

HOTEL DEVELOPMENT

PHASE II DEVELOPMENT PLANS
LOT 1 INDIAN MEADOWS FILING NO.3



Land Use & Site Development Project Summary Table				
Gross Floor Area	63,527 Sq. Ft. (Hotel A), 52,069 Sq. Ft. (Hotel B)			
Net Floor Area	62,012 Sq. Ft. (Hotel A), 50,834 Sq. Ft. (Hotel B)			
Unit Size	Varies			
Number of Units	90 Guest Rooms (Hotel A), 73 Guest Rooms (Hotel B)			
Number of Units (Workforce)	9 (Hotel A)			
Zoning (existing and proposed)	CC - Existing/Proposed (Hotel - Conditional Use per Table 300-1)			
Frontage	173.9 Ft. (Hotel A),			
Use Breakdown	Description	Square Footage	# of Units	
Principal Use	Hotel A	59,358	90	
Workforce Housing Units	Inside Hotel A	4,169	9	
Principal Use	Hotel B	52,069	73	
Standards	Zone District Requirements	Proposed	Variance? (Y/N)	
Lot Area	No Min, No Max	2.007 Acres	N	
Lot Coverage	No Max	29,349 Sq. Ft.	N	
Floor Area Ratio	No Max	0.34	N	
Overall Building Height	63' (Max)	57'-5"	N	
Average Plate Height	Ft. (Max)	12'-3"	N	
Frontage Area Height	26' (Min)	44'-1"	N	
Front Setback	5' (Min), 20' (Max)	114.3'	N (existing easements)	
Side Setback	7.5' (Min.)	11.2' (South)	N	
Rear Setback	7.5' (Min)	168.5'	N	
Second Story Intensity	75% (Min)	97%	N	
Parking	163 + 9 (Workforce Housing) = 172 Less 10% transit credit = 155	162	N	
Snow Storage	16,790 SF Hotel A, 15,330 SF Hotel B	32,120 Sq. Ft.	N	

DESIGN TEAM:

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**HOTEL A & HOTEL B
Site Development Package**
**3400 S. LINCOLN AVE
STEAMBOAT SPRINGS, CO 80487**

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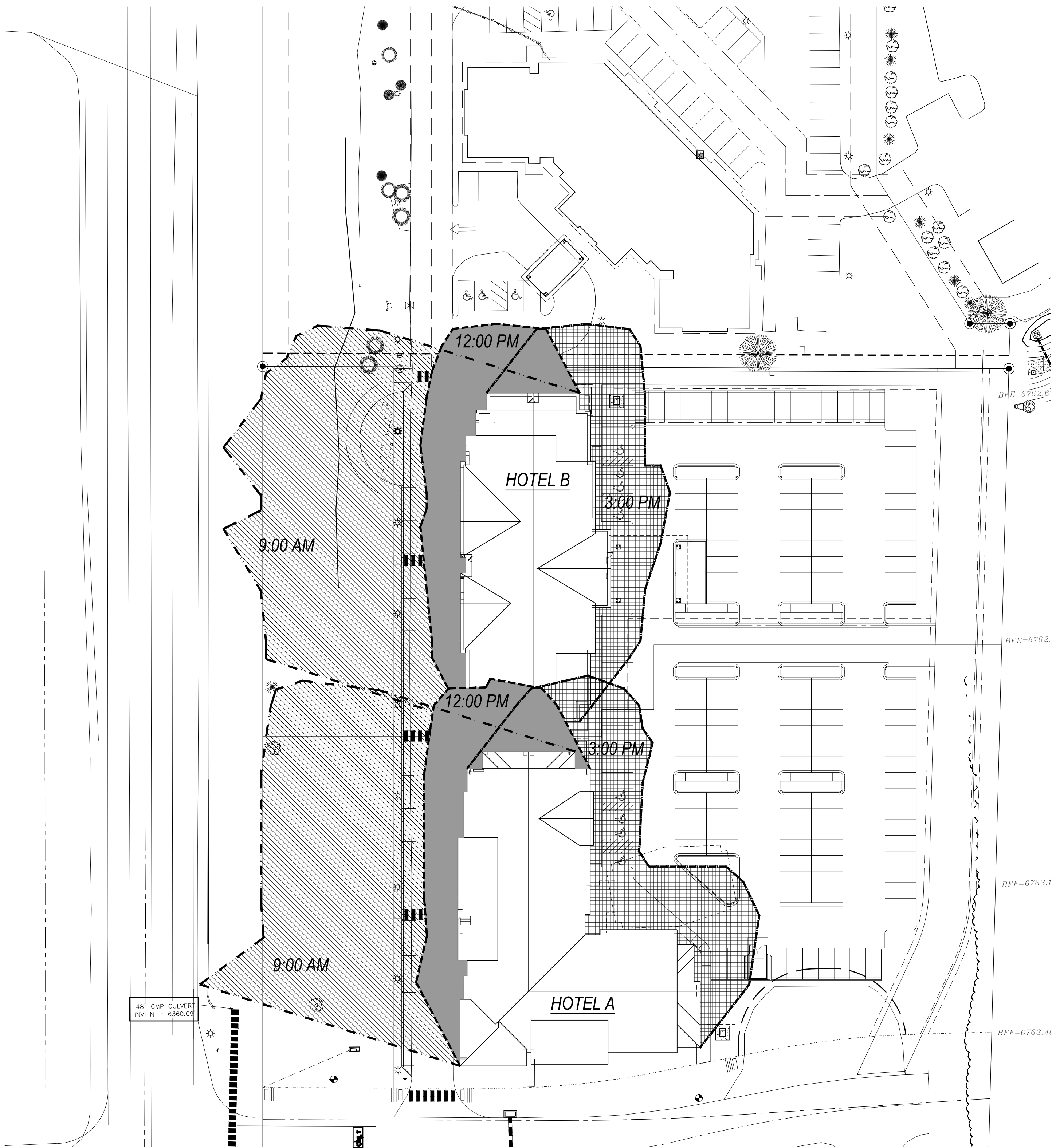
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5/19/23 SDP Revisions

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PROJECT MANAGER:
NICK PIRKL

DRAWN BY:
NAP

SHEET TITLE:
SITE
DEVELOPMENT
COVER SHEET



SHADOW LEGEND:

DIAGONAL HATCH = 9:00 AM BOTH PLANS

SOLID HATCH = 12:00 PM BOTH PLANS

HORIZONTAL/VERTICAL HATCH = 3:00 PM BOTH PLANS

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SHEET TITLE:
SITE SHADOW PLAN

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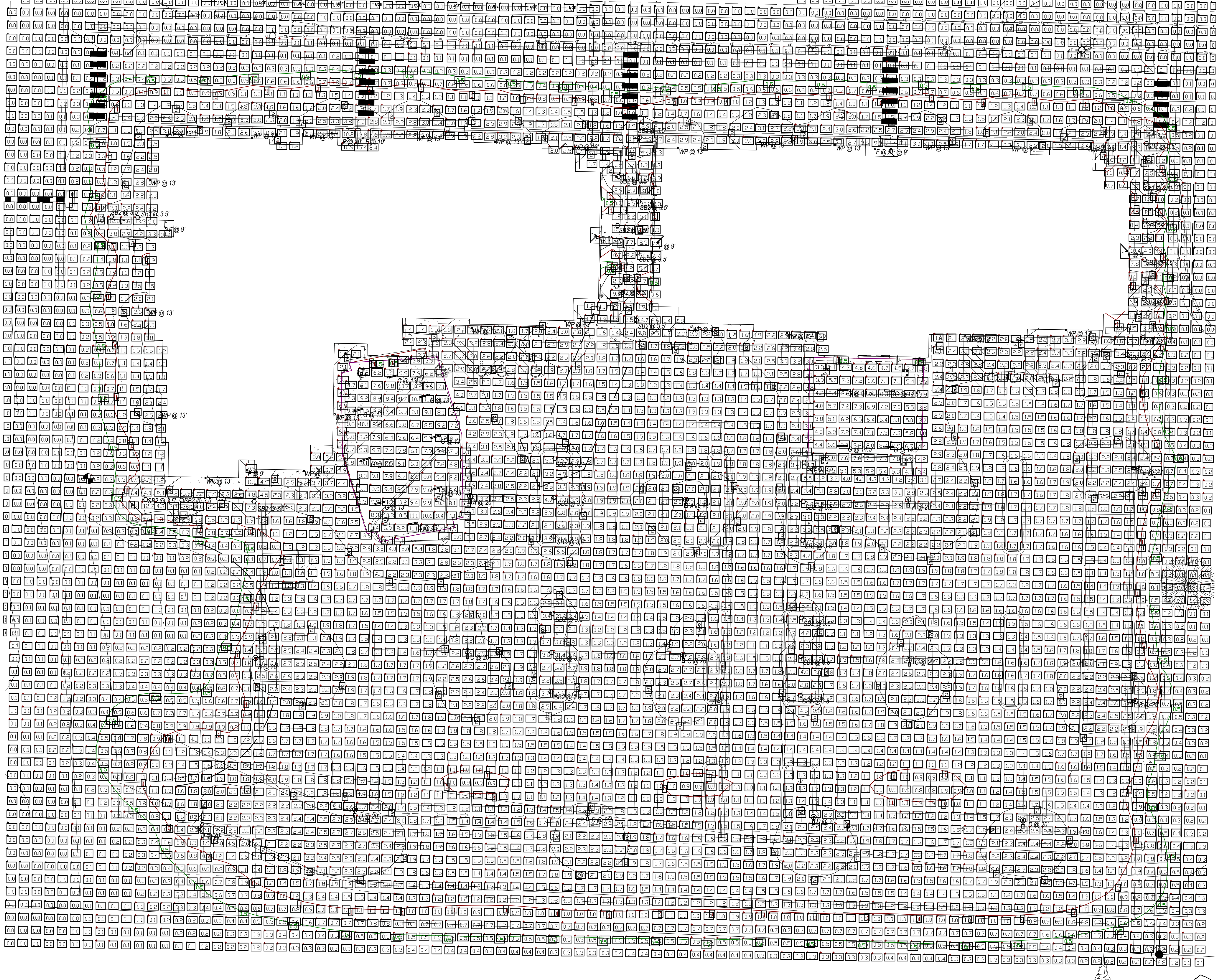
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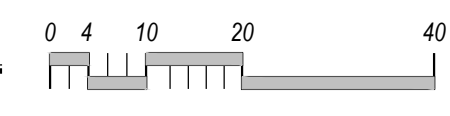
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SHEET TITLE:
SITE LIGHTING
PLAN

AS1.2
SHEET: 03 OF 20



SITE LIGHTING PLAN
SCALE: 1"=20'-0"



NOTE:
ALL EXTERIOR LIGHT FIXTURES ARE TO BE INSTALLED IN A
DOWN-CAST CONFIGURATION. THIS INCLUDES THE TYPE "G"
FIXTURE IN THE PORTE COCHERE AND THE "WP" WALL MOUNTED
LIGHT FIXTURES

LUMINAIRE SCHEDULE						
LABEL	QUANTITY	MANUFACTURER	CATALOG #	LUMENS PER LAMP	FIXTURE WATTS	TOTAL WATTS
A	3	Lithonia	DSX1 LED P3 40K 70CRI T5M	14372	102	306
B	3	Lithonia	DSX1 LED P2 40K 70CRI T4M HS (houseside shield)	8524	68	204
C	3	Lithonia	DSX1 LED P2 40K 70CRI T4M	9909	68	204
D	5	Lithonia	DSX1 LED P1 40K 70CRI T3M HS (houseside shield)	6582	51	255
F	9	Lithonia	LDN6 40/10 LO6AR LD (recessed can)	851	11	99
G	12	Precision	ML5WL-WD-MO/HO-K40-4-X-LOH/LOH-X-X-UNV	5196	53	636
SB2	31	Lithonia	RADB LED P2 40K SYM DBLXD	617	8	248
WP	24	Lithonia	WSQ LED P1 SR3 40K MWOLT	2244	20	480
TOTALS	90					2432

D-Series Size 1 LED Area Luminaire

Specifications
EPA: 1.01 ft²
Length: 23"
Width: 13"
Height H1: 7-1/2"
Height H2: 3-1/2"
Weight (max): 27 lbs

Ordering Information

DSX1 LED	P3	40K	TSM	MYVOLT	XXX
DSX1 LED	Forward optics	30K 3000 K	T15 Type-I short	TSV5 Type-V short	Shipped included
P1	P1	40K 4000 K	T25 Type-II short	TSS Type-V short	XXXX
P2	P2	50K 5000 K	T35 Type-III short	T3S Type-V short	XXXX
P3	P3		T45 Type-IV short	T4S Type-V short	XXXX
P4	P4		T55 Type-V short	T5S Type-V short	XXXX
P5	P5		T65 Type-VI short	T6S Type-V short	XXXX
P6	P6		T75 Type-VII short	T7S Type-V short	XXXX
P7	P7		T85 Type-VIII short	T8S Type-V short	XXXX
P8	P8		T95 Type-IX short	T9S Type-V short	XXXX
P9	P9		T105 Type-X short	T10S Type-V short	XXXX
P10	P10		T115 Type-XI short	T11S Type-V short	XXXX
P11	P11		T125 Type-XII short	T12S Type-V short	XXXX

DSX1 LED P3 40K TSM MYVOLT SPA NLTAIR2 PIRHN DBDX

DSX1 LED
Rev. 07/19/21
Page 1 of 8

Ordering Information

Accessories

Options

Drilling

Tenon Mounting Slipfitter

DSX1 Area Luminaire - EPA

DSX1 LED
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Page 2 of 8

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's D-Series Area Size 1 homepage.

Legend

DSX1 LED
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Page 3 of 8

LITHONIA LIGHTING

LDN6

6" Open and Wall/Wall LED
New Construction Downlight

Features & Specifications

Ordering Information

LDN6	40/10	L66/AR	LSS	MYVOLT
LDN6	6" round	27/ 2700K	65 500 lumens	25 2500 lumens
		30/ 3000K	67 500 lumens	30 3000 lumens
		35/ 3500K	10 1000 lumens	40 4000 lumens
		40/ 4000K	15 1500 lumens	50 5000 lumens
		50/ 5000K	20 2000 lumens	

DSX1 LED
Rev. 07/19/21
Page 3 of 8

Microline™ Series 5 Direct Wet Location-IP65

(Overall Width 5-7/16", Luminous Aperture 5-3/16")

Specifications

Ordering Information

MSLW65-D	HO	K40	80	4	P	LOH	F01M	EF	120	DIMY	OPTIONS
MSLW65-D	HO	K40	80	4	P	LOH	F01M	EF	120	DIMY	OPTIONS

MSLW65-D IP65 Rated
Suspended, Ceiling, Recessed or Wall Mount - Wet Location
5-7/16" x 4-1/32" Direct (LED)

DSX1 LED
Rev. 07/19/21
Page 1 of 8

RADEAN Bollard LED Site Luminaire

Specifications

Ordering Information

RADB LED	P2	40K	ASY	MYVOLT	XXX
RADB LED	P2	27K 2700 K	ASY Symmetric	MYVOLT	XXX
P1	P1	30K 3000 K	SYM Symmetric	120	120
P2	P2	35K 3500 K		200	200
P3	P3	40K 4000 K		277	277
P4	P4	50K 5000 K		347	347
				480	480
				500	500
				570	570
				650	650
				750	750
				850	850
				950	950
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**HOTEL A & HOTEL B
Site Development Package**
**3400 S. LINCOLN AVE
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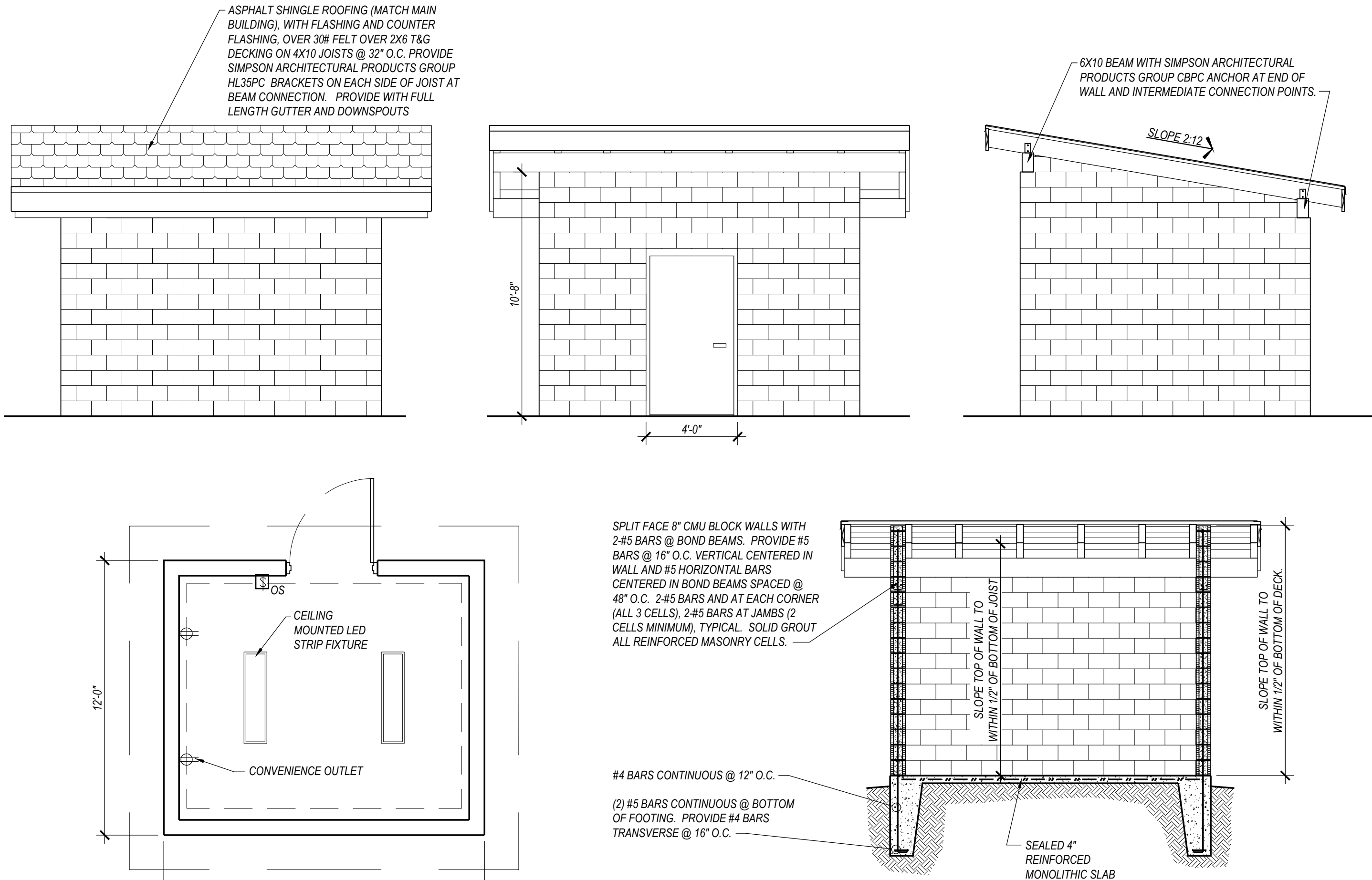
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PROJECT MANAGER:
NICK PIRKL
DRAWN BY:
NAP

SHEET TITLE:
**HOTEL A
STORAGE
BUILDING**

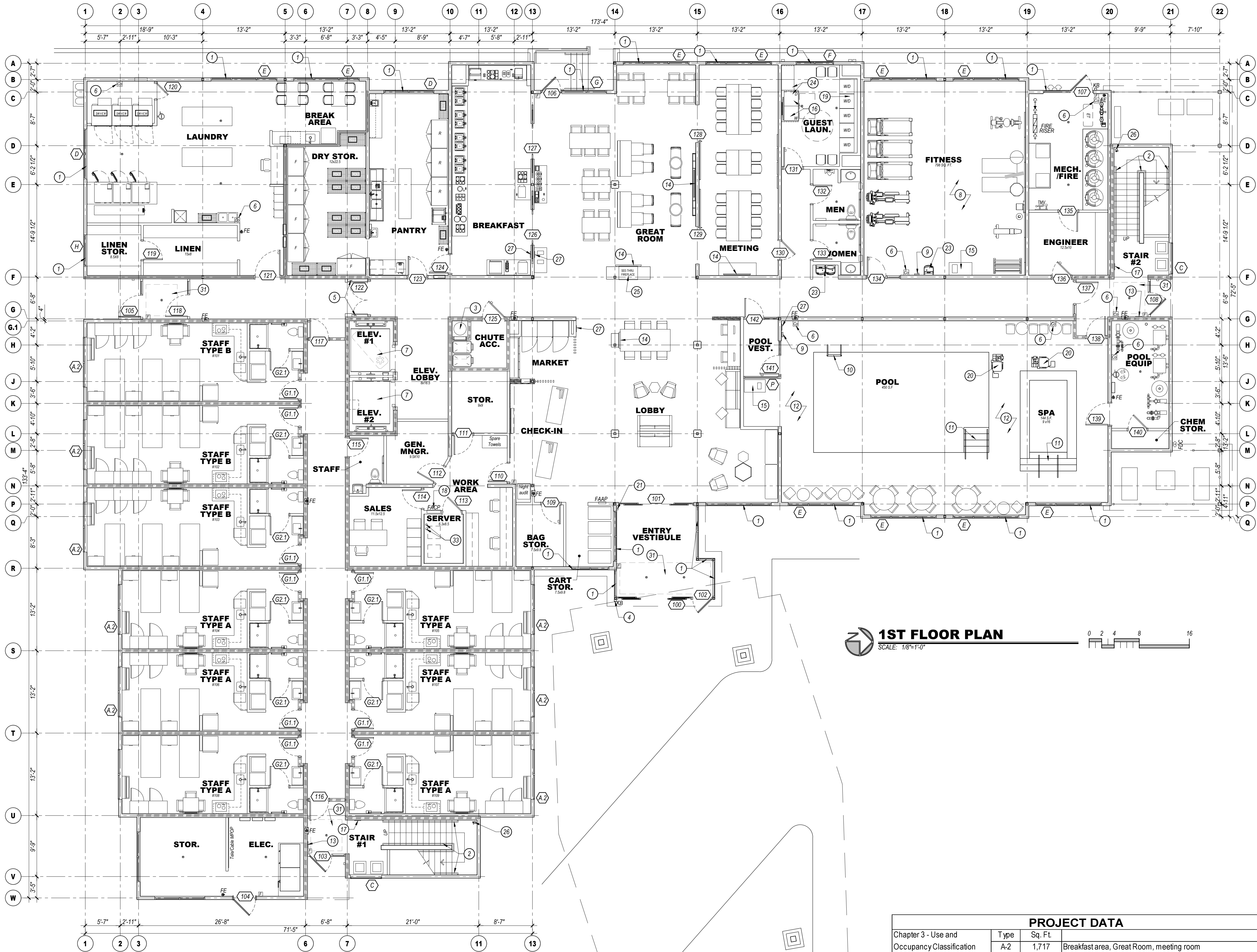
AS1.4
SHEET: 05 OF 20



STORAGE BUILDING

SCALE: 1/4"=1'-0"

PLAN, SECTION, AND ELEVATIONS



1ST FLOOR PLAN
SCALE: 1/8"=1'-0"

FLOOR PLAN KEYED NOTES:

- KAWNEER VG 451 FRONT PLANE GLAZING SYSTEM, TYPICAL AT ALL EXTERIOR STOREFRONT AND WINDOW LOCATIONS. PROVIDE TEMPERED GLASS AS SHOWN ON ELEVATIONS.
- 1 1/2" DIAMETER PAINTED HANDRAILS AND GUARDRAILS, WOOD INTERIOR, STEEL EXTERIOR.
- VALIANT 24" DIAMETER FACTORY FABRICATED LINEN CHUTE WITH 90 MINUTE RATED 24"x30" LINEN DISCHARGE DOOR AT GROUND LEVEL AND 90 MINUTE RATED 18"x18" LINEN CHUTE ACCESS DOORS @ 2ND - 4TH FLOORS. DOORS SHALL BE SELF-CLOSING AND SELF-LATCHING. PROVIDE SPRINKLER HEADS IN CHUTE.
- PROVIDE KNOX BOX AS DIRECTED BY THE FIRE AUTHORITY.
- MAGNETIC DOOR HOLDERS WIRED TO THE FIRE ALARM SYSTEM.
- PROVIDE A CARBON MONOXIDE DETECTOR AT LOCATIONS SHOWN, MINIMUM.
- ELEVATORS TO HAVE 42" WIDE DOORS AND SHALL BE SCHINDLER MRL TRACTION TYPE WITH 150 FPM RATED SPEED. ELEVATOR #1 SHALL BE 300# FRONT OPENING SIZED FOR AMBULANCE STRETCHER ACCESS AND IDENTIFIED BY THE INTERNATIONAL SYMBOL FOR EMERGENCY MEDICAL SERVICES "STAR OF LIFE" PER IBC 3002.4. ELEVATOR #2 SHALL BE 300# FRONT OPENING. VERIFY ALL REQUIREMENTS WITH SUPPLIER PRIOR TO CONSTRUCTION. PROVIDE HANDRAIL ON REAR WALL AT 32" A.F.F. MINIMUM. PROVIDE SIGN "DO NOT USE IN CASE OF FIRE". PROVIDE 2-WAY COMMUNICATION AS PER THE IFC ON 2ND - 4TH FLOORS ADJACENT TO ELEVATOR DOORS. SYSTEM AND LOCATION SHALL BE APPROVED BY THE FIRE AUTHORITY. PROVIDE PICTORIAL SIGN "IN FIRE EMERGENCY, DO NOT USE ELEVATOR, USE EXIT STAIRS" COMPLYING WITH IBC 3002.3. FINAL DESIGN SHALL BE APPROVED BY THE FIRE AUTHORITY.
- FINAL FITNESS ROOM LAYOUT SHALL COMPLY WITH BRAND FITNESS STANDARDS. ALL FINISHES SHALL COMPLY WITH STANDARDS.
- PROPOSED LOCATION OF WALL MOUNTED HOUSE PHONE MOUNTED @ 48" A.F.F. TYPICAL. PHONE SHALL RING @ FRONT DESK.
- POOL LADDER AND HANDRAILS.
- ACCESSIBLE POOL AND/OR SPA STAIRS WITH 1 1/2" DIAMETER S/S HANDRAILS.
- CLEAR DECK SPACE SLOPE TO TRENCH AND/OR AREA DRAINS 1/4" PER FOOT MAXIMUM, TYPICAL. 5'-0" CLEAR AROUND POOL AND SPA. FINAL DESIGN OF POOL AND DECK MUST MEET ALL STATE AND BRAND DESIGN STANDARDS AND REQUIREMENTS.
- TACTILE EXIT SIGN PER IBC 1011.3 @ EACH STAIRWELL DOOR AND EXIT DOOR.
- WALL MOUNTED HDTV TELEVISION, CONCEAL ALL POWER/CABLE CONNECTIONS.
- TOWEL AND HAMPER CABINET LOCATION.
- FRONT LOADED WASHER AND DRYER, ADA ACCESSIBLE.
- STAIRWELL SIGN MOUNTED @ 5'-0" A.F.F. AT EACH FLOOR NEXT TO DOOR AS SHOWN. SEE DETAIL 1/41.1 FOR INFORMATION. FINAL DESIGN SHALL BE APPROVED BY THE FIRE AUTHORITY.
- PROPOSED LOCATION OF FIRE ALARM CONTROL PANEL, VERIFY WITH FIRE AUTHORITY. SYSTEM SHALL ACTIVATE UPON FIRE SPRINKLER WATER FLOW.
- STACKABLE WASHER/DRYER UNITS, TYPICAL OF (3) UNITS.
- PROVIDE HANDICAP ACCESSIBLE LIFT FOR POOL AND SPA, VERIFY INSTALLATION DETAILS WITH MANUFACTURER.
- MAIN ENTRY CARD READER LOCATION WITH INTERCOM TO FRONT DESK.
- EMPLOYEE LOCKERS (10) 2.5 CUBIC FOOT MINIMUM.
- WATER COOLER LOCATION.
- FOLDING COUNTER OVER ADA WASHER DRYERS AND ADJACENT TO EQUIPMENT AS SHOWN. ACCESSIBLE COUNTER SHALL BE 34" A.F.F. MAXIMUM.
- GAS FIRE PLACE, DIRECT VENT SUPERIOR MODEL #DRT3SPF WITH RUSTIC LINER, LCD THERMOSTATIC REMOTE, STANDARD BLOWER.
- FIRE PROTECTION DRY STANDPIPE LOCATION WITH VALVES AT EACH LANDING, VERIFY WITH FIRE DEPARTMENT.
- PROVIDE OCCUPANT LOAD SIGNS IN POOL, LOBBY AND BREAKFAST AREA. DESIGN AND LOCATION SHALL BE APPROVED BY THE FIRE AUTHORITY.
- PROVIDE DOOR SIGN (FIRE RISER/MECHANICAL ROOM) ON DOOR. PROVIDE A FIRE FLOW STROBE ABOVE DOOR AS DIRECTED BY THE FIRE AUTHORITY.
- NOT USED.
- NOT USED.
- RECESSED WALK-OFF MAT WITH FLOOR DRAIN.
- NOT USED.
- (2)-4" CONDUITS TO FUTURE HOTEL NETWORK/SERVER ROOM.

GENERAL NOTES:

- FINISHED FLOOR ELEVATION IS INDICATED AS 100'-0" FOR REFERENCE ONLY. SEE CIVIL DRAWINGS FOR ACTUAL ELEVATION OF FINISHED FLOOR.
- ALL DIMENSIONS ARE TO CENTERLINE OF STUDS AND COLUMNS OR FACE OF FINISHED WALLS U.N.O. (FACE OF SHEATHING AT EXTERIOR FACE OF EXTERIOR WALLS).
- T.G. INDICATES TEMPERED GLASS LOCATIONS.
- ALUMINUM WINDOWS TO BE THERMALLY BROKEN INSULATED WINDOWS.
- PROVIDE FIRE ALARM HORNS AND STROBES IN ALL WHEEL CHAIR & HEARING LOSS ACCESSIBLE ROOMS, INCLUDING TOILET ROOMS.
- SEE A3.8 SHEETS FOR ENLARGED GUEST ROOM AND COMMON AREA PLANS.
- SEE A5.8 SHEETS FOR TYPICAL GUEST ROOM INTERIOR ELEVATIONS.
- SEE APPROVED INTERIOR DESIGN DRAWINGS FOR ALL FINISHES.
- POOL DRAWING SHALL BE SUBMITTED TO FRANCHISE FOR APPROVAL. POOLS MUST UTILIZE ANTI-VORTEX DRAIN COVERS COMPLIANT WITH ASME A112.19.8-2007. DRAWINGS SHALL INCLUDE ALL DECK AND SUB-SURFACE DRAINAGE DETAILS (2 DRAINS MINIMUM IN POOL AND SPA), SAFETY EQUIPMENT, SIGNAGE, UNDERWATER LIGHTING, DEPTH MARKINGS, "NO DIVING" SYMBOLS, ADA LIFTS, FURNITURE, ETC. A LIQUID POOL COVER, HEATSAVR OR EQUAL, IS REQUIRED.
- CONTRACTOR IS REQUIRED TO FOLLOW ALL ITEMS NOTED IN THE LATEST BRAND STANDARDS MANUAL, WHETHER NOTED IN THE CONSTRUCTION DRAWINGS OR NOT. THIS INCLUDES ALL TECHNICAL REQUIREMENTS.
- SEE SHEET A0-6.0 FOR MINIMUM PERFORMANCE SPECIFICATIONS AND REQUIREMENTS.

WALL FIRE RATING LEGEND

[X] WALL TYPE, SEE SHEET A0.2

NOTE: PROVIDE WALL MARKING AS PER 9/40.2 ABOVE ACCESSIBLE CEILINGS FOR ALL FIRE PARTITIONS AND FIRE BARRIERS. SEE DESIGN DATA "CHAPTER 7" AND FLOOR PLANS FOR MORE INFORMATION ON WALL TYPES

INCIDENTAL USE SEPARATION WALL "SMOKE RESISTANT" PER IBC 509.4.2. (COMMERCIAL LAUNDRY)
1 HOUR RATED FIRE PARTITION "RESIDENTIAL CORRIDORS, ELEVATOR LOBBY, GUEST ROOM SEPARATION WALLS"
1 HOUR FIRE BARRIER (LINEN CHUTE ACCESS ROOMS, 3-STORY MECHANICAL SHAFTS).
2 HOUR FIRE BARRIER (STAIRWELLS, ELEVATOR SHAFT, 4-STORY MECHANICAL SHAFTS, LINEN CHUTE, LINEN CHUTE DISCHARGE ROOM).

GUEST ROOM TYPE MATRIX

FLOOR	KING	KING/ KING	KING/ SUITE	KING ACC. ROLL-IN #216	KING/ KING ADA #221, #321	KING SUITE ADA #303	KING/ KING SUITE ADA #421	FLOOR TOTAL
1ST								0
2ND	3	14	4	7	1	1		30
3RD	3	15	3	7		1	1	30
4TH	3	15	4	7			1	30
TOTAL	9	44	11	21	1	2	1	90

WHEEL CHAIR ACCESSIBLE (MOBILITY FEATURES) 76 TO 100 TOTAL GUEST ROOMS = 5 ROOMS (4 TRANSFER TUBS + 1 ROLL-IN SHOWER REQUIRED).

HEARING LOSS ACCESSIBLE (COMMUNICATION FEATURES) 76 TO 100 TOTAL GUEST ROOMS = 9 ROOMS REQUIRED (ONLY 1 ROOM THAT IS ALSO A WHEEL CHAIR ACCESSIBLE ROOM MAY COUNT TOWARDS THE TOTAL REQUIRED NUMBER PER 2010 ADAAG SECTION 224.5.5 KING/KING ROOMS (#200, 230, 300, 330, 400), 1 KING SUITE (#320) AND 2 KING/KING SUITES (#306, 406) ALONG WITH ALL OF THE MOBILITY ROOMS ARE PROVIDED WITH COMMUNICATION FEATURES.



Holiday Inn - Hotel A
Site Development Package
3400 S. LINCOLN AVE
STEAMBOAT SPRINGS, CO 80487

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DRAWING ISSUE DATES:
2/20/23 Site Development Package
5/10/23 SDP Revisions

DRAWING REVISION DATES:

PROJECT MANAGER:
NICK PIRKL

DRAWN BY:
NAP

SHEET TITLE:
1ST FLOOR
PLAN

A1.1A

SHEET: 06 OF 20

WEST STAIR
NO ROOF ACCESS
FLOOR
2
FLOORS 1 TO 5
DOWN TO FLOOR 1
FOR EXIT DISCHARGE
12'0" x 18'0"

SEE FLOOR PLANS TO CONFIRM ROOF ACCESS AVAILABILITY.
BRAILLE FLOOR LEVEL INDICATION MUST BE BETWEEN 48" AND 60".
SEE FLOOR PLANS FOR TOTAL NUMBER OF FLOORS AND EXIT DISCHARGE LEVEL.

NOTE: ALL CHARACTERS TO BE TACTILE (RAISED)

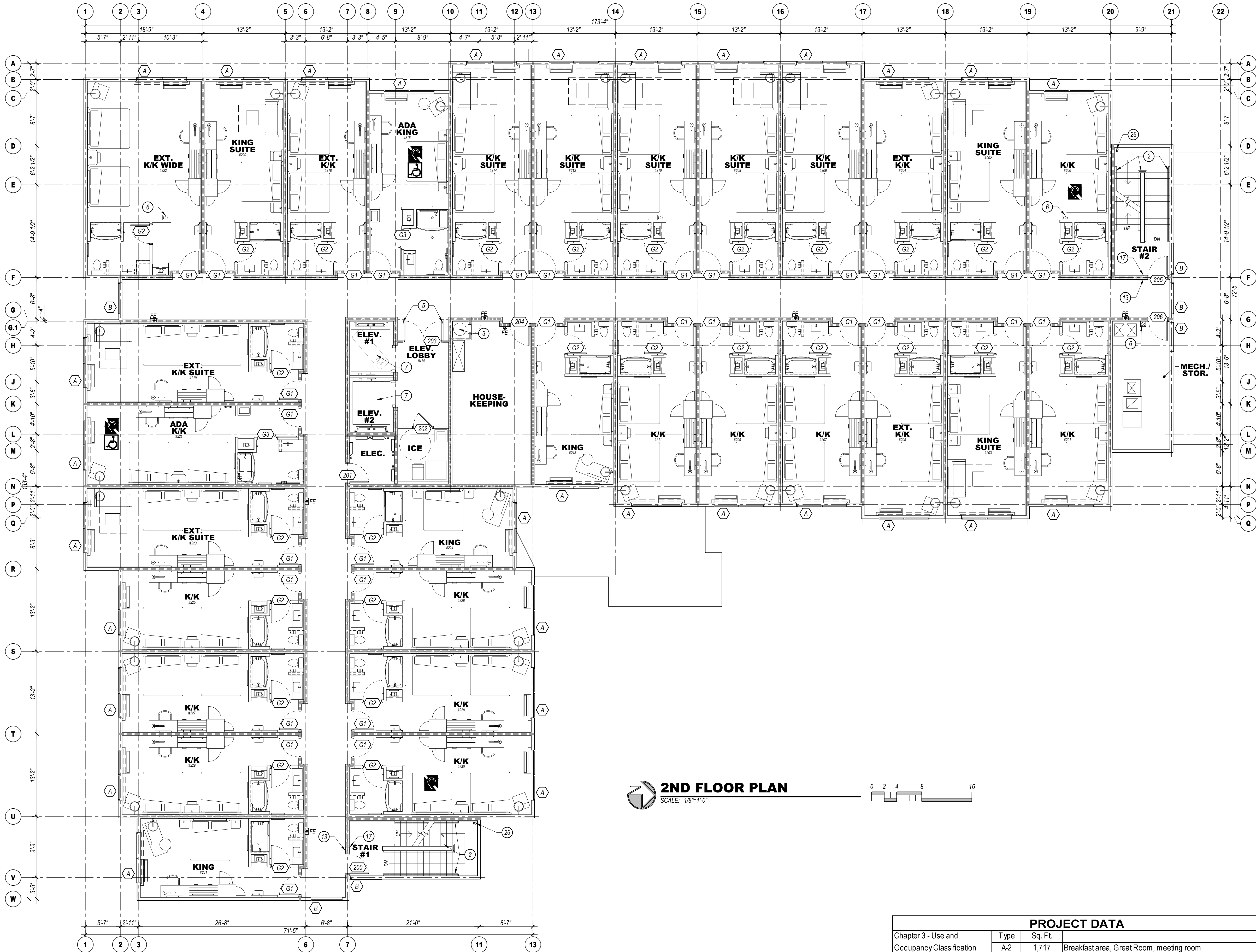
1 STAIRWELL SIGN
SCALE: 1 1/2" = 1'-0"
LOCATED INSIDE STAIRWELL

ADA TOILET SIGN
WOMEN
MEN
TACTILE CHARACTERS
BRAILLE

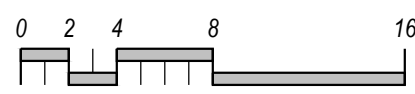
ADA EXIT SIGN
EXIT
TACTILE CHARACTERS
BRAILLE

2 ADA TOILET SIGN
SCALE: 1 1/2" = 1'-0"

3 ADA EXIT SIGN
SCALE: 1 1/2" = 1'-0"



2ND FLOOR PLAN
SCALE: 1/8"=1'-0"



PROJECT DATA			
Chapter 3 - Use and Occupancy Classification	T type	Sq. Ft	
	A-2	1,717	Breakfast area, Great Room, meeting room
	A-3	2,693	Lobby, Market, Elevator Lobby, Pool
	B	7,620	Offices, Laundry, Pantry, work room, Fitness, etc.
	R-2	4,169	Staff Studio Rooms and corridors
1st floor total		16,199	
	2nd - 4th floors	15,776	Each Floor
Chapter 5 - General Building Heights and Areas			
Height Stories	63' max	57'-5" Actual Height	
	4		
Area	63,527	Total Building Area	
Chapter 6 - T types of Construction			
Chapter 9 - Fire Protection Systems	V-A	Wood construction	
	Sec. 903	Building will be fully sprinklered per NFPA 13	
	Appendix B105.1(2)	Base fire flow = 4,500 GPM. Reduce to 25% per table B105.2 = 1125 GPM @ 2hr duration required. 1 hydrant required per C102.1.	
		Information above based on the 2018 International Building Code	

FLOOR PLAN KEYED NOTES:

- KAWNEER VG 451 FRONT PLANE GLAZING SYSTEM, TYPICAL AT ALL EXTERIOR STOREFRONT AND WINDOW LOCATIONS. PROVIDE TEMPERED GLASS AS SHOWN ON ELEVATIONS.
- 1 1/2" DIAMETER PAINTED HANDRAILS AND GUARDRAILS, WOOD INTERIOR, STEEL EXTERIOR.
- VALIANT 24" DIAMETER FACTORY FABRICATED LINEN CHUTE WITH 90 MINUTE RATED 24"x30" LINEN DISCHARGE DOOR AT GROUND LEVEL AND 90 MINUTE RATED 18"x18" LINEN CHUTE ACCESS DOORS @ 2ND - 4TH FLOORS. DOORS SHALL BE SELF-CLOSING AND SELF-LATCHING. PROVIDE SPRINKLER HEADS IN CHUTE.
- PROVIDE KNOX BOX AS DIRECTED BY THE FIRE AUTHORITY.
- MAGNETIC DOOR HOLDERS WIRED TO THE FIRE ALARM SYSTEM.
- PROVIDE A CARBON MONOXIDE DETECTOR AT LOCATIONS SHOWN, MINIMUM.
- ELEVATORS TO HAVE 42" WIDE DOORS AND SHALL BE SCHINDLER MRL TRACTION TYPE WITH 150 FPM RATED SPEED. ELEVATOR #1 SHALL BE 300# FRONT OPENING SIZED FOR AMBULANCE STRETCHER ACCESS AND IDENTIFIED BY THE INTERNATIONAL SYMBOL FOR EMERGENCY MEDICAL SERVICES "STAR OF LIFE" PER IBC 3002.4. ELEVATOR #2 SHALL BE 300# FRONT OPENING. VERIFY ALL REQUIREMENTS WITH SUPPLIER PRIOR TO CONSTRUCTION. PROVIDE HANDRAIL ON REAR WALL AT 32" A.F.F. MINIMUM. PROVIDE SIGN "DO NOT USE IN CASE OF FIRE". PROVIDE 2-WAY COMMUNICATION AS PER THE IFC ON 2ND - 4TH FLOORS ADJACENT TO ELEVATOR DOORS. SYSTEM AND LOCATION SHALL BE APPROVED BY THE FIRE AUTHORITY. PROVIDE PICTORIAL SIGN "IN FIRE EMERGENCY, DO NOT USE ELEVATOR, USE EXIT STAIRS" COMPLYING WITH IBC 3002.3. FINAL DESIGN SHALL BE APPROVED BY THE FIRE AUTHORITY.
- FINAL FITNESS ROOM LAYOUT SHALL COMPLY WITH BRAND FITNESS STANDARDS. ALL FINISHES SHALL COMPLY WITH STANDARDS.
- PROPOSED LOCATION OF WALL MOUNTED HOUSE PHONE MOUNTED @ 48" A.F.F. TYPICAL. PHONE SHALL RING @ FRONT DESK.
- POOL LADDER AND HANDRAILS.
- ACCESSIBLE POOL AND/OR SPA STAIRS WITH 1 1/2" DIAMETER S/S HANDRAILS.
- CLEAR DECK SPACE SLOPE TO TRENCH AND/OR AREA DRAINS 1/4" PER FOOT MAXIMUM, TYPICAL. 5'-0" CLEAR AROUND POOL AND SPA. FINAL DESIGN OF POOL AND DECK MUST MEET ALL STATE AND BRAND DESIGN STANDARDS AND REQUIREMENTS.
- TACTILE EXIT SIGN PER IBC 1011.3 @ EACH STAIRWELL DOOR AND EXIT DOOR.
- WALL MOUNTED HDTV TELEVISION, CONCEAL ALL POWER/CABLE CONNECTIONS.
- TOWEL AND HAMPER CABINET LOCATION.
- FRONT LOADED WASHER AND DRYER, ADA ACCESSIBLE.
- STAIRWELL SIGN MOUNTED @ 5'-0" A.F.F. AT EACH FLOOR NEXT TO DOOR AS SHOWN. SEE DETAIL 1/41.1 FOR INFORMATION. FINAL DESIGN SHALL BE APPROVED BY THE FIRE AUTHORITY.
- PROPOSED LOCATION OF FIRE ALARM CONTROL PANEL, VERIFY WITH FIRE AUTHORITY. SYSTEM SHALL ACTIVATE UPON FIRE SPRINKLER WATER FLOW.
- STACKABLE WASHER/DRYER UNITS, TYPICAL OF (3) UNITS.
- PROVIDE HANDICAP ACCESSIBLE LIFT FOR POOL AND SPA, VERIFY INSTALLATION DETAILS WITH MANUFACTURER.
- MAIN ENTRY CARD READER LOCATION WITH INTERCOM TO FRONT DESK.
- EMPLOYEE LOCKERS (10) 2.5 CUBIC FOOT MINIMUM.
- WATER COOLER LOCATION.
- FOLDING COUNTER OVER ADA WASHER DRYERS AND ADJACENT TO EQUIPMENT AS SHOWN. ACCESSIBLE COUNTER SHALL BE 34" A.F.F. MAXIMUM.
- GAS FIRE PLACE, DIRECT VENT SUPERIOR MODEL #DRT35PF WITH RUSTIC LINER, LCD THERMOSTATIC REMOTE, STANDARD BLOWER.
- FIRE PROTECTION DRY STANDPIPE LOCATION WITH VALVES AT EACH LANDING, VERIFY WITH FIRE DEPARTMENT.
- PROVIDE OCCUPANT LOAD SIGNS IN POOL, LOBBY AND BREAKFAST AREA. DESIGN AND LOCATION SHALL BE APPROVED BY THE FIRE AUTHORITY.
- PROVIDE DOOR SIGN (FIRE RISER/MECHANICAL ROOM) ON DOOR. PROVIDE A FIRE FLOW STROBE ABOVE DOOR AS DIRECTED BY THE FIRE AUTHORITY.
- NOT USED.
- NOT USED.
- RECESSED WALK-OFF MAT WITH FLOOR DRAIN.
- NOT USED.
- (2)-4" CONDUITS TO FUTURE HOTEL NETWORK/SERVER ROOM.

GENERAL NOTES:

- FINISHED FLOOR ELEVATION IS INDICATED AS 100'-0" FOR REFERENCE ONLY. SEE CIVIL DRAWINGS FOR ACTUAL ELEVATION OF FINISHED FLOOR.
- ALL DIMENSIONS ARE TO CENTERLINE OF STUDS AND COLUMNS OR FACE OF FINISHED WALLS U.N.O. (FACE OF SHEATHING AT EXTERIOR FACE OF EXTERIOR WALLS).
- T.G. INDICATES TEMPERED GLASS LOCATIONS.
- ALUMINUM WINDOWS TO BE THERMALLY BROKEN INSULATED WINDOWS.
- PROVIDE FIRE ALARM HORNS AND STROBES IN ALL WHEEL CHAIR & HEARING LOSS ACCESSIBLE ROOMS, INCLUDING TOILET ROOMS.
- SEE A3.8 SHEETS FOR ENLARGED GUEST ROOM AND COMMON AREA PLANS.
- SEE A5.4 SHEETS FOR TYPICAL GUEST ROOM INTERIOR ELEVATIONS.
- SEE APPROVED INTERIOR DESIGN DRAWINGS FOR ALL FINISHES.
- POOL DRAWING SHALL BE SUBMITTED TO FRANCHISE FOR APPROVAL. POOLS MUST UTILIZE ANTI-VORTEX DRAIN COVERS COMPLIANT WITH ASME A112.19.8-2007. DRAWINGS SHALL INCLUDE ALL DECK AND SUB-SURFACE DRAINAGE DETAILS (2 DRAINS MINIMUM IN POOL AND SPA), SAFETY EQUIPMENT, SIGNAGE, UNDERWATER LIGHTING, DEPTH MARKINGS, "NO DIVING" SYMBOLS, ADA LIFTS, FURNITURE, ETC. A LIQUID POOL COVER, HEATSAVER OR EQUAL, IS REQUIRED.
- CONTRACTOR IS REQUIRED TO FOLLOW ALL ITEMS NOTED IN THE LATEST BRAND STANDARDS MANUAL, WHETHER NOTED IN THE CONSTRUCTION DRAWINGS OR NOT. THIS INCLUDES ALL TECHNICAL REQUIREMENTS.
- SEE SHEET A0-6.0 FOR MINIMUM PERFORMANCE SPECIFICATIONS AND REQUIREMENTS.

WALL FIRE RATING LEGEND

[X] WALL TYPE, SEE SHEET A0.2

NOTE: PROVIDE WALL MARKING AS PER 9/A0.2 ABOVE ACCESSIBLE CEILINGS FOR ALL FIRE PARTITIONS AND FIRE BARRIERS. SEE DESIGN DATA "CHAPTER 7" AND FLOOR PLANS FOR MORE INFORMATION ON WALL TYPES

- INCIDENTAL USE SEPARATION WALL "SMOKE RESISTANT" PER IBC 509.4.2. (COMMERCIAL LAUNDRY)
- 1 HOUR RATED FIRE PARTITION "RESIDENTIAL CORRIDORS, ELEVATOR LOBBY, GUEST ROOM SEPARATION WALLS"
- 1 HOUR FIRE BARRIER (LINEN CHUTE ACCESS ROOMS, 3-STORY MECHANICAL SHAFTS).
- 2 HOUR FIRE BARRIER (STAIRWELLS, ELEVATOR SHAFT, 4-STORY MECHANICAL SHAFTS, LINEN CHUTE, LINEN CHUTE DISCHARGE ROOM).

GUEST ROOM TYPE MATRIX								
FLOOR	KING	KING/ KING	KING SUITE	KING/ KING SUITE	KING ACC. ROLL-IN #216	KING/ KING ADA #221, #321	KING SUITE ADA #303	KING/ KING SUITE ADA #421
1ST								0
2ND	3	14	4	7	1	1		30
3RD	3	15	3	7		1	1	30
4TH	3	15	4	7				1
TOTAL	9	44	11	21	1	2	1	90



WHEEL CHAIR ACCESSIBLE (MOBILITY FEATURES) 76 TO 100 TOTAL GUEST ROOMS = 5 ROOMS (4 TRANSFER TUBS + 1 ROLL-IN SHOWER REQUIRED).



HEARING LOSS ACCESSIBLE (COMMUNICATION FEATURES) 76 TO 100 TOTAL GUEST ROOMS = 9 ROOMS REQUIRED (ONLY 1 ROOM THAT IS ALSO A WHEEL CHAIR ACCESSIBLE ROOM MAY COUNT TOWARDS THE TOTAL REQUIRED NUMBER PER 2010 ADAAG SECTION 224.5. 5 KING/KING ROOMS (#200, 230, 300, 330, 400), 1 KING SUITE (#320) AND 2 KING/KING SUITES (#306, 406) ALONG WITH ALL OF THE MOBILITY ROOMS ARE PROVIDED WITH COMMUNICATION FEATURES.



Holiday Inn - Hotel A
Site Development Package
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* Due to variation in printing techniques, only printed dimension shall be used. Contractor's shall verify all layouts, dimensions and other related information prior to taking or construction.

DRAWING ISSUE DATES:
2/20/23 Site Development Package
5/10/23 SDP Revisions

DRAWING REVISION DATES:

PROJECT MANAGER:
NICK PIRKL

DRAWN BY:
NAP

SHEET TITLE:
2ND FLOOR
PLAN

A1.2A

SHEET: 07 OF 20



3RD FLOOR PLAN
SCALE: 1/8"=1'-0"

PROJECT DATA			
Chapter 3 - Use and Occupancy Classification	Type	Sq. Ft.	
	A-2	1,717	Breakfast area, Great Room, meeting room
	A-3	2,693	Lobby, Market, Elevator Lobby, Pool
	B	7,620	Offices, Laundry, Pantry, work room, Fitness, etc.
	R-2	4,169	Staff Studio Rooms and corridors
		16,199	
1st floor total			
2nd - 4th floors	R-1	15,776	Each Floor
Chapter 5 - General Building Heights and Areas	Height	63' max	57'-5" Actual Height
	Stories	4	
	Area	63,527	Total Building Area
Chapter 6 - Types of Construction		V-A	Wood construction
Chapter 9 - Fire Protection Systems		Sec. 903	Building will be fully sprinklered per NFPA 13
	Appendix B105.1(2)		Base fire flow = 4,500 GPM. Reduce to 25% per table B105.2 = 1125 GPM @ 2hr duration required. 1 hydrant required per C102.1.
Information above based on the 2018 International Building Code			

FLOOR PLAN KEYED NOTES:

- KAWNEER VG 451 FRONT PLANE GLAZING SYSTEM, TYPICAL AT ALL EXTERIOR STOREFRONT AND WINDOW LOCATIONS. PROVIDE TEMPERED GLASS AS SHOWN ON ELEVATIONS.
- 1 1/2" DIAMETER PAINTED HANDRAILS AND GUARDRAILS, WOOD INTERIOR, STEEL EXTERIOR.
- VALIANT 24" DIAMETER FACTORY FABRICATED LINEN CHUTE WITH 90 MINUTE RATED 24"x30" LINEN DISCHARGE DOOR AT GROUND LEVEL AND 90 MINUTE RATED 18"x18" LINEN CHUTE ACCESS DOORS @ 2ND - 4TH FLOORS. DOORS SHALL BE SELF-CLOSING AND SELF-LATCHING. PROVIDE SPRINKLER HEADS IN CHUTE.
- PROVIDE KNOX BOX AS DIRECTED BY THE FIRE AUTHORITY.
- MAGNETIC DOOR HOLDERS WIRED TO THE FIRE ALARM SYSTEM.
- PROVIDE A CARBON MONOXIDE DETECTOR AT LOCATIONS SHOWN, MINIMUM.
- ELEVATORS TO HAVE 42" WIDE DOORS AND SHALL BE SCHINDLER MRL TRACTION TYPE WITH 150 FPM RATED SPEED. ELEVATOR #1 SHALL BE 3000 FRONT OPENING SIZED FOR AMBULANCE STRETCHER ACCESS AND IDENTIFIED BY THE INTERNATIONAL SYMBOL FOR EMERGENCY MEDICAL SERVICES "STAR OF LIFE" PER IBC 3002.4. ELEVATOR #2 SHALL BE 3000 FRONT OPENING. VERIFY ALL REQUIREMENTS WITH SUPPLIER PRIOR TO CONSTRUCTION. PROVIDE HANDRAIL ON REAR WALL AT 32" A.F.F. MINIMUM. PROVIDE SIGN "DO NOT USE IN CASE OF FIRE". PROVIDE 2-WAY COMMUNICATION AS PER THE IFC ON 2ND - 4TH FLOORS ADJACENT TO ELEVATOR DOORS. SYSTEM AND LOCATION SHALL BE APPROVED BY THE FIRE AUTHORITY. PROVIDE PICTORIAL SIGN "IN FIRE EMERGENCY, DO NOT USE ELEVATOR, USE EXIT STAIRS" COMPLYING WITH IBC 3002.3. FINAL DESIGN SHALL BE APPROVED BY THE FIRE AUTHORITY.
- FINAL FITNESS ROOM LAYOUT SHALL COMPLY WITH BRAND FITNESS STANDARDS. ALL FINISHES SHALL COMPLY WITH STANDARDS.
- PROPOSED LOCATION OF WALL MOUNTED HOUSE PHONE MOUNTED @ 48" A.F.F. TYPICAL. PHONE SHALL RING @ FRONT DESK.
- POOL LADDER AND HANDRAILS.
- ACCESSIBLE POOL AND/OR SPA STAIRS WITH 1 1/2" DIAMETER S/S HANDRAILS.
- CLEAR DECK SPACE SLOPE TO TRENCH AND/OR AREA DRAINS 1/4" PER FOOT MAXIMUM, TYPICAL. 5'-0" CLEAR AROUND POOL AND SPA. FINAL DESIGN OF POOL AND DECK MUST MEET ALL STATE AND BRAND DESIGN STANDARDS AND REQUIREMENTS.
- TACTILE EXIT SIGN PER IBC 1011.3 @ EACH STAIRWELL DOOR AND EXIT DOOR.
- WALL MOUNTED HDTV TELEVISION. CONCEAL ALL POWER/CABLE CONNECTIONS.
- TOWEL AND HAMPER CABINET LOCATION.
- FRONT LOADED WASHER AND DRYER, ADA ACCESSIBLE.
- STAIRWELL SIGN MOUNTED @ 5'-0" A.F.F. AT EACH FLOOR NEXT TO DOOR AS SHOWN. SEE DETAIL 1/41.1 FOR INFORMATION. FINAL DESIGN SHALL BE APPROVED BY THE FIRE AUTHORITY.
- PROPOSED LOCATION OF FIRE ALARM CONTROL PANEL. VERIFY WITH FIRE AUTHORITY. SYSTEM SHALL ACTIVATE UPON FIRE SPRINKLER WATER FLOW.
- STACKABLE WASHER/DRYER UNITS, TYPICAL OF (3) UNITS.
- PROVIDE HANDICAP ACCESSIBLE LIFT FOR POOL AND SPA. VERIFY INSTALLATION DETAILS WITH MANUFACTURER.
- MAIN ENTRY CARD READER LOCATION WITH INTERCOM TO FRONT DESK.
- EMPLOYEE LOCKERS (10) 2.5 CUBIC FOOT MINIMUM.
- WATER COOLER LOCATION.
- FOLDING COUNTER OVER ADA WASHER DRYERS AND ADJACENT TO EQUIPMENT AS SHOWN. ACCESSIBLE COUNTER SHALL BE 34" A.F.F. MAXIMUM.
- GAS FIRE PLACE, DIRECT VENT SUPERIOR MODEL #DRT3SPF WITH RUSTIC LINER, LCD THERMOSTATIC REMOTE, STANDARD BLOWER.
- FIRE PROTECTION DRY STANDPIPE LOCATION WITH VALVES AT EACH LANDING, VERIFY WITH FIRE DEPARTMENT.
- PROVIDE OCCUPANT LOAD SIGNS IN POOL, LOBBY AND BREAKFAST AREA. DESIGN AND LOCATION SHALL BE APPROVED BY THE FIRE AUTHORITY.
- PROVIDE DOOR SIGN (FIRE RISER/MECHANICAL ROOM) ON DOOR. PROVIDE A FIRE FLOW STROBE ABOVE DOOR AS DIRECTED BY THE FIRE AUTHORITY.
- NOT USED.
- NOT USED.
- RECESSED WALK-OFF MAT WITH FLOOR DRAIN.
- NOT USED.
- (2)-4" CONDUITS TO FUTURE HOTEL NETWORK/SERVER ROOM.

GENERAL NOTES:

- FINISHED FLOOR ELEVATION IS INDICATED AS 100'-0" FOR REFERENCE ONLY. SEE CIVIL DRAWINGS FOR ACTUAL ELEVATION OF FINISHED FLOOR.
- ALL DIMENSIONS ARE TO CENTERLINE OF STUDS AND COLUMNS OR FACE OF FINISHED WALLS U.N.O. (FACE OF SHEATHING AT EXTERIOR FACE OF EXTERIOR WALLS).
- T.G. INDICATES TEMPERED GLASS LOCATIONS.
- ALUMINUM WINDOWS TO BE THERMALLY BROKEN INSULATED WINDOWS.
- PROVIDE FIRE ALARM HORNS AND STROBES IN ALL WHEEL CHAIR & HEARING LOSS ACCESSIBLE ROOMS, INCLUDING TOILET ROOMS.
- SEE A3# SHEETS FOR ENLARGED GUEST ROOM AND COMMON AREA PLANS.
- SEE A5# SHEETS FOR TYPICAL GUEST ROOM INTERIOR ELEVATIONS.
- SEE APPROVED INTERIOR DESIGN DRAWINGS FOR ALL FINISHES.
- POOL DRAWING SHALL BE SUBMITTED TO FRANCHISE FOR APPROVAL. POOLS MUST UTILIZE ANTI-VORTEX DRAIN COVERS COMPLIANT WITH ASME A112.19.8-2007. DRAWINGS SHALL INCLUDE ALL DECK AND SUB-SURFACE DRAINAGE DETAILS (2 DRAINS MINIMUM IN POOL AND SPA). SAFETY EQUIPMENT, SIGNAGE, UNDERWATER LIGHTING, DEPTH MARKINGS, "NO DIVING" SYMBOLS, ADA LIFTS, FURNITURE, ETC. A LIQUID POOL COVER, HEATSAVR OR EQUAL, IS REQUIRED.
- CONTRACTOR IS REQUIRED TO FOLLOW ALL ITEMS NOTED IN THE LATEST BRAND STANDARDS MANUAL, WHETHER NOTED IN THE CONSTRUCTION DRAWINGS OR NOT. THIS INCLUDES ALL TECHNICAL REQUIREMENTS.
- SEE SHEET A0-6.0 FOR MINIMUM PERFORMANCE SPECIFICATIONS AND REQUIREMENTS.

WALL FIRE RATING LEGEND

— [X] — WALL TYPE, SEE SHEET A0.2

NOTE: PROVIDE WALL MARKING AS PER 9/40.2 ABOVE ACCESSIBLE CEILINGS FOR ALL FIRE PARTITIONS AND FIRE BARRIERS. SEE DESIGN DATA "CHAPTER 7" AND FLOOR PLANS FOR MORE INFORMATION ON WALL TYPES

- INCIDENTAL USE SEPARATION WALL "SMOKE RESISTANT" PER IBC 509.4.2. (COMMERCIAL LAUNDRY)
- 1 HOUR RATED FIRE PARTITION "RESIDENTIAL CORRIDORS, ELEVATOR LOBBY, GUEST ROOM SEPARATION WALLS"
- 1 HOUR FIRE BARRIER (LINEN CHUTE ACCESS ROOMS, 3-STORY MECHANICAL SHAFTS).
- 2 HOUR FIRE BARRIER (STAIRWELLS, ELEVATOR SHAFT, 4-STORY MECHANICAL SHAFTS, LINEN CHUTE, LINEN CHUTE DISCHARGE ROOM).

GUEST ROOM TYPE MATRIX								
FLOOR	KING	KING/ KING	KING SUITE	KING/ KING SUITE	KING ACC. ROLL-IN #216	KING/ KING ADA #221, #321	KING SUITE ADA #303	KING/ KING SUITE ADA #421
1ST								0
2ND	3	14	4	7	1	1		30
3RD	3	15	3	7		1	1	30
4TH	3	15	4	7				1
TOTAL	9	44	11	21	1	2	1	90



WHEEL CHAIR ACCESSIBLE (MOBILITY FEATURES) 76 TO 100 TOTAL GUEST ROOMS = 5 ROOMS (4 TRANSFER TUBS + 1 ROLL-IN SHOWER REQUIRED).



HEARING LOSS ACCESSIBLE (COMMUNICATION FEATURES) 76 TO 100 TOTAL GUEST ROOMS = 9 ROOMS REQUIRED (ONLY 1 ROOM THAT IS ALSO A WHEEL CHAIR ACCESSIBLE ROOM MAY COUNT TOWARDS THE TOTAL REQUIRED NUMBER PER 2010 ADAAG SECTION 224.5. 5 KING/KING ROOMS (#200, 230, 300, 330, 400), 1 KING SUITE (#320) AND 2 KING/KING SUITES (#306, 406) ALONG WITH ALL OF THE MOBILITY ROOMS ARE PROVIDED WITH COMMUNICATION FEATURES.



Holiday Inn - Hotel A
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5/10/23 SDP Revisions

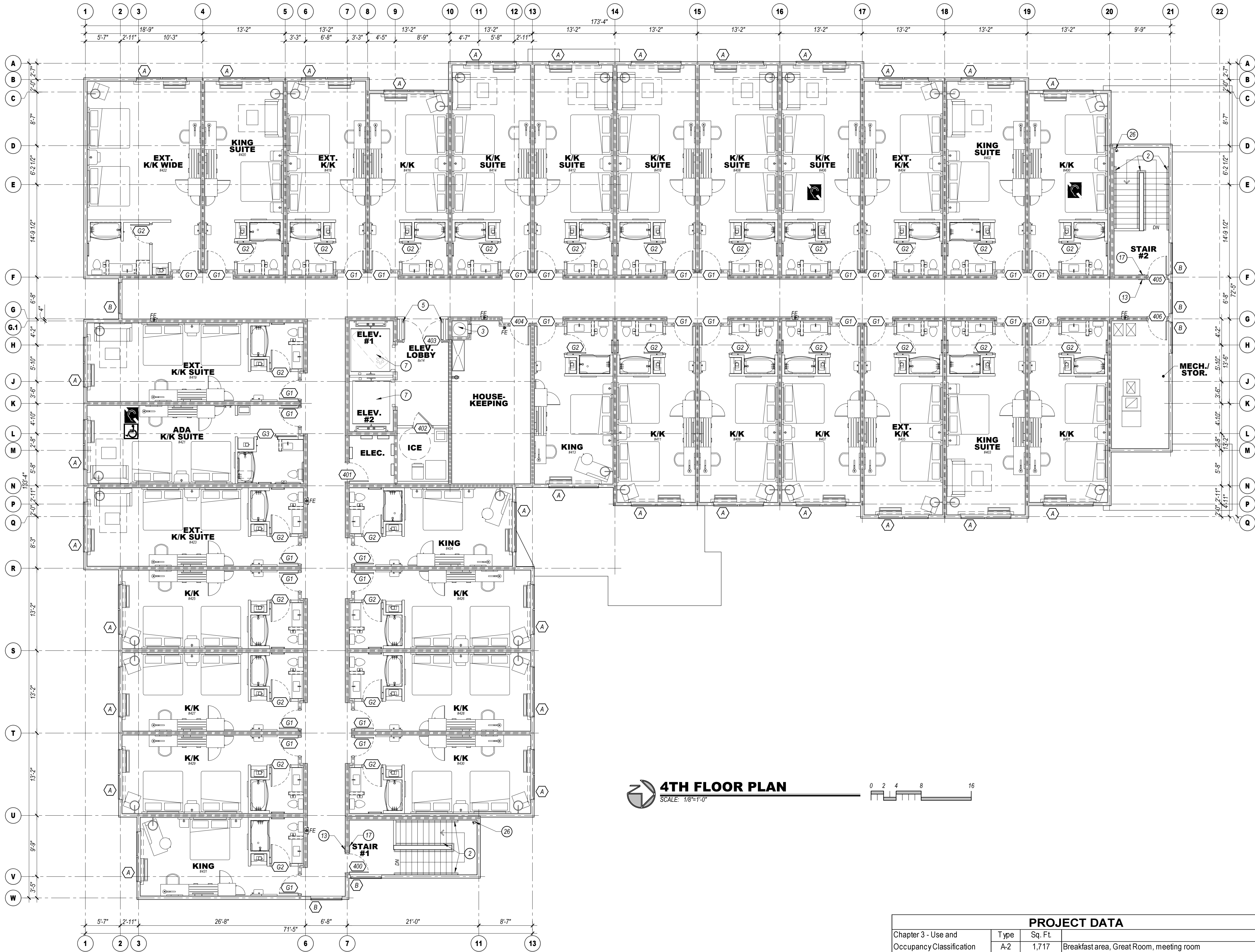
DRAWING REVISION DATES:

PROJECT MANAGER:
NICK PIRKL

DRAWN BY:
NAP

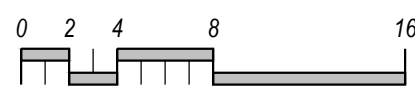
SHEET TITLE:
3RD FLOOR PLAN

A1.3A
SHEET: 08 OF 20



4TH FLOOR PLAN

SCALE: 1/8"=1'-0"



PROJECT DATA			
Chapter 3 - Use and Occupancy Classification	T type	Sq. Ft.	
	A-2	1,717	Breakfast area, Great Room, meeting room
	A-3	2,693	Lobby, Market, Elevator Lobby, Pool
	B	7,620	Offices, Laundry, Pantry, work room, Fitness, etc.
	R-2	4,169	Staff Studio Rooms and corridors
1st floor total		16,199	
	2nd - 4th floors	15,776	Each Floor
Chapter 5 - General Building Heights and Areas			
	Height	63' max	57'-5" Actual Height
	Stories	4	
	Area	63,527	Total Building Area
Chapter 6 - Types of Construction			
Chapter 9 - Fire Protection Systems		V-A	Wood construction
		Sec. 903	Building will be fully sprinklered per NFPA 13
	Appendix B105.1(2)		Base fire flow = 4,500 GPM. Reduce to 25% per table B105.2 = 1125 GPM @ 2hr duration required. 1 hydrant required per C102.1.
Information above based on the 2018 International Building Code			

FLOOR PLAN KEYED NOTES:

- KAWNEER VG 451 FRONT PLANE GLAZING SYSTEM, TYPICAL AT ALL EXTERIOR STOREFRONT AND WINDOW LOCATIONS. PROVIDE TEMPERED GLASS AS SHOWN ON ELEVATIONS.
- 1 1/2" DIAMETER PAINTED HANDRAILS AND GUARDRAILS, WOOD INTERIOR, STEEL EXTERIOR.
- VALIANT 24" DIAMETER FACTORY FABRICATED LINEN CHUTE WITH 90 MINUTE RATED 24"x30" LINEN DISCHARGE DOOR AT GROUND LEVEL AND 90 MINUTE RATED 18"x18" LINEN CHUTE ACCESS DOORS @ 2ND - 4TH FLOORS. DOORS SHALL BE SELF-CLOSING AND SELF-LATCHING. PROVIDE SPRINKLER HEADS IN CHUTE.
- PROVIDE KNOX BOX AS DIRECTED BY THE FIRE AUTHORITY.
- MAGNETIC DOOR HOLDERS WIRED TO THE FIRE ALARM SYSTEM.
- PROVIDE A CARBON MONOXIDE DETECTOR AT LOCATIONS SHOWN, MINIMUM.
- ELEVATORS TO HAVE 42" WIDE DOORS AND SHALL BE SCHINDLER MRL TRACTION TYPE WITH 150 FPM RATED SPEED. ELEVATOR #1 SHALL BE 3500# FRONT OPENING SIZED FOR AMBULANCE STRETCHER ACCESS AND IDENTIFIED BY THE INTERNATIONAL SYMBOL FOR EMERGENCY MEDICAL SERVICES "STAR OF LIFE" PER IBC 3002.4. ELEVATOR #2 SHALL BE 3000# FRONT OPENING. VERIFY ALL REQUIREMENTS WITH SUPPLIER PRIOR TO CONSTRUCTION. PROVIDE HANDRAIL ON REAR WALL AT 32" A.F.F. MINIMUM. PROVIDE SIGN "DO NOT USE IN CASE OF FIRE". PROVIDE 2-WAY COMMUNICATION AS PER THE IFC ON 2ND - 4TH FLOORS ADJACENT TO ELEVATOR DOORS. SYSTEM AND LOCATION SHALL BE APPROVED BY THE FIRE AUTHORITY. PROVIDE PICTORIAL SIGN "IN FIRE EMERGENCY, DO NOT USE ELEVATOR, USE EXIT STAIRS" COMPLYING WITH IBC 3002.3. FINAL DESIGN SHALL BE APPROVED BY THE FIRE AUTHORITY.
- FINAL FITNESS ROOM LAYOUT SHALL COMPLY WITH BRAND FITNESS STANDARDS. ALL FINISHES SHALL COMPLY WITH STANDARDS.
- PROPOSED LOCATION OF WALL MOUNTED HOUSE PHONE MOUNTED @ 48" A.F.F. TYPICAL. PHONE SHALL RING @ FRONT DESK.
- POOL LADDER AND HANDRAILS.
- ACCESSIBLE POOL AND/OR SPA STAIRS WITH 1 1/2" DIAMETER S/S HANDRAILS.
- CLEAR DECK SPACE SLOPE TO TRENCH AND/OR AREA DRAINS 1/4" PER FOOT MAXIMUM, TYPICAL. 5'-0" CLEAR AROUND POOL AND SPA. FINAL DESIGN OF POOL AND DECK MUST MEET ALL STATE AND BRAND DESIGN STANDARDS AND REQUIREMENTS.
- TACTILE EXIT SIGN PER IBC 1011.3 @ EACH STAIRWELL DOOR AND EXIT DOOR.
- WALL MOUNTED HDTV TELEVISION. CONCEAL ALL POWER/CABLE CONNECTIONS.
- TOWEL AND HAMPER CABINET LOCATION.
- FRONT LOADED WASHER AND DRYER, ADA ACCESSIBLE.
- STAIRWELL SIGN MOUNTED @ 5'-0" A.F.F. AT EACH FLOOR NEXT TO DOOR AS SHOWN. SEE DETAIL 1/41.1 FOR INFORMATION. FINAL DESIGN SHALL BE APPROVED BY THE FIRE AUTHORITY.
- PROPOSED LOCATION OF FIRE ALARM CONTROL PANEL. VERIFY WITH FIRE AUTHORITY. SYSTEM SHALL ACTIVATE UPON FIRE SPRINKLER WATER FLOW.
- STACKABLE WASHER/DRYER UNITS, TYPICAL OF (3) UNITS.
- PROVIDE HANDICAP ACCESSIBLE LIFT FOR POOL AND SPA. VERIFY INSTALLATION DETAILS WITH MANUFACTURER.
- MAIN ENTRY CARD READER LOCATION WITH INTERCOM TO FRONT DESK.
- EMPLOYEE LOCKERS (10) 2.5 CUBIC FOOT MINIMUM.
- WATER COOLER LOCATION.
- FOLDING COUNTER OVER ADA WASHER DRYERS AND ADJACENT TO EQUIPMENT AS SHOWN. ACCESSIBLE COUNTER SHALL BE 34" A.F.F. MAXIMUM.
- GAS FIRE PLACE, DIRECT VENT SUPERIOR MODEL #DRT35PF WITH RUSTIC LINER, LCD THERMOSTATIC REMOTE. STANDARD BLOWER.
- FIRE PROTECTION DRY STANDPIPE LOCATION WITH VALVES AT EACH LANDING, VERIFY WITH FIRE DEPARTMENT.
- PROVIDE OCCUPANT LOAD SIGNS IN POOL, LOBBY AND BREAKFAST AREA. DESIGN AND LOCATION SHALL BE APPROVED BY THE FIRE AUTHORITY.
- PROVIDE DOOR SIGN (FIRE RISER/MECHANICAL ROOM) ON DOOR. PROVIDE A FIRE FLOW STROBE ABOVE DOOR AS DIRECTED BY THE FIRE AUTHORITY.
- NOT USED.
- NOT USED.
- RECESSED WALK-OFF MAT WITH FLOOR DRAIN.
- NOT USED.
- (2)-4" CONDUITS TO FUTURE HOTEL NETWORK/SERVER ROOM.

GENERAL NOTES:

- FINISHED FLOOR ELEVATION IS INDICATED AS 100'-0" FOR REFERENCE ONLY. SEE CIVIL DRAWINGS FOR ACTUAL ELEVATION OF FINISHED FLOOR.
- ALL DIMENSIONS ARE TO CENTERLINE OF STUDS AND COLUMNS OR FACE OF FINISHED WALLS U.N.O. (FACE OF SHEATHING AT EXTERIOR FACE OF EXTERIOR WALLS).
- T.G. INDICATES TEMPERED GLASS LOCATIONS.
- ALUMINUM WINDOWS TO BE THERMALLY BROKEN INSULATED WINDOWS.
- PROVIDE FIRE ALARM HORNS AND STROBES IN ALL WHEEL CHAIR & HEARING LOSS ACCESSIBLE ROOMS, INCLUDING TOILET ROOMS.
- SEE A3# SHEETS FOR ENLARGED GUEST ROOM AND COMMON AREA PLANS.
- SEE A5# SHEETS FOR TYPICAL GUEST ROOM INTERIOR ELEVATIONS.
- SEE APPROVED INTERIOR DESIGN DRAWINGS FOR ALL FINISHES.
- POOL DRAWING SHALL BE SUBMITTED TO FRANCHISE FOR APPROVAL. POOLS MUST UTILIZE ANTI-VORTEX DRAIN COVERS COMPLIANT WITH ASME A112.19.8-2007. DRAWINGS SHALL INCLUDE ALL DECK AND SUB-SURFACE DRAINAGE DETAILS (2 DRAINS MINIMUM IN POOL AND SPA). SAFETY EQUIPMENT, SIGNAGE, UNDERWATER LIGHTING, DEPTH MARKINGS, "NO DIVING" SYMBOLS, ADA LIFTS, FURNITURE, ETC. A LIQUID POOL COVER, HEATSAVER OR EQUAL, IS REQUIRED.
- CONTRACTOR IS REQUIRED TO FOLLOW ALL ITEMS NOTED IN THE LATEST BRAND STANDARDS MANUAL, WHETHER NOTED IN THE CONSTRUCTION DRAWINGS OR NOT. THIS INCLUDES ALL TECHNICAL REQUIREMENTS.
- SEE SHEET A0-6.0 FOR MINIMUM PERFORMANCE SPECIFICATIONS AND REQUIREMENTS.

WALL FIRE RATING LEGEND

— [X] — WALL TYPE. SEE SHEET A0.2

NOTE: PROVIDE WALL MARKING AS PER 9A0.2 ABOVE ACCESSIBLE CEILINGS FOR ALL FIRE PARTITIONS AND FIRE BARRIERS. SEE DESIGN DATA "CHAPTER 7" AND FLOOR PLANS FOR MORE INFORMATION ON WALL TYPES

- INCIDENTAL USE SEPARATION WALL "SMOKE RESISTANT" PER IBC 509.4.2. (COMMERCIAL LAUNDRY)
- 1 HOUR RATED FIRE PARTITION "RESIDENTIAL CORRIDORS, ELEVATOR LOBBY, GUEST ROOM SEPARATION WALLS"
- 1 HOUR FIRE BARRIER (LINEN CHUTE ACCESS ROOMS, 3-STORY MECHANICAL SHAFTS).
- 2 HOUR FIRE BARRIER (STAIRWELLS, ELEVATOR SHAFT, 4-STORY MECHANICAL SHAFTS, LINEN CHUTE, LINEN CHUTE DISCHARGE ROOM).

GUEST ROOM TYPE MATRIX									
FLOOR	KING	KING/ KING	KING SUITE	KING/ KING SUITE	KING ACC. ROLL-IN #216	KING/ KING ADA #221, #321	KING SUITE ADA #303	KING/ KING SUITE ADA #421	FLOOR TOTAL
1ST									0
2ND	3	14	4	7	1	1			30
3RD	3	15	3	7		1	1		30
4TH	3	15	4	7				1	30
TOTAL	9	44	11	21	1	2	1	1	90



WHEEL CHAIR ACCESSIBLE (MOBILITY FEATURES) 76 TO 100 TOTAL GUEST ROOMS = 5 ROOMS (4 TRANSFER TUBS + 1 ROLL-IN SHOWER REQUIRED).



HEARING LOSS ACCESSIBLE (COMMUNICATION FEATURES) 76 TO 100 TOTAL GUEST ROOMS = 9 ROOMS REQUIRED (ONLY 1 ROOM THAT IS ALSO A WHEEL CHAIR ACCESSIBLE ROOM MAY COUNT TOWARDS THE TOTAL REQUIRED NUMBER PER 2010 ADAAG SECTION 224.5. 5 KING/KING ROOMS (#200, 230, 300, 330, 400), 1 KING SUITE (#320) AND 2 KING/KING SUITES (#306, 406) ALONG WITH ALL OF THE MOBILITY ROOMS ARE PROVIDED WITH COMMUNICATION FEATURES.



Holiday Inn - Hotel A Site Development Package

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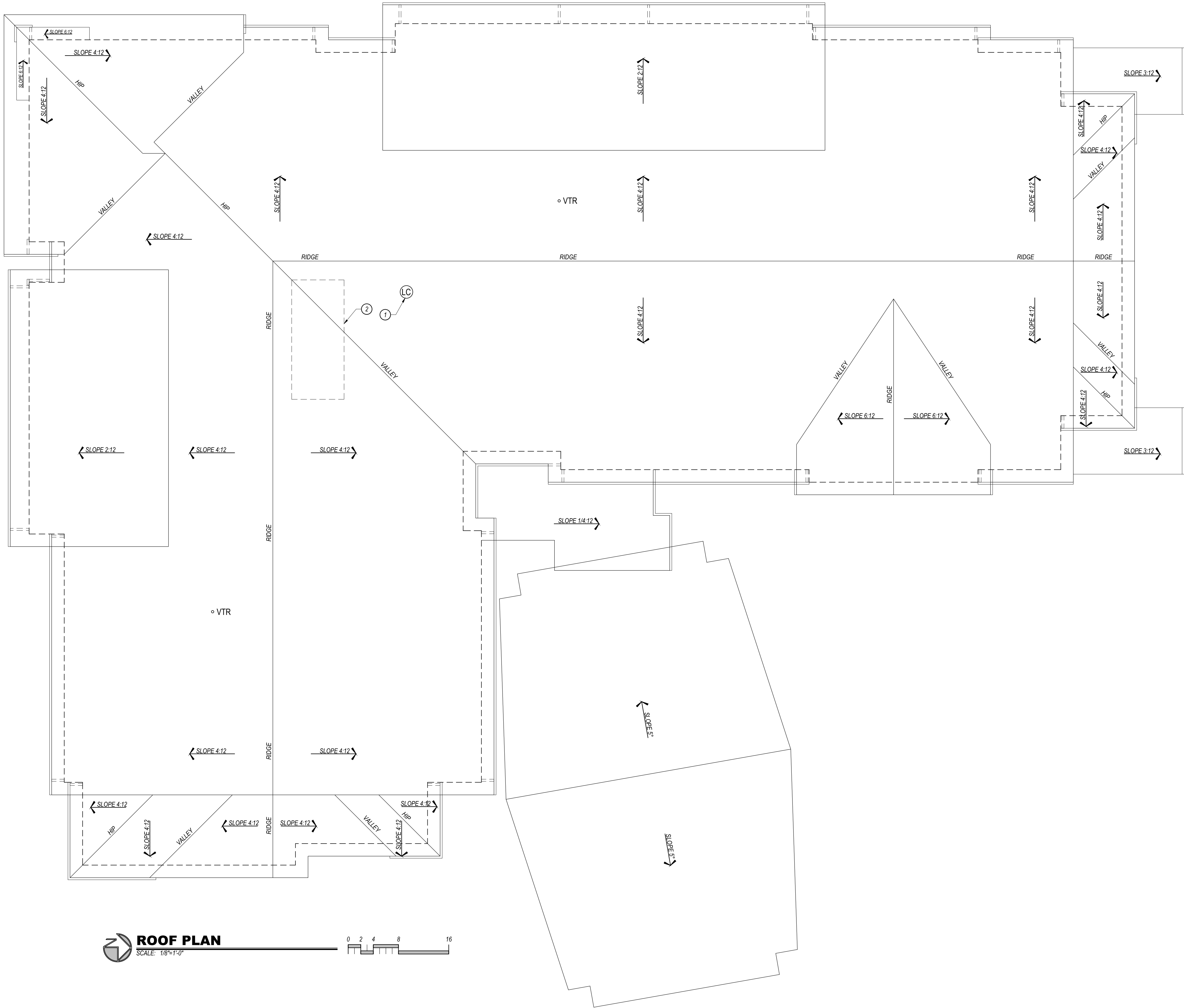
PROJECT MANAGER:
NICK PIRKL

DRAWN BY:
NAP

SHEET TITLE:
4TH FLOOR
PLAN

A1.4A

SHEET: 09 OF 20

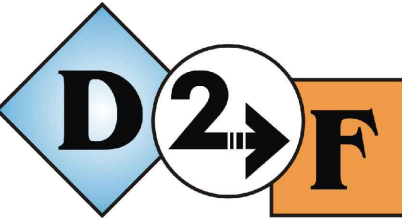


○ **ROOF PLAN KEYED NOTES:**

1. LINEN CHUTE VENT LOCATION, PROVIDE WITH FACTORY RAIN CAP. CHUTE MUST EXTEND 36" MINIMUM ABOVE ROOF SURFACE.
2. ROOF TRUSSES OVER ELEVATOR SHAFTS SHALL BE DESIGNED TO ACCOMMODATE THE HEIGHT OF THE SHAFT.

GENERAL NOTES:

- A. PITCHED ROOFING SHALL BE GAF TIMBERLINE HDZ ARCHITECTURAL ASPHALT SHINGLE AND SHALL INCLUDE STARTER STRIP SHINGLES AND RIDGE CAP SHINGLES. SEE ELEVATIONS FOR COLOR.
- B. PROVIDE ICE PROTECTION, GAF STORMGUARD OR EQUAL, ACROSS ENTIRE ROOF SURFACE INCLUDING ALL VALLEYS, RIDGES, HIPPS, ETC.
- C. PROVIDE GAF COBRA SNOWCOUNTRY RIDGE ATTIC VENTING (240 L.F. MINIMUM), EQUALLY DISPERSE VENTS BETWEEN EAVE VENTS (30 S.F. NET FREE AREA REQUIRED) AND RIDGE VENTS (30 S.F. NET FREE AREA REQUIRED) AND AROUND THE PERIMETER OF ROOF AREA. MAINTAIN 2" MINIMUM SPACE BETWEEN UNDERSIDE OF ROOF SHEATHING AND INSULATION.
- D. PORTE COCHERE ROOFING SHALL BE METAL STANDING SEAM RATED FOR 1:12 SLOPE.
- E. INSTALLATION OF ALL ROOFING MATERIALS AND COMPONENTS SHALL BE AS PER EACH INDIVIDUAL MANUFACTURER'S RECOMMENDATIONS.
- F. PROVIDE PERIMETER SNOW MELT SYSTEM ALL ALL ROOF EAVES AND ALONG ENTIRE PORTE COCHERE AND ENTRY ROOFS. SNOW MELT SHALL EXTEND INTO GUTTERS AND DOWNSPOUTS AS PER MANUFACTURER'S RECOMMENDATIONS.
- G. COORDINATE SIZE AND LOCATION AND INSTALLATION REQUIREMENT OF SATELLITE DISH PROVIDED BY AV CONTRACTOR.
- H. ATTIC INSULATION SHALL BE INSTALLED SO AS NOT TO INTERRUPT AIR FLOW THROUGH ROOF ASSEMBLY.
- I. PROVIDE PRE-FINISHED GUTTERS AND DOWNSPOUTS AROUND THE ENTIRE ROOF PERIMETER, INCLUDING PORTE COCHERE AND ENTRANCE CANOPIES. DOWNSPOUTS SHALL DRAIN AWAY FROM FOUNDATION.
- J. PAINT ALL ROOF PENETRATING ITEMS TO MATCH ROOF COLOR (PLUMBING VENTS, LINEN CHUTE VENT, ETC).



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PROJECT MANAGER:
NICK PIRKL
DRAWN BY:
NAP

SHEET TITLE:
**ROOF
PLAN**

A1.5A
SHEET: 10 OF 20

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DRAWING REVISION DATES:

PROJECT MANAGER:
NICK PIRKL

DRAWN BY:
NAP

SHEET TITLE:
SOUTH AND EAST ELEVATIONS

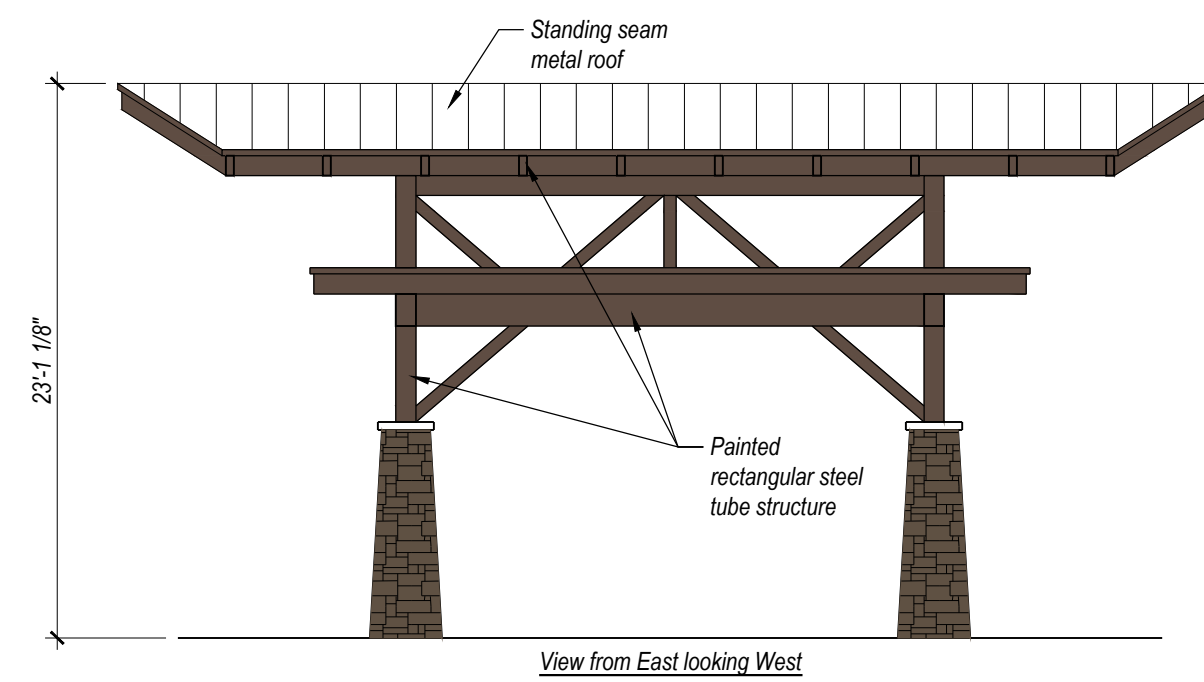
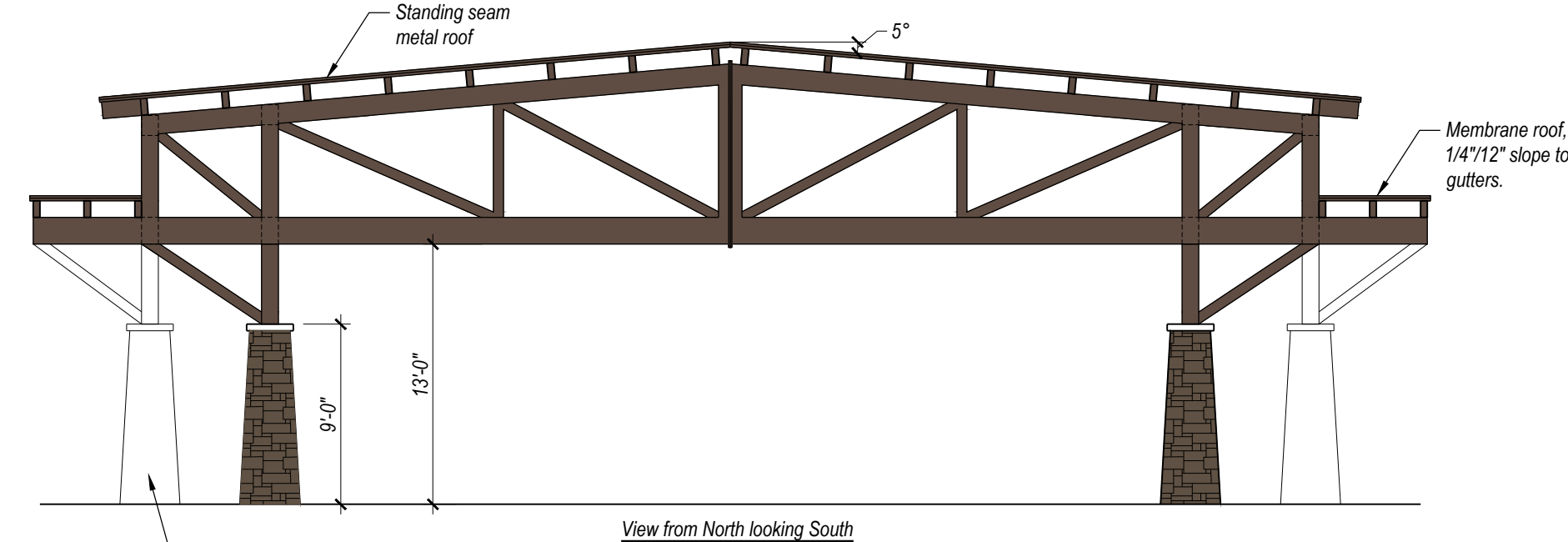
A2.1A

SHEET: 11 OF 20



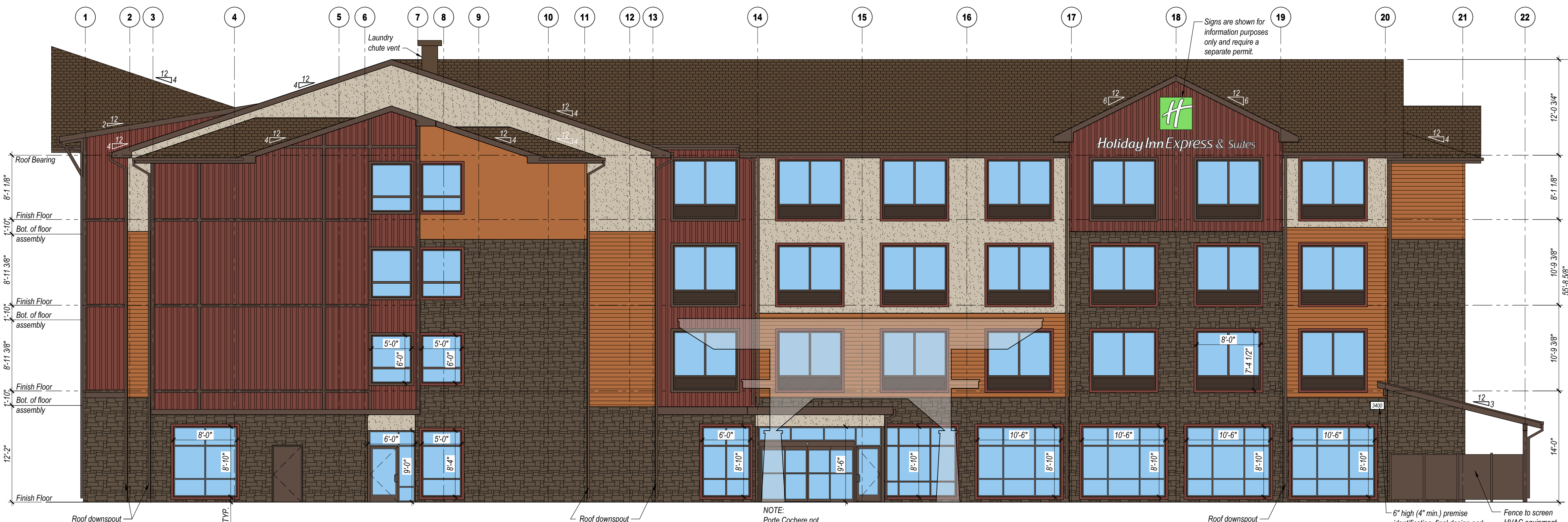
SOUTH ELEVATION

SCALE: 1/8"=1'-0"



PORTE COCHERE

SCALE: 1/8"=1'-0"



EAST ELEVATION

SCALE: 1/8"=1'-0"

GENERAL NOTES:

- See door and window schedules for door and window types. Doors, windows and louvers to be prefinished. All windows to be bronze aluminum with thermally broken frames.
- Provide blocking and power for all exterior signage. All signage shall be as per hotel standards (size, color, etc.). Signage shall be aluminum channels, internally lit (L.E.D.), with colored acrylic faces. Final sign package shall be submitted under separate sign permit for approval. Coordinate installation of exterior signage prior to closing up the walls.
- Stucco system to be EIFS typical. Provide "Y" joints as shown. Install as per manufacturers' requirements and details. Colors shall match paint colors noted.
- Moisture resistant barrier (MRB) shall be liquid applied, typical throughout. Install as per manufacturers' requirements based on the finishes to be used. Utilize sheathing tape, flashing membrane, drain edge tape, and other accessories as necessary for a complete single source system.
- Install stone as per manufacturers' recommendations. Provide a 30# felt slip barrier between stone base coat and MRB if required by MRB manufacturer.
- Metal gutters and downspouts shall be pre-finished and shall match fascia color, typical. Pitch outlets away from building foundation.
- Building lighting is primarily via wall mounted surface L.E.D. lights.

TRANSPARENCY CALCULATIONS

NOTE: STORY HEIGHT MEASUREMENTS TAKEN FROM FINISH FLOOR TO BOTTOM OF FLOOR/CEILING OR ROOF CEILING ASSEMBLY ABOVE.

GROUND FLOOR FRONT FACADE (US 40) = 40% REQUIRED
TOTAL SURFACE AREA = 173.9' X 12.17' (STORY HEIGHT) = 2,116 SQ. FT.
TOTAL TRANSPARENT AREA PROVIDED = 848 SQ. FT. (40.1 %)

GROUND FLOOR OTHER FACADES = 30% REQUIRED
TOTAL SURFACE AREA = 481.6' X 12.17' (STORY HEIGHT) = 5,861.4 SQ. FT.
TOTAL TRANSPARENT AREA PROVIDED = 1,763 SQ. FT. (30.1 %)

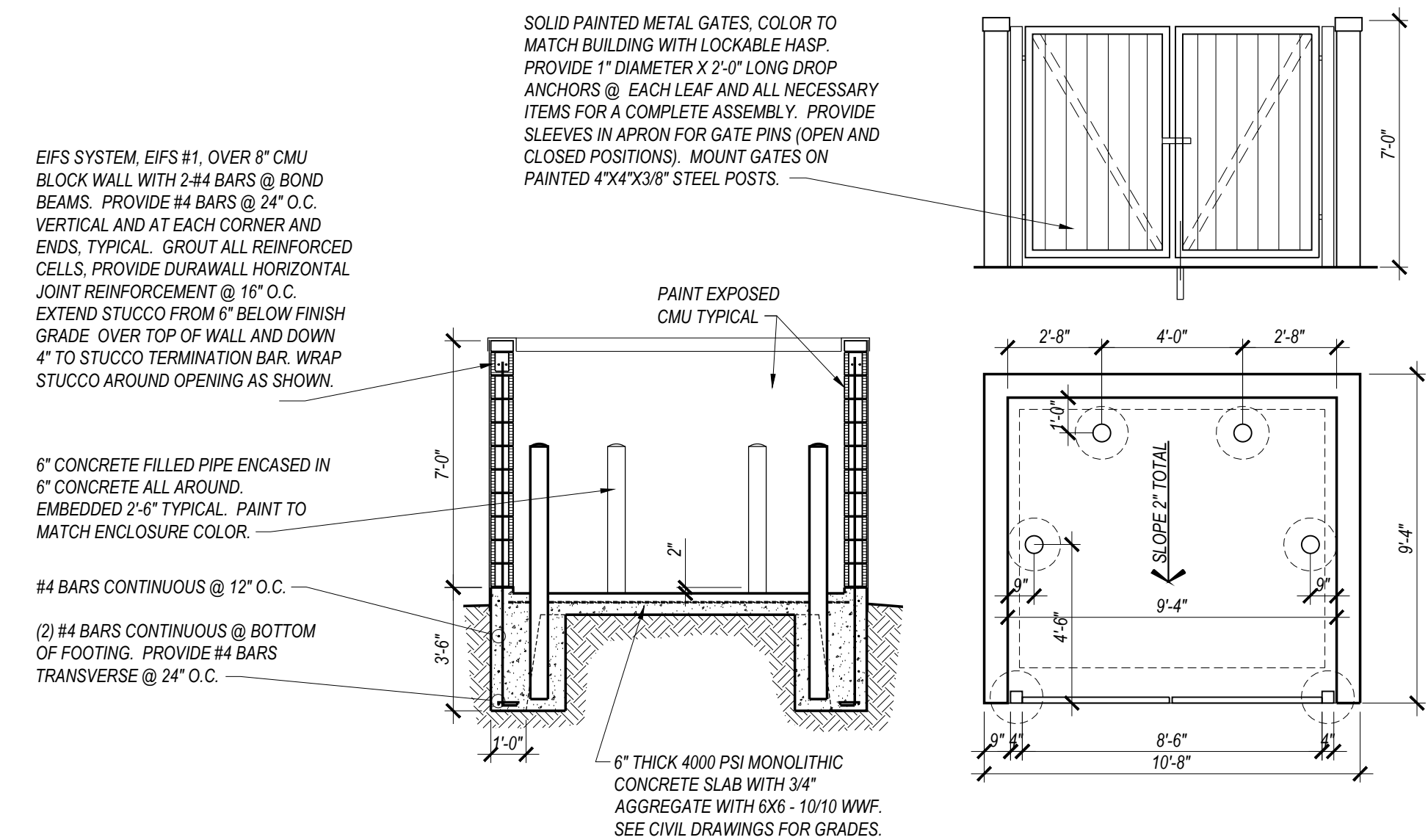
UPPER FLOOR FACADES (ALL SIDES, 2ND STORY CALCULATIONS) = 25% REQUIRED
TOTAL SURFACE AREA = 615.5' X 9' (STORY HEIGHT) = 5,539.5 SQ. FT.
TOTAL TRANSPARENT AREA PROVIDED = 1,554 SQ. FT. (28.1 %)

COLOR LEGEND

	EIFS: Medium sand texture, Color match to Sherwin Williams: SW 7547 Sandbar
	STONE VENEER: Coronado Stone "Sierra Ledge - Cathedral Grey". Install over continuous insulation as per NCMC ASTM C1780 installation guide, figure 4b or equal.
	METAL PANEL PROFILE #1: Centria CS-260, Vertical Orientation, Color match to Sherwin Williams: SW 7591 Red Barn
	METAL PANEL PROFILE #2: Centria CS-620, Horizontal Orientation, Color match to Sherwin Williams: SW 6363 Gingery
	WINDOW TRIM: Color match to Sherwin Williams: SW 7591 Red Barn, typical. Match SW 2808 Rockwood Dark Brown at Metal Panel Profile #1 locations.
	ACCENT: Fascia, soffits, trim, gutters and downspouts. Color match to Sherwin Williams: SW 2808 Rockwood Dark Brown
	ROOFING: Asphalt Shingle, GAF Timberline HDZ, Color "Mission Brown"



NORTH ELEVATION
SCALE: 1/8"=1'-0"



1 REFUSE ENCLOSURE
SCALE: 1/4"=1'-0"



WEST ELEVATION
SCALE: 1/8"=1'-0"

GENERAL NOTES:

- See door and window schedules for door and window types. Doors, windows and louvers to be prefinished. All windows to be bronze aluminum with thermally broken frames.
- Provide blocking and power for all exterior signage. All signage shall be as per hotel standards (size, color, etc.). Signage shall be aluminum channels, internally lit (L.E.D.), with colored acrylic faces. Final sign package shall be submitted under separate sign permit for approval. Coordinate installation of exterior signage prior to closing up the walls.
- Stucco system to be EIFS typical. Provide "Y" joints as shown. Install as per manufacturers' requirements and details. Colors shall match paint colors noted.
- Moisture resistant barrier (MRB) shall be liquid applied, typical throughout. Install as per manufacturers' requirements based on the finishes to be used. Utilize sheathing tape, flashing membrane, drain edge tape, and other accessories as necessary for a complete single source system.
- Install stone as per manufacturers' recommendations. Provide a 30# felt slip barrier between stone base coat and MRB if required by MRB manufacturer.
- Metal gutters and downspouts shall be pre-finished and shall match fascia color, typical. Pitch outlets away from building foundation.
- Building lighting is primarily via wall mounted surface L.E.D. lights.

TRANSPARENCY CALCULATIONS

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TOTAL TRANSPARENT AREA PROVIDED = 1,554 SQ. FT. (28.1 %)

COLOR LEGEND

- | | |
|--|---|
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| | STONE VENEER: Coronado Stone "Sierra Ledge - Cathedral Grey". Install over continuous insulation as per NCMC ASTM C1780 installation guide, figure 4b or equal. |
| | METAL PANEL PROFILE #1: Centria CS-260, Vertical Orientation, Color match to Sherwin Williams: SW 7591 Red Barn |
| | METAL PANEL PROFILE #2: Centria CS-620, Horizontal Orientation, Color match to Sherwin Williams: SW 6363 Gingery |
| | WINDOW TRIM: Color match to Sherwin Williams: SW 7591 Red Barn, typical. Match SW 2808 Rockwood Dark Brown at Metal Panel Profile #1 locations. |
| | ACCENT: Fascia, soffits, trim, gutters and downspouts. Color match to Sherwin Williams: SW 2808 Rockwood Dark Brown |
| | ROOFING: Asphalt Shingle, GAF Timberline HDZ, Color "Mission Brown" |

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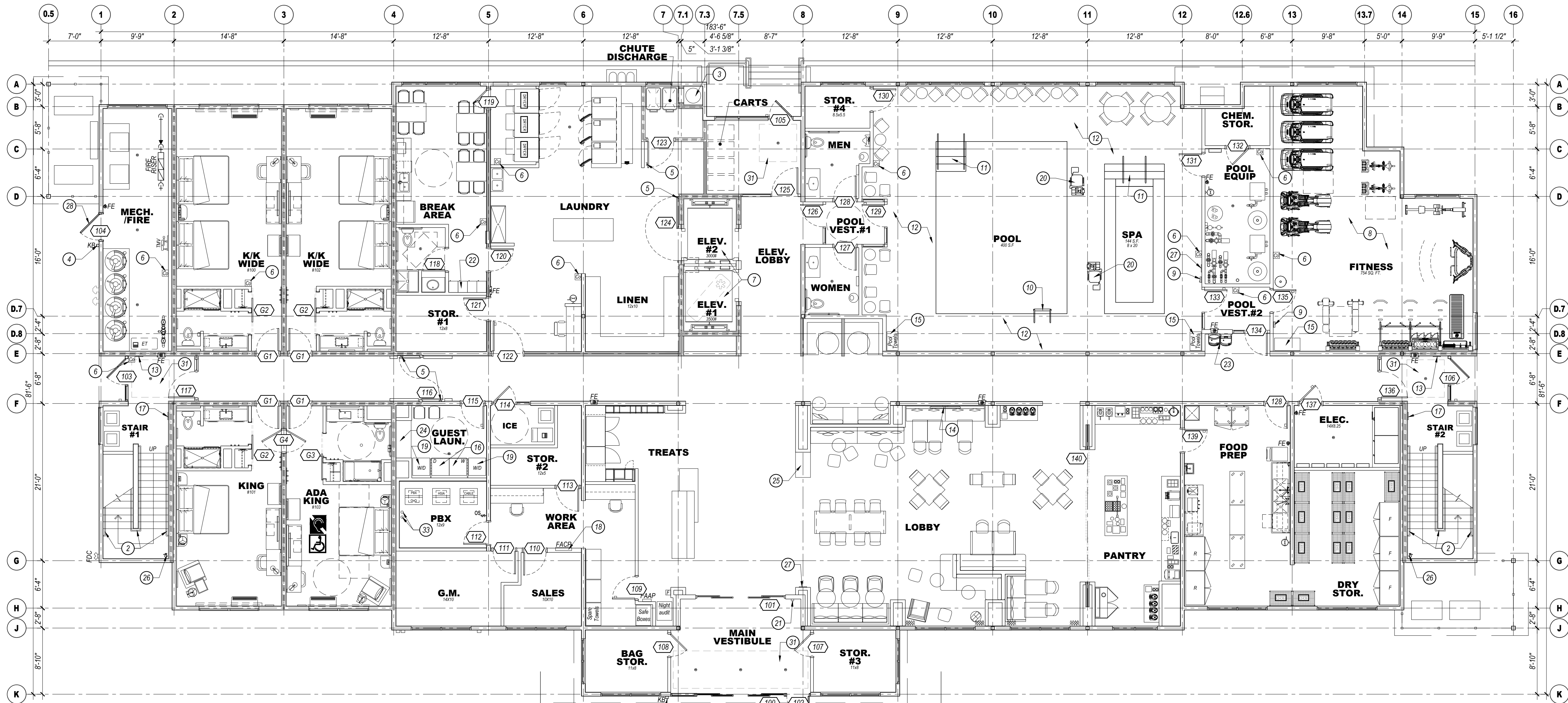
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NICK PIRKL

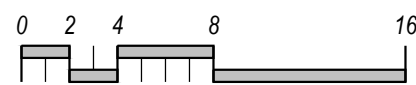
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SHEET TITLE:
**NORTH AND WEST
ELEVATIONS**

A2.2A
SHEET: 12 OF 20



1ST FLOOR PLAN
SCALE: 1/8"=1'-0"



FLOOR PLAN KEYED NOTES:

- KAWNEER VG 451 FRONT PLANE GLAZING SYSTEM, TYPICAL AT ALL EXTERIOR STOREFRONT AND WINDOW LOCATIONS. PROVIDE TEMPERED GLASS AS SHOWN ON ELEVATIONS.
- 1 1/2" DIAMETER PAINTED STEEL HANDRAIL AND GUARDRAILS.
- VALIANT 24" DIAMETER FACTORY FABRICATED LINEN CHUTE WITH 90 MINUTE RATED 24"x30" LINEN DISCHARGE DOOR AT GROUND LEVEL AND 90 MINUTE RATED 18"x18" LINEN CHUTE ACCESS DOORS @ 2ND - 4TH FLOORS. DOORS SHALL BE SELF-CLOSING AND SELF-LATCHING. PROVIDE SPRINKLER HEADS IN CHUTE.
- PROVIDE KNOX BOX AS DIRECTED BY THE FIRE AUTHORITY.
- MAGNETIC DOOR HOLDERS WIRED TO THE FIRE ALARM SYSTEM.
- PROVIDE A CARBON MONOXIDE DETECTOR AT LOCATIONS SHOWN. MINIMUM.
- ELEVATORS TO HAVE 42" WIDE DOORS AND SHALL BE SCHINDLER MBL TRACTION TYPE WITH 150 FPM RATED SPEED. ELEVATOR #1 SHALL BE 3000R#1 OPENING SIZED FOR AMBULANCE STRETCHER ACCESS AND IDENTIFIED BY THE INTERNATIONAL SYMBOL FOR EMERGENCY MEDICAL SERVICES "STAR OF LIFE" PER IBC 3002.4. ELEVATOR #2 SHALL BE 3000R# FRONT OPENING. VERIFY ALL REQUIREMENTS WITH SUPPLIER PRIOR TO CONSTRUCTION. PROVIDE HANDRAIL ON REAR WALL AT 32" A.F.F. MINIMUM. PROVIDE SIGN "DO NOT USE IN CASE OF FIRE". PROVIDE 2-WAY COMMUNICATION AS PER THE IBC ON 2ND - 4TH FLOORS ADJACENT TO ELEVATOR DOORS. SYSTEM AND LOCATION SHALL BE APPROVED BY THE FIRE AUTHORITY. PROVIDE PICTORIAL SIGN "IN FIRE EMERGENCY, DO NOT USE ELEVATOR, USE EXIT STAIRS" COMPLYING WITH IBC 3002.3. FINAL DESIGN SHALL BE APPROVED BY THE FIRE AUTHORITY.
- FINAL FITNESS ROOM LAYOUT SHALL COMPLY WITH BRAND FITNESS STANDARDS. ALL FINISHES SHALL COMPLY WITH STANDARDS.
- PROPOSED LOCATION OF WALL MOUNTED HOUSE PHONE MOUNTED @ 48" A.F.F. TYPICAL. PHONE SHALL RING @ FRONT DESK.
- POOL LADDER AND HANDRAILS.
- ACCESSIBLE POOL AND/OR SPA STAIRS WITH 1 1/2" DIAMETER S/S HANDRAILS.
- CLEAR DECK SPACE SLOPE TO TRENCH AND/OR AREA DRAINS 1/4" PER FOOT MAXIMUM, TYPICAL. 5'-0" CLEAR AROUND POOL AND SPA. FINAL DESIGN OF POOL AND DECK MUST MEET ALL STATE AND BRAND DESIGN STANDARDS AND REQUIREMENTS.
- TACTILE EXIT SIGN PER IBC-1011.3 @ EACH STAIRWELL DOOR AND EXIT DOOR.
- WALL MOUNTED HDTV TELEVISION. CONCEAL ALL POWER/CABLE CONNECTIONS.
- TOWEL AND HAMPER CABINET LOCATION.
- FRONT LOADED WASHER AND DRYER, ADA ACCESSIBLE.
- STAIRWELL SIGN MOUNTED @ 5'-0" A.F.F. AT EACH FLOOR NEXT TO DOOR AS SHOWN. SEE DETAIL 1A1.1 FOR INFORMATION. FINAL DESIGN SHALL BE APPROVED BY THE FIRE AUTHORITY.
- PROPOSED LOCATION OF FIRE ALARM CONTROL PANEL. VERIFY WITH FIRE AUTHORITY. SYSTEM SHALL ACTIVATE UPON FIRE SPRINKLER WATER FLOW.
- STACKABLE WASHER/DRYER UNITS, TYPICAL OF (2).
- PROVIDE HANDICAP ACCESSIBLE LIFT FOR POOL AND SPA. VERIFY INSTALLATION DETAILS WITH MANUFACTURER.
- MAIN ENTRY CARD READER LOCATION WITH INTERCOM TO FRONT DESK.
- EMPLOYEE LOCKERS (8), 2.5 CUBIC FOOT MINIMUM.
- WATER COOLER LOCATION.
- FOLDING COUNTER OVER ADA WASHER DRYERS AND ADJACENT TO EQUIPMENT AS SHOWN. ACCESSIBLE COUNTER SHALL BE 34" A.F.F. MAXIMUM.
- 3-SIDED GAS FIRE PLACE, DIRECT VENT, LCD THERMOSTATIC REMOTE. STANDARD BLOWER.
- FIRE PROTECTION DRY STANDPIPE LOCATION WITH VALVES AT EACH LANDING. VERIFY WITH FIRE AUTHORITY.
- PROVIDE OCCUPANT LOAD SIGNS IN POOL, LOBBY AND BREAKFAST AREA. DESIGN AND LOCATION SHALL BE APPROVED BY THE FIRE AUTHORITY.
- PROVIDE DOOR SIGN (FIRE RISER/MECHANICAL ROOM) ON DOOR. PROVIDE A FIRE FLOW STROBE ABOVE DOOR AS DIRECTED BY THE FIRE AUTHORITY.
- NOT USED.
- NOT USED.
- RECESSED WALK-OFF MAT WITH FLOOR DRAIN.
- NOT USED.
- (2)-4" CONDUITS TO ADJACENT HOTEL NETWORK/SERVER ROOM.

GENERAL NOTES:

- FINISHED FLOOR ELEVATION IS INDICATED AS 100'-0" FOR REFERENCE ONLY. SEE CIVIL DRAWINGS FOR ACTUAL ELEVATION OF FINISHED FLOOR.
- ALL DIMENSIONS ARE TO CENTERLINE OF STUDS AND COLUMNS OR FACE OF FINISHED WALLS U.N.O. (FACE OF SHEATHING AT EXTERIOR FACE OF EXTERIOR WALLS).
- T.G. INDICATES TEMPERED GLASS LOCATIONS.
- ALUMINUM WINDOWS TO BE THERMALLY BROKEN INSULATED WINDOWS.
- PROVIDE FIRE ALARM HORNS AND STROBES IN ALL WHEEL CHAIR & HEARING LOSS ACCESSIBLE ROOMS, INCLUDING TOILET ROOMS.
- SEE A3.8 SHEETS FOR ENLARGED GUEST ROOM AND COMMON AREA PLANS.
- SEE A5.8 SHEETS FOR TYPICAL GUEST ROOM INTERIOR ELEVATIONS.
- SEE APPROVED INTERIOR DESIGN DRAWINGS FOR ALL FINISHES.
- POOL DRAWING SHALL BE SUBMITTED TO FRANCHISE FOR APPROVAL. POOLS MUST UTILIZE ANTI-VORTEX DRAIN COVERS COMPLIANT WITH ASME A112.19.8-2007. DRAWINGS SHALL INCLUDE ALL DECK AND SUB-SURFACE DRAINAGE DETAILS (2 DRAINS MINIMUM IN POOL AND SPA), SAFETY EQUIPMENT, SIGNAGE, UNDERWATER LIGHTING, DEPTH MARKINGS, "NO DIVING" SYMBOLS, ADA LIFTS, FURNITURE, ETC. A LIQUID POOL COVER, HEATSAVR OR EQUAL, IS REQUIRED.
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WALL FIRE RATING LEGEND

- [X]— WALL TYPE. SEE SHEET A0.2
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- 1 HOUR FIRE BARRIER (LINEN CHUTE ACCESS ROOMS, 3-STORY MECHANICAL SHAFTS).
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ROOM TYPE MATRIX

FLOOR	KING	KING/ KING	KING/ KING WIDE	KING/ KING EXTENDED	KING ADA ROLL-IN #103	KING/ KING ADA #211, #311, #411	FLOOR TOTAL
1ST	1		2		1		4
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TOTAL	16	15	11	27	1	3	73

- WHEEL CHAIR ACCESSIBLE (MOBILITY FEATURES) 51 TO 75 TOTAL GUEST ROOMS = 4 ROOMS (3 TRANSFER TUBS + 1 ROLL-IN SHOWER REQUIRED).
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Independent Hotel B
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5/10/23 SDP Revisions

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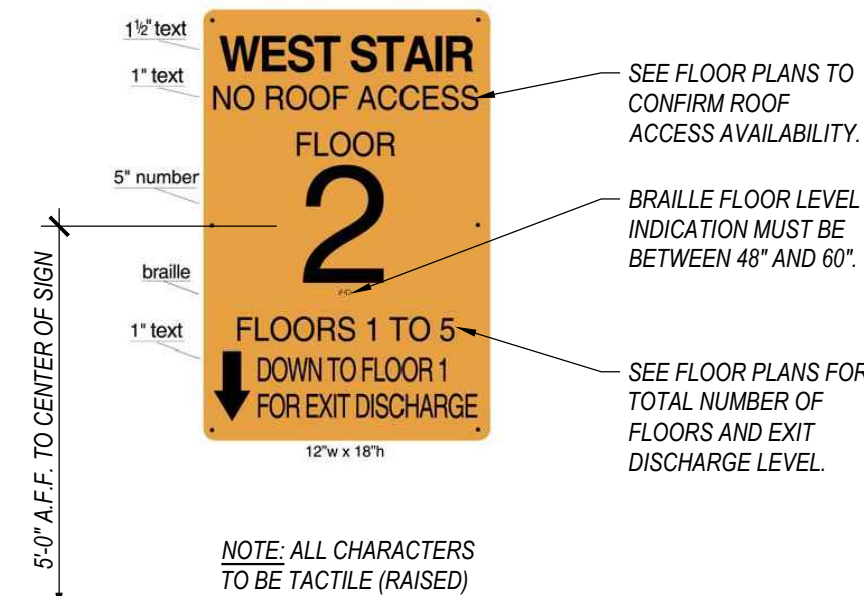
PROJECT MANAGER:
NICK PIRKL

DRAWN BY:
NAP

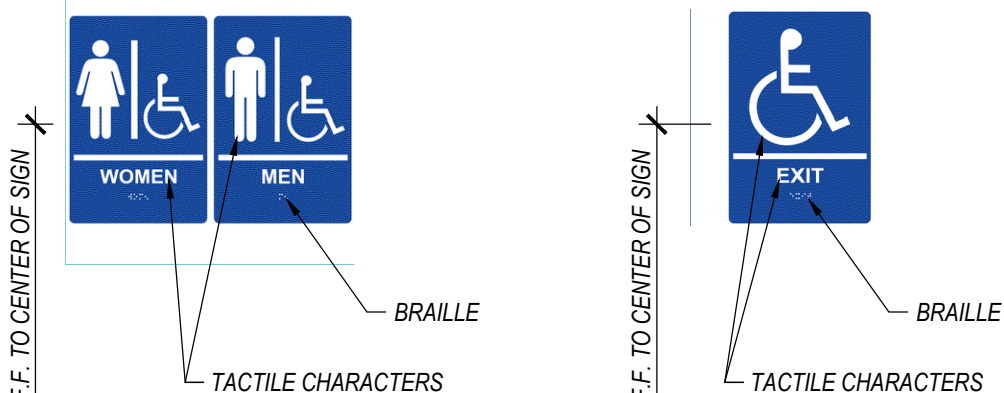
SHEET TITLE:
1ST FLOOR
PLAN

A1.1B

SHEET: 13 OF 20

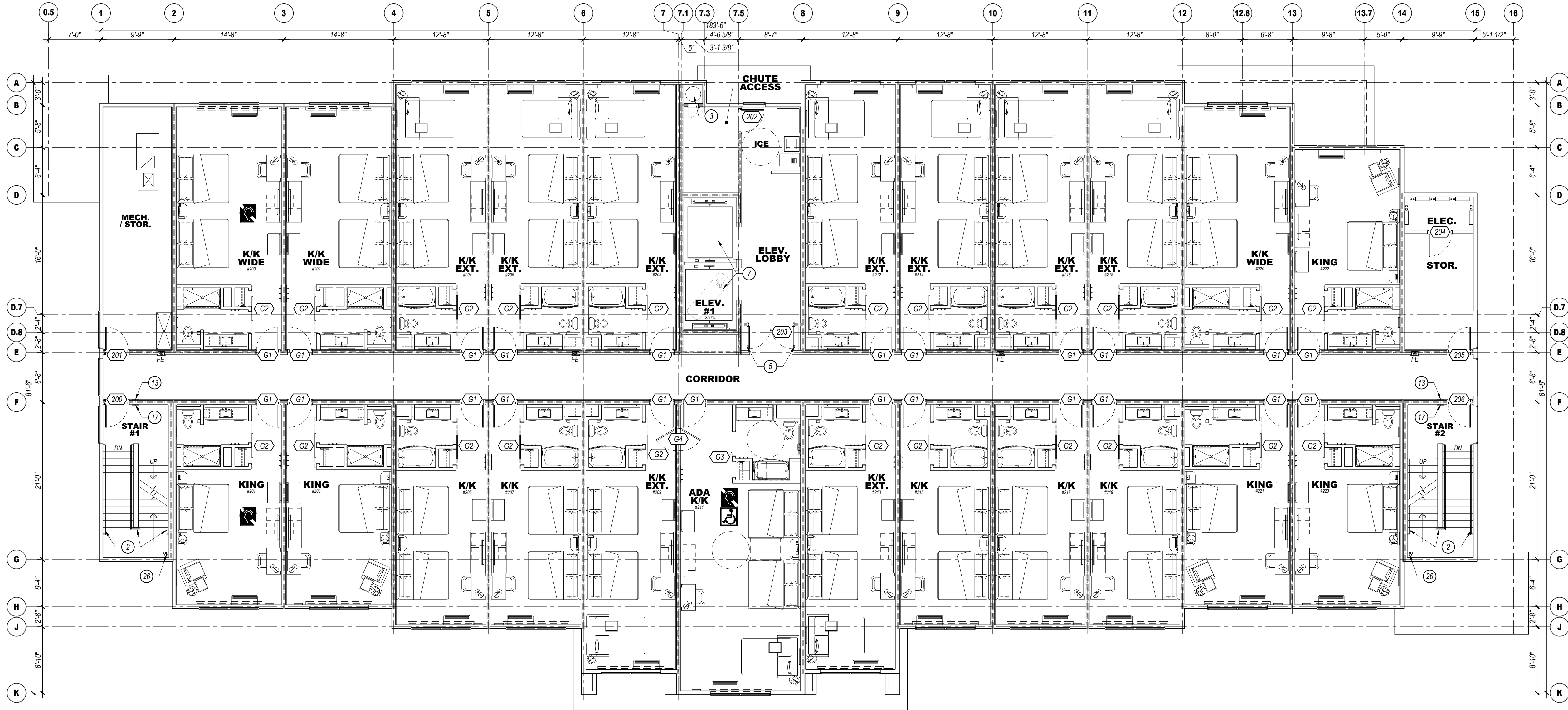


1 STAIRWELL SIGN
SCALE: 1 1/2"= 1'-0" LOCATED INSIDE STAIRWELL

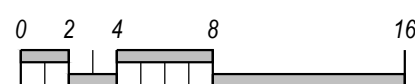


2 ADA TOILET SIGN
SCALE: 1 1/2"= 1'-0"

3 ADA EXIT SIGN
SCALE: 1 1/2"= 1'-0"



2ND FLOOR PLAN
SCALE: 1/8"=1'-0"



FLOOR PLAN KEYED NOTES:

- KAWNEER VG 451 FRONT PLANE GLAZING SYSTEM, TYPICAL AT ALL EXTERIOR STOREFRONT AND WINDOW LOCATIONS. PROVIDE TEMPERED GLASS AS SHOWN ON ELEVATIONS.
- 1 1/2" DIAMETER PAINTED STEEL HANDRAIL AND GUARDRAILS.
- VALIANT 24" DIAMETER FACTORY FABRICATED LINEN CHUTE WITH 90 MINUTE RATED 24"x30" LINEN DISCHARGE DOOR AT GROUND LEVEL AND 90 MINUTE RATED 18"x18" LINEN CHUTE ACCESS DOORS @ 2ND - 4TH FLOORS. DOORS SHALL BE SELF-CLOSING AND SELF-LATCHING. PROVIDE SPRINKLER HEADS IN CHUTE.
- PROVIDE KNOX BOX AS DIRECTED BY THE FIRE AUTHORITY.
- MAGNETIC DOOR HOLDERS WIRED TO THE FIRE ALARM SYSTEM.
- PROVIDE A CARBON MONOXIDE DETECTOR AT LOCATIONS SHOWN. MINIMUM.
- ELEVATORS TO HAVE 42" WIDE DOORS AND SHALL BE SCHINDLER MEL TRACTION TYPE WITH 150 FPM RATED SPEED. ELEVATOR #1 SHALL BE 3000# FRONT OPENING SIZED FOR AMBULANCE STRETCHER ACCESS AND IDENTIFIED BY THE INTERNATIONAL SYMBOL FOR EMERGENCY MEDICAL SERVICES "STAR OF LIFE" PER IBC 3002.4. ELEVATOR #2 SHALL BE 3000# FRONT OPENING. VERIFY ALL REQUIREMENTS WITH SUPPLIER PRIOR TO CONSTRUCTION. PROVIDE HANDRAIL ON REAR WALL AT 32" A.F.F. MINIMUM. PROVIDE SIGN "DO NOT USE IN CASE OF FIRE". PROVIDE 2-WAY COMMUNICATION AS PER THE IFC ON 2ND - 4TH FLOORS ADJACENT TO ELEVATOR DOORS. SYSTEM AND LOCATION SHALL BE APPROVED BY THE FIRE AUTHORITY. PROVIDE PICTORIAL SIGN "IN FIRE EMERGENCY, DO NOT USE ELEVATOR, USE EXIT STAIRS" COMPLYING WITH IBC 3002.3. FINAL DESIGN SHALL BE APPROVED BY THE FIRE AUTHORITY.
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- TACTILE EXIT SIGN PER IBC 1011.3 @ EACH STAIRWELL DOOR AND EXIT DOOR.
- WALL MOUNTED HDTV TELEVISION. CONCEAL ALL POWER/CABLE CONNECTIONS.
- TOWEL AND HAMPER CABINET LOCATION.
- FRONT LOADED WASHER AND DRYER, ADA ACCESSIBLE.
- STAIRWELL SIGN MOUNTED @ 5'-0" A.F.F. AT EACH FLOOR NEXT TO DOOR AS SHOWN. SEE DETAIL 1A1.1 FOR INFORMATION. FINAL DESIGN SHALL BE APPROVED BY THE FIRE AUTHORITY.
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- EMPLOYEE LOCKERS (8), 2.5 CUBIC FOOT MINIMUM.
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WALL FIRE RATING LEGEND

—[X]— WALL TYPE. SEE SHEET A0.2

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DRAWING REVISION DATES:

PROJECT MANAGER:
NICK PIRKL

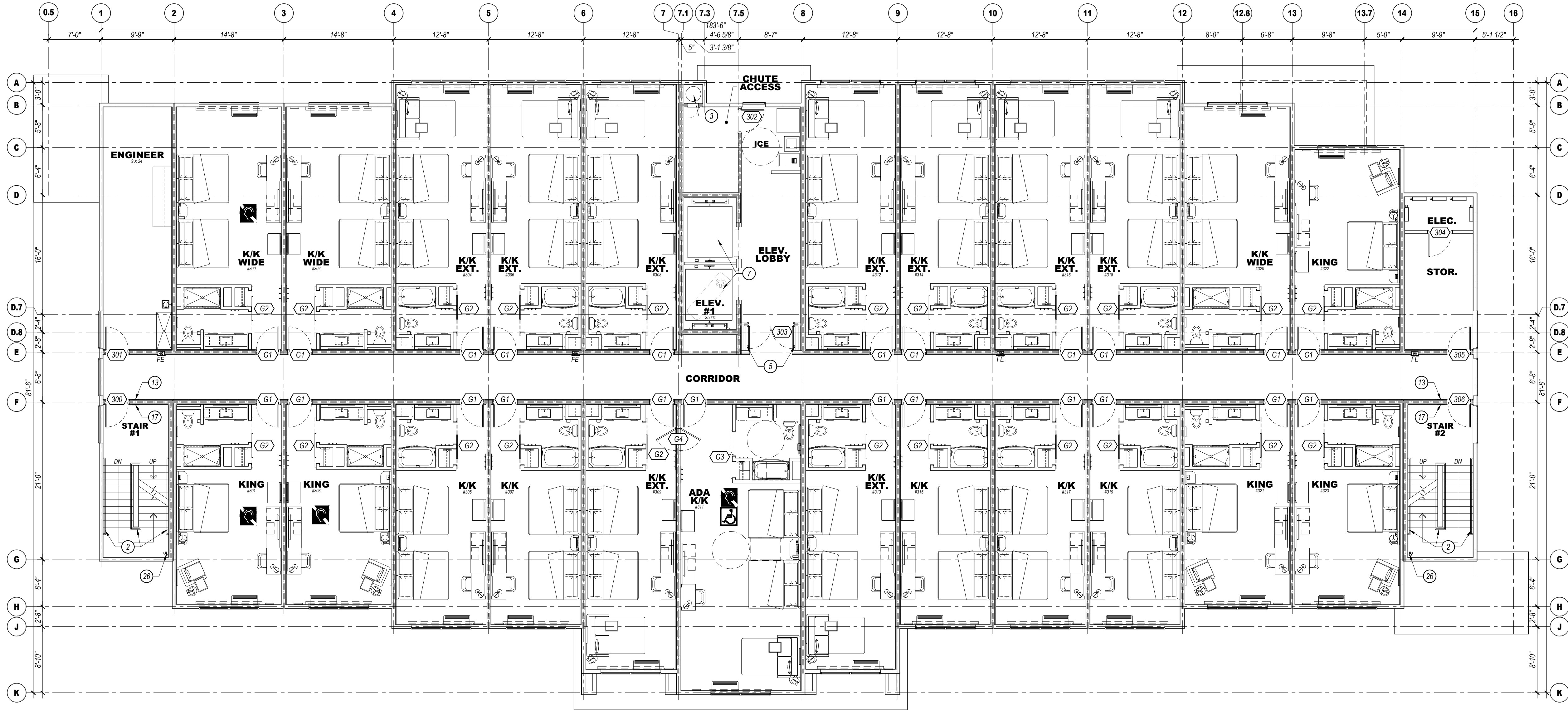
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SHEET TITLE:
2ND FLOOR
PLAN

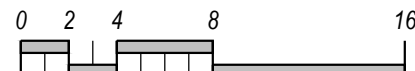
A1.2B

SHEET: 14 OF 20

PROJECT DATA			
Chapter 3 - Use and Occupancy Classification	Type	Sq. Ft.	Lobby, Pantry
	A-2	3,104	
	A-3	2,712	Entry Lobby, Treats, Elevator Lobby, Pool
	B	5,334	Offices, Laundry, work room, Fitness, Elec., etc.
	R-1	2,000	Guest Rooms and residential corridors
1st floor total		13,150	
2nd - 4th floors	R-1	12,973	Each Floor
Chapter 5 - General Building Heights and Areas			
	Height	63' max	54'-5" Actual Height
	Stories	4	
	Area	52,069	Total Building Area
Chapter 6 - Types of Construction			
	V-A		Wood construction
Chapter 9 - Fire Protection Systems			
	Sec. 903		Building will be fully sprinklered per NFPA 13
	Appendix B105.1(2)		Base fire flow = 4,000 GPM. Reduce to 25% per table B105.2 = 1000 GPM @ 2hr duration required. 1 hydrant required per C102.1.
Information above based on the 2018 International Building Code			



3RD FLOOR PLAN
SCALE: 1/8"=1'-0"



FLOOR PLAN KEYED NOTES:

- KAWNEER VG 451 FRONT PLANE GLAZING SYSTEM, TYPICAL AT ALL EXTERIOR STOREFRONT AND WINDOW LOCATIONS. PROVIDE TEMPERED GLASS AS SHOWN ON ELEVATIONS.
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PROJECT MANAGER:
NICK PIRKL

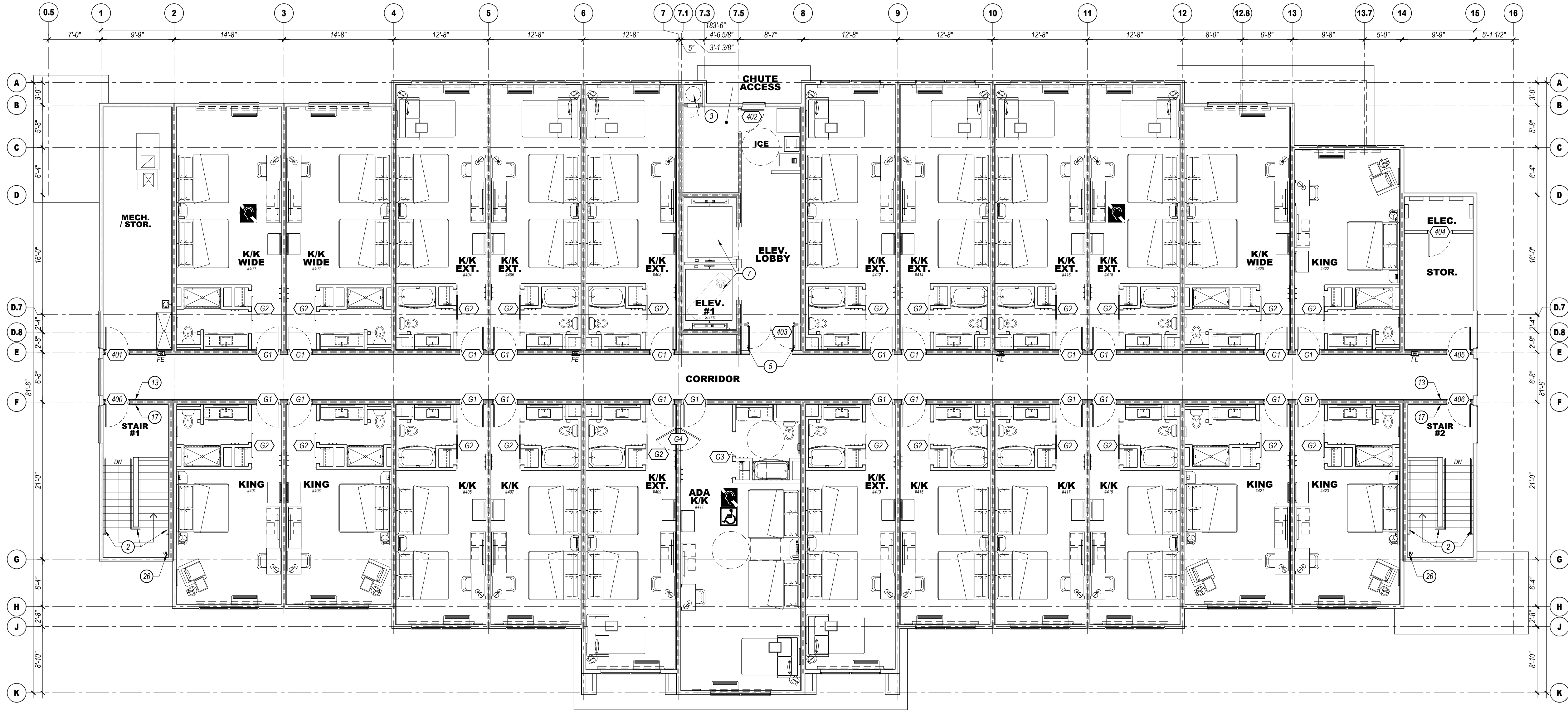
DRAWN BY:
NAP

SHEET TITLE:
3RD FLOOR
PLAN

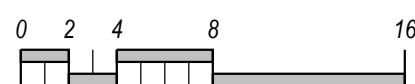
A1.3B

SHEET: 15 OF 20

PROJECT DATA			
Chapter 3 - Use and Occupancy Classification	Type	Sq. Ft.	Lobby, Pantry
	A-2	3,104	
	A-3	2,712	Entry Lobby, Treats, Elevator Lobby, Pool
	B	5,334	Offices, Laundry, work room, Fitness, Elec., etc.
	R-1	2,000	Guest Rooms and residential corridors
1st floor total		13,150	
2nd - 4th floors	R-1	12,973	Each Floor
Chapter 5 - General Building Heights and Areas	Height	63' max	54'-5" Actual Height
	Stories	4	
	Area	52,069	Total Building Area
Chapter 6 - Types of Construction		V-A	Wood construction
Chapter 9 - Fire Protection Systems	Sec. 903		Building will be fully sprinklered per NFPA 13
	Appendix B105.1(2)		Base fire flow = 4,000 GPM. Reduce to 25% per table B105.2 = 1000 GPM @ 2hr duration required. 1 hydrant required per C102.1.
Information above based on the 2018 International Building Code			



4TH FLOOR PLAN
SCALE: 1/8"=1'-0"



FLOOR PLAN KEYED NOTES:

1. KAWNEER VG 451 FRONT PLANE GLAZING SYSTEM, TYPICAL AT ALL EXTERIOR STOREFRONT AND WINDOW LOCATIONS. PROVIDE TEMPERED GLASS AS SHOWN ON ELEVATIONS.
2. 1 1/2" DIAMETER PAINTED STEEL HANDRAIL AND GUARDRAILS.
3. VALIANT 24" DIAMETER FACTORY FABRICATED LINEN CHUTE WITH 90 MINUTE RATED 24"x30" LINEN DISCHARGE DOOR AT GROUND LEVEL AND 90 MINUTE RATED 18"x18" LINEN CHUTE ACCESS DOORS @ 2ND - 4TH FLOORS. DOORS SHALL BE SELF-CLOSING AND SELF-LATCHING. PROVIDE SPRINKLER HEADS IN CHUTE.
4. PROVIDE KNOX BOX AS DIRECTED BY THE FIRE AUTHORITY.
5. MAGNETIC DOOR HOLDERS WIRED TO THE FIRE ALARM SYSTEM.
6. PROVIDE A CARBON MONOXIDE DETECTOR AT LOCATIONS SHOWN. MINIMUM.
7. ELEVATORS TO HAVE 42" WIDE DOORS AND SHALL BE SCHINDLER MEL TRACTION TYPE WITH 150 FPM RATED SPEED. ELEVATOR #1 SHALL BE 3000# RY opening sized for ambulance stretcher access and identified by the international symbol for emergency medical services "STAR OF LIFE" PER IBC 3002.4. ELEVATOR #2 SHALL BE 3000# FRONT OPENING. VERIFY ALL REQUIREMENTS WITH SUPPLIER PRIOR TO CONSTRUCTION. PROVIDE HANDRAIL ON REAR WALL AT 32" A.F.F. MINIMUM. PROVIDE SIGN "DO NOT USE IN CASE OF FIRE". PROVIDE 2-WAY COMMUNICATION AS PER THE IFC ON 2ND - 4TH FLOORS ADJACENT TO ELEVATOR DOORS. SYSTEM AND LOCATION SHALL BE APPROVED BY THE FIRE AUTHORITY. PROVIDE PICTORIAL SIGN "IN FIRE EMERGENCY, DO NOT USE ELEVATOR, USE EXIT STAIRS" COMPLYING WITH IBC 3002.3. FINAL DESIGN SHALL BE APPROVED BY THE FIRE AUTHORITY.
8. FINAL FITNESS ROOM LAYOUT SHALL COMPLY WITH BRAND FITNESS STANDARDS. ALL FINISHES SHALL COMPLY WITH STANDARDS.
9. PROPOSED LOCATION OF WALL MOUNTED HOUSE PHONE MOUNTED @ 48" A.F.F. TYPICAL. PHONE SHALL RING @ FRONT DESK.
10. POOL LADDER AND HANDRAILS.
11. ACCESSIBLE POOL AND/OR SPA STAIRS WITH 1 1/2" DIAMETER S/S HANDRAILS.
12. CLEAR DECK SPACE SLOPE TO TRENCH AND/OR AREA DRAINS 1/4" PER FOOT MAXIMUM. TYPICAL. 5'-0" CLEAR AROUND POOL AND SPA. FINAL DESIGN OF POOL AND DECK MUST MEET ALL STATE AND BRAND DESIGN STANDARDS AND REQUIREMENTS.
13. TACTILE EXIT SIGN PER IBC 1011.3 @ EACH STAIRWELL DOOR AND EXIT DOOR.
14. WALL MOUNTED HDTV TELEVISION. CONCEAL ALL POWER/CABLE CONNECTIONS.
15. TOWEL AND HAMPER CABINET LOCATION.
16. FRONT LOADED WASHER AND DRYER, ADA ACCESSIBLE.
17. STAIRWELL SIGN MOUNTED @ 5'-0" A.F.F. AT EACH FLOOR NEXT TO DOOR AS SHOWN. SEE DETAIL 1/41.1 FOR INFORMATION. FINAL DESIGN SHALL BE APPROVED BY THE FIRE AUTHORITY.
18. PROPOSED LOCATION OF FIRE ALARM CONTROL PANEL. VERIFY WITH FIRE AUTHORITY. SYSTEM SHALL ACTIVATE UPON FIRE SPRINKLER WATER FLOW.
19. STACKABLE WASHER/DRYER UNITS, TYPICAL OF (2).
20. PROVIDE HANDICAP ACCESSIBLE LIFT FOR POOL AND SPA. VERIFY INSTALLATION DETAILS WITH MANUFACTURER.
21. MAIN ENTRY CARD READER LOCATION WITH INTERCOM TO FRONT DESK.
22. EMPLOYEE LOCKERS (8), 2.5 CUBIC FOOT MINIMUM.
23. WATER COOLER LOCATION.
24. FOLDING COUNTER OVER ADA WASHER DRYERS AND ADJACENT TO EQUIPMENT AS SHOWN. ACCESSIBLE COUNTER SHALL BE 34" A.F.F. MAXIMUM.
25. 3-SIDED GAS FIRE PLACE, DIRECT VENT, LCD THERMOSTATIC REMOTE. STANDARD BLOWER.
26. FIRE PROTECTION DRY STANDPIPE LOCATION WITH VALVES AT EACH LANDING. VERIFY WITH FIRE AUTHORITY.
27. PROVIDE OCCUPANT LOAD SIGNS IN POOL, LOBBY AND BREAKFAST AREA. DESIGN AND LOCATION SHALL BE APPROVED BY THE FIRE AUTHORITY.
28. PROVIDE DOOR SIGN (FIRE RISER/MECHANICAL ROOM) ON DOOR. PROVIDE A FIRE FLOW STROBE ABOVE DOOR AS DIRECTED BY THE FIRE AUTHORITY.
29. NOT USED.
30. NOT USED.
31. RECESSED WALK-OFF MAT WITH FLOOR DRAIN.
32. NOT USED.
33. (2)-4" CONDUITS TO ADJACENT HOTEL NETWORK/SERVER ROOM.

GENERAL NOTES:

- A. FINISHED FLOOR ELEVATION IS INDICATED AS 100'-0" FOR REFERENCE ONLY. SEE CIVIL DRAWINGS FOR ACTUAL ELEVATION OF FINISHED FLOOR.
- B. ALL DIMENSIONS ARE TO CENTERLINE OF STUDS AND COLUMNS OR FACE OF FINISHED WALLS U.N.O. (FACE OF SHEATHING AT EXTERIOR FACE OF EXTERIOR WALLS).
- C. T.G. INDICATES TEMPERED GLASS LOCATIONS.
- D. ALUMINUM WINDOWS TO BE THERMALLY BROKEN INSULATED WINDOWS.
- E. PROVIDE FIRE ALARM HORNS AND STROBES IN ALL WHEEL CHAIR & HEARING LOSS ACCESSIBLE ROOMS, INCLUDING TOILET ROOMS.
- F. SEE A3 & SHEETS FOR ENLARGED GUEST ROOM AND COMMON AREA PLANS.
- G. SEE A5 & SHEETS FOR TYPICAL GUEST ROOM INTERIOR ELEVATIONS.
- H. SEE APPROVED INTERIOR DESIGN DRAWINGS FOR ALL FINISHES.
- I. POOL DRAWING SHALL BE SUBMITTED TO FRANCHISE FOR APPROVAL. POOLS MUST UTILIZE ANTI-VORTEX DRAIN COVERS COMPLIANT WITH ASME A112.19.8-2007. DRAWINGS SHALL INCLUDE ALL DECK AND SUB-SURFACE DRAINAGE DETAILS (2 DRAINS MINIMUM IN POOL AND SPA). SAFETY EQUIPMENT, SIGNAGE, UNDERWATER LIGHTING, DEPTH MARKINGS, "NO DIVING" SYMBOLS, ADA LIFTS, FURNITURE, ETC. A LIQUID POOL COVER, HEATSAVR OR EQUAL, IS REQUIRED.
- J. CONTRACTOR IS REQUIRED TO FOLLOW ALL ITEMS NOTED IN THE LATEST BRAND STANDARDS MANUAL WHETHER NOTED IN THE CONSTRUCTION DRAWINGS OR NOT. THIS INCLUDES ALL TECHNICAL REQUIREMENTS.
- K. SEE SHEET A0-6.0 FOR MINIMUM PERFORMANCE SPECIFICATIONS AND REQUIREMENTS.

WALL FIRE RATING LEGEND

—[X]— WALL TYPE. SEE SHEET A0.2

NOTE: PROVIDE WALL MARKING AS PER 9/A0.3 ABOVE ACCESSIBLE CEILINGS FOR ALL FIRE PARTITIONS AND FIRE BARRIERS. SEE DESIGN DATA "CHAPTER 7" AND FLOOR PLANS FOR MORE INFORMATION ON WALL TYPES

- INCIDENTUAL USE SEPARATION WALL "SMOKE RESISTANT" PER IBC 508.4.2. (COMMERCIAL LAUNDRY)
- 1 HOUR RATED FIRE PARTITION "RESIDENTIAL CORRIDORS, ELEVATOR LOBBY, GUEST ROOM SEPARATION WALLS".
- 1 HOUR FIRE BARRIER (LINEN CHUTE ACCESS ROOMS, 3-STORY MECHANICAL SHAFTS).
- 2 HOUR FIRE BARRIER (STAIRWELLS, ELEVATOR SHAFT, 4-STORY MECHANICAL SHAFTS, LINEN CHUTE, LINEN CHUTE DISCHARGE ROOM).

ROOM TYPE MATRIX

FLOOR	KING	KING/ KING	KING/ KING WIDE	KING/ KING EXTENDED	KING ADA ROLL-IN #103	KING/KING ADA #211, #311, #411	FLOOR TOTAL
1ST	1		2		1		4
2ND	5	5	3	9		1	23
3RD	5	5	3	9		1	23
4TH	5	5	3	9		1	23
TOTAL	16	15	11	27	1	3	73



WHEEL CHAIR ACCESSIBLE (MOBILITY FEATURES) 51 TO 75 TOTAL GUEST ROOMS
= 4 ROOMS (3 TRANSFER TUBS + 1 ROLL-IN SHOWER REQUIRED).



HEARING LOSS ACCESSIBLE (COMMUNICATION FEATURES) 51 TO 75 TOTAL GUEST ROOMS
= 7 ROOMS REQUIRED (ONLY 1 ROOM THAT IS ALSO A WHEEL CHAIR ACCESSIBLE ROOM MAY
COUNT TOWARDS THE TOTAL REQUIRED NUMBER PER 2010 ADAAG SECTION 224.5. 2 KING
ROOMS (#201,301), 3 KING WIDE ROOM (#200,300,400), 1 KING/KING EXT. ROOM (#416) ALONG
WITH ALL OF THE MOBILITY ROOMS ARE PROVIDED WITH COMMUNICATION FEATURES.

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**Independent Hotel B
Site Development Package**
**3300 S. LINCOLN AVE
STEAMBOAT SPRINGS, CO 80487**

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DRAWING ISSUE DATES:
2/20/23 Site Development Package
5/10/23 SDP Revisions

DRAWING REVISION DATES:

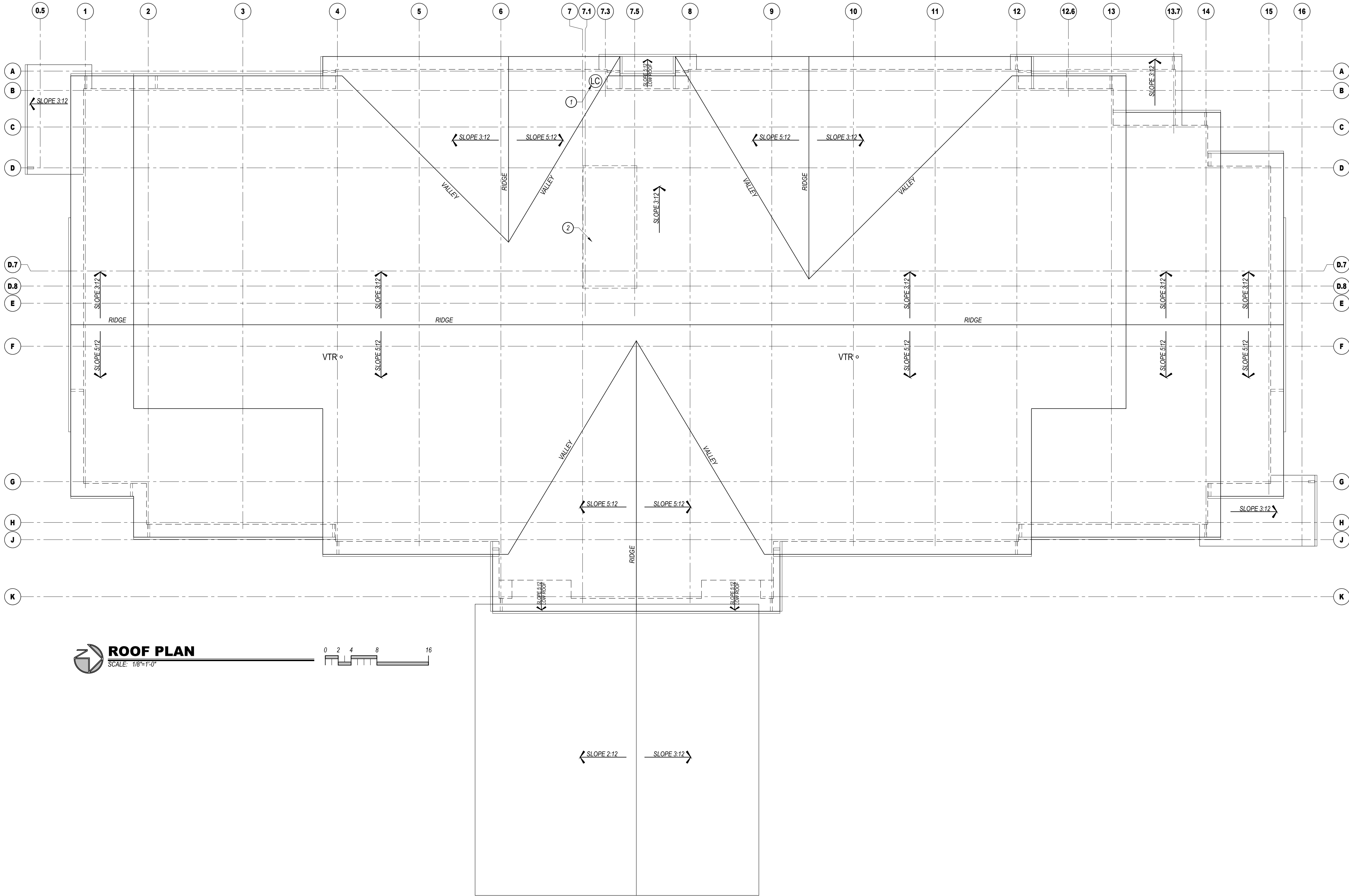
PROJECT MANAGER:
NICK PIRKL

DRAWN BY:
NAP

SHEET TITLE:
**4TH FLOOR
PLAN**

A1.4B

SHEET: 16 OF 20



ROOF PLAN KEYED NOTES:

1. LINEN CHUTE VENT LOCATION, PROVIDE WITH FACTORY RAIN CAP. CHUTE MUST EXTEND 36" MINIMUM ABOVE ROOF SURFACE.
2. ROOF TRUSSES OVER ELEVATOR SHAFTS SHALL BE DESIGNED TO ACCOMMODATE THE HEIGHT OF THE SHAFT.

GENERAL NOTES:

- A. PITCHED ROOFING SHALL BE GAF TIMBERLINE HDZ ARCHITECTURAL ASPHALT SHINGLE AND SHALL INCLUDE STARTER STRIP SHINGLES AND RIDGE CAP SHINGLES. SEE ELEVATIONS FOR COLOR.
- B. PROVIDE ICE PROTECTION, GAF STORMGUARD OR EQUAL, ACROSS ENTIRE ROOF SURFACE INCLUDING ALL VALLEYS, RIDGES, HIPS, ETC.
- C. PROVIDE GAF COBRA SNOWCOUNTRY RIDGE ATTIC VENTING (240 L.F. MINIMUM), EQUALLY DISPERSE VENTS BETWEEN EAVE VENTS (30 S.F. NET FREE AREA REQUIRED) AND RIDGE VENTS (30 S.F. NET FREE AREA REQUIRED) AND AROUND THE PERIMETER OF ROOF AREA. MAINTAIN 2" MINIMUM SPACE BETWEEN UNDERSIDE OF ROOF SHEATHING AND INSULATION.
- D. PORTE COCHERE ROOFING SHALL BE METAL STANDING SEAM RATED FOR 1:12 MIN. SLOPE.
- E. INSTALLATION OF ALL ROOFING MATERIALS AND COMPONENTS SHALL BE AS PER EACH INDIVIDUAL MANUFACTURER'S RECOMMENDATIONS.
- F. PROVIDE PERIMETER SNOW MELT SYSTEM ALL ROOF EAVES AND ALONG ENTIRE PORTE COCHERE AND ENTRY ROOFS. SNOW MELT SHALL EXTEND INTO GUTTERS AND DOWNSPOUTS AS PER MANUFACTURER'S RECOMMENDATIONS.
- G. COORDINATE SIZE AND LOCATION AND INSTALLATION REQUIREMENT OF SATELLITE DISH PROVIDED BY AV CONTRACTOR.
- H. ATTIC INSULATION SHALL BE INSTALLED SO AS NOT TO INTERRUPT AIR FLOW THROUGH ROOF ASSEMBLY.
- I. PROVIDE PRE-FINISHED GUTTERS AND DOWNSPOUTS AROUND THE ENTIRE ROOF PERIMETER, INCLUDING PORTE COCHERE AND ENTRANCE CANOPIES. DOWNSPOUTS SHALL DRAIN AWAY FROM FOUNDATION.
- J. PAINT ALL ROOF PENETRATING ITEMS TO MATCH ROOF COLOR (PLUMBING VENTS, LINEN CHUTE VENT, ETC).

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Site Development Package**
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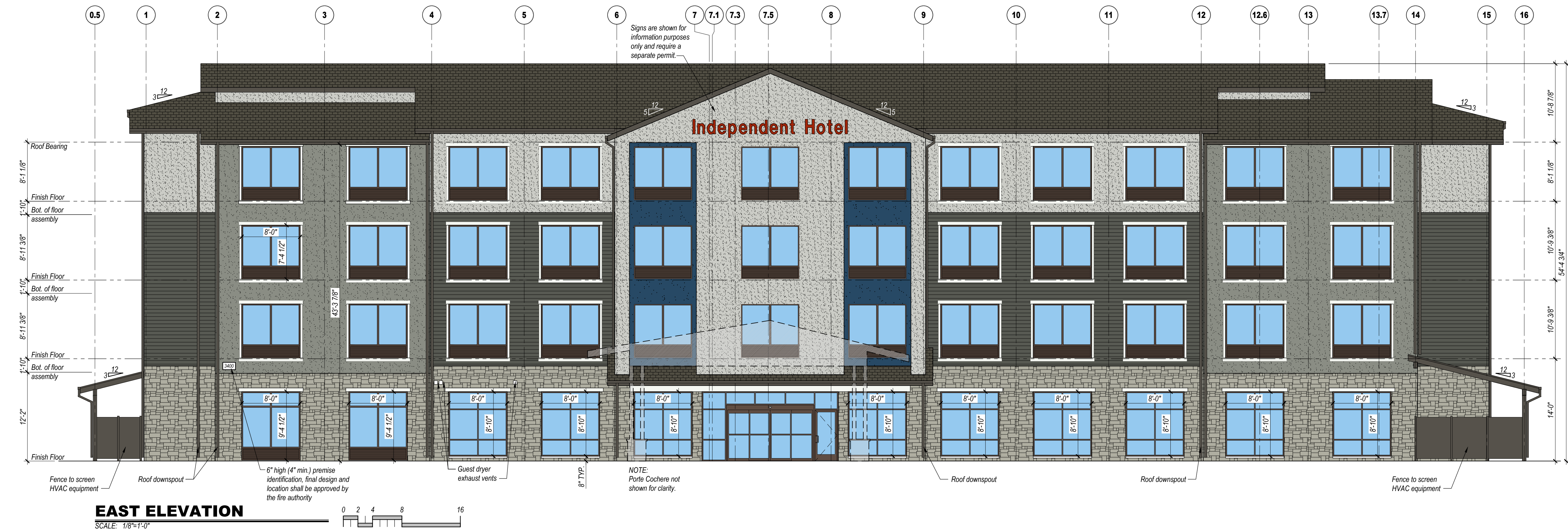
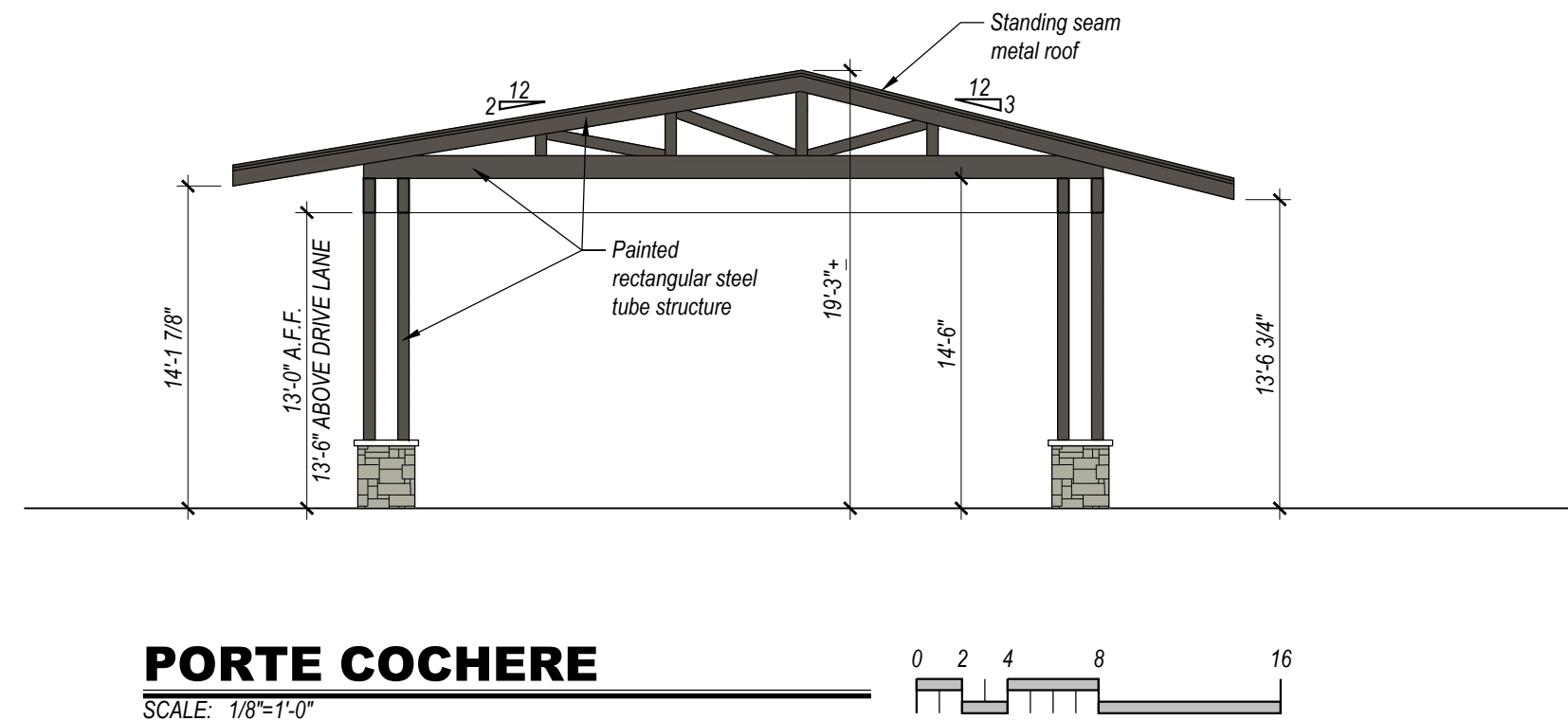
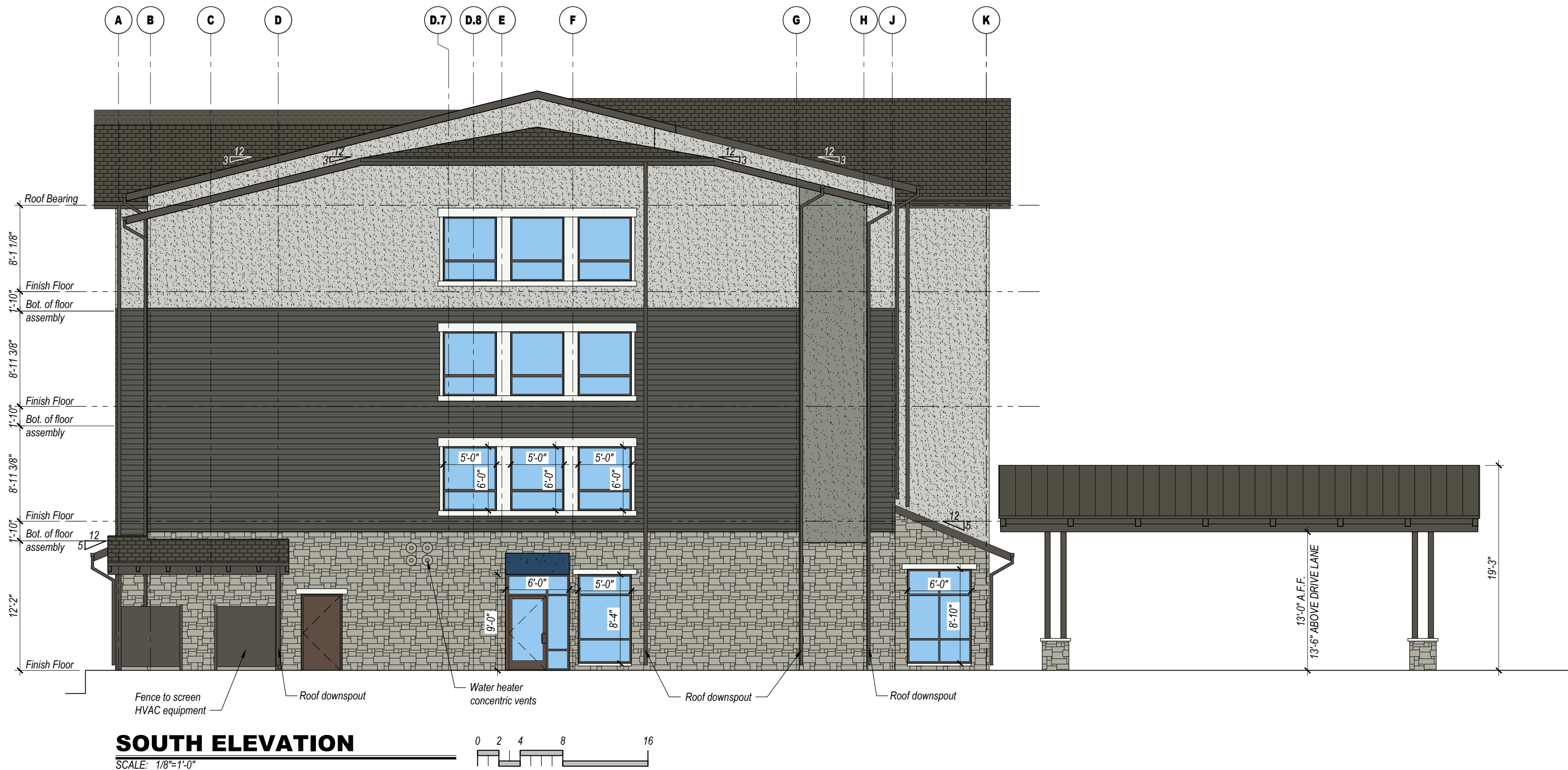
DRAWING ISSUE DATES:
2/20/23 Site Development Package
5/18/23 SDP Revisions

DRAWING REVISION DATES:

PROJECT MANAGER:
NICK PIRKL
DRAWN BY:
NAP

SHEET TITLE:
ROOF
PLAN

A1.5B
SHEET: 17 OF 20



COLOR LEGEND

	EIFS #1: Medium sand texture, Color match to Benjamin Moore:HC-170 Stonington Gray
	EIFS #2: Medium sand texture, Color match to Benjamin Moore:1483 Cos Cob Stonewall
	EIFS #3: Medium sand texture, Color match to Benjamin Moore:2061-20 Champion Cobalt
	STONE VENEER: Coronado Stone "Sierra Ledge - Wasatch Grey". Install over continuous insulation as per NCMA ASTM C1780 installation guide, figure 4b or equal.
	SIDING: Centria CS-620, Horizontal Orientation, Color match to Benjamin Moore: 1484 Ashwood Moss
	WINDOW TRIM: Color match to Benjamin Moore: OC-65 - Chantilly Lace
	ACCENT: Fascia, Soffits, trim, gutters and downspouts. Color match to Benjamin Moore: 1547 Dragon's Breath
	ROOFING: Asphalt Shingle, GAF Timberline HDZ, Color "Charcoal"

GENERAL NOTES:

- See door and window schedules for door and window types. Doors, windows and louvers to be prefinished. All windows to be bronze aluminum with thermally broken frames.
- Provide blocking and power for all exterior signage. All signage shall be as per hotel standards (size, color, etc.). Signage shall be aluminum channels, internally lit (L.E.D.), with colored acrylic faces. Final sign package shall be submitted under separate sign permit for approval. Coordinate installation of exterior signage prior to closing up the walls.
- Slurco system to be EIFS typical. Provide "V" joints as shown. Install as per manufacturers' requirements and details. Colors shall match paint colors noted.
- Moisture resistant barrier (MRB) shall be liquid applied, typical throughout. Install as per manufacturers' requirements based on the finishes to be used. Utilize sheathing tape, flashing membrane, drain edge tape, and other accessories as necessary for a complete single source system.
- Install stone as per manufacturers' recommendations. Provide a 30# felt slip barrier between stone base coat and MRB if required by MRB manufacturer.
- Metal gutters and downspouts shall be pre-finished and shall match fascia color, typical. Pitch outlets away from building foundation.
- Building lighting is primarily via wall mounted surface L.E.D. lights.

TRANSPARENCY CALCULATIONS

NOTE: STORY HEIGHT MEASUREMENTS TAKEN FROM FINISH FLOOR TO BOTTOM OF FLOOR/CEILING OR ROOF CEILING ASSEMBLY ABOVE.

GROUND FLOOR FRONT FACADE (US 40) = 40% REQUIRED
TOTAL SURFACE AREA = 184' X 12.17' (STORY HEIGHT) = 2,239.3 SQ. FT.
TOTAL TRANSPARENT AREA PROVIDED = 898.7 SQ. FT. (40.1 %)

GROUND FLOOR OTHER FACADES = 30% REQUIRED
TOTAL SURFACE AREA = 348' X 12.17' (STORY HEIGHT) = 4,235.2 SQ. FT.
TOTAL TRANSPARENT AREA PROVIDED = 1,275.9 SQ. FT. (30.1 %)

UPPER FLOOR FACADES (ALL SIDES, 2ND STORY CALCULATIONS) = 25% REQUIRED
TOTAL SURFACE AREA = 532' x 9' (STORY HEIGHT) = 4,788 SQ. FT.
TOTAL TRANSPARENT AREA PROVIDED = 1,233.4 SQ. FT. (25.8 %)



Independent Hotel B
Site Development Package
3300 S. LINCOLN AVE
STEAMBOAT SPRINGS, CO 80487

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2/20/23 Site Development Package
5/18/23 SDP Revisions

DRAWING REVISION DATES:

PROJECT MANAGER:
NICK PIRKL

DRAWN BY:
NAP

SHEET TITLE:
SOUTH AND EAST ELEVATIONS

A2.1B

SHEET: 18 OF 20

COLOR LEGEND

	EIFS #1: Medium sand texture, Color match to Benjamin Moore:HC-170 Stonington Gray
	EIFS #2: Medium sand texture, Color match to Benjamin Moore:1483 Cos Cob Stonewall
	EIFS #3: Medium sand texture, Color match to Benjamin Moore:2061-20 Champion Cobalt
	STONE VENEER: Coronado Stone "Sierra Ledge - Wasatch Grey". Install over continuous insulation as per NCMC ASTM C1780 installation guide, figure 4b or equal.
	SIDING: Centria CS-620, Horizontal Orientation, Color match to Benjamin Moore: 1484 Ashwood Moss
	WINDOW TRIM: Color match to Benjamin Moore: OC-65 - Chantilly Lace
	ACCENT: Fascia, Soffits, trim, gutters and downspouts. Color match to Benjamin Moore: 1547 Dragon's Breath
	ROOFING: Asphalt Shingle, GAF Timberline HDZ, Color "Charcoal"

GENERAL NOTES:

- See door and window schedules for door and window types. Doors, windows and louvers to be prefinished. All windows to be bronze aluminum with thermally broken frames.
- Provide blocking and power for all exterior signage. All signage shall be as per hotel standards (size, color, etc.). Signage shall be aluminum channels, internally lit (L.E.D.), with colored acrylic faces. Final sign package shall be submitted under separate sign permit for approval. Coordinate installation of exterior signage prior to closing up the walls.
- Stucco system to be EIFS typical. Provide "V" joints as shown. Install as per manufacturers' requirements and details. Colors shall match paint colors noted.
- Moisture resistant barrier (MRB) shall be liquid applied, typical throughout. Install as per manufacturers' requirements based on the finishes to be used. Utilize sheathing tape, flashing membrane, drain edge tape, and other accessories as necessary for a complete single source system.
- Install stone as per manufacturers' recommendations. Provide a 30# felt slip barrier between stone base coat and MRB if required by MRB manufacturer.
- Metal gutters and downspouts shall be pre-finished and shall match fascia color, typical. Pitch outlets away from building foundation.
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TRANSPARENCY CALCULATIONS

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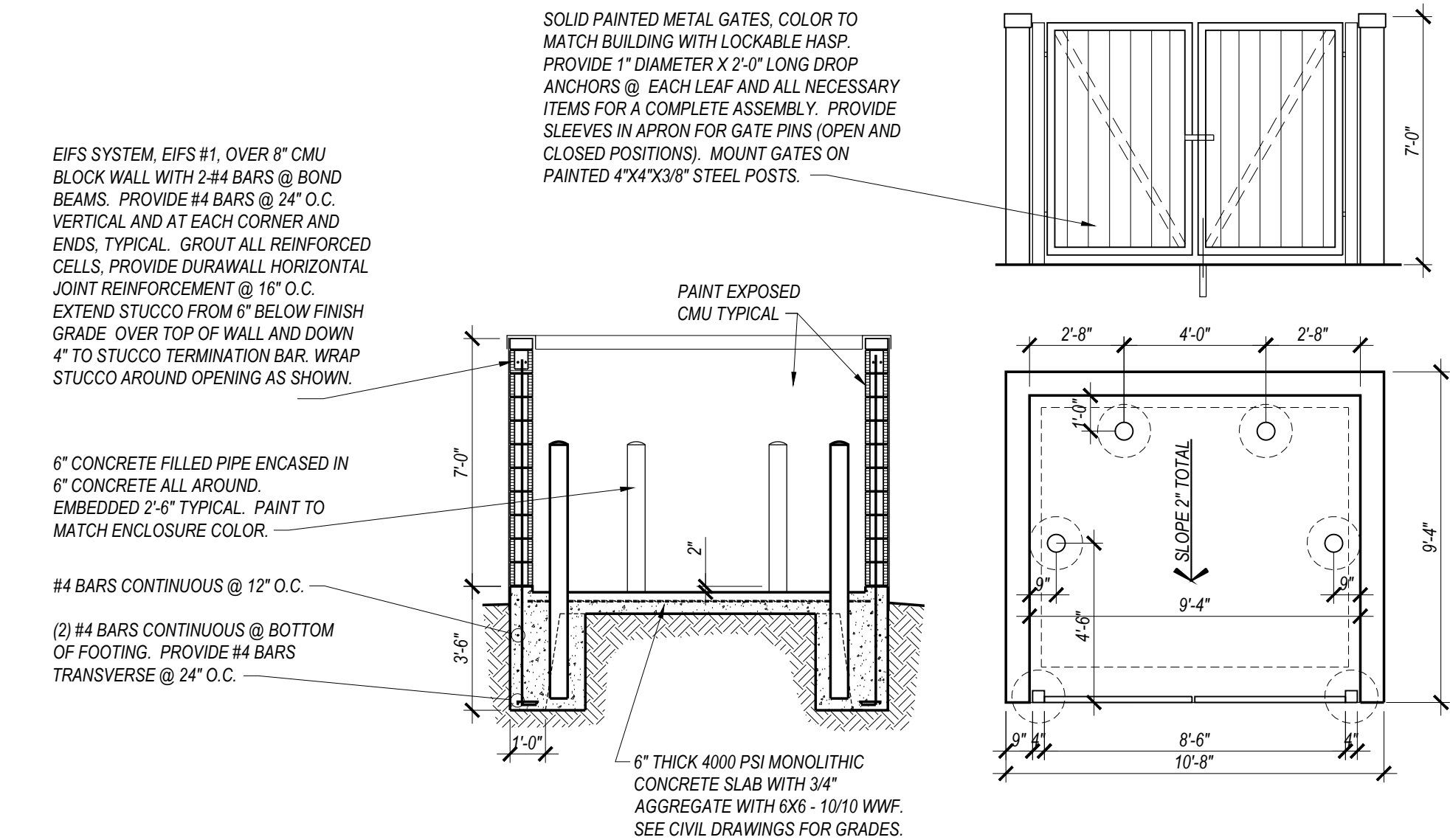
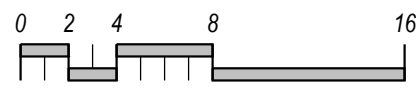
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NORTH ELEVATION

SCALE: 1/8"=1'-0"



REFUSE ENCLOSURE

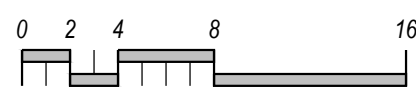
SCALE: 1/4"=1'-0"

PLAN, SECTION, AND ELEVATION



WEST ELEVATION

SCALE: 1/8"=1'-0"





AERIAL - SE TO NW VIEW
SCALE: NOT TO SCALE



AERIAL - SW TO NE VIEW
SCALE: NOT TO SCALE



AERIAL - NW TO SE VIEW
SCALE: NOT TO SCALE



AERIAL - NE TO SW VIEW
SCALE: NOT TO SCALE

**Holiday Inn - Hotel A
Site Development Package**
**3400 S. LINCOLN AVE
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DRAWING ISSUE DATES:
2/20/23 Site Development Package
5/18/23 SDP Revisions

DRAWING REVISION DATES:

PROJECT MANAGER:
NICK PIRKL

DRAWN BY:
NAP

SHEET TITLE:
RENDERINGS