

1901 CURVE PLAZA & 1950 CURVE COURT
STEAMBOAT SPRINGS, COLORADO 80487

OWNER
FV BASECAMP, LLC C/O MAY RIEGLER PROPERTIES
2201 WISCONSIN AVENUE NW SUITE 200
WASHINGTON, DC 20007
PO BOX 881330
STEAMBOAT SPRINGS, CO 80488



OWNER
MAY RIEGLER PROPERTIES
2201 WISCONSIN AVENUE NW SUITE 200
WASHINGTON, DC 20007

ARCHITECT

KASA
3318 N. COLUMBUS ST.
ARLINGTON, VA 22207

CIVIL ENGINEER

LANDMARK ENGINEERS & SURVEYORS
141 9TH STREET
PO BOX 774943
STEAMBOAT SPRINGS, CO 80477

PROJECT SUMMARY TABLE

TOTAL GROSS FLOOR AREA:	88,947 GSF
RES NET FLOOR AREA:	50,288 NSF
UNIT SIZE:	2,439 GSF AVERAGE
NUMBER OF UNITS:	28 (Townhomes)
ZONING:	CS
FRONTAGE:	CURVE CT: 190' / NEW ROAD: 576' / ELK RIVER RD: 165' / HWY 40: 616'

USE BREAKDOWN	DESCRIPTION	SQUARE FOOTAGE	# OF UNITS
PRINCIPAL USE	RESIDENTIAL	68,280 GSF	28
PRINCIPAL USE	COMMERCIAL	1,824 GSF	-
PRINCIPAL USE	OUTDOOR AMENITY	18,293 SF	-
ACCESSORY USE	STAGE PLATFORM	550 SF	-

STANDARDS	ZONE DISTRICT REQMTS	PROPOSED	VARIANCE? (Y/N)
LOT AREA	NO MAX/NO MIN	2.41 ACRES	N
LOT COVERAGE	NO MAX/NO MIN	26.4%	N
FLOOR AREA RATIO	NO MAX	0.67 FAR	N
OVERALL BLDG HT	63' MAX	46'-3"	N
AVERAGE PLATE HT	N/A		
FRONTAGE AREA HT	26' MIN	43'-8", 43'-2", 42'-7", 40'	N
FRONT SETBACK	5 FT MIN	COMPLIES	N
SIDE SETBACK	7.5 FT MIN	COMPLIES	N
UPPER STORY SETBACK	OVER 45' OR 3 STORIES	NONE	N
REAR SETBACK	7.5 FT MIN	COMPLIES	N
SECOND STORY INTENSITY	50% MIN	COMPLIES	
PARKING	87 SPACES MIN	89 SPACES	N
SNOW STORAGE	41,051 SF	41,531 SF	N

APPROVAL STAMPS:

[illegible]

4	5/27/2022	Development Plan Submittal #4
3	3/28/2022	Development Plan Submittal #3
2	11/09/2021	Development Plan Submittal #2
1	8/06/2021	Development Plan Submittal
No.	Date	Description

SUBMISSIONS & REVISIONS

OWNER

May Riegler Properties
2201 Wisconsin Avenue NW Suite 200
Washington, DC 20007
PO Box 881330
Steamboat Springs, CO 80488

ARCHITECT



KEVIN & ASAKO SPERRY ARCHITECTURE
3318 N. Columbus Street
Arlington, VA 22207
T.312.636.3248 / 312.636.4252
www.kasa-arch.com

STRUCTURAL ENGINEER

M.E.P. & F.P. ENGINEERS

CIVIL ENGINEER

LANDMARK CONSULTANTS, INC.
141 9th Street
PO Box 774943
Steamboat Springs, Colorado 80477
T.970.871.9494

LANDSCAPE ARCHITECT

GENERAL CONTRACTOR

PROJECT LOCATION

**Steamboat Basecamp
Residential & Outdoor
Amenity Space**
1901 Curve Plaza
Steamboat Springs, CO

DRAWING TITLE

COVER
SHEET

SEAL

DATE:

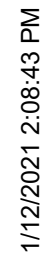
DRAWN BY

	CHECKED

PROJECT

DRAWING NO:

G 1.0



NOTE: THIS PLAN IS INTENDED TO CONVEY THE EXPECTED ON-SITE CONDITIONS & NECESSARY DEMOLITION AT THE BEGINNING OF CONSTRUCTION OF THE BASECAMP SQUARE PROJECT AS IF THE BASECAMP IMPROVEMENTS HAVE BEEN COMPLETED. ADDITIONALLY, THE PROPERTY LINES AND EASEMENTS PROPOSED FOR VACATION, RELOCATION OR MODIFICATION HAVE BEEN INDICATED HEREON.



2	5-27-22	DRT Comments
1	3-31-22	Addressed DRT Comments
No.	Date	Description

SUBMISSIONS & REVISIONS

OWNER

MAY REIGLER PROPERTIES

2201 WISCONSIN AVE NW
SUITE 200
WASHINGTON DC 20007

ARCHITECT



STRUCTURAL ENGINEER

**STEAMBOAT ENGINEERING
AND DESIGN, INC**

2740 ACRE LANE, STE. E
STEAMBOAT SPRINGS, CO 80487

M.E.P. & F.P. ENGINEERS

BOULDER ENGINEERING

1717 15TH STREET
BOULDER, CO 80302

CIVIL ENGINEER

LANDMARK ENGINEERING

141 9TH STREET
PO BOX 774943
STEAMBOAT SPRINGS, CO 80477

LANDSCAPE ARCHITECT

GENERAL CONTRACTOR

PROJECT LOCATION

STEAMBOAT BASECAMP

1901 CURVE PLAZA
STEAMBOAT SPRINGS, CO 80487

DRAWING TITLE

EXPECTED EXISTING
CONDITIONS & SITE
REMOVAL EXHIBIT

SEAL	DATE:
	3/31/22
	DRAWN BY:
	PN
	CHECKED BY:
	EG
	PROJECT NO:
	2387-004

DRAWING NO:

C.004

COPYRIGHT 2019

- NOTES:

1. ALL REFERENCES HEREON TO BOOKS, PAGES, FILES, RECEPTION NUMBERS AND FILE NUMBERS ARE TO PUBLIC DOCUMENTS FILED IN THE RECORDS OF ROUTT COUNTY, COLORADO.
 2. EASEMENTS AND PUBLIC DOCUMENTS SHOWN OR NOTED HEREON WERE EXAMINED AS TO LOCATION AND PURPOSE AND WERE NOT EXAMINED AS TO RESERVATIONS, RESTRICTIONS, CONDITIONS, OBLIGATIONS, TERMS, OR AS TO THE RIGHT TO GRANT THE SAME.
 3. UTILITIES ARE SHOWN PER APPARENT SURFACE EVIDENCE TOGETHER WITH RECORD INFORMATION. IF MORE ACCURATE LOCATIONS OF UNDERGROUND UTILITIES ARE REQUIRED, THE UTILITY WILL HAVE TO BE VERIFIED BY FIELD PHOTOLOGING. LANDMARK CONSULTANTS, INC. AND THE SURVEYOR OF RECORD SHALL NOT BE LIABLE FOR THE LOCATION OF OR THE FAILURE TO NOTE THE LOCATION OF NON-VISIBLE UTILITIES.
 4. ANY PARTY WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND MONUMENT OR ACCESSORY, COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-6-508, C.R.S.
 5. THIS SITE CONTAINS A CALCULATED AREA OF 4.31 ACRES.
 6. NO PORTION OF THE SUBJECT PROPERTY IS LOCATED WITHIN SPECIAL FLOOD HAZARD AREAS, AS DETERMINED BY GRAPHIC INTERPRETATION OF THE F.E.M.A FLOOD INSURANCE RATE MAP NUMBERS 08107C08760 & 08107C07132, WITH AN EFFECTIVE DATE OF FEBRUARY 4, 2005.
 7. THE MEASURED DISTANCES SHOWN HEREON ARE IN U.S. SURVEY FEET.
 8. CONTRACTOR IS ENCOURAGED TO PERFORM DEMOLITION IN A MANNER THAT MAXIMIZES SALVAGE, RE-USE, AND RECYCLING OF MATERIALS. THIS INCLUDES RECYCLING OF CONCRETE, BRICK, AND IRON. IN PARTICULAR, DEMOLISHED CONCRETE, ASPHALT, AND BASE COURSE SHOULD BE RECYCLED IF POSSIBLE.
 9. LIMITS OF STREET CUT ARE APPROXIMATE. FINAL LIMITS ARE TO BE DETERMINED IN THE FIELD. ALL REPAIRS TO BE IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS OR THE AHD (ROUTT COUNTY IF WITHIN CR 42 ROW) AND CDDT IF WITHIN THE US HWY 40 ROW).
 10. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND OBTAINING ALL NECESSARY PERMITS, REPLACEMENT, AND DISPOSAL OF ALL FACILITIES AND MATERIALS.
 11. DEMOLITION INDICATED HEREON IS FOR CONVENIENCE ONLY. ALL LIMITS OF DEMOLITION ARE TO BE DETERMINED BY CONTRACTOR AS NECESSARY TO PERFORM WORK IN A SAFE AND EFFICIENT MANNER.
 12. SOME OFF-SITE AND ADJACENT PROPERTY INFORMATION WAS DIGITIZED FROM AERIAL IMAGERY. DISCREPANCIES MAY EXIST.
- PROPERTY DESCRIPTION:**
13. LOTS 1 AND LOT 2, WORLDWEST SUBDIVISION, AS RECORDED AT FILE NO. 13807 IN THE CITY OF STEAMBOAT SPRINGS, ROUTT COUNTY, COLORADO.

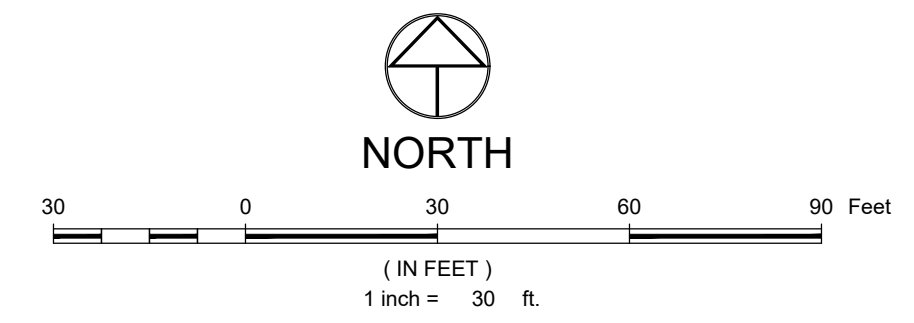
PROPERTY DESCRIPTION

CALL UTILITY NOTIFICATION CENTER OF
COLORADO



Know what's below.
Call before you dig.

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU
DIG, GRADE, OR EXCAVATE FOR THE MARKING OF
UNDERGROUND MEMBER UTILITIES.










LEGEND:

- PROPERTY BOUNDARY
- FINAL MAJOR CONTOUR
- FINAL MINOR CONTOUR
- PR CURB & GUTTER
- STACKED BOULDER SLOPE (BY OTHERS)
- PR GV, FH & CS
- PR SANITARY SEWER MH & C.O.
- EXISTING SANITARY SEWER MH
- PR STORM SEWER METAL F.E.S. WITH RIPRAP
- PR ADS STORM STRUCTURES
- PR CDOT STORM STRUCTURES
- SIGN
- CABLE PEDESTAL
- TELEPHONE PEDESTAL AND MANHOLE/VAULT
- ELECTRIC PED. JUNCTION BOX AND METER
- LIGHT POLE AND LIGHT POLE W/ MAST
- UTILITY POLE AND GUY WIRE

NOTES:

1. THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK. BEFORE COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL KNOWN UTILITIES AND BE RESPONSIBLE FOR FOR ALL UNKNOWN UNDERGROUND UTILITIES.
2. ALL PROJECT DATA IS ON VERTICAL DATUM, NGVD 88. SEE NOTES SHEET FOR BENCHMARK REFERENCES.
3. ELEVATIONS FOR IMPROVEMENTS THAT ARE CONTROLLED BY ADJACENT EXISTING FACILITIES (SUCH AS P.R. GUTTERS ALONG EXISTING ASPHALT) MAY REQUIRE ADJUSTMENT BASED ON ACTUAL CONDITIONS. COORDINATE WITH ENGINEER TO ENSURE A CONSISTENT SECTION WITH SMOOTH TRANSITIONS WHERE NECESSARY.
4. SEE SOILS REPORT FOR PAVEMENT, SUBGRADE AND MATERIAL PREPARATION, DESIGN AND RECOMMENDATIONS.
5. ALL CURB SPOTS SHOWN ARE FLOWLINE ELEVATIONS, UNLESS NOTED OTHERWISE. ALL OTHER SPOTS ARE TO USED GRADE ELEVATIONS.
6. LIMITS OF EXISTING FACILITIES OR MATERIALS SHOWN AS REMAINING MAY BE VERY SUBSTANTIALLY BASED ON ACTUAL CONDITIONS. CHANGING DAMAGE DURING CONSTRUCTION OR OTHER DISCOVERIES. LIMITS OF WORK SHOULD THEREFORE NOT BE CONSIDERED ABSOLUTE OR STATIC AND ADDITIONAL IMPROVEMENTS SHOULD BE ANTICIPATED.
7. ALL WATER AND SEWER CONSTRUCTION SHALL BE PER CITY OF STEAMBOAT SPRINGS UTILITIES STANDARD SPECIFICATIONS, LATEST EDITION.

- | | |
|---|---|
|  | VERTICAL CURB AND GUTTER (CDOT TYPE 2, SECTION IIB) |
|  | SPILL CURB (CDOT TYPE 2, SECTION IB) |
|  | SIDEWALK WITH ATTACHED CURB AND GUTTER |
|  | VALLEY PAN (CDOT TYPE 2 GUTTER) |
|  | SIDEWALK |
|  | CURB RAMP |
|  | PROPOSED OPEN SPACE |

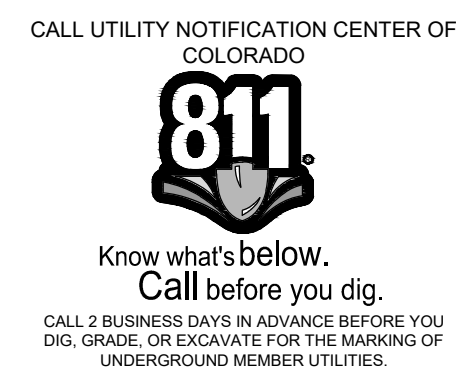
BLANKET EASEMENT NOTE:

A PRIVATE BLANKET EASEMENT OUTSIDE OF BUILDING ENVELOPES (RE: PRELIMINARY PLAT) FOR INSTALLATION AND MAINTENANCE OF UTILITIES, SNOW REMOVAL AND STORAGE, DRAINAGE, PEDESTRIAN, LANDSCAPING, AS WELL AS PARKING AND CROSS PARKING ASSIGNMENTS, WILL BE CREATED BY SEPARATE INSTRUMENT AND RECORDED WITH THE SUBDIVISION FINAL PLAT.

THIS PRIVATE BLANKET EASEMENT IS IN ADDITION TO THE PUBLIC ACCESS, DRAINAGE, AND WATER/SEWER EASEMENTS TO BE DEDICATED TO THE CITY OF STEAMBOAT SPRINGS.

OPEN SPACE CALCULATIONS			
	GROSS SITE AREA	OPEN SPACE REQUIRED (15% OF GROSS SITE AREA)	OPEN SPACE PROVIDED
PHASE 1*	111,893 SF	16,784 SF	20,860 SF
PHASE 2*	110,446 SF	16,567 SF	18,598 SF
TOTAL	222,339 SF	33,351 SF	39,458 SF

* PHASE 1 AND PHASE 2 GROSS SITE AREAS AND PROPOSED OPEN SPACE AREAS ARE CALCULATED BY DIVIDING THE PROJECT SITE INTO TWO HALVES ALONG THE CENTERLINE OF THE PROPOSED ACCESS ROAD



APPROVAL STAMPS:

[illegible]

SUBMISSIONS & REVISIONS

OWNER

MAY REIGLER PROPERTIES
2201 WISCONSIN AVE NW
SUITE 200
WASHINGTON DC 20007

ARCHITECT



KEVIN & ASAKO SPERRY ARCHITECTURE
3318 N. Columbus Street
Arlington, VA 22207
T.312.636.3248 / 312.636.4252
www.kasa-arch.com

STRUCTURAL ENGINEER

**STEAMBOAT ENGINEERING
AND DESIGN, INC**

2740 ACRE LANE, STE. E
STEAMBOAT SPRINGS, CO 80487

M.E.P. & F.P. ENGINEERS

BOLL DER ENGINEERING

1717 15TH STREET
BOULDER, CO 8030

CIVIL ENGINEER

LANDMARK ENGINEERING

141 9TH STREET
PO BOX 774943
STEAMBOAT SPRINGS, CO 80477

LANDSCAPE ARCHITECT

GENERAL CONTRACTOR

PROJECT LOCATION

STEAMBOAT
BASECAMP

1901 CURVE PLAZA
STEAMBOAT SPRINGS, CO 80487

DRAWING TITLE

CIVIL
SITE PLAN

SEAL

DATE:

3/31/22

DRAWN BY

PM

CHECKED BY:

EC

PROJECT NO:

2387-004

DRAWING NO:

C.100

