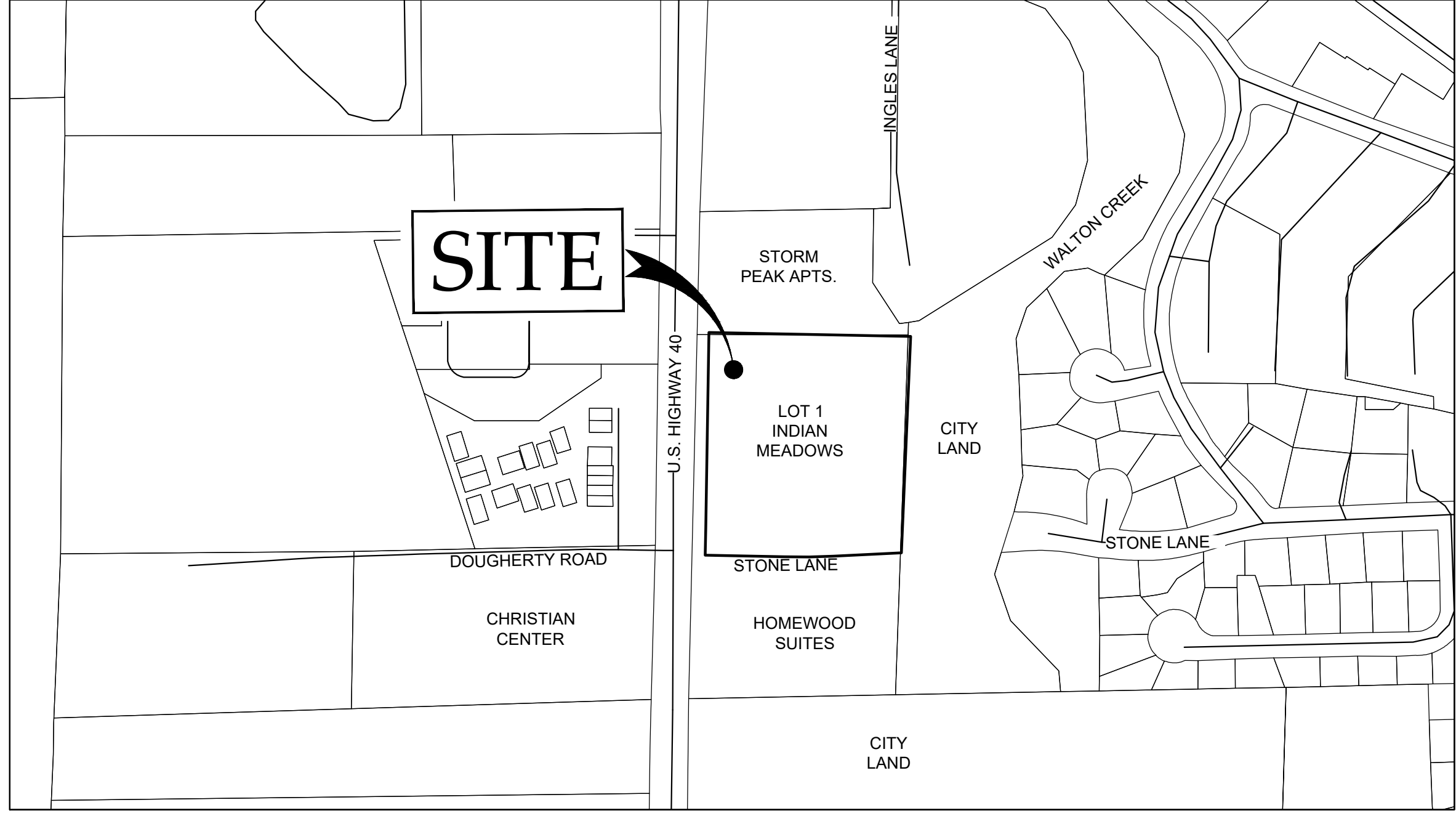


LEGEND	EXISTING	PROPOSED
PROPERTY BOUNDARY		
SECTION LINE		
LOT BOUNDARY		
EASEMENT		
SETBACK		
EDGE OF ASPHALT		
CURB		
CURB FLOWLINE		
1/2 FT CONTOUR		
5/10 FT CONTOUR		
EDGE OF GRAVEL		
CENTER LINE OF DITCH		
WATER MAIN		
CURB STOP, GV, FH		
SIGN		
LIGHT POLE		
SEWER MAIN		
MANHOLE AND CLEANOUTS		
ELECTRICAL - UNDERGROUND		
ELECTRICAL - OVERHEAD		
ELECTRICAL - OVERHEAD - HIGH VOLTAGE		
ELECTRICAL-PRIMARY		
FIBER OPTIC		
TELEPHONE		
UNDERGROUND		
UTILITY PEDESTALS		
POWER POLE/ LIGHT POLE		
GAS		
FENCE		
WOODEN FENCE		
PROPOSED EDGE OF CONCRETE		
DECK		
PROPOSED BUILDING		
OVERHANG		
SIDEWALK/ BOARDWALK		
BASE FLOOD CROSS SECTION		
FEMA SFHA BOUNDARY		
WALL		
VEGETATION OUTLINE		
PROPERTY CORNERS		
STORM INLET		
CULVERT		
ASPHALT		
CONCRETE		
GRAVEL/SOFT SURFACE		
ROCK/RIP RAP		
WETLANDS/WETLANDS REMOVAL		

**PRELIMINARY PLAT for INDIAN  
MEADOWS HOTELS F4**

(ADDRESS TBD)  
STEAMBOAT SPRINGS, CO 80487



PROJECT VICINITY MAP

SCALE: 1"= 250'

