PROJECT NO:

DRAWING NO:

A1.1



APPROVAL STAMPS:

[illegible]

5	6/17/2021	Development Plan Submittal #5
4	10/14/2021	Development Plan Submittal #4
3	10/14/2020	Development Plan Submittal #3
2	7/9/2020	Development Plan Submittal #2
1	3/27/2020	Development Plan Submittal
No.	Date	Description

SUBMISSIONS & REVISIONS

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GENERAL CONTRACTOR

PROJECT LOCATION

Steamboat Basecamp

1901 Curve Plaza
Steamboat Springs, CO

DRAWING TITLE

EXISTING ROOF PLAN

SEAL

DATE:

03/27/20

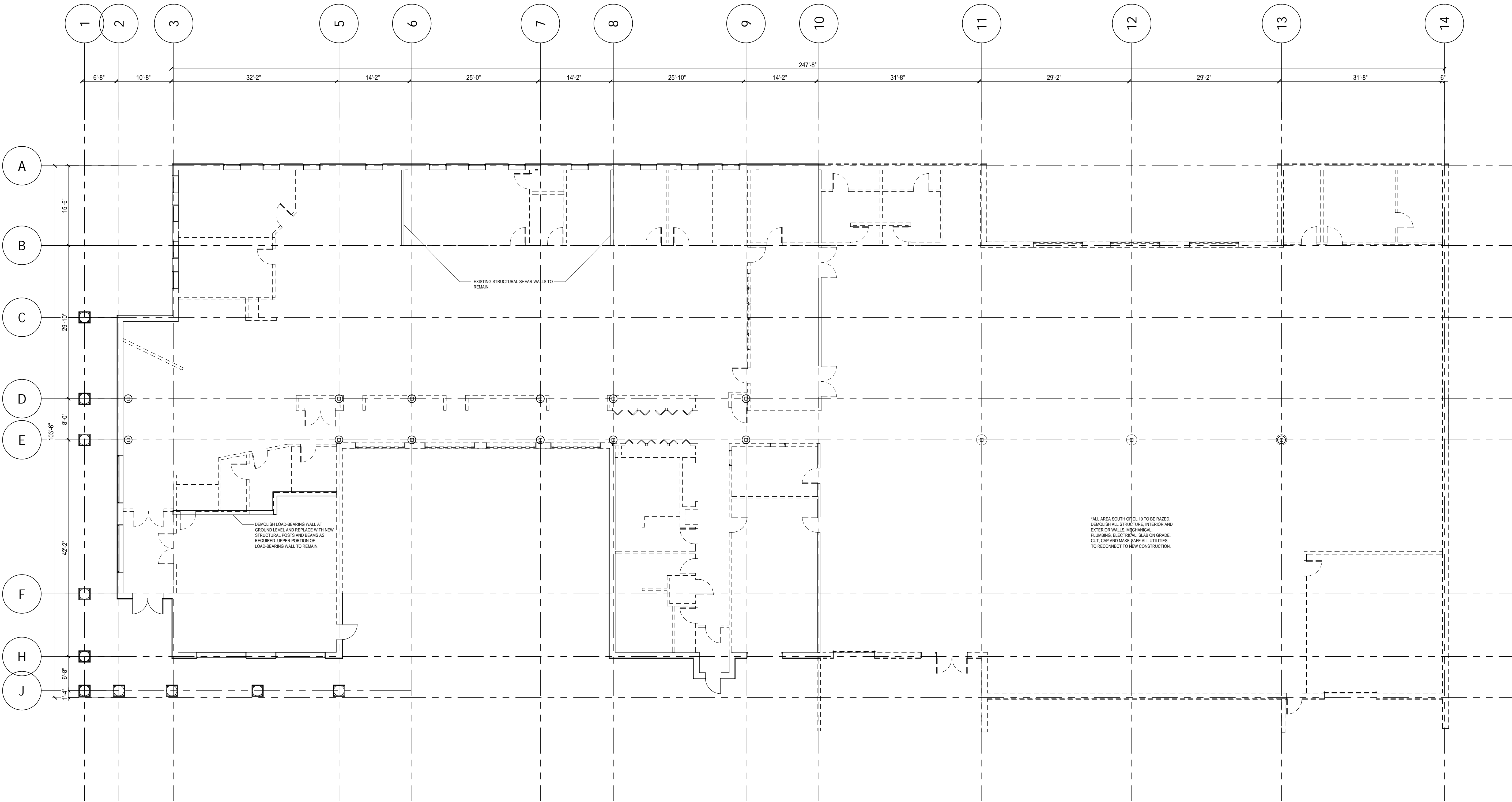
DRAWN BY

CHECKED BY _____

PROJECT NO.

DRAWING NO:

A1.2



1 DEMOLITION PLAN
SCALE: 1:10

DEMOLITION LEGEND	
----	DEMOLISH BUILDING ELEMENT & PREPARE FOR NEW CONSTRUCTION

APPROVAL STAMPS:

5	6/17/2021	Development Plan Submittal #5
4	4/19/2021	Development Plan Submittal #4
3	10/13/2020	Development Plan Submittal #3
2	7/9/2020	Development Plan Submittal #2
1	3/27/2020	Development Plan Submittal #1

SUBMISSIONS & REVISIONS

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GENERAL CONTRACTOR

PROJECT LOCATION

**Steamboat
Basecamp**

1901 Curve Plaza
Steamboat Springs, CO

DRAWING TITLE

DEMOLITION PLAN

SEAL

DATE:

03/27/20

DRAWN BY:

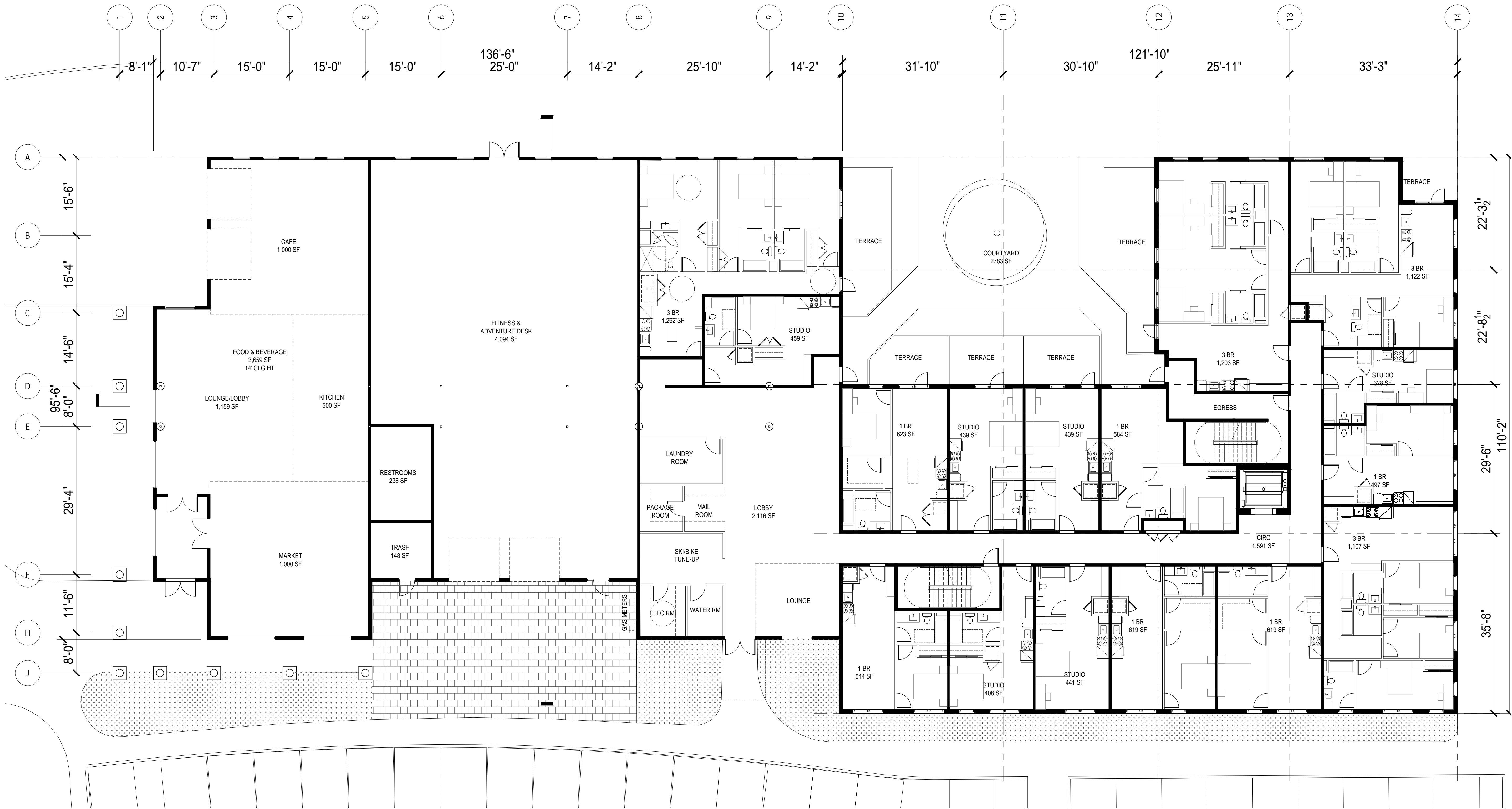
CHECKED BY:

PROJECT NO:

DRAWING NO:

A1.3

3/12/2020 11:00:28 AM



1 GROUND LEVEL PLAN
SCALE: 1:10

APPROVAL STAMPS:

6	6/17/2021	Development Plan Submittal #5
5	4/19/2021	Development Plan Submittal #4
4	11/30/2020	Development Plan Submittal #3b
3	10/14/2020	Development Plan Submittal #3
2	7/9/2020	Development Plan Submittal #2
1	3/27/2020	Development Plan Submittal
No.	Date	Description

SUBMISSIONS & REVISIONS

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GENERAL CONTRACTOR

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PROJECT LOCATION

**Steamboat
Basecamp**

1901 Curve Plaza
Steamboat Springs, CO

DRAWING TITLE

**GROUND LEVEL
PLAN**

SEAL

DATE:

06/08/21

DRAWN BY:

CHECKED BY:

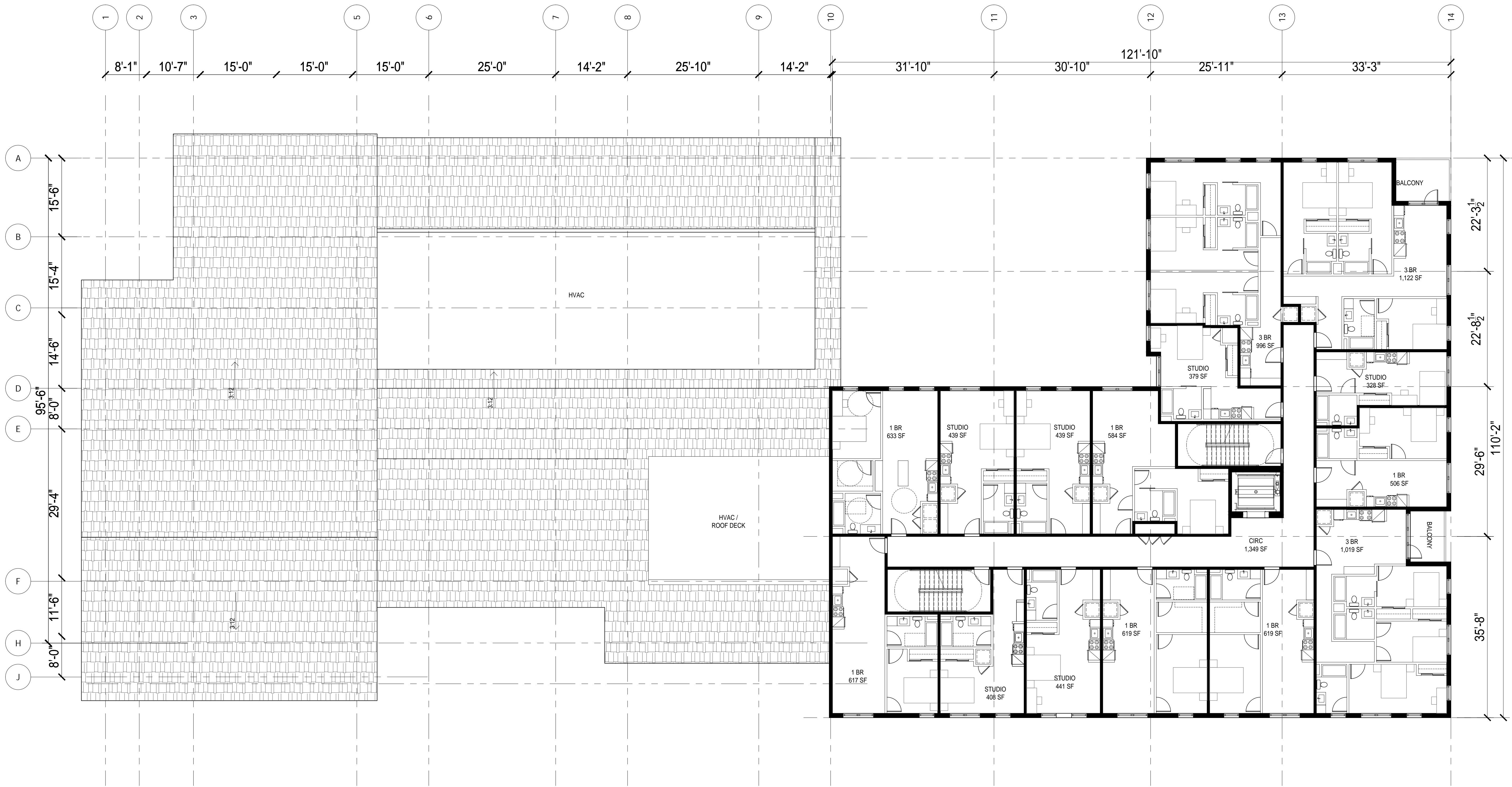
PROJECT NO:

DRAWING NO:

A 2.1

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1 TYPICAL LEVEL PLAN
SCALE: 1:10

APPROVAL STAMPS:

5	6/17/2021	Development Plan Submittal #5
4	4/19/2021	Development Plan Submittal #4
3	10/14/2020	Development Plan Submittal #3
2	7/9/2020	Development Plan Submittal #2
1	3/27/2020	Development Plan Submittal
No.	Date	Description

SUBMISSIONS & REVISIONS

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GENERAL CONTRACTOR

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PROJECT LOCATION

**Steamboat
Basecamp**

1901 Curve Plaza
Steamboat Springs, CO

DRAWING TITLE

LEVELS 2-4 PLAN

SEAL

DATE:

06/08/21

DRAWN BY:

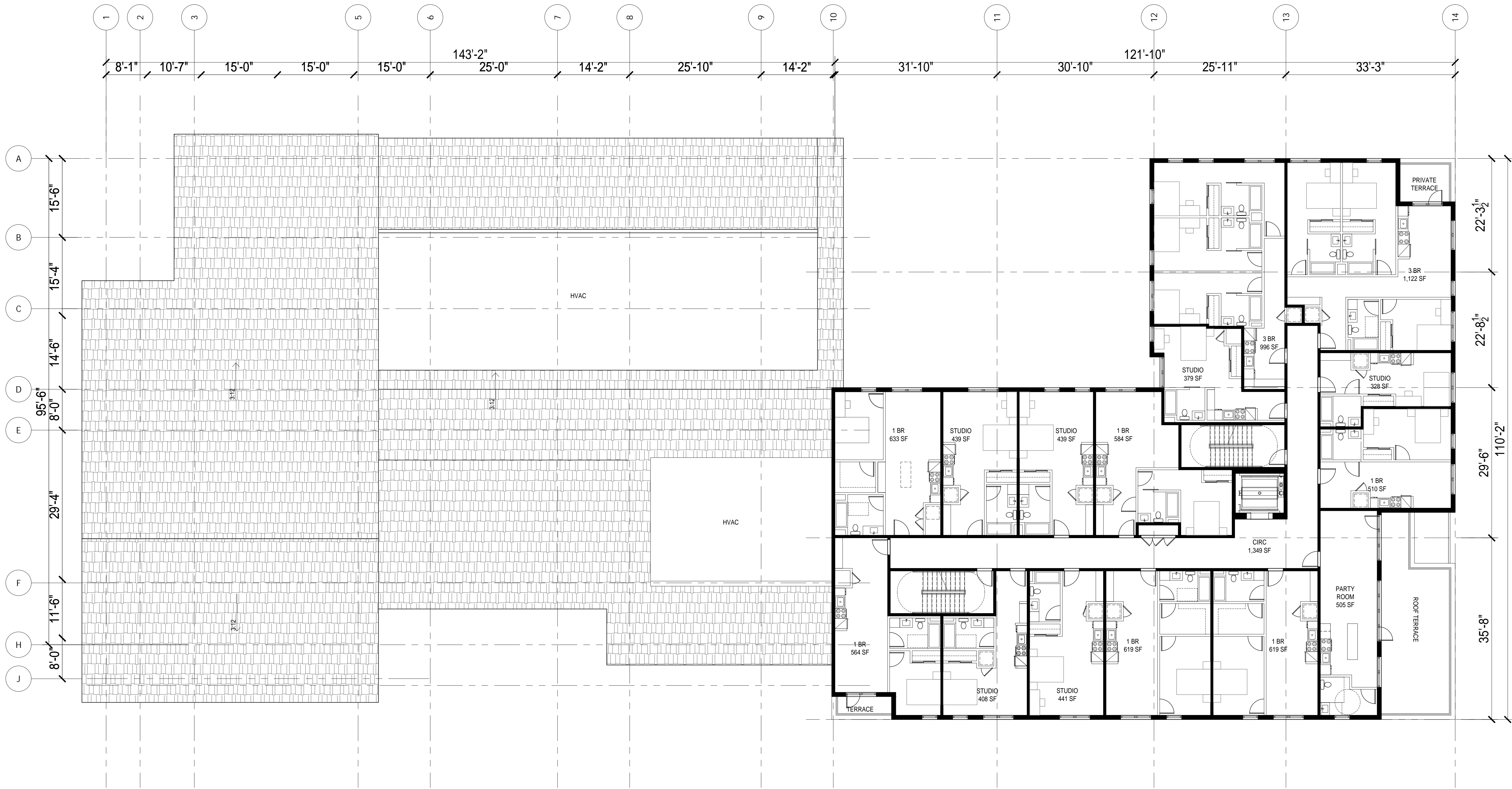
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PROJECT NO:

DRAWING NO:

A 2.2

3/12/2020 11:00:28 AM



1 FIFTH LEVEL PLAN
SCALE: 1:10

APPROVAL STAMPS:

5	6/17/2021	Developmet Plan Submittal #5
4	4/19/2021	Developmet Plan Submittal #4
3	10/14/2020	Development Plan Submittal #3
2	7/9/2020	Development Plan Submittal #2
1	3/27/2020	Development Plan Submittal
No.	Date	Description

SUBMISSIONS & REVISIONS

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Englewood, CO 80110
T.303.762.1554

PROJECT LOCATION

**Steamboat
Basecamp**

1901 Curve Plaza
Steamboat Springs, CO

DRAWING TITLE

FIFTH LEVEL PLAN

SEAL

DATE:

06/08/21

DRAWN BY:

CHECKED BY:

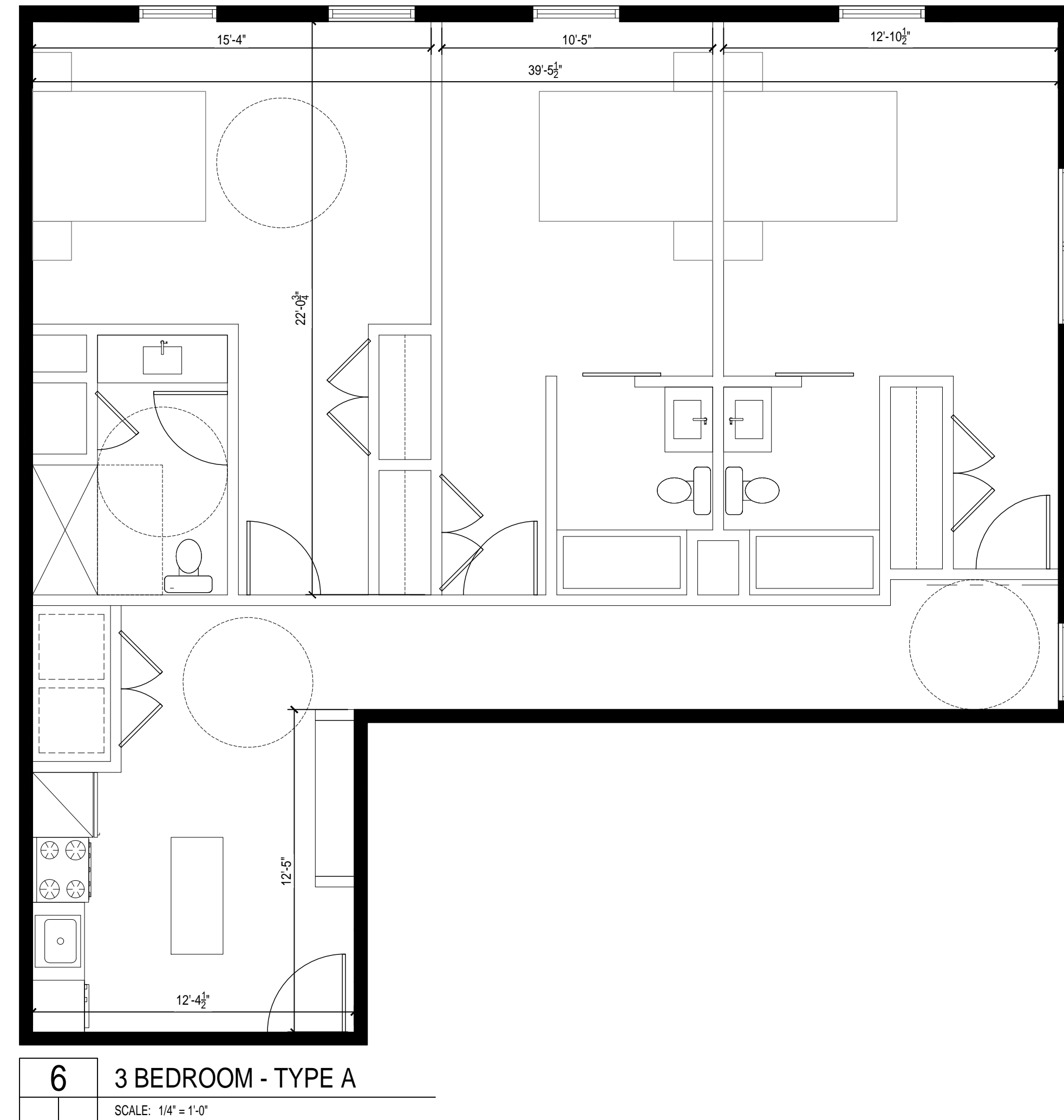
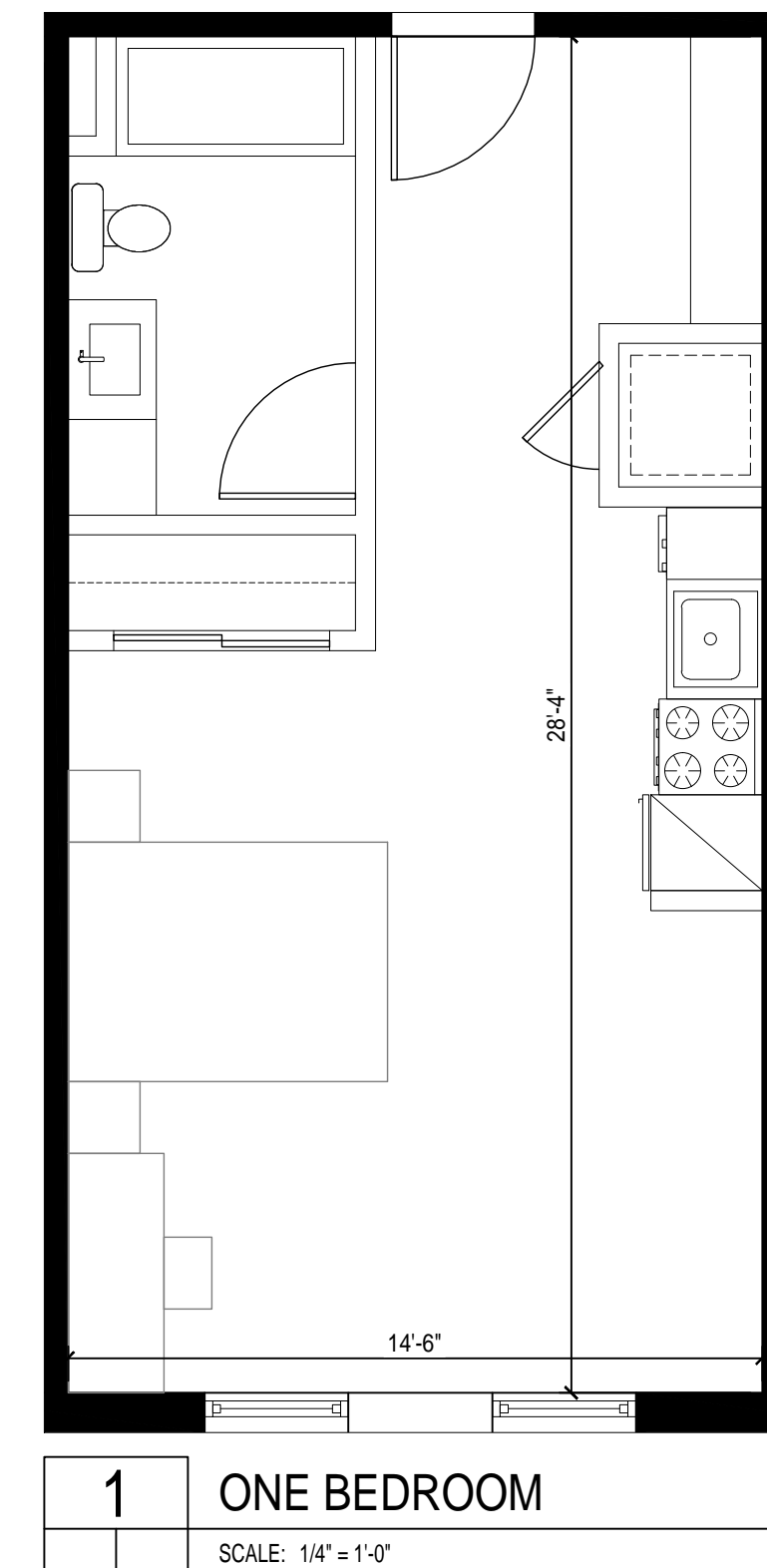
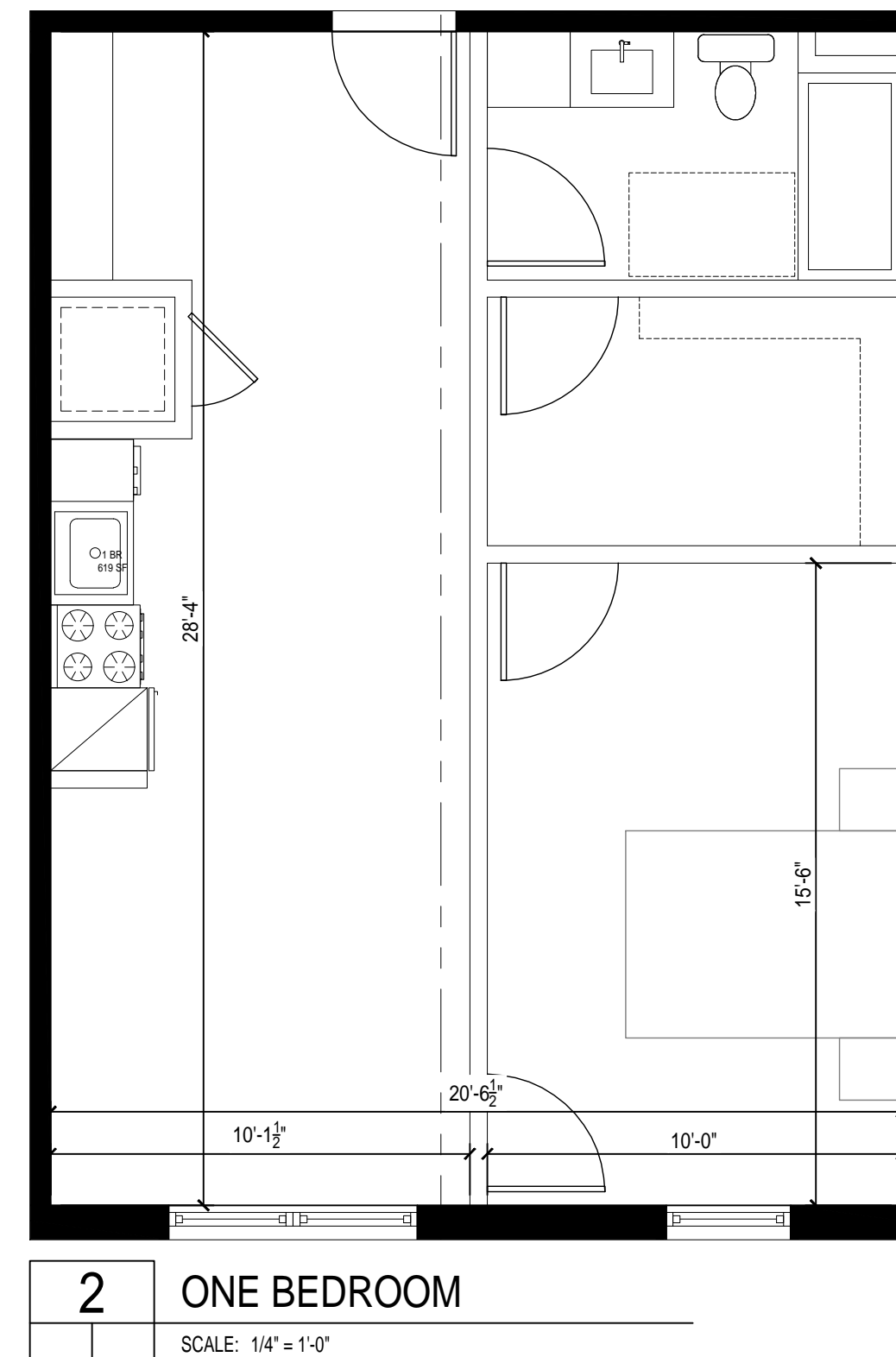
