

CITY OF STEAMBOAT SPRINGS ENGINEERING STANDARDS

Standard Form No. 5 Drainage and Stormwater Treatment Scope Approval Form

Prior to starting a development plan and before the first drainage submittal, a Drainage and Stormwater Treatment Scope Approval Form must be submitted for review and signed by the City Engineer. A signed form shall also be included in every drainage submittal as Attachment A. This Scope Approval Form is for City requirements only. Values may be approximate. The City encourages supporting calculations and figures to be attached.

Project Information	
Project name:	Central Park Plaza
Project location:	1901 Pine Grove Road / Lot 3, Steamboat Village Commercial Center, Replat F
Developer name/contact info:	The Richardson Design Partnership, LLC jbyers@trdp.com (801) 355-6868
Drainage engineer name/contact info:	Landmark Consultants, Inc. patrickn@landmark-co.com (760) 889-7925
Application Type:	Development Plan
Proposed Land Use:	Multifamily & Hotel
Project Site Parameters	
Total parcel area (acres):	4.20 acres
Disturbed area (acres):	4.20 acres
Existing impervious area (acres, if applicable):	0.23 acres
Proposed new impervious area (acres):	2.42 acres
Proposed total impervious area (acres):	2.65 acres
Proposed number of project outfalls:	2
Number of additional parking spaces:	~240
Description and site percentage of existing cover/land use(s):	1.23 acres - pavements 0.13 acres - buildings 3.97 acres - open space, undeveloped areas
Description and site percentage of proposed cover/land use(s):	0.98 acres - roof area (23%) 1.67 acres - pavements (40%) 1.55 acres - open space (37%)
Expected maximum proposed conveyance gradient (%):	2.5%
Description of size (acres) and cover/land use(s) of offsite areas draining to the site	Portions of Pine Grove Road and the undeveloped hillside to the northeast drain to the site via an existing 18" CMP culvert. Portions of the adjacent development to the north (Alpine Bank/State Farm) drain to the site via sheet flow. Portions of Pine Grove Road and Snapdragon Way drain to the site via sheet flow.

