

STEAMBOAT BASECAMP PARTIAL RENOVATION AND TENANT FIT-OUT

1901 CURVE PLAZA STEAMBOAT SPRINGS, CO 80487

ISSUED FOR PERMIT 12/21/2022

OWNER:

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INTERIOR DESIGNER:

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2 EXISTING BUILDING PHOTOGRAPHS G0001 N.T.S.



1 SITE LOCATION

G0001 N.T.S.

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4 11.16.22 Reissued for Permit 3 12.20.21 Permit Comment Response #1

2 11.15.21 Issued for Permit

1 07.23.21 Design Development

No. Date Description SUBMISSIONS & REVISIONS

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ABBREVIATIONS HCP HANDICAP(PED) ANCHOR BOLT ACM ALUMINUM COMPOSITE METAL HARDWARE ACS FLR ACCESS FLOOR **HOLLOW METAL** ACS PNL PNL ACCESS PANEL HORIZ HORIZONTAL ACT ACOUSTICAL CEILING TILE HPT HIGH POINT AD AREA DRAIN HOUR ADA HT AMERICANS WITH DISABILITIES ACT HEIGHT ADH HVAC ADHESIVE **HEATING, VENTILATION & AIR** ADJ **ADJUSTABLE** CONDITIONING AFF ABOVE FINISH FLOOR INSIDE DIAMETER AHU AIR HANDLING UNIT INCH ALT ALTERNATE INCL ALUMINUM INCLUDE(D) / (ING) ALUM INSUL INSULATION / INSULATE APC ACOUSTICAL PANEL CEILING INT INTERIOR APC ARCHITECTURAL PRECAST CONCRETE J.C. JANITOR CLOSET **BOTTOM OF** JOINT BD BOARD KIT BHMP BUILDING HEIGHT MEASURING KITCHEN POINT KOP KNOCK OUT PANEL BUILDING BM **BENCH MARK** LABORATORY BOT BOTTOM LAV LAVATORY BASEMENT BSMT **POUNDS** LB(S) LINEAL FEET CATCH BASIN CB LIVE LOAD CG CORNER GUARD LPT LOW POINT CI CAST IRON LT WT LIGHT WEIGHT CJ CONTROL JOINT LTG LIGHTING CL CENTER LINE CLG CEILING MACH MACHINE CLO CLOSET MATL MATERIAI CLR CLEAR MAXIMUM CMT MECH COLOR TO MATCH MECHANICAL CMU CONCRETE MASONRY UNIT MED MEDIUM CO **CLEAN OUT** MEMB **MEMBRANE** COL COLUMN MEZZ MEZZANINE CONC CONCRETE MFR MANUFACTURER CONST CONSTRUCTION MH MAN HOLE CONT CONTINUE MIN MINIMUM CORR CORRIDOR MISC MISCELLANEOUS CPT CARPET MLDG MOULDING CSK COUNTERSUNK MASONRY OPENING MO CT CERAMIC TILE MTD MOUNTED METAL DEMO DEMOLITION MEMBRANE WATERPROOFING DEPT DEPARTMENT DET DETAIL NORTH DF DRINKING FOUNTAIN NOISE CRITERIA DIA DIAMETER NIC NOT IN CONTRACT DIAG DIAGONAL NOM NOMINAL DIM DIMENSION NOT TO SCALE DL DEAD LOAD DMPF DAMP PROOF(ING) ON CENTER DN DOWN OD OUTSIDE DIAMETER DR DOOR OFD OVERFLOW DRAIN DRN DRAIN OVERHEAD ОН DOWNSPOUT DS OPNG OPENING DWG/ DRAWING / DRAWINGS OPPOSITE DWGS PRECAST CONCRETE EAST PCMU PREFACED CONCRETE MASONRY EACH EXPOSED CONSTRUCTION PORTLAND CEMENT PLASTER EIFS **EXTERIOR INSULATION FINISH** PERP PERPENDICULAR SYSTEM PLATE **EXPANSION JOINT** PLASTIC LAMINATE PLAM **ELEVATION** PLAS PLASTIC ELECT ELECTRIC PLBG PLUM(ING) / (ER) **ELEVATOR** ELEV PLYWD PLYWOOD **EMER EMERGENCY** PROJECT NORTH EMER SHR EMERGENCY SHOWER PNL PANEL **ENCL ENCLOSURE** PAIR EPDM EXPANDED POLYETHELENE DIENE PREFABRICATED PREFAB MONOMER PROP **PROPERTY** EQ EQUAL PSF POUND PER SQUARE FOOT **EQUIP EQUIPMENT** PSI POUND PER SQUARE INCH ETC ET CETERA PT PAINT ELECTRIC WATER COOLER PTD PAINTED **EWS EYE WASH STATION** EXH **EXHAUST** QUARRY TILE EXIST / EX EXISTING **EXPANSION JOINT** RISER / RADIUS EXT **EXTERIOR** RAD **RADIUS** RB RESILIENT BASE FIRE ALARM REFLECTED CEILING PLAN FAR FLOOR AREA RATIO RD ROOF DRAIN FD FLOOR DRAIN RECEIVING FOUNDATION REFRIDGERATOR, REFERENCE FΕ FIRE EXTINGUISHER REINF REINFORCEMENT FEC FIRE EXTINGUISHER CABINET REQ/REQS REQUIREMENT/ REQUIREMENTS FΗ FIRE HYDRANT REQD / REQUIRED FHC FIRE HOSE CABINET REQ'D **FHCE** FIRE HOSE CABINET & REV REVISION, REVISED EXTINGUISHER RF RESILIENT FLOORING FIXTURE RFG ROOFING FINISH RMROOM FIN FLR EL FINISH FLOOR ELEVATION RO ROUGH OPENING FLR **FLOOR** RIGHT OF WAY FLUORESCENT FLUOR RTU **ROOF TOP UNIT** FO FACE OF FRG FIBERGLASS REINFORCED GYPSUM FT FOOT OR FEET SOUND ATTENUATION BATT FTG FOOTING (BLANKET) FURN FURNISH(ED (FURNITURE) SANITARY SOLID CORE GAUGE SCHEDULE SCHED GALV GALVANIZED SECT SECTION GLASS SF SQUARE FOOT/FEET GYP **GYPSUM** SHT SHEET SIM SIMILAR HIGH SQ SQUARE HB HOSE BIBB STAINLESS STEEL HC HOLLOW CORE SOUND TRANSMISSION CLASS

GENERAL NOTES

STD

STL

STOR

SUSP

SYMM

TBD

TEL

TEMP

TER

THK

UNASSIG

UR

VERT

VEST

WBL

WC

WD

WWF

WWM

STRUCT

STANDARD

STORAGE

STRUCTURAL

SUSPENDED

SYMMETRICAL

TELEPHONE

TEMPORARY

TERRAZZO

TRUE NORTH

TUBE STEEL

TELEVISION

UNASSIGNED

UNO / UON UNLESS NOTED OTHERWISE

TYPICAL

URINAL

VARIES

VERTICAL

VESTIBULE

VERIFY IN FIELD

WEST, WIDTH, WIDE

WOOD BLOCKING

WOOD BLOCKING

WELDED WIRE FABRIC

WELDED WIRE MESH

WATER HEATER

WORK POINT

WATER CLOSET

TO BE DETERMINED

THICK, THICKNESS

UNDERWRITER'S LABORATORIES

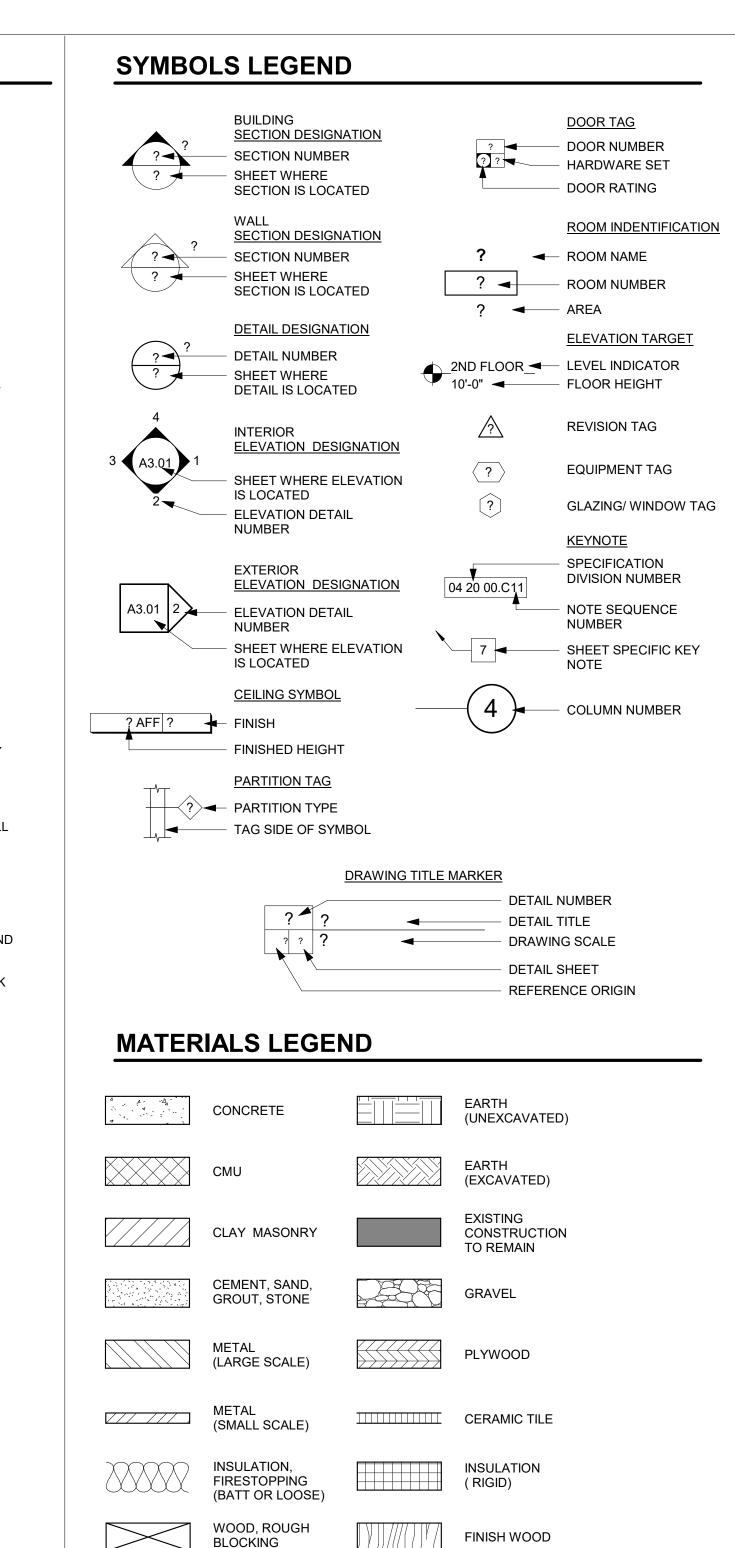
STEEL

TREAD

TOP OF

- ALL WORK IS TO BE PERFORMED IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF ALL GOVERNING CODES AND ORDINANCES, INCLUDING BUT NOT LIMITED TO INTERNATIONAL BUILDING CODE 2018, ROUTT COUNTY, CO, ICC/ANSI 117.1 - 2003, OSHA REGULATIONS, AND ALL AGENCIES HAVING JURISDICTION
- CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY IN THE FIELD ALL CONDITIONS AFFECTING THEIR WORK. ANY CONDITIONS FOUND THAT ALTER OR OTHERWISE CHANGE THE REQUIREMENTS FOR THE WORK SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY.
- 3 IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALLOWABLE CONSTRUCTION LOADS AND TO PROVIDE PROPER DESIGN AND CONSTRUCTION OF FORMWORK, STAGINGS, BRACING, SHEETING AND SHORING, RESHORING, ETC. THIS INCLUDES THAT REQUIRED FOR THE CONTRACTOR VEHICLES, FORKLIFTS, MOBILE CRANES, MATERIALS STORAGE, ETC. MEANS AND METHODS OF CONSTRUCTION IS SOLELY THE RESPONSIBILITY OF THE GENERAL
- IMPLEMENTING JOB SITE SAFETY AND CONSTRUCTION PROCEDURES ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- ALL WORK OF THE PROJECT SHALL BE PERFORMED CAREFULLY AND SKILLFULLY BY WORKERS ADEPT IN THEIR TRADES.
- CARE SHALL BE TAKEN TO AVOID DISTURBANCE OF ADJACENT FUNCTIONS/BUILDINGS. ALL WORK, DELIVERIES AND OTHER CONSTRUCTION RELATED ACTIVITIES SHALL ADHERE IN STRICT ACCORDANCE TO THE DISTRICT OF COLUMBIA RESTRICTIONS AND CONDITIONS. GENERAL CONTRACTOR IS TO HAVE A COPY OF SAID REQUIREMENTS AND CONDITIONS AVAILABLE AT THE JOB SITE AT ALL TIMES FOR REVIEW.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE THOROUGH COORDINATION OF ALL TRADES. NO CLAIMS FOR ADDITIONAL WORK WILL BE ACCEPTED FOR WORK RELATED TO SUCH COORDINATION.
- ALL CONTRACTORS SHALL EXAMINE THE CONTRACT DOCUMENTS, AND REFERENCED, NON-CONTRACTUAL DOCUMENTS, AND SHALL BE INFORMED OF THE ENTIRE CONTENTS THEREOF PRIOR TO SUBMISSION OF PROPOSAL. ANY FRRORS OR AMBIGUITIES NOTED DURING SAID EXAMINATION SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT. PRIOR TO THE SUBMISSION OF A BID. THE ARCHITECT WILL ISSUE AN ADDENDUM OF INTERPRETATION OF THE CITED ERROR OR AMBIGUITY. NO SUBSEQUENT CLAIM FOR EXTRA WORK WILL BE ALLOWED ON ACCOUNT OF CLAIMED MISUNDERSTANDING OF THE MEANING OR INTENT OF THE CONTRACT DOCUMENTS OF ANY PORTION THEREOF IF THE ITEM OCCASIONING THE CLAIM APPEARED IN, OR WAS INFERABLE FROM, SAID CONTRACT DOCUMENTS AS FURNISHED FOR BIDDING.
- ALL CONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF WORK AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES IN PLANS AND SPECIFICATIONS BEFORE PROCEEDING.
- 10 FIRE STOPS, DRAFT STOPS AND ALL FIRE SAFING IS TO BE MAINTAINED AND/OR PROVIDED AS REQUIRED BY THE CODE: a) FIRE ALARM, SPRINKLER AND STANDPIPE SYSTEMS SHALL BE MAINTAINED IN AN OPERABLE CONDITION AT ALL TIMES AND WILL BE REQUIRED TO BE ADAPTED FOR SPACES WITH NO CEILINGS FOLLOWING REMOVAL (UP-TURNED HEADS TO UNDERSIDE OF DECK), WHEN REQUIRED BY CODE, AND ALL APPLICABLE LAWS, ORDINANCES, AND REGULATIONS; b) FIRE-RESISTANCE-RATED PARTITIONS, FIRE BARRIERS, AND FIRE WALLS SEPARATING OCCUPIED OR VACANT TENANT SPACES FROM THE REMAINDER OF THE BUILDING SHALL BE MAINTAINED. OPENINGS, JOINTS, AND PENETRATIONS IN FIRE-RESISTANCE-RATED ASSEMBLIES SHALL BE PROTECTED IN ACCORDANCE WITH CHAPTER 7 [OF THE INTERNATIONAL BUILDING CODE]; AND c) PERSONS, IN CHARGE OR CONTROL OF, A BUILDING OR PORTION THEREOF, SHALL REMOVE HERE FROM ALL ACCUMULATIONS OF COMBUSTIBLE MATERIALS FLAMMABLE OR COMBUSTIBLE WASTE OR RUBBISH AND SHALL SECURELY LOCK OR OTHERWISE SECURE DOORS, WINDOWS AND OTHER OPENINGS TO PREVENT ENTRY BY UNAUTHORIZED PERSONS. THE PREMISE SHALL BE MAINTAINED CLEAR OF WASTE/HAZARDOUS MATERIALS.
- 11 ALL DIMENSIONS, NOTES AND DETAILS SHOWING A PORTION OF A DRAWING SHALL APPLY TYPICALLY TO ALL OPPOSITE HAND AND/OR SIMILAR CONDITIONS. DO NOT SCALE DRAWINGS & VERIFY ALL LISTED DIMENSIONS IN FIELD AS REQUIRED FOR THE SCOPE OF THE WORK.
- 12 THE FOLLOWING SHALL BE MAINTAINED AND/OR PROVIDED IN COMPLIANCE WITH CURRENT OSHA STANDARDS IN ADDITION TO ALL OTHER GOVERNING CODES AND ORDINANCES: a)ADEQUATE EXITS AND UNOBSTRUCTED ACCESS TO SUCH SHALL BE MAINTAINED: b) VISIBLE EXIT SIGNAGE SHALL BE PROVIDED OR MAINTAINED: c) FIRE PROTECTION PROGRAM AS WELL AS EQUIPMENT SHALL BE PROVIDED BY CONTRACTOR; d) ACCESS TO A SUFFICIENT WATER SUPPLY SHALL BE AVAILABLE UPON ACCUMULATION OF COMBUSTIBLE MATERIAL: e) PROVIDE FIRE EXTINGUISHING DEVICES AND EQUIPMENT OF PROPER RATING, STANDARD, AND LOCATION; AND f) SERVICE OF FIRE RESPONSE SYSTEMS SHALL BE MAINTAINED AND CHECKED DAILY TO INSURE THAT PROTECTION IS IN SERVICE.
- 13 IN BUILDINGS OF TYPES I-A, I-B, I-C AND II CONSTRUCTION, PARTITION FRAMING SHALL BE OF EITHER OR BOTH OF THE FOLLOWING MATERIALS: (1) NONCOMBUSTIBLE MATERIALS; (2) FIRE-RETARDANT TREATED WOOD WITHIN ASSEMBLIES OF ONE-HOUR MAXIMUM RATING.
- 15 ALL ELECTRICAL RISERS AND SHAFTS SERVING ELEVATORS, EMERGENCY & EXIT LIGHTS, VOICE COMMUNICATION SYSTEMS, AND SMOKE CONTROL FANS ARE TO BE ENCLOSED WITH TWO HOUR CONSTRUCTION AND ARE TO INCLUDE CONTINUOUS THREE INCH HIGH WATER STOPS ON ALL SIDES AS APPROPRIATE.
- 16 ALL GUARDRAILS AND HANDRAILS SHALL MEET IBC 13-52-100: STAIRWAY, PORCH, DECK AND BALCONY RAILING, BOTH EXTERIOR AND INTERIOR, SHALL BE DESIGNED TO RESIST A SIMULTANEOUS VERTICAL AND HORIZONTAL THRUST OF 50 LBS./FT (POUNDS-FORCE, PER LINEAR FOOT) APPLIED AT THE TOP OF THE RAILING OR A CONCENTRATED LOAD OF 200 LBS./FT IN ANY DIRECTION, WHICHEVER PRODUCES THE GREATEST STRESS. FOR ONE- AND TWO-FAMILY DWELLING UNITS, A THRUST OF 20 LBS./FT MAY BE USED OF 50 LBS./FT FOR
- INTERIOR STAIR BALUSTERS OR WALL-MOUNTED INTERIOR HANDRAILS ONLY. 17 PROVIDE FIRE-RETARDANT TREATED PLYWOOD BACKERBOARDS AROUND THE

INSIDES OF ALL ELECTRICAL AND TELEPHONE ROOMS.



STEEL W/ SPRAY

FIREPROOFING

APPLIED

المنتختينا

GLASS

11.16.22 Reissued for Permit 3 | 12.20.21 | Permit Comment Response #1 11.15.21 Issued for Permit 1 07.23.21 Design Development No. Date SUBMISSIONS & REVISIONS OWNER ARCHITECT

APPROVAL STAMPS:

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Description

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GENERAL NOTES SYMBOLS, AND **ABBREVIATIONS**

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	Means of Egress		
1003.1	Means of Egress ceiling is not less than 7'-6"	MEANS OF EGRESS CEILING IS NOT LESS THAN 7'-6"	SHALL COMPLY.
1004	Occupant Load	FITNESS STUDIO = EXERCISE ROOM (1/50 GROSS) BUSINESS AREAS = 1/150 GROSS MERCANTILE = 1/60 GROSS	STUDIO: 70 OCCS BUSINESS AREAS: 12.5 OCCS MERCANTILE: 25 OCCS 1 MEANS OF EGRESS REQUIRED
1005.1	Means of Egress Sizing	STAIRWAYS = 0.2 INCHES PER OCC W/ SPRINKLER SYSTEM OTHER EGRESS COMPONENTS = 0.15 INCHES PER OCC W/ SPRINKLER SYSTEM	STAIRWAYS: 48" MINIMUM STAIRWAY WIDTH. PER 1009.3.2, EXCEPTION 1
1006.2	Egress from Spaces	TWO EXITS OR EXIT ACCESS DOORWAYS FROM ANY SPACE SHALL BE PROVIDED WHERE THE DESIGN OCCUPANT LOAD OR THE COMMON PATH OF EGRESS TRAVEL DISTANCE EXCEEDS THE VALUES	SHALL COMPLY. REFER TO 0005 LIFE SAFETY PLANS
1008	Means of Egress Illumination	THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED.	SHALL COMPLY. SEE ELECTRICAL
1010.1.2	Doors		SHALL COMPLY. REFER TO 0005 LIFE SAFETY PLANS
1010.1.10	Panic and Fire Exit Hardware	IF SERVING 50 OR MORE OCCUPANTS. DOORS SERVING SPACES WITH AN OCCUPANT LOAD OF 50 OR MORE IN A GROUP A OCCUPANCY SHALL NOT BE PROVIDED WITH A LATCH OR LOCK UNLESS IT IS PANIC HARDWARE OF FIRE EXIT HARDWARE.	SHALL COMPLY.
1011.3	Minimum Headroom	6'-8" MINIMUM	6'-8" MINIMUM
1012	Ramps	RAMPS USED AS PART OF A MEANS OF EGRESS SHALL HAVE A RUNNING SLOPE NOT STEEPER THAN ONE UNIT VERTICAL IN 12 UNITS HORIZONTAL. THE SLOPE OF OTHER PEDESTRIAN RAMPS SHALL NOT BE STEEPER THAN ONE UNIT VERTICAL IN EIGHT UNITS HORIZONTAL.	N/A, NO RAMPS PROPOSED IN SCOPE.
1014	Handrails	HANDRAILS SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES. ALL REQUIRED HANDRAILS SHALL COMPLY WITH SECTION 1012.3.1 OR SHALL PROVIDE EQUIALENT GRASPABILITY. HANDRAIL GRIPPING SURFACES SHALL BE CONTINUOUS, WITHOUT INTERRUPTION BY NEWEL POSTS OR OTHER OBSTRUCTIONS. HANDRAILS SHALL RETURN TO A WALL, GUARD OR THE WALKING SURFACE OR SHALL BE CONTINUOUS TO THE HANDRAIL OF AN ADJACENT STAIR FLIGHT OR RAMP RUN. IF HANDRAILS ARE NOT CONTINUOUS BETWEEN FLIGHTS, THE HANDRAIL SHALL EXTEND HORIZONTALLY AT LEAST 12 INCHES BEYOND THE TOP RISER AND CONTINUE TO SLOPE FOR THE DEPTH OF ONE TREAD BEYOND THE BOTTOM RISER.	SHALL COMPLY
1015	Guards	GUARDS SHALL BE LOCATED ALONG OPEN-SIDED WALKING SURFACES, INCLUDING MEZZANINES, EQUIPMENT, STAIRS, RAMPS AND LANDINGS THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. GUARDS SHALL BE ADEQUATE IN STRENGTH AND ATTACHMENT IN ACCORDANCE WITH SECTION 1607.8. REQUIRED GUARDS SHALL BE NOT LESS THAN 42 INCHES HIGH. REQUIRED GUARDS SHALL NOT HAVE OPENINGS WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT.	GUARDS ARE 42 INCHES IN HEIGHT WITH 4 INCHES MAX OPENING.
1016.2	Egress through intervening spaces.	EGRESS SHALL NOT PASS THROUGH KITCHENS, STORAGE ROOMS, CLOSETS OR SPACES USED FOR	SHALL COMPLY.
1017.2	Exit Access Travel Distance	SIMILAR PURPOSES. PER TABLE 1017.2: A OCCUPANCY; WITH SPRINKLER SYSTEM; 250' MAX TRAVEL DISTANCE	250' MAX TRAVEL DISTANCE, REFER TO G0005 LIFE SAFETY PLANS
1020	Corridor Width	44" MINIMUM	44" MINIMUM
<u>CHAPTER 15 -</u> 1505	Roof Assemblies and Rooftop Struc Fire Classification	TABLE 1505.1 CONSTRUCTION TYPE V-B; ROOF	CLASS C
CUADTED 40	Concrete	CLASS C	
	Minimum Slab Provisions - Vapor Barriers ENVELOPE REQUIREMENTS NERGY CODE:	THE THICKNESS OF CONCRETE FLOOR SLABS SUPPORTED DIRECTLY ON THE GROUND SHALL NOT BE LESS THAN 3 1/2 INCHES. A 6-MIL POLYETHYLENE VAPOR RETARDER WITH JOINTS LAPPED NOT LESS THAN 6 INCHES SHALL BE PLACED BETWEEN THE BASE COURSE OR SUBGRADE AND THE CONCRETE FLOOR SLAB, OR OTHER APPROVED EQUIVALENT METHODS OR MATERIALS SHALL BE USED TO RETARD VAPOR TRANSMISSION THROUGH THE FLOOR SLAB.	NO NEW SLABS PROPOSED IN PROJECT.
COMPLIANCE		R501.2 - Alterations not required	Included
CLIMATE ZON		7	

CODE MATR			
A. Project Na	PROJECT INFORMATION	STEAMBOAT BASECAMP - PHASE 1A	
3. Project Na		1901 CURVE PLAZA, STEAMBOAT SPRINGS, CO 80487	,
C. Project De		EXISTING BUILDING RENOVATION & TENANT FIT-OU	
D. Building D			NT SPACES, (1) COMMERCIAL LOBBY SPACE, (2) NEW
E. Applicable	e Building Codes:	2018 INTERNATIONAL CONSTRUCTION CODES, AS AI STEAMBOAT SPRINGS - 2018 INTERNATIONAL CODE COUNCIL (ICC) FAMILY - COMMUNITY DEVELOPMENT CODE, STEAMBOAT S - 2020 NATIONAL ELECTRICAL CODE	OF MODEL CODES
Entitleme	nt History:	DPVC-20-06 LEGACY PLANNING APPLICATION PL20210086 SUBSTANTIAL CONFORMANCE	
II. ZONING R	EQUIREMENTS - BUILDING	Ordinance Allowed/Required	Actual Provided
Zone		CS	CS
ot Area		No Min/No Max	4.21 Acres
Lot Occupan	су	No Max	19.70%
Open Space Floor Area R	atio (EAD)	No Max	52.67% Complies
Overall Build		63' Max	35' (Existing to Remain)
Frontage Are		26' Min	27'-7" (Existing to Remain)
Setbacks		Front: 5' Min / Side: 7.5' Min	Complies
Gross Floor A	Area	No Max	10,514 SF
Parking Requ	uirements	128 Spaces (Approved per Planning Application)	128 Spaces
ection No.	Topic No. / Title	Code Requirement	Actual Provided
<u> </u>	USE AND OCCUPANCY CLASSIFICATION Use and Occupancy	MERCANTILE M (Section 304)	MERCANTILE M - RETAIL
	Joe and Occupancy	ASSEMBLY A-3 (Section 303.4) BUSINESS B (Section 309)	ASSEMBLY A-3 - GYMNASIUM BUSINESS B - PROFESSIONAL SERVICES
	SPECIAL DETAILED REQUIREMENTS E		
N/A			
	GENERAL BUILDING HEIGHTS AND A		ADDD500 1441 55 15 15 15 15 15 15 15 15 15 15 15 15
501.2	Address Identification	4-INCH HIGH MIN X 0.5-INCH WIDE MIN INSTALLED ON A CONTRASTING BACKGROUND, PLAINLY VISIBLE FROM STREET OR ROAD FRONTING PROPERTY	ADDRESS WILL BE IDENTIFIED AS REQUIRED PER SECTION 501.2
504	Building Height and Number of Stories	PROPOSED CONSTRUCTION TYPE: V-B, SPRINKLER Table 504.3: Allowable Bldg Height (A,B Occ): 60' Table 504.4: Allowable Stories (M & A-3): 2	TYPE OF CONSTRUCTION: V-B Complies. 1 story
506	Building Area	Table 504.4: Allowable Stories (B): 3 Table 506.2: Allowable Area for 1-story A-3 w/ sprinklers: 24,000 SF Table506.2: Allowable Area for1-story B, M w/	Complies. 10,514 SF
CHADTED 6	TYPES OF CONSTRUCTION	sprinklers: 36,000 SF	
501	Table 601	TYPE V/B CONSTRUCTION	TYPE V/B CONSTRUCTION
301	Fire Resistive Rating Requirement	THE V/B CONSTRUCTION	THE V/B CONSTRUCTION
	for Building Elements	PRIMARY STRUCTURAL FRAME: 0-HR BEARING WALLS EXTERIOR: 0-HR INTERIOR: 0 HR NONBEARING WALLS AND PARTITIONS EXTERIOR: 0 HR INTERIOR: 0 HR FLOOR CONST & SECONDARY MEMBERS: 0 HR ROOF CONST & SECONDARY MEMBERS: 0 HR	PRIMARY STRUCTURAL FRAME: 0-HR BEARING WALLS EXTERIOR: 0-HR INTERIOR: 0 HR NONBEARING WALLS AND PARTITIONS EXTERIOR: 0 HR INTERIOR: 0 HR FLOOR CONST & SECONDARY MEMBERS: 0 HR ROOF CONST & SECONDARY MEMBERS: 0 HR
602	Table 602	FIRE SEPARATION DISTANCE = X	FIRE SEPARATION DISTANCE = X
		X < 5 FT; TYPE V-B CONST; A OCC: 1 HR X > 30 FT; TYPE V-B CONST; A OCC: 0 HR	X < 5 FT; TYPE V-B CONST; A OCC: 1 HR X > 30 FT; TYPE V-B CONST; A OCC: 0 HR
CHAPTER 7 -	FIRE AND SMOKE PROTECTION FEAT		,
705.11	Maximum Area Wall Opening Based on Fire Separation and Degree of Opening Parapets	FIRE SEPARATION DISTANCE = 30 FT OR GREATER UNPROTECTED, SPRINKLERED (UP,S) = NO LIMIT PARAPETS SHALL HAVE THE SAME FIRE-RESISTANCE RATING AS THAT REQUIRED FOR HE SUPPORTING WALL, AND ON ANY SIDE ADJACENT TO A ROFF SURFACE, SHALL HAVE NONCOMBUSTIBLE FACES FOR THE UPPERMOST 18 INCHES, INCLUDING	OPENINGS AT ALL EXTERIOR LOCATIONS ARE NOT REQUIRED TO BE PROTECTED DUE TO SPRINKLERED CONDITION SHALL COMPLY.
714442	Eiro Dosistanos Det 1941	COUNTERFLASHING AND COPING MATERIALS.	CHAIL COMPLY
714.4.1.2	Fire-Resistance-Rated Walls	THROUGH PENETRATIONS SHALL BE PROTECTED BY AN APPROVED PENETRATION FIRESTOP SYSTEM INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E814 OR US 1479.	SHALL CUIVIPLY.
CHAPTER 8 -	INTERIOR FINISHES	,	1
303.13	Interior finish requirements based	GROUP EXITS CORRIDORS ROOMS	SHALL COMPLY.
- -	on occupancy	M/B B C C A-3 B B C	
	Fire Protection Systems Group M	AN ALITOMATIC SODINIVIED SYSTEM SHALL BE	ALITOMATIC SDDINIVI ED SVSTEM TO DE DROVIDES
903.2.1.1	Group M	AN AUTOMATIC SPRINKLER SYSTEM SHALL BE PROVIDED WHERE ONE OF THE FOLLOWING CONDITIONS EXIST: 1. THE FIRE AREA EXCEEDS 12,000 SF 2. A GROUP M FIRE AREA IS LOCATED MORE THAN THREE STORIES ABOVE GRADE PLANE 3. THE COMBINED AREA OF ALL GROUP M FIRE AREAS ON ALL FLOORS, INCLUDING ANY MEZZANINES, EXCEEDS 24,000 SQUARE FEET. 4. A GROUP M OCCUPANCY USED FOR THE DISPLAY AND SALE OF UPHOLSTERED FURNITURE OR	AUTOMATIC SPRINKLER SYSTEM TO BE PROVIDED.
903.2.1.2	Group A-3	MATTRESSES EXCEEDS 5,000 SQUARE FEET. AN AUTOMATIC SPRINKLER SYSTEM SHALL BE	AUTOMATIC SPRINKLER SYSTEM TO BE PROVIDED.
JU3.2.1.Z	Gloup A-3	PROVIDED WHERE ONE OF THE FOLLOWING CONDITIONS EXIST: 1. THE FIRE AREA EXCEEDS 12,000 SF 2. THE FIRE AREA HAS AN OCCUPANT LOAD OF 300 OR MORE 3. THE FIRE AREA IS LOCATED ON A FLOOR OTHER	ACTOIVIATIC SENINKLER STSTEIVI TO BE PROVIDED.
		THAN A LEVEL OF EXIT DISCHARGE SERVING SUCH OCCUPANCIES.	

APPROVAL STAMPS: 4 11.16.22 Reissued for Permit 3 12.20.21 Permit Comment Response #1 2 11.15.21 Issued for Permit 1 07.23.21 Design Development

No. Date Description SUBMISSIONS & REVISIONS OWNER MAY REIGLER PROPERTIES
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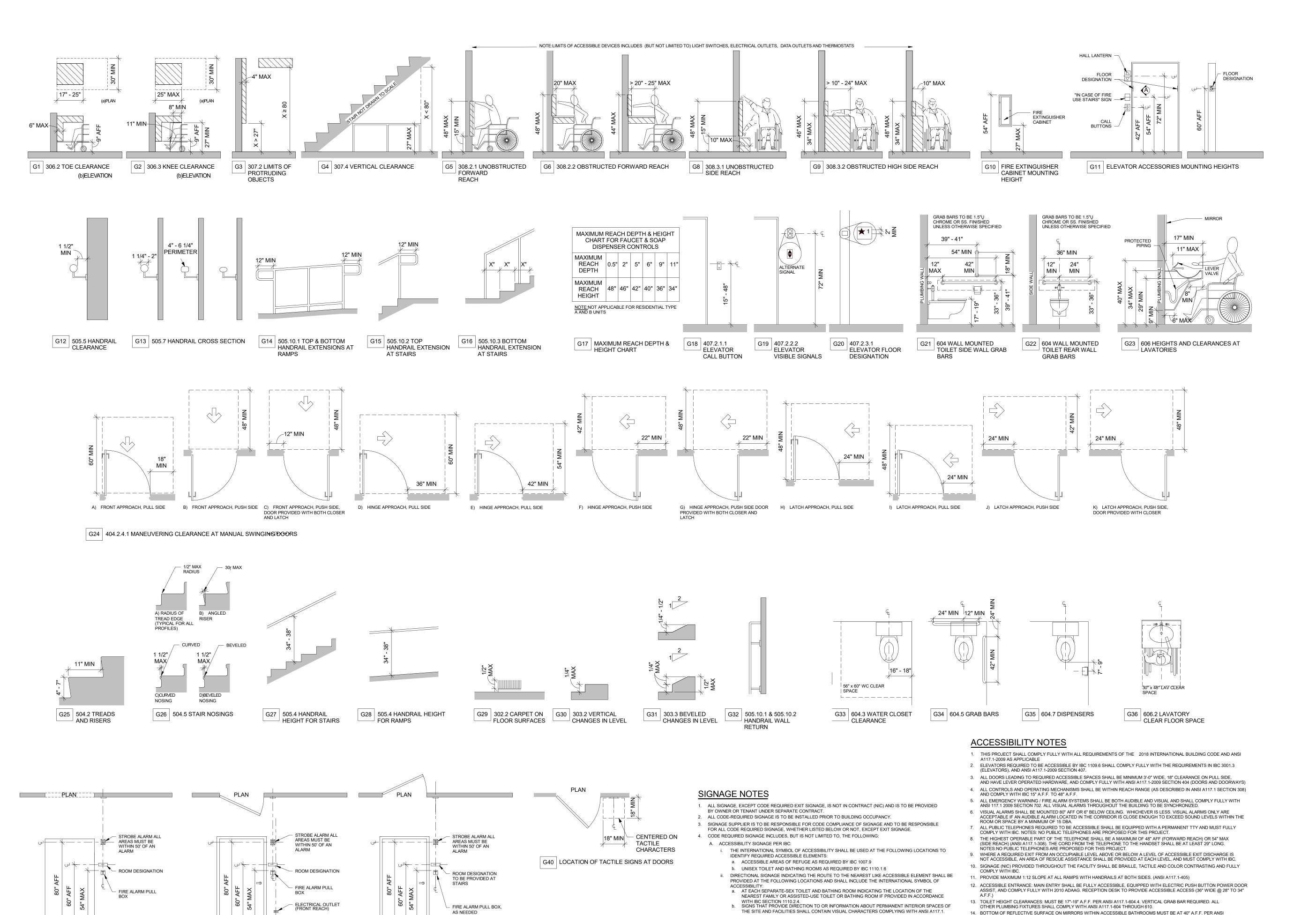
STEAMBOAT BASECAMP PARTIAL RENOVATION AND TENANT FIT-OUT 1901 CURVE PLAZA STEAMBOAT SPRINGS, CO 80487 DRAWING TITLE CODE ANALYSIS

G0003

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PROJECT NO:

DATE: 11/15/21 DRAWN BY:



G39 | MOUNTING HEIGHTS ADJACENT TO INSWING

[⊥] DOORS

G38 MOUNTING HEIGHTS ADJACENT TO OUTSWING

—— DOORS

ELEVATION

—— CASED OPENINGS

G37 MOUNTING HEIGHTS ADJACENT TO

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A117.1 -603.3.19.GRAB BARS SHALL BE INSTALLED AT 33" TO 36" A.F.F. TO TOP OF GRAB BAR. FLUSH CONTROLS IN

15. GRAB BARS SHALL BE INSTALLED AT 33" TO 36" A.F.F. TO TOP OF GRAB BAR. FLUSH CONTROLS IN ACCESSIBLE STALLS AND BATHROOMS TO BE ON THE WIDE SIDE OF THE TOILET.

FOR SIDEWALK CURB RAMPS. DETECTABLE SURFACE TO BE 2' x 4' USING TRUNCATED DOMES IN SQUARE PATTERN.

18. IN ADDITION TO REQUIREMENTS LISTED ABOVE, TOILET ROOMS, BATHING AND SHOWER FACILITIES SHALL COMPLY WITH

19. CHANGE IN LEVEL OF 1/4 INCH HIGH MAXIMUM SHALL BE PERMITTED TO BE VERTICAL. CHANGES IN LEVEL BETWEEN 1/4

16. ALL DRINKING FOUNTAINS SHALL BE IAC REQUIRED "HI-LO" TYPE, AND SHALL COMPLY WITH ANSI A117.1-2009 SECTION 602

17. ALL CURB RAMPS SHALL COMPLY WITH ANSI A117.1 SECTION 406 AND LOCAL DEPARTMENT OF TRANSPORTATION STANDARDS

INCH HIGH MAXIMUM AND 1/2 INCH HIGH MAXIMUM SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2. CHANGES IN LEVEL GREATER THAN 1/2 INCH SHALL BE RAMPED AND SHALL COMPLY WITH ANSI A117.1.

ACCESSIBLE STALLS AND BATHROOMS TO BE ON THE WIDE SIDE OF THE TOILET.

SIGNAGE INDICATING SPECIAL ACCESSIBILITY PROVISIONS SHALL BE PROVIDED AS FOLLOWS. SIGNAGE

a. AT EACH DOOR TO AN EXIT STAIRWAY, SIGNAGE SHALL BE PROVIDED IN ACCORDANCE WITH IBC

b. AT EACH DOOR TO AN EXIT STAIRWAY, SIGNAGE SHALL BE PROVIDED IN ACCORDANCE WITH IBC

BE PROVIDED WITH THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AS NOTED ABOVE.
c. AT AREAS OF REFUGE, SIGNAGE SHALL BE PROVIDED IN ACCORDANCE WITH IBC SECTION 1007.11

d. AT AREAS FOR ASSISTED RESCUE, SIGNAGE SHALL BE PROVIDED IN ACCORDANCE WITH IBC

5. SEE MECHANICAL, ELECTRICAL, AND FIRE PROTECTION DRAWINGS FOR OTHER SIGNAGE REQUIREMENTS.

SECTION 1011.3. SIGNAGE SHALL DESIGNATE NEXT FLOOR OF RE-ENTRY IN BOTH EMERGENCY

SECTION 1011.3. SIGNAGE SHALL DESIGNATE EACH AREA OF RESCUE ASSISTANCE (AOR) AND

TO BE DESIGNED AND MOUNTED PER THE PROVISIONS OF ICC/ANSI A117.1-2009, SECTION 703:

AND NON-EMERGENCY CONDITIONS.

SECTION 1007.11

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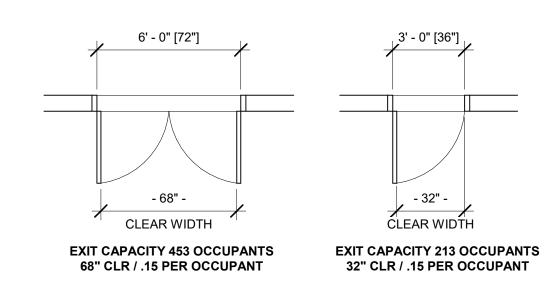
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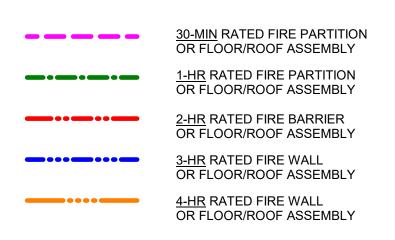
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DOOR WIDTH LEGEND



DOOR WIDTH LEGEND 1/4" = 1'-0"

FIRE SEPARATION LEGEND

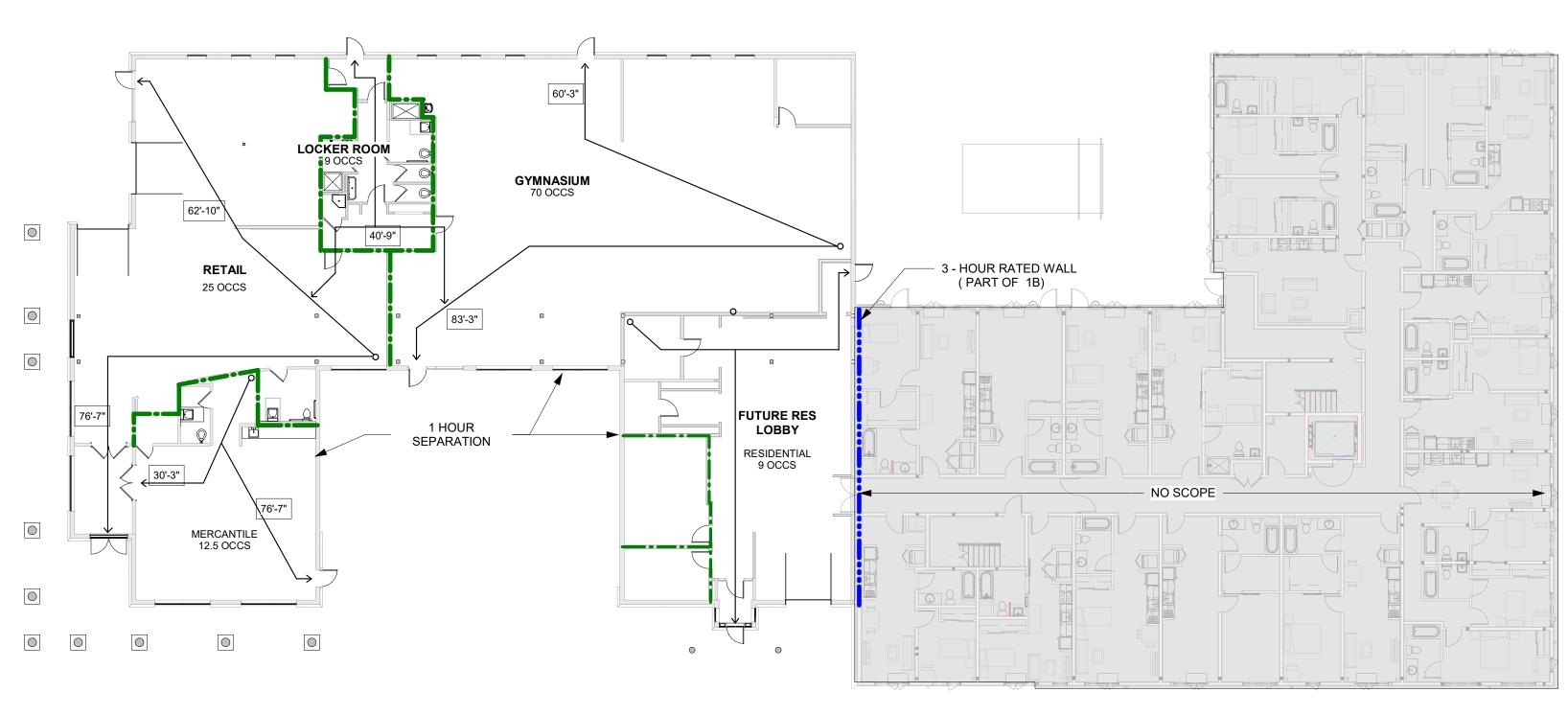


FIRE SEPARATION LEGEND
1/8" = 1'-0"

RATED DOOR LEGEND

UL LABEL	RATING	MAX GLASS AREA
Α	180 MIN	100 SQ IN PER LEAF
В	90 MIN	100 SQ IN PER LEAF
С	45 MIN	1296 SQ IN PER LITE
S	SMOKE	

RATED DOOR LEGEND 1/8" = 1'-0"



1 GROUND LEVEL LIFE SAFTY PLAN

A0301 S0005 1/16" = 1'-0"

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PROJECT LOCATION

STEAMBOAT BASECAMP PARTIAL RENOVATION AND TENANT FIT-OUT

1901 CURVE PLAZA STEAMBOAT SPRINGS, CO 80487 DRAWING TITLE

LIFE SAFTY PLAN

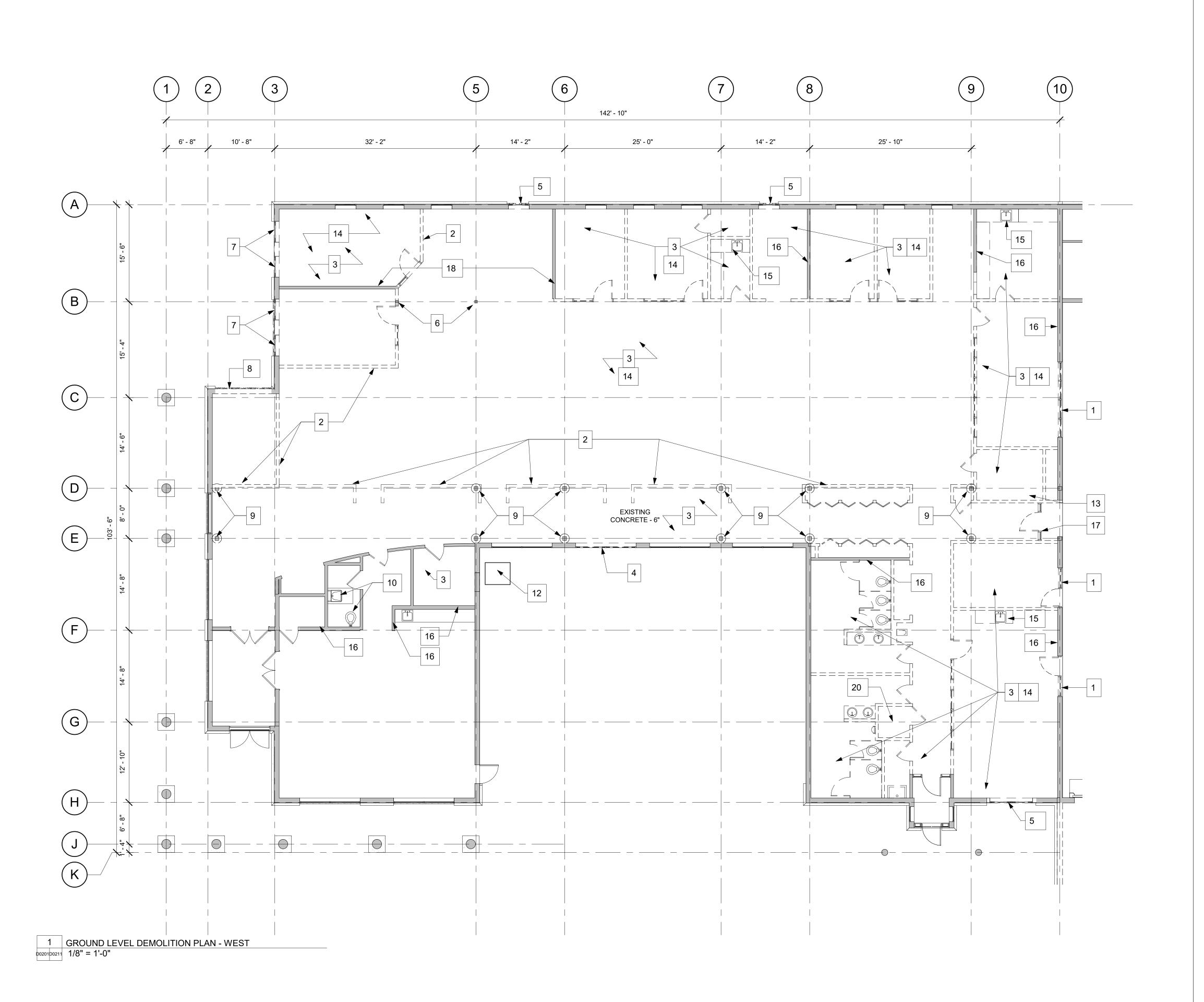
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DRAWING NO:

G0005



<u>DEMO NOTES:</u>

DEMOLITION GENERAL NOTES:

A • DEMOLITION SHOWN IN THE DRAWINGS IS GENERALLY DESCRIPTIVE OF THE DEMOLITION REQUIRED AND DOES NOT REPRESENT FULL EXTENT OF DEMOLITION REQUIRED.

B • DEMOLITION DRAWINGS SHALL BE COORDINATED WITH ARCHITECTURAL, STRUCTURAL, & INTERIOR DRAWINGS AND ARE NOT THE PRODUCT OF AN EXISTING CONDITIONS SURVEY. THE INTENT OF THE DEMOLITION DRAWINGS IS TO ILLUSTRATE THE GENERAL REPRESENTATION OF WORK TO BE DONE BUT DOES NOT CONVEY UN FORESEEN CONDITIONS. GENERAL CONTRACTOR TO CONDUCT EXIST BUILDING SURVEY & PROVIDE DESIGN TEAM WITH INFORMATION IF VARIATIONS FROM CONTRACT DRAWINGS.

C • NO STRUCTURAL ELEMENTS ARE TO BE REMOVED WITHOUT COORDINATING WITH THE STRUCTURAL ENGINEER. GC TO COORDINATE WITH STRUCTURAL ENGINEER IF ANY UNKNOWN STRUCTURAL ELEMENTS ARE FOUND.

D • GENERAL CONTRACTOR TO COORDINATE ALL DEMOLITION PLANS WITH ARCHITECTURAL SLAB EDGE PLANS, GENERAL DESIGN AND COORD. WITH ALL EXIST. CONDITIONS PRIOR TO

E • DO NOT SCALE DRAWINGS, WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, THE CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR CLARIFICATION OR INFORMATION TO THE ARCHITECT.

F • GC TO REVIEW DOCUMENTS, VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN. THE CONTRACTOR SHALL REPORT ANY CONFLICTS AND/OR OMISSIONS TO THE ARCHITECT PRIOR TO PERFORMING ANY WORK IN QUESTION. OTHERWISE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS TO COMPLETE THE WORK STATED IN THE CONTRACT DOCUMENTS BASED UPON THE OPTIMAL ESTABLISHED QUALITY STANDARD.

G • CONTRACTOR SHALL FILL ANY VOIDS/ CORES/ PENETRATIONS IN THE EXISTING FLOOR SLAB DUE TO THE RESULT OF DESCRIBED DEMOLITION INDICATED ON ARCHITECTURAL AND/OR ENGINEERING DOCUMENTS.

H • ALL LOAD BEARING ELEMENTS INCLUDING COLUMNS TO REMAIN BETWEEN COLUMN LINES 1 AND 10. CONTRACTOR TO REVIEW REMOVAL OF ANY STRUCTURAL ELEMENTS WITH STRUCTURAL ENGINEER PRIOR TO DEMOLITION.

I • ALL EXISTING PLUMBING FIXTURES WITHIN SUBJECT AREA TO BE DEMOLISHED, AND ASSOCIATED PIPING TO BE DEMOLISHED OR ABANDONED IN PLACE.

KEYED NOTES:

- 1. DEMOLISH DOORS/WINDOWS, FRAMES, AND ALL ASSOCIATED ELECTRICAL DEVICES. PREPARE FOR NEW SHEAR WALL.
- 2. DEMOLISH EXISTING WALL.
- 3. DEMOLISH EXISTING INTERIOR FLOOR FINISH MATERIAL.
- 4. DEMOLISH WINDOW. (DEFERRED DEMO)
- 5. DEMOLISH WINDOW & WALL BELOW SILL. PREPARE FOR NEW DOOR IN EXISTING R.O. (DEFERRED DEMO)
- 6. EXISTING STRUCTURAL COLUMN TO REMAIN. REMOVE DRYWALL SURROUND.
- 7. DEMOLISH WINDOWS, WALL BELOW EXISTING SILL, AND WALL IN BETWEEN WINDOWS, TO HEIGHT OF EXISTING WINDOW HEAD. PREP FOR NEW HEAD & LARGE DOOR OPENING. (DEFERRED DEMO)
- 8. DEMOLISH EXISTING EXTERIOR WALL & PREPARE FOR NEW OPENING. (DEFERRED DEMO)
- 9. DEMOLISH COLUMN COVER FROM FINISH FLOOR TO EXISTING CEILING BULKHEAD LEVEL. EXISTING STRUCTURAL COLUMN TO
- 10. EXISTING RESTROOM (