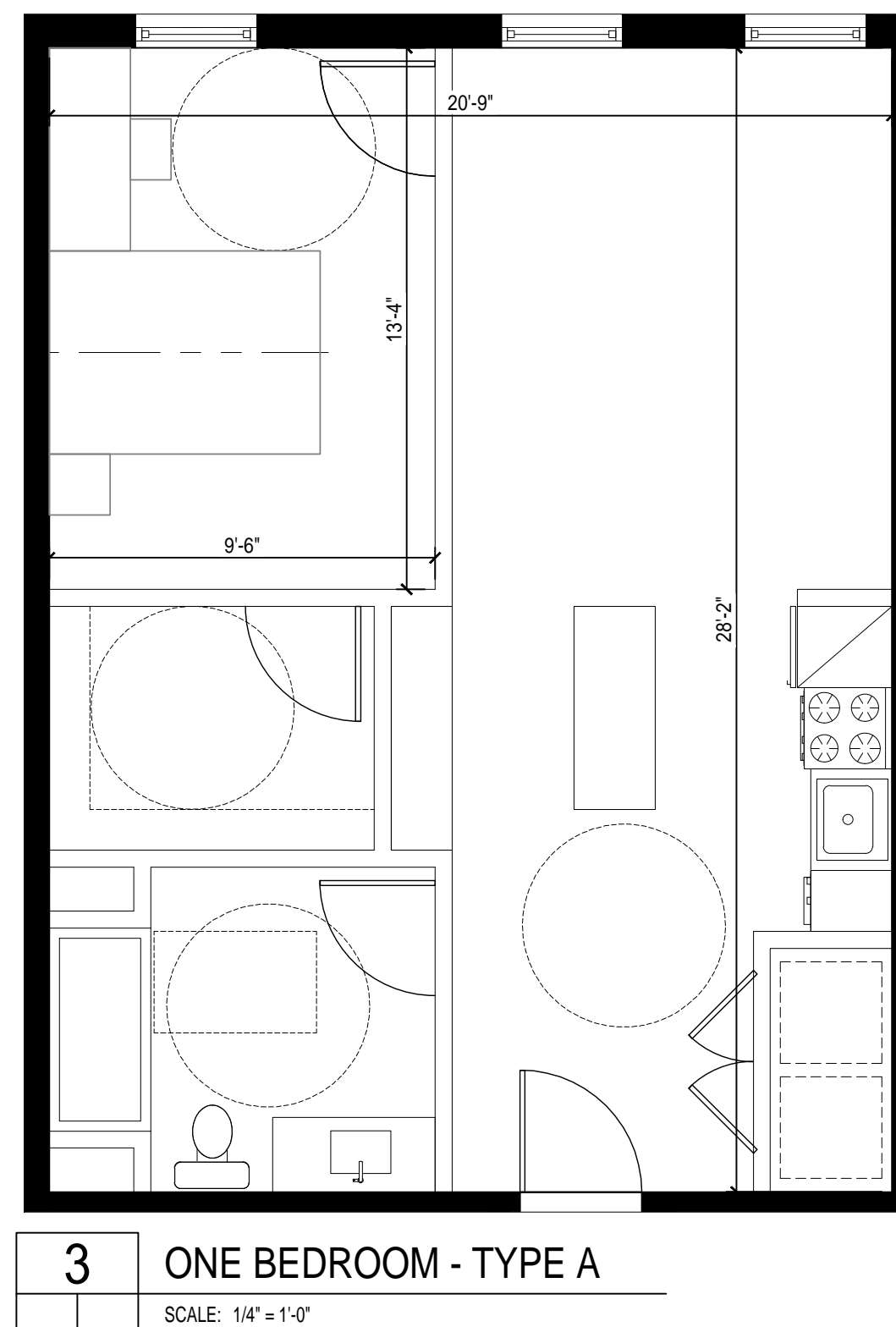
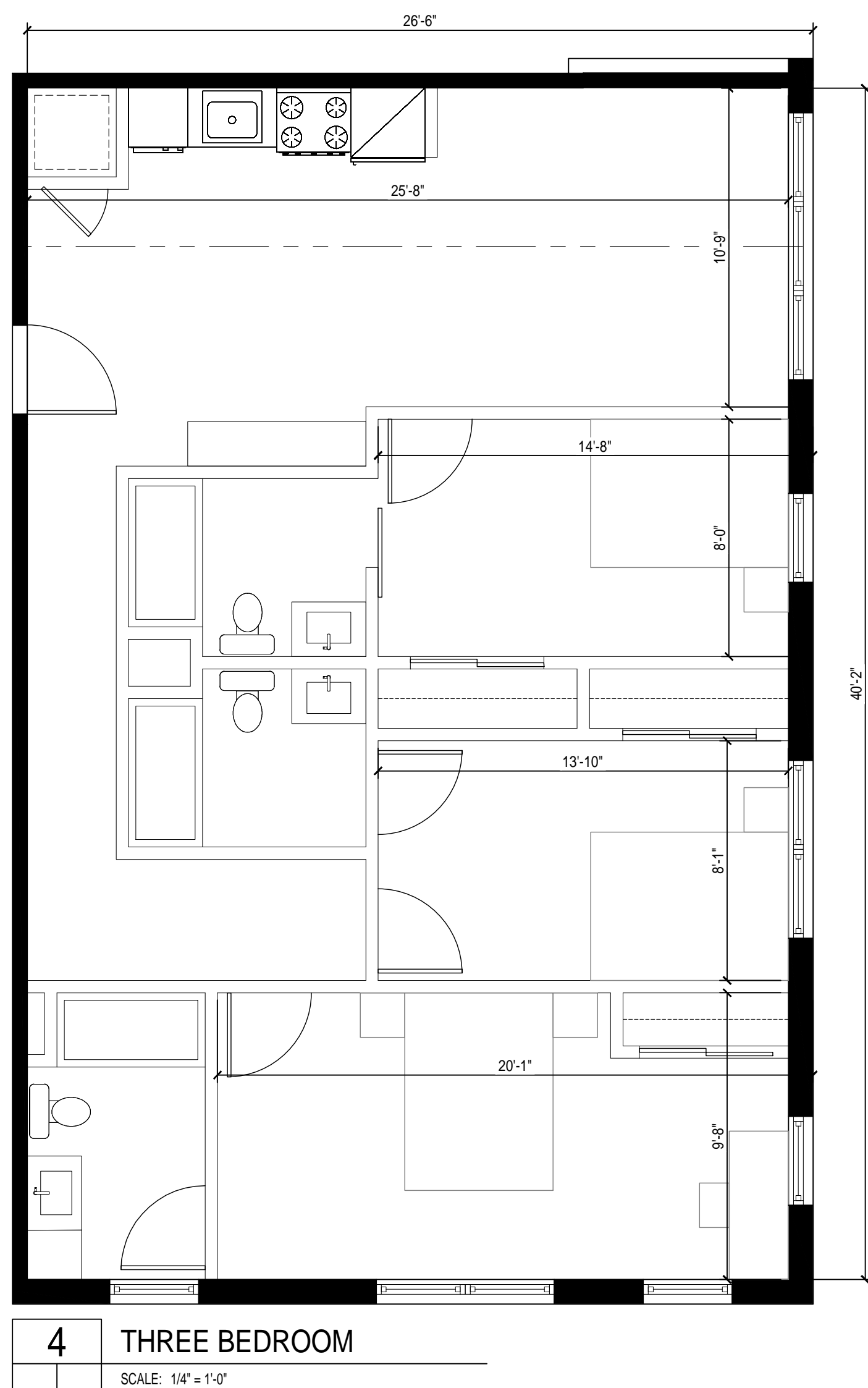
PROJECT NO:

DRAWING NO:

A 2.3



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APPROVAL STAMPS:

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4	6/17/2021	Development Plan Submittal #5
3	10/14/2020	Development Plan Submittal #3
2	7/9/2020	Development Plan Submittal #2
1	3/27/2020	Development Plan Submittal
No.	Date	Description

SUBMISSIONS & REVISIONS

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GENERAL CONTRACTOR

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T.303.762.1554

PROJECT LOCATION

Steamboat Basecamp

1901 Curve Plaza
Steamboat Springs, CO

DRAWING TITLE

ENLARGED UNIT PLANS

SEAL

DATE: _____

06/06/21

DRAWN BY:

CHECKED BY:	
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PROJECT NO:

DRAWING NO:

A2.5

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5	6/17/2021	Development Plan Submittal #5
4	4/19/2021	Development Plan Submittal #4
3	10/14/2020	Development Plan Submittal #3
2	7/9/2020	Development Plan Submittal #2
1	3/27/2020	Development Plan Submittal
No.	Date	Description

OWNER

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T.970.879.7740

PROJECT LOCATION

Steamboat Basecamp

1901 Curve Plaza
Steamboat Springs, CO

EXISTING
NORTH & EAST
ELEVATIONS

DRAWING NO:

A3.02



APPROVAL STAMPS:

[illegible]

5	6/17/2021	Development Plan Submittal #5
4	4/19/2021	Development Plan Submittal #4
3	10/14/2020	Development Plan Submittal #3
2	7/9/2020	Development Plan Submittal #2
1	3/27/2020	Development Plan Submittal
No	Date	Description

SUBMISSIONS & REVISIONS

OWNER

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PO Box 881330
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ARCHITECT



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T.970.879.7740

GENERAL CONTRACTOR

PROJECT LOCATION

Steamboat Basecamp

1901 Curve Plaza
Steamboat Springs, CO

DRAWING TITLE

EXISTING
SOUTH & WEST
ELEVATIONS

SEAL

DATE:

03/27/20

DRAWN BY

CHECKED BY:

PROJECT NO:

DRAWING NO:

A3.01



2 WEST ELEVATION

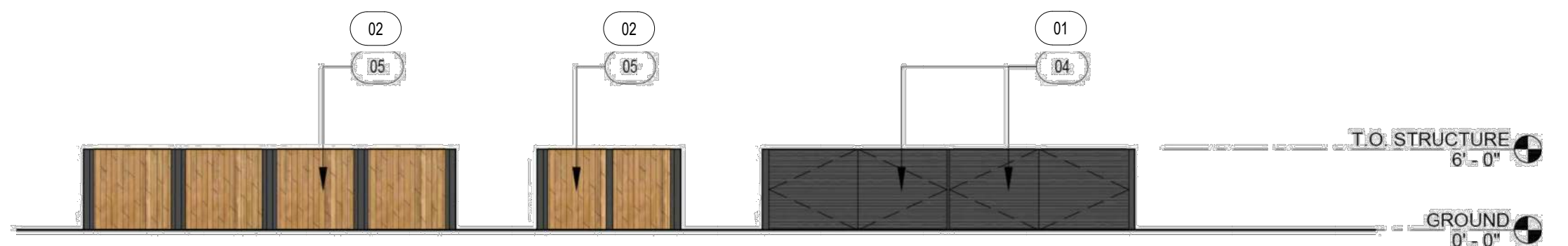
SCALE: 1:10

MATERIAL LEGEND

- 01 CORRUGATED MTL. WALL PANEL
- 02 WOOD TEXTURED MTL. WALL PLANKS
- 03 GROUND FACE CMU. COLOR: DESATURATED BEIGE
- 04 SOLID COLOR MTL. WALL PLANKS
- 05 ASPHALT SHINGLE TO MATCH EXISTING
- 06 EXISTING ASPHALT SHINGLE TO REMAIN
- 07 EXISTING WOOD SIDING TO BE CLEANED & STAINED
- 08 EXISTING STONE WATER TABLE TO BE CLEANED & STAINED/PAINTED
- 09 EXISTING WOOD COLUMN & BEAM TO BE CLEANED & PAINTED
- 10 EXISTING WOOD FASCIA TO BE CLEANED & PAINTED
- 11 EXISTING WOOD SIDING TO BE RELOCATED, CLEANED & STAINED
- 12 EXISTING STONE WATER TABLE TO BE RELOCATED, CLEANED & STAINED
- 13 PTD. WOOD FASCIA
- 14 PTD. MTL. RAILING
- 15 PTD. MTL. TRIM
- 16 PTD. MTL. CANOPY
- 17 PTD. MTL. COPING

KEY NOTE LEGEND

- A NEW EXTERIOR LIGHT FIXTURES. REFER TO A.XX & A.XX FOR DETAILS
- B HATCHED WINDOWS INDICATE EXISTING TO REMAIN
- C GARAGE DOOR
- D STOREFRONT
- E WOOD PRIVACY FENCE
- F WALL MURAL



3 TRASH ENCLOSURE ELEVATIONS

SCALE: 1:10



1 SOUTH ELEVATION

SCALE: 1:10

APPROVAL STAMPS:

No.	Date	Description
3	6/17/2021	Development Plan Submittal
2	4/19/2021	Development Plan Submittal
1	3/27/2020	Development Plan Submittal

SUBMISSIONS & REVISIONS

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ARCHITECT

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GENERAL CONTRACTOR

PROJECT LOCATION

Steamboat Basecamp

1901 Curve Plaza
Steamboat Springs, CO

DRAWING TITLE

PROPOSED SOUTH & WEST ELEVATIONS

SEAL

DATE:	04/16/21
DRAWN BY:	
CHECKED BY:	
PROJECT NO:	

DRAWING NO:

A3.11



KEY NOTE LEGEND

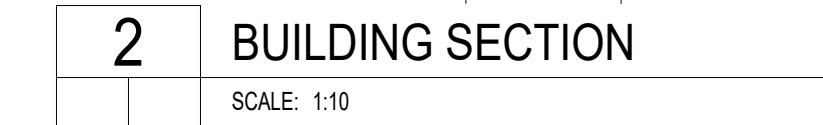
A	NEW EXTERIOR LIGHT FIXTURES. REFER TO A.XX & A.XX FOR DETAILS
B	HATCHED WINDOWS INDICATE EXISTING TO REMAIN
C	GARAGE DOOR
D	STOREFRONT
E	WOOD PRIVACY FENCE
F	WALL MURAL

1

NORTH ELEVATION

SCALE: 1:10

[illegible]



3	6/17/2021	Development Plan Submittal
2	4/19/2021	Development Plan Submittal
1	3/27/2020	Development Plan Submittal
No.	Date	Description

SEAL	DATE:
	04/16/21
	DRAWN BY:
	CHECKED BY:
	PROJECT NO:

A3.2



1 PERSPECTIVE RENDERING
SCALE: N.T.S.

3/12/2020 11:00:28 AM

APPROVAL STAMPS:

5	6/17/2021	Development Plan Submittal #5
4	4/19/2021	Development Plan Submittal #4
3	10/14/2020	Development Plan Submittal #3
2	7/9/2020	Development Plan Submittal #2
1	3/27/2020	Development Plan Submittal #1
No.	Date	Description