CITY OF STEAMBOAT SPRINGS ENGINEERING STANDARDS

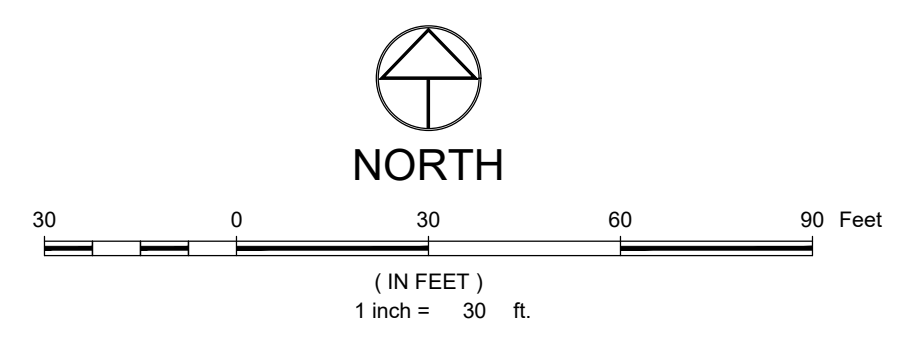
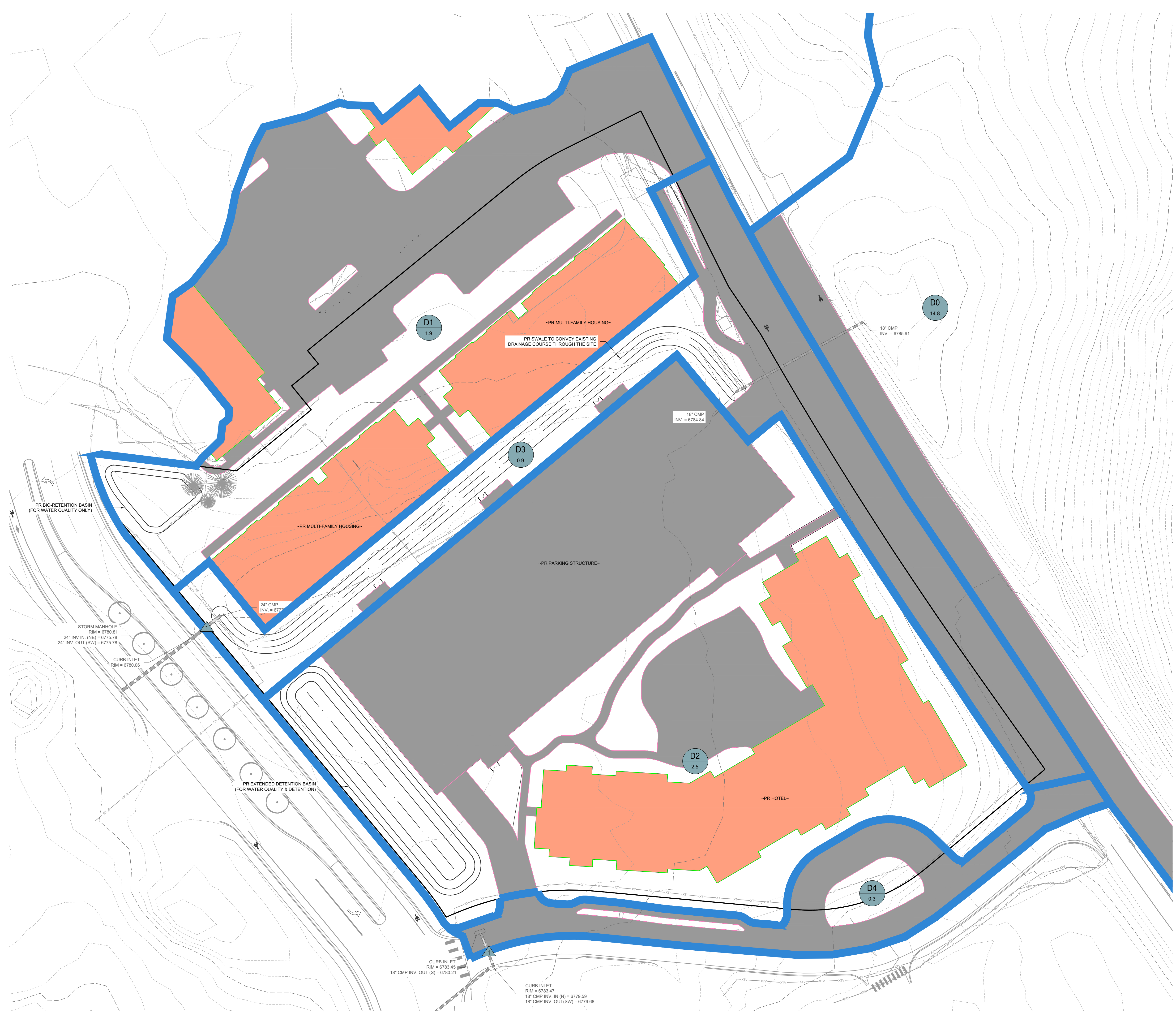
Project Permanent Stormwater Treatment	
Justification of choice of proposed design standard, including how the site meets the constrained redevelopment standard, infiltration test results, etc.:	Proposed improvements require detention to maintain historic discharge rates and water quality treatment due to the increased impervious surface area.
Concept-level permanent stormwater treatment facility design details (type, location of facilities, proprietary structure selection, treatment train concept, etc.):	A bio-retention basin and an extended detention basin will treat the WQCV and also provide adequate detention for the 5-year and 100-year storms.
Proposed LID measures to reduce runoff volume:	Grassed Swale (GS) & Bio-retention Basin (RG)
Will treatment evaluation include off-site, pass through flow (circle):	YES <input checked="" type="radio"/> NO

Approvals

Patrick Nagle, Landmark Consultants, Inc.	3/3/2023	(760) 889-7925
Prepared By: (Insert drainage engineer name & firm)	Date	Phone number

Approved By:

Printed Name: City Engineer	Date
--------------------------------	------



LEGEND:

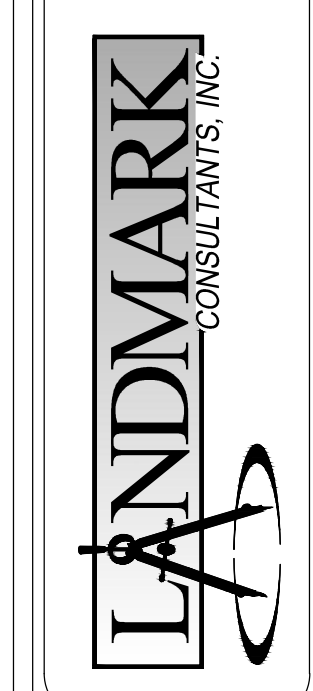
PROPERTY BOUNDARY	
ADJACENT PROPERTY BOUNDARY	
EASEMENT	
SECTION LINE	
CENTERLINE	
FOUND MONUMENT	
FOUND SECTION CORNER	
BUILDING	
ROOF LINE/OVERHANG	
DECK	
WALL	
FENCE	
EXISTING MAJOR CONTOUR	
EXISTING MINOR CONTOUR	
ASPHALT	
CONCRETE	
GRAVEL	
SIGN	
EXISTING SANITARY SEWER W/ MH	
EXISTING WATER	
GAS	
GAS METER AND MANHOLE/VAULT	
CABLE	
CABLE PEDESTAL	
FIBER OPTIC	
TELEPHONE	
TELEPHONE PEDESTAL AND MANHOLE/VAULT	
ELECTRIC	
ELECTRIC PED, JUNCTION BOX AND METER	
LIGHT POLE AND LIGHT POLE W/ MAST	
OVERHEAD ELECTRIC	
UTILITY POLE AND GUY WIRE	
DITCH/SWALE	
EXISTING STORM SEWER W/ FES	
OVERLAND AND CHANNEL FLOW ARROWS	
CONIFEROUS AND DECIDUOUS TREE	

NOTES:

- ALL REFERENCES HEREON TO BOOKS, PAGES, FILES, RECEPTION NUMBERS AND FILE NUMBERS ARE TO PUBLIC DOCUMENTS FILED IN THE RECORDS OF ROUTT COUNTY, COLORADO.
- EASEMENTS AND PUBLIC DOCUMENTS SHOWN OR NOTED HEREON WERE EXAMINED AS TO LOCATION AND PURPOSE AND WERE NOT EXAMINED AS TO RESERVATIONS, RESTRICTIONS, CONDITIONS, OBLIGATIONS, TERMS, OR AS TO THE RIGHT TO GRANT THE SAME.
- UTILITIES ARE SHOWN PER APPARENT SURFACE EVIDENCE TOGETHER WITH RECORD INFORMATION. IF MORE ACCURATE LOCATIONS OF UNDERGROUND UTILITIES ARE REQUIRED, THE UTILITY WILL HAVE TO BE VERIFIED BY FIELD POT-HOLING. LANDMARK CONSULTANTS, INC. AND THE SURVEYOR OF RECORD SHALL NOT BE LIABLE FOR THE LOCATION OF OR THE FAILURE TO NOTE THE LOCATION OF NON-VISIBLE UTILITIES.

- PROPOSED PAVEMENTS
- PROPOSED BUILDINGS

CIVIL ENGINEERS | SURVEYORS
 141 9th Street - P.O. Box 774843
 Steamboat Springs, Colorado 80477
 (970) 871-9494
 www.LANDMARK-CO.com



PLEASE PRINT THE NAME of the instrument or service provided by Landmark Consultants, Inc. and are not to be used for any other construction or contracting project unless signed and sealed by a professional engineer or surveyor employed by Landmark Consultants, Inc.

NO.	DATE:	BY:	DESCRIPTION:

PROJECT:	2604-001
DATE:	3/15/2023
CONTACT:	GP
EMAIL:	Erag@landmark-co.com

Central Park Plaza
 Proposed Drainage Conditions

SHEET
 D.002

DRAWING FILENAME: P:\2023\02\Engineering\2604-001\Drawings\LANDMARK\DWG\DRN.DWG DATE: Mar 15, 2023 11:27 AM CAD OPERATOR: jwatts
 LIST OF USERS: jwatts, jacob@landmark-co.com, jacob@landmark-co.com, jacob@landmark-co.com, jacob@landmark-co.com