NORTH

## CIVIL SHEET INDEX

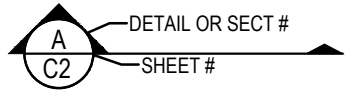
CIVIL PLANS

C1	PRELIMINARY PLAT COVER SHEET
C2	EXISTING CONDITIONS PLAN
C3	SITE PLAN
C4	SIDEWALK PLAN
C5	GRADING AND DRAINAGE PLAN
C6	GRADING AND DRAINAGE PLAN
C7	SNOW STORAGE PLAN
C8	PRELIMINARY PLAT

NO UTILITY PLAN IN THE CIVIL PLANS DUE TO THE FACT BOTH LOTS HAVE ACCESS TO UTILITY MAINS AS SHOWN ON THE EXISTING CONDITIONS PLAN

ABBREVIATIONS:

AF	ABOVE FINISHED FLOOR	INV	INVERT
AP	ANGLE POINT	LF	LINEAL FEET
APR	APPROXIMATE	LP	LOW POINT
A	ASPHALT	MAX	MAXIMUM
BFE	BASE FLOOD ELEVATION	MIN	MINIMUM
BFF	BASEMENT FINISH FLOOR	MOD	MODULE
BOW	BOTTOM OF WALL	NG	NATURAL GROUND
BVC	BEGIN VERTICAL CURVE	NO	NUMBER
BW	BACK OF WALK	NTS	NOT TO SCALE
C	CURB	O/S	OFFSET
CL	CENTERLINE	OHD	OVERHEAD DOOR
CLNG	CEILING	PC	POINT OF CURVATURE
CMP	CORRUGATED METAL PIPE	PED	PEDESTAL
C/O	CLEAN OUT	PI	POINT OF INTERSECTION
CONC	CONCRETE	PL	PROPERTY LINE
CNR	CORNER	PR	PROPOSED
OMR	CURB RETURN	PT	POINT
CS	CURB STOP	PVC	POINT OF VERTICAL CURVE
D	DEPTH	PVC	POLYVINYL CHLORIDE PIPE
DI	DRAIN INLET	PVI	POINT OF VERTICAL INTERSECTION
DIP	DUCTILE IRON PIPE	RD	ROAD
DMH	DRAINAGE MANHOLE	R	RADIUS
DRN	DRAIN	RO	ROUGH OPENING
DT	DITCH	ROW	RIGHT-OF-WAY
DW	DRIVEWAY	RW	RETAINING WALL
EA	EACH	SFHA	SPECIAL FLOOD HAZARD AREA
EG	EXISTING GRADE	SOFT	SQUARE FEET
ELEV	ELEVATION	SMH	SEWER MANHOLE
ENGR	ENGINEER	SS	SANITARY SEWER
EOA	EDGE OF ASPHALT	STA	STATION
EW	EDGE OF WALK	STRUCT	STRUCTURAL
EX	EXISTING	SW	SIDEWALK
FES	FLARED END SECTION	TB	THRUST BLOCK
FFE	FINISH FLOOR ELEVATION	TBD	TO BE DETERMINED
FG	FINISH GRADE	TBR	TO BE REMOVED
FH	FIRE HYDRANT	TBW	TOP BACK OF WALK
FL	FLOW LINE	TEL	TELEPHONE
FT	FOOT OR FEET	TOP	TOP OF PIPE
GB	GRADE FFE	TO	TOP
GFE	GRADE BREAK	TYP	TYPICAL
GYP	GYPSUM	VOL	VOLUME
GV	GATE VALVE	VLP	VALLEY PAN
HC	HANDICAP RAMP	W	WIDTH
HP	HIGH POINT	WL	WATERLINE
IN	INLET	WI	WITH
		WQ	WATER QUALITY



## PROJECT CONTACT LIST

PROJECT OWNER

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PROJECT ARCHITECT

DESIGN 2 FUNCTION - NICK PIRKL  
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Albuquerque, NM 87199


EMAIL: [nick@design2functionllc.com](mailto:nick@design2functionllc.com)  
OFFICE: (505)-823-6481

CIVIL ENGINEER

FOUR POINTS SURVEYING AND ENGINEERING  
ATTN: WALTER MAGILL, P.E.  
440 S. Lincoln Ave, Suite 4B  
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Steamboat Springs, CO 80487

OFFICE: (970) 871-6772  
CELL: (970) 819 1161  
EMAIL: [walterm@fourpointsse.com](mailto:walterm@fourpointsse.com)

**PRELIMINARY - NOT FOR  
CONSTRUCTION**

PRELIMINARY PLAT PLANS PREPARED BY FOUR POINTS SURVEYING & ENGINEERING	No.	DATE	REVISIONS	INT		<p><b>Four Points Surveying &amp; Engineering</b> 440 S. Lincoln Ave, Suite 4A P.O. Box 775966 Steamboat Springs, CO 80487 (970)-871-6772 matthew@fourpointsse.com</p>	<p>SHEET #</p> <p><b>C1</b></p>
DATE: 5/25/2023 JOB #: 1448-006 DRAWN BY: AP/WNM DESIGN BY: AP/WNM REVIEW BY: FPSE							
IF THIS DRAWING IS PRESENTED IN A FORMAT OTHER THAN 24" X 36", THE GRAPHIC SCALE SHOULD BE UTILIZED.							



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matthew@fourpointsse.com

SHEET #

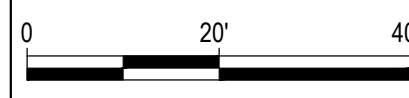
# C1



[illegible]

INDIAN MEADOWS FILING NO. 4  
LOTS 1 AND 2  
STEAMBOAT SPRINGS, CO 80487

HORIZONTAL SCALE



CONTOUR INTERVAL = 2 FT

DATE: 2/22/2023

JOB #: 1448-007

DRAWN BY: AP/WNM  
DESIGN BY: AP/WNM

REVIEW BY: FPSE

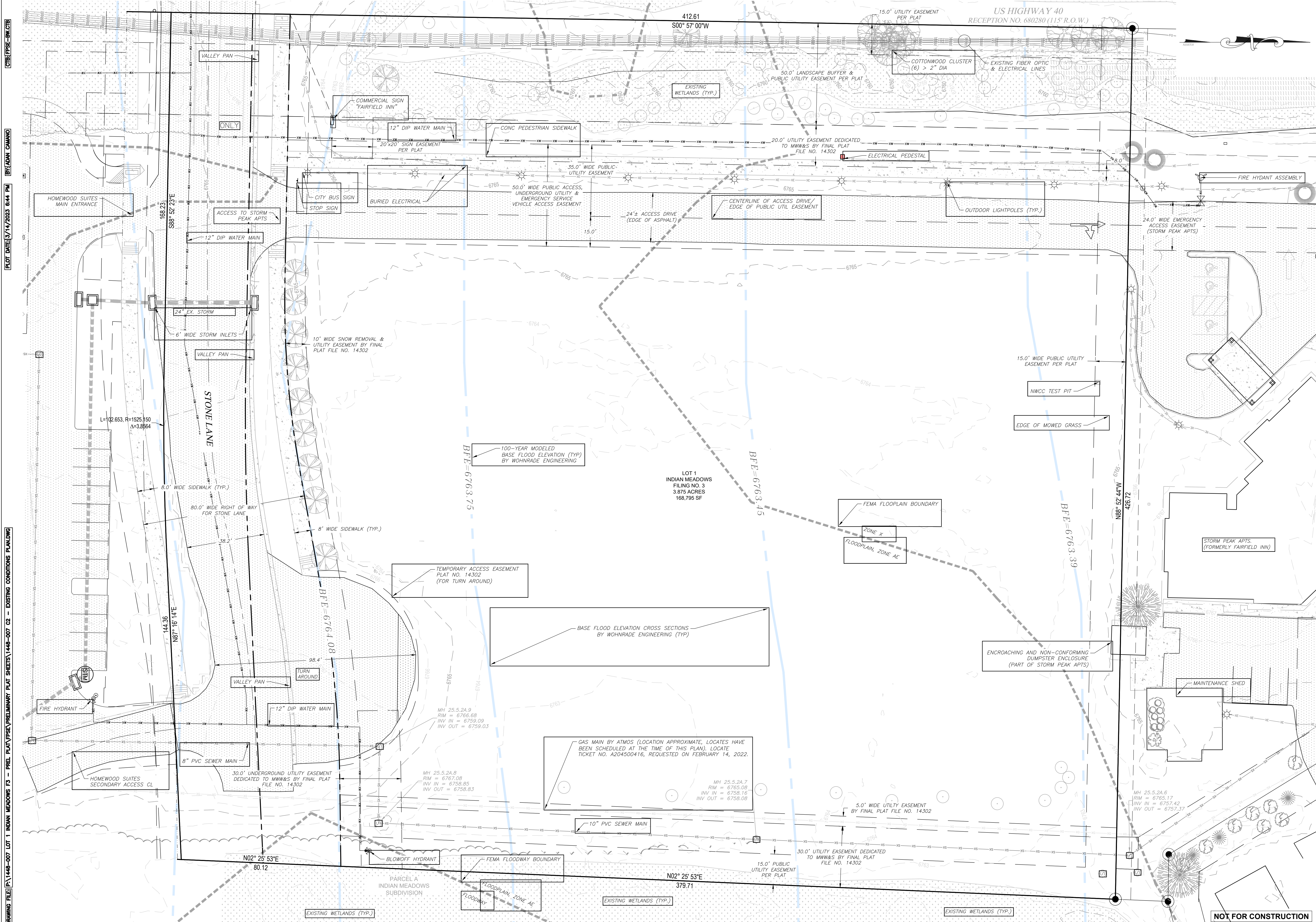
IF THIS DRAWING IS PRESENTED IN A  
FORMAT OTHER THAN 24" X 36", THE  
GRAPHIC SCALE SHOULD BE UTILIZED.

## EXISTING CONDITIONS PLAN

**DRAWING:**

SHEET NO.

## C2



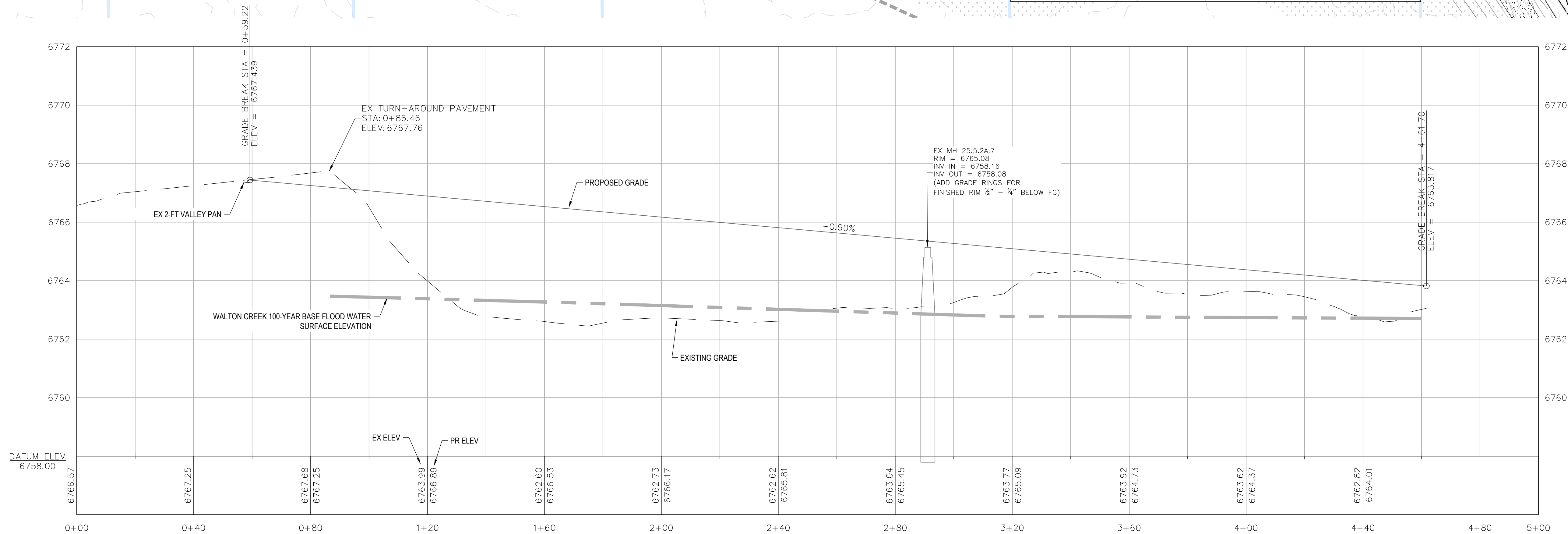
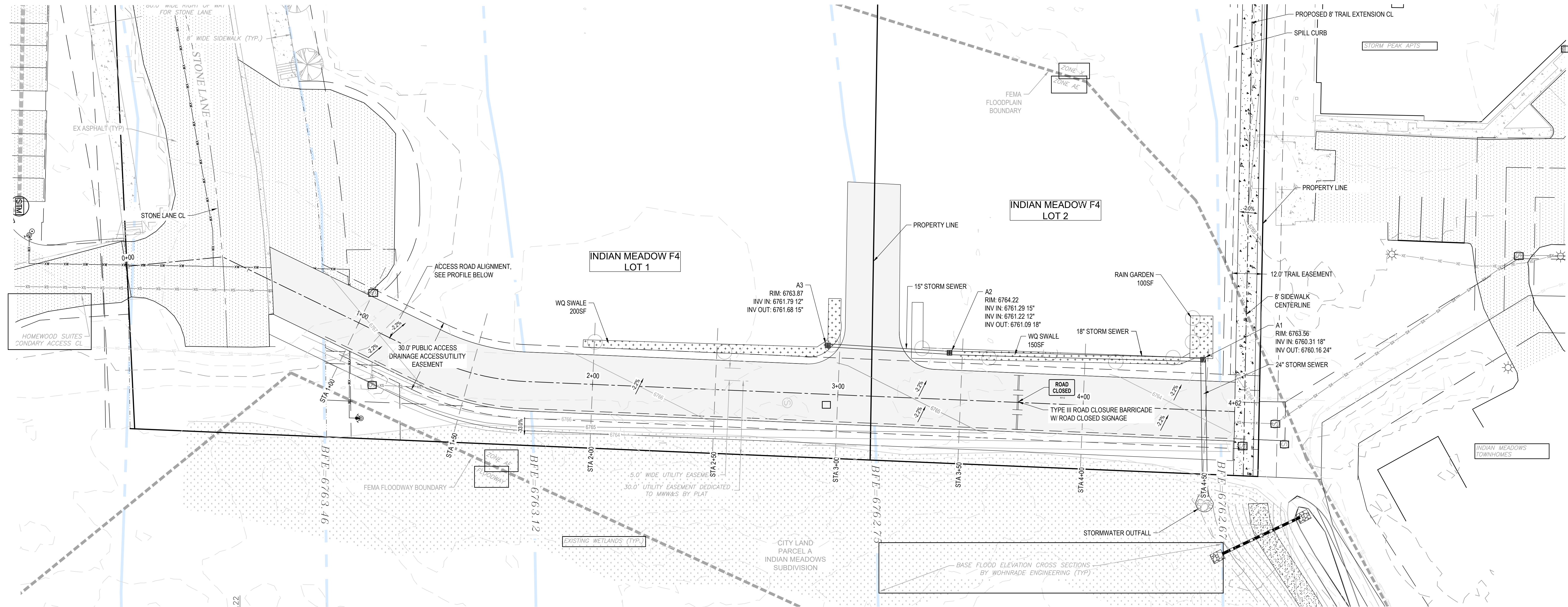




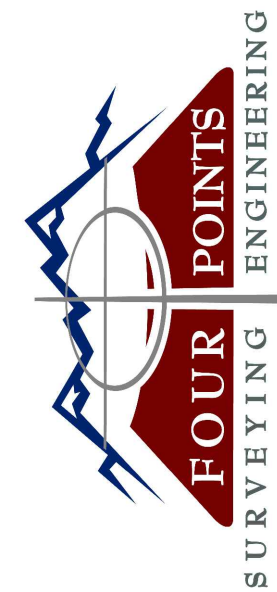








**NOT FOR CONSTRUCTION**

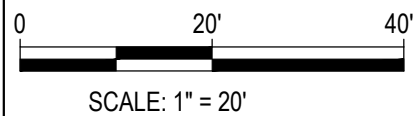


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Steamboat Springs, CO 80487  
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[www.fourpointssse.com](http://www.fourpointssse.com)**

[illegible]

INDIAN MEADOWS FILING NO. 4  
 LOTS 1 AND 2  
 STEAMBOAT SPRINGS, CO 80487

### HORIZONTAL SCALE



CONTOUR INTERVAL = 1 FT

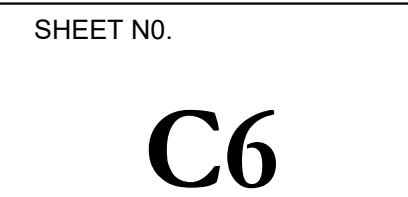
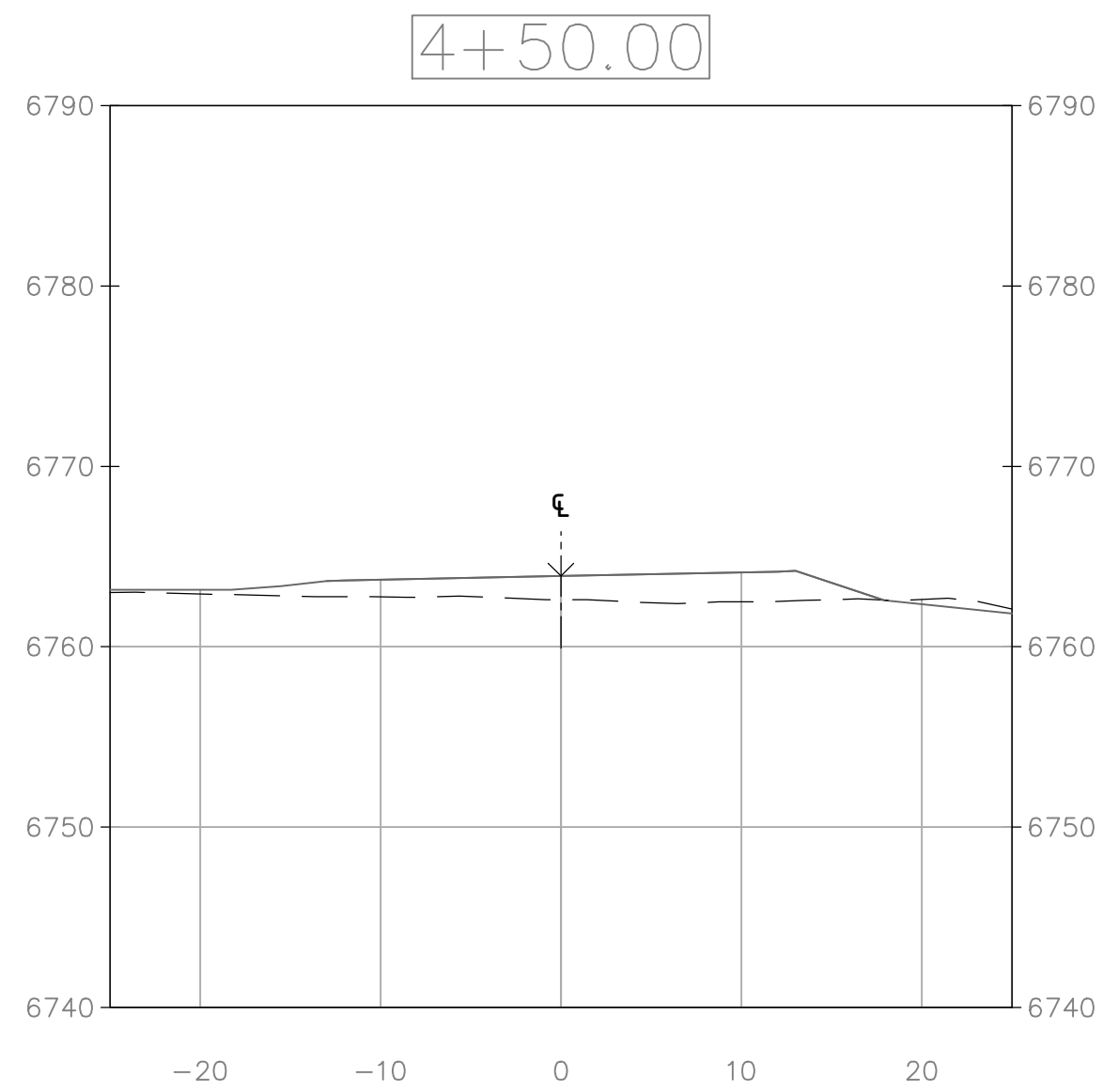
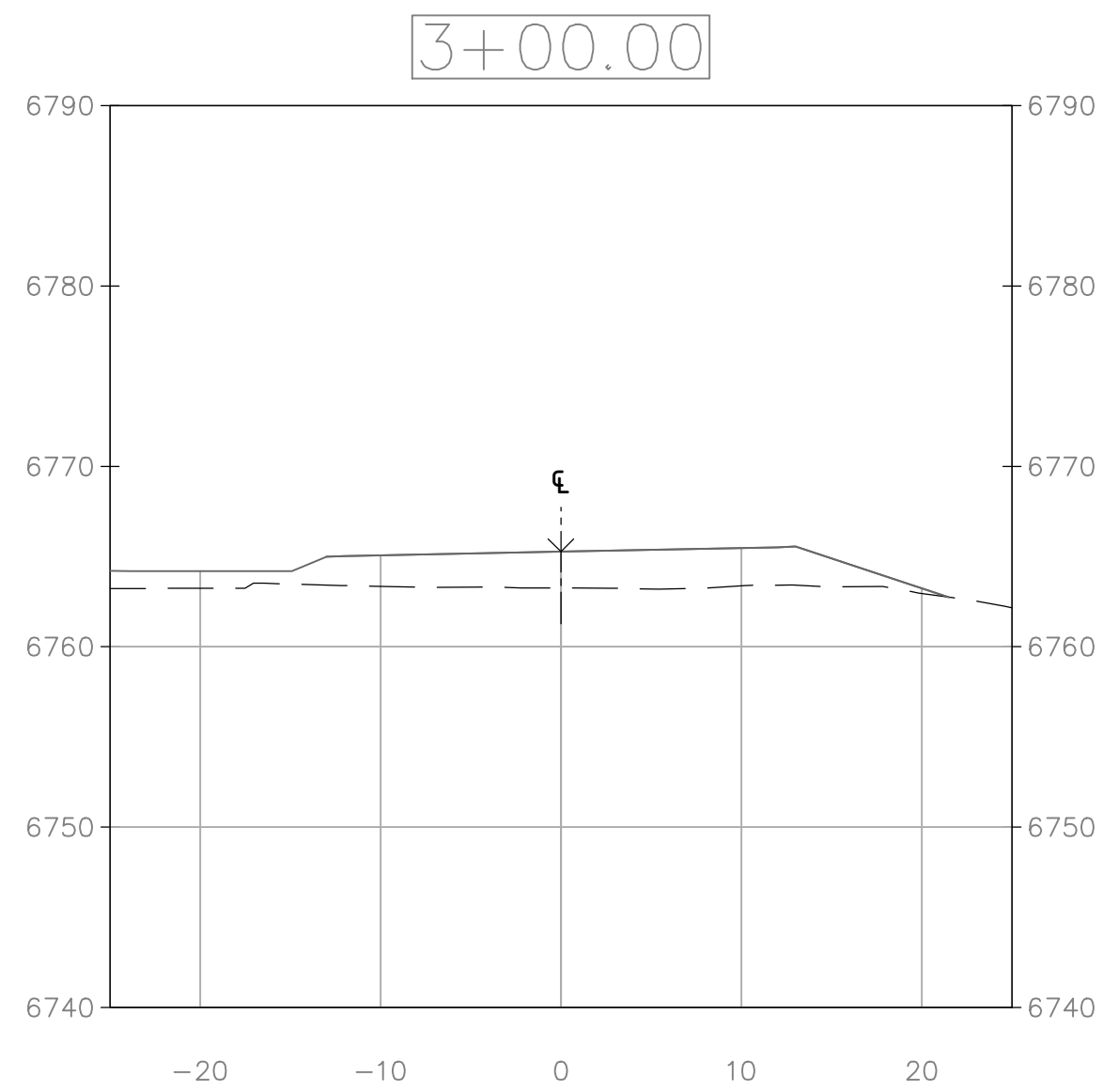
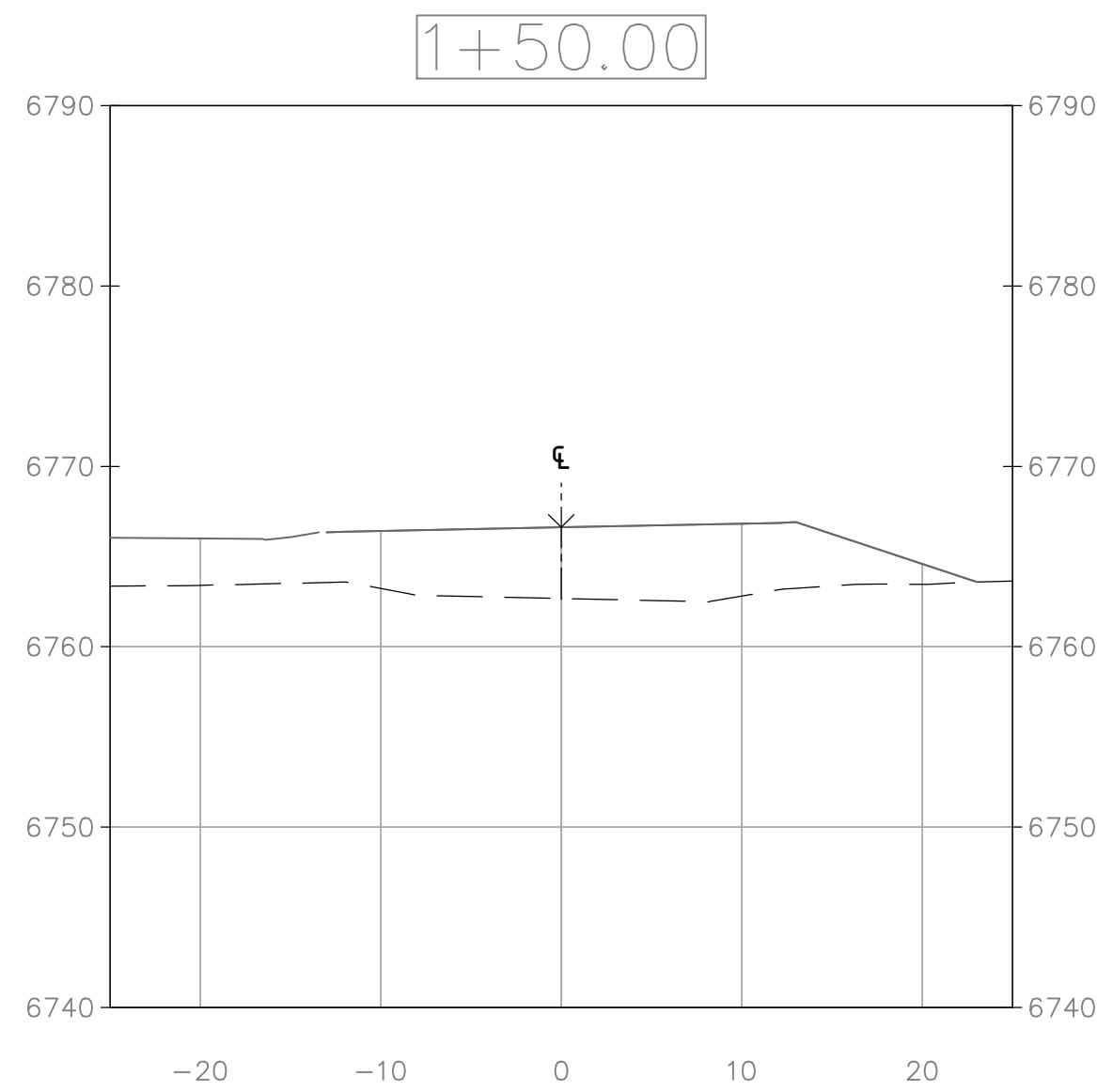
DATE: 5/25/2023
JOB #: 1448-007
DRAWN BY: AP/WNM
DESIGN BY: AP/WNM
REVIEW BY: FPSE

IF THIS DRAWING IS PRESENTED IN A  
FORMAT OTHER THAN 24" X 36", THE  
GRAPHIC SCALE SHOULD BE UTILIZED.

# GRADING AND DRAINAGE PLAN

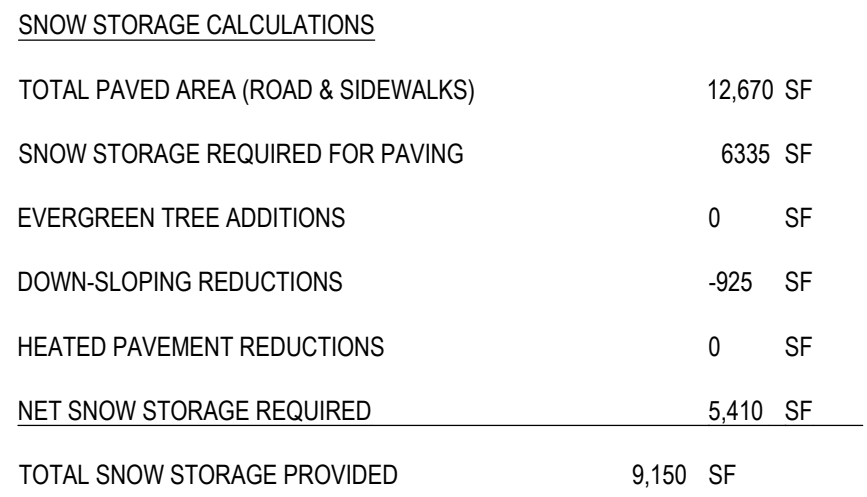
SHEET NO.

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**NOT FOR CONSTRUCTION**





SNOW STORAGE AREA

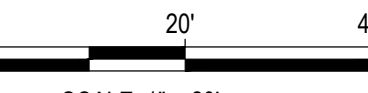
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## REVISIONS

No.	DATE
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2	10/10/2023
3	10/10/2023
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100	10/10/2023

INDIAN MEADOWS FILING NO. 4  
LOTS 1 AND 2  
STEAMBOAT SPRINGS, CO 80487

### HORIZONTAL SCALE



SCALE: 1" = 20'

CONTOUR INTERVAL = 1 FT

DATE: 5/25/2023

OB #: 1448-007

RAWN BY: AP/WNM

DESIGN BY: AP/WNM  
 REVIEW BY: ERSE

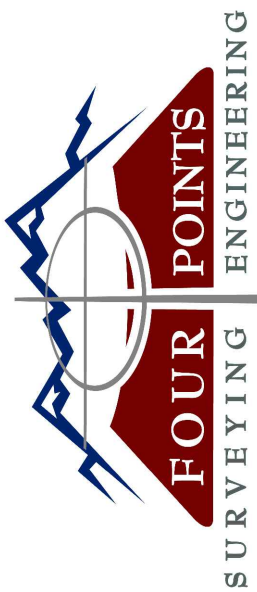
IF THIS DRAWING IS PRESENTED IN A  
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GRAPHIC SCALE SHOULD BE UTILIZED.

**DRAWING:**

SHEET NO.

# SNOW STORAGE PLAN

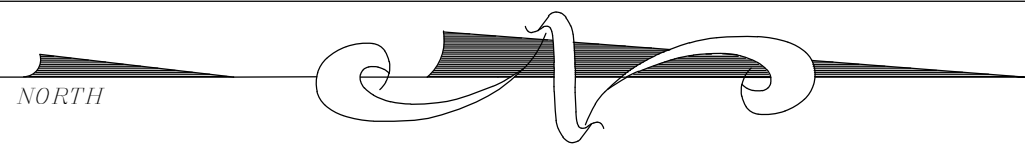
# C7



**440 S. Lincoln Ave, Suite 4A  
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PROPERTY LINE & EASEMENT LEGEND

- PROPERTY LINE
- PROPOSED EASEMENTS

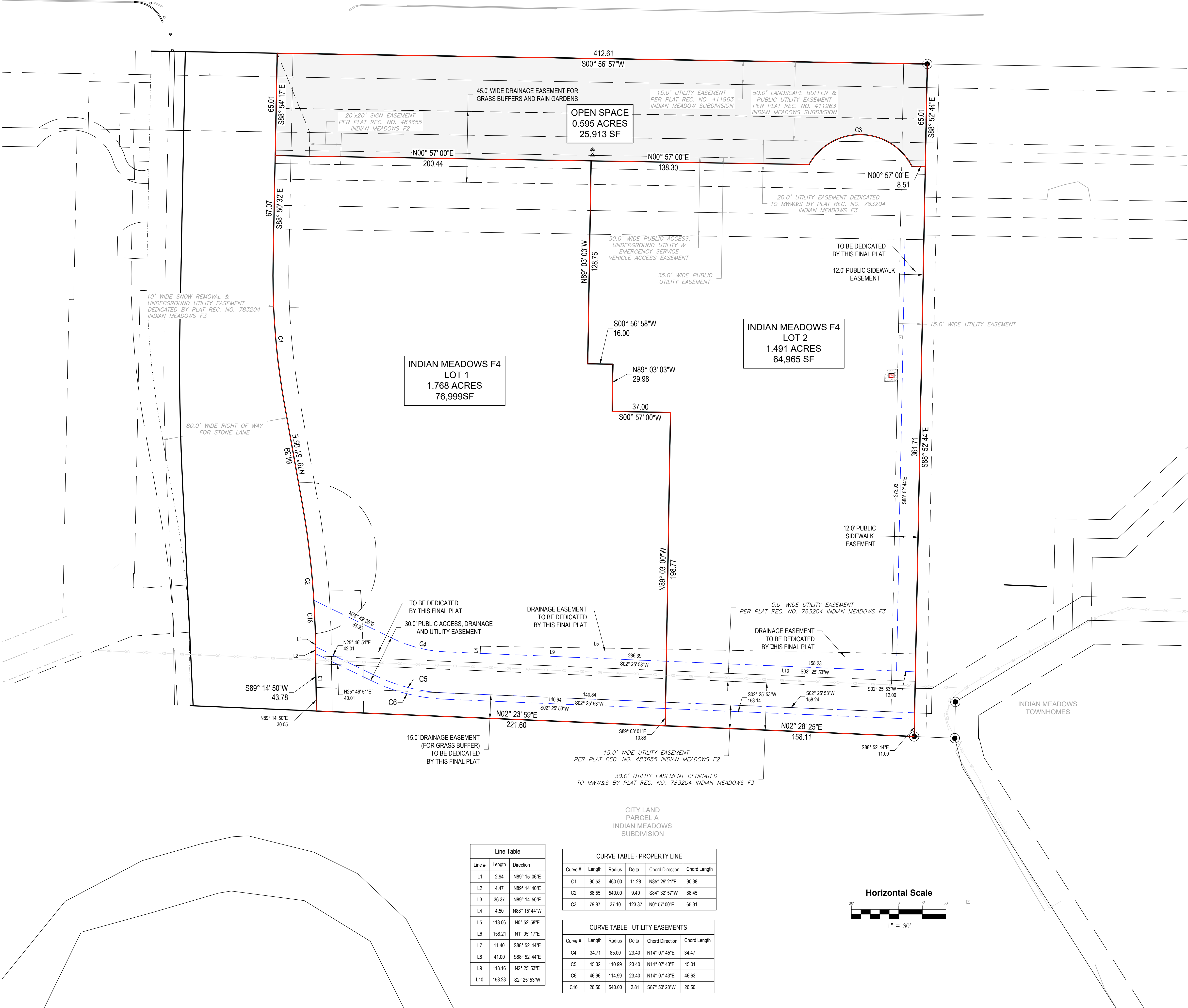
PROPOSED UTILITY LEGEND

- GAS SERVICE
- SEWER MAIN, 8"
- WATER MAIN
- BURIED ELECTRICAL
- TELECOMMUNICATIONS

NOT FOR CONSTRUCTION

LEGAL DESCRIPTION:

LOT 1 INDIAN MEADOWS, FILING 3, LOCATED IN THE SE 1/4 OF SECTION 28, TOWNSHIP 6 NORTH, RANGE 84 WEST OF THE 6TH P.M., CITY OF STEAMBOAT SPRINGS, COUNTY OF ROUTT, STATE OF COLORADO.



INDIAN MEADOWS F4  
LOT 1  
1.768 ACRES  
76,999SF

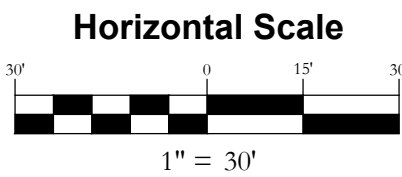
INDIAN MEADOWS F4  
LOT 2  
1.491 ACRES  
64,965 SF

OPEN SPACE  
0.595 ACRES  
25,913 SF

Line Table		
Line #	Length	Direction
L1	2.94	N89° 15' 06"E
L2	4.47	N89° 14' 40"E
L3	36.37	N89° 14' 50"E
L4	4.50	N88° 15' 44"W
L5	118.06	N0° 52' 58"E
L6	158.21	N11° 05' 17"E
L7	11.40	S88° 52' 44"E
L8	41.00	S88° 52' 44"E
L9	118.16	N2° 25' 53"E
L10	158.23	S2° 25' 53"W

CURVE TABLE - PROPERTY LINE					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	90.53	460.00	11.28	N85° 29' 21"E	90.38
C2	88.55	540.00	9.40	S84° 32' 57"W	88.45
C3	79.87	37.10	123.37	N0° 57' 00"E	65.31

CURVE TABLE - UTILITY EASEMENTS					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C4	34.71	85.00	23.40	N14° 07' 45"E	34.47
C5	45.32	110.99	23.40	N14° 07' 43"E	45.01
C6	46.96	114.99	23.40	N14° 07' 43"E	46.63
C16	26.50	540.00	2.81	S87° 50' 28"W	26.50



GRAY STONE, LLC

PRELIMINARY PLAT  
INDIAN MEADOWS  
FILING NO. 4

NO.	DATE	REVISIONS	INT

DATE: 5-15-2023 DESIGN: WNM  
JOB NO. 1448-005 DRAFTED:   
DWG. NAME: REVIEW:

Four Points  
Surveying and Engineering

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