SUBMISSIONS & REVISIONS

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GENERAL CONTRACTOR

PROJECT LOCATION

**Steamboat
Basecamp**

1901 Curve Plaza
Steamboat Springs, CO

DRAWING TITLE

**PROPOSED
PERSPECTIVE
RENDERING**

SEAL

DATE:

03/27/20

DRAWN BY:

CHECKED BY:

PROJECT NO:

DRAWING NO:

A 4.1



1 PERSPECTIVE RENDERING
SCALE: N.T.S.

3/12/2020 11:00:28 AM

APPROVAL STAMPS:

5	6/17/2021	Development Plan Submittal #5
4	4/19/2021	Development Plan Submittal #4
3	10/14/2020	Development Plan Submittal #3
2	7/9/2020	Development Plan Submittal #2
1	3/27/2020	Development Plan Submittal #1
No.	Date	Description

SUBMISSIONS & REVISIONS

OWNER

May Riegler Properties
2201 Wisconsin Avenue NW Suite 200
Washington, DC 20007
PO Box 881330
Steamboat Springs, CO 80488

ARCHITECT

K A S A

KEVIN & ASAKO SPERRY ARCHITECTURE
3318 N. Columbus Street
Arlington, VA 22207
T.312.636.3248 / 312.636.4252
www.kasa-arch.com

STRUCTURAL ENGINEER

M.E.P. & F.P. ENGINEERS

CIVIL ENGINEER

LANDMARK CONSULTANTS, INC.
141 9th Street
PO Box 774943
Steamboat Springs, Colorado 80477
T.970.871.9494

LANDSCAPE ARCHITECT

MGC DESIGN, INC.
PO Box 773522
Steamboat Springs, Colorado 80477
T.970.879.7740

GENERAL CONTRACTOR

PROJECT LOCATION

**Steamboat
Basecamp**

1901 Curve Plaza
Steamboat Springs, CO

DRAWING TITLE

**PROPOSED
PERSPECTIVE
RENDERING**

SEAL	DATE: 03/27/20
	DRAWN BY:
	CHECKED BY:
	PROJECT NO:

DRAWING NO:

A 4.2



1 PERSPECTIVE RENDERING
SCALE: N.T.S.

3/12/2020 11:00:28 AM

APPROVAL STAMPS:

5	6/17/2021	Development Plan Submittal #5
4	4/19/2021	Development Plan Submittal #4
3	10/14/2020	Development Plan Submittal #3
2	7/9/2020	Development Plan Submittal #2
1	3/27/2020	Development Plan Submittal
No.	Date	Description

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RENDERING**

SEAL

DATE:

03/27/20

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PROJECT NO:

DRAWING NO:

A 4.3



PERSPECTIVE RENDERING

SCALE: N.T.S

APPROVAL STAMPS:

[illegible]

5	6/17/2021	Development Plan Submittal #5
4	4/19/2021	Development Plan Submittal #4
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2	7/9/2020	Development Plan Submittal #2
1	3/27/2020	Development Plan Submittal
No.	Date	Description

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GENERAL CONTRACTOR

PROJECT LOCATION

Steamboat Basecamp

1901 Curve Plaza
Steamboat Springs, CO

DRAWING TITLE

PROPOSED
PERSPECTIVE
RENDERING

SEA

DATE:

03/27/20

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PROJECT NO:

DRAWING NO:

A 4.4



1	PERSPECTIVE RENDERING
	SCALE: N.T.S.

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APPROVAL STAMPS:

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4	4/19/2021	Development Plan Submittal #4
3	10/14/2020	Development Plan Submittal #3
2	7/9/2020	Development Plan Submittal #2
1	3/27/2020	Development Plan Submittal
No.	Date	Description

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LANDSCAPE ARCHITECT

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GENERAL CONTRACTOR

PROJECT LOCATION

**Steamboat
Basecamp**

1901 Curve Plaza
Steamboat Springs, CO

DRAWING TITLE

**PROPOSED
PERSPECTIVE
RENDERING**

SEAL

DATE:

03/27/20

DRAWN BY:

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PROJECT NO:

DRAWING NO:

A 4.5

A PARKING LIGHT

Radean Arm Mount LED Area Luminaire

Specifications

Length: 2' 0" (610mm)
 L2: 30" (762mm)
 Width: 24" (610mm)
 Height: 4" (102mm)
 Weight: 25 lbs (11.3kg)

Ordering Information

EXAMPLE: RAD1 LED P3 30K SYM MVOLT BPA PE DNAD

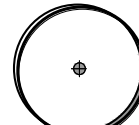
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NO26	26°	3000K	Black	None
NO27	27°	3000K	Black	None
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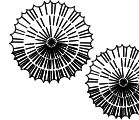
LEGEND

existing

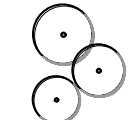
existing plants are per field observation - not survey



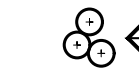
deciduous shade tree



evergreen tree



aspen

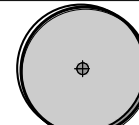


deciduous shrubs

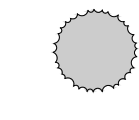


ornamental tree

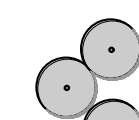
proposed



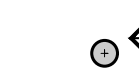
deciduous shade tree



evergreen tree



aspen



deciduous shrubs



ornamental tree



snow storage

NOTES

1. Site layout plan and snow storage calculations provided by Landmark Consultants Inc.
2. All proposed landscape plantings will be under an automatic irrigation system.
3. All landscape will be maintained in a professional manner to industry standard.
4. Owner or landscape architect to approve layout of all proposed work prior to installation.
5. Refer to grading and layout and materials plans for additional information on all proposed work.
6. This landscape plan is intended only as a City of Steamboat Springs planning submittal document. It does not contain the necessary information for construction.

PLANT LIST

TREES	proposed total 56 - 27 large deciduous, 16 evergreen, 13 aspen/ornamental		
# SYM	BOTANIC NAME	COMMON NAME	SIZE
27 dec	populus sp.	cottonwood	2.5" cal.
6 spr	picea pungens	colorado spruce	6'-7' ht.
8 spr	picea pungens	colorado spruce	8'-9' ht.
2 spr	picea pungens	colorado spruce	10' ht
6 asp	populus tremuloides	quaking aspen	2" cal.
7 orn	malus sp.	ornamental crabtree	2" cal.

SHRUBS 88 total - 40 in parking lot, 48 shrub for tree substitution

# SYM	BOTANIC NAME	COMMON NAME	SIZE
# shr	potentilla fruticosa	native yellow potentilla	5 gal.
# shr	prunus virginiana	native chokecherry	"
# shr	amelanchier alnifolia	saskatoon serviceberry	"
# shr	cornus stolonifera	colorado dogwood	"

*NOTE:

Final plant list will be determined at time of construction document preparation. All shrubs will be low water usage plants and be within Appendix A - recommended plant list - in the Community Development Code.

SNOW STORAGE CALCULATIONS

76,695 s.f.	TOTAL PAVED AREA
38,348 s.f.	50% snow storage requirement
28,761 s.f.	TOTAL REQUIRED (after 25% reduction for elevation)
540 s.f.	addition due 18 evergreen trees in storage areas
29,301 s.f.	TOTAL REQUIRED
32,478 s.f.	TOTAL AVAILABLE

LANDSCAPING STANDARDS TABLE - STUDY AREA A

Description	Landscape Area	CS Zone district Requirements	Required	Existing	Proposed	Evr Tree ex pro		Dec Tree ex pro		Orn Tree ex pro	
Parking Lot (p)	2,500 sf	1 tree/200sf + 4 shrubs/200sf	12/50*	4/10	8/40*	1	0	0	8	3	0
Frontage (f)	9,500 sf	Category EC - 1tree/200sf	48	21	24/3	11	8	0	8	10	7
Interior (i)	13,500 sf	Category EC3 - 1tree/500sf	27	3	24	0	8	0	11	3	6
Number of Required Trees/Planting Units			87								
Existing Trees to Remain				28							
3 shrubs=1 tree 27 existing in frontage=0 trees 48 proposed= int. 16 trees				0	16						

*shrubs required for parking lot landscape not a part of shrub for tree substitution

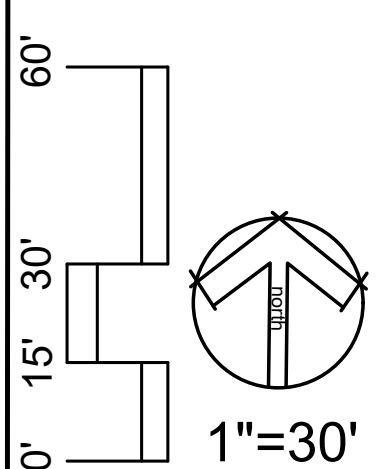
Total Planting Units

LANDSCAPING STANDARDS TABLE - STUDY AREA B

Description	Landscape Area	CS Zone district Requirements	Required	Existing	Proposed	Evr Tree ex pro		Dec Tree ex pro		Orn Tree ex pro	
Frontage (f)	15,450 sf	Category EC - 1tree/200sf	77	17	0	12		0	0	0	5
Interior (i)	48,700 sf	Category EC3 - 1tree/500sf	97	0	0	7	0	0	0	6	0
Number of Required Trees/Planting Units			174								
Existing Trees to Remain				17							

Total Proposed

0



date 4-9-2020
city submittal
rev. 7-14-2020
city submittal
rev. 4-20-21
city submittal
rev. 6-18-21
city submittal
rev. 6-23-21
city submittal

landscape plan

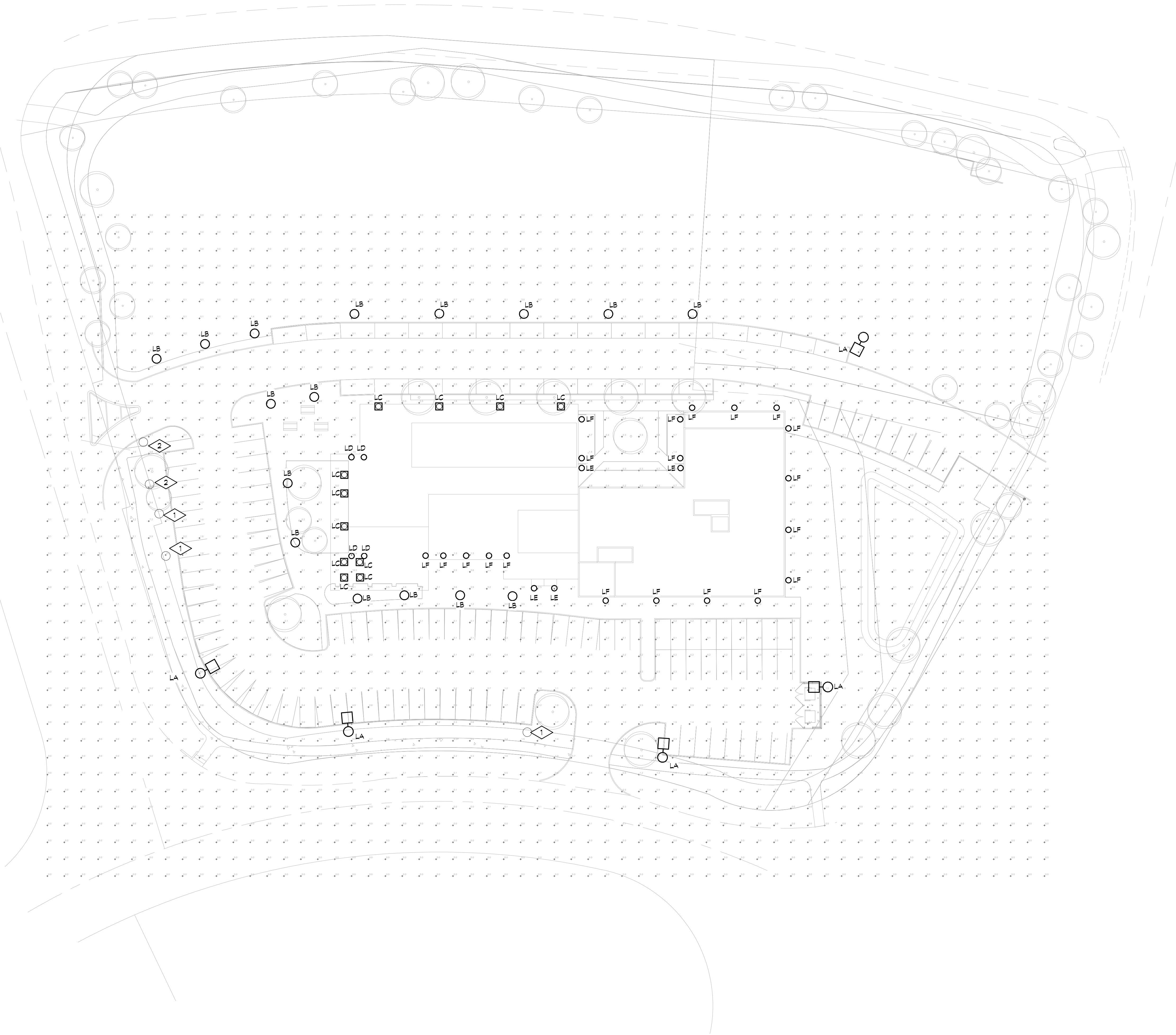
Steamboat Basecamp
Elk River Rd. and Shield Dr.
Steamboat Springs, Colorado



sheet #

L.1

6/18/2021 11:03:44 AM



 **PHOTOMETRIC SITE PLAN**
1" = 30'-0"

DETAIL NOTES THIS SHEET

1. LIGHTING FIXTURE 'G' IS EXISTING TO REMAIN PARKING LOT LIGHT. FIXTURE NOT INDCLUDED IN LIGHTING FIXTURE SCHEDULE.
2. LIGHT FIXTURE 'H' IS EXISTING TO REMAIN SIGN LIGHT. FIXTURE NOT INDCLUDED IN LIGHTING FIXTURE SCHEDULE.

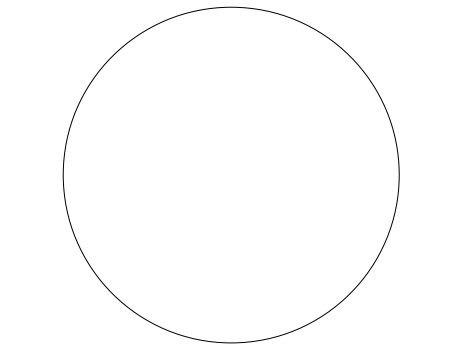
 **boulder**
engineering
*plumbing, mechanical
and electrical*
1717 15th Street
Boulder, CO 80302

303.444.6038 phone
303.442.1172 fax
staff@boulderengineering.com

BASECAMP PHOTOMETRIC

2020 ARAPAHOE AVENUE
BOULDER, CO 80302

No.	Description	Date
1	Revision 1	Date 1



Issue	PERMIT SET
Date	06.18.2021
Project Number	20061
Drawn by	MOD
Checked by	EM

Sheet
Title:
**PHOTOMETRIC
SITE PLAN**

Sheet Number

MEP 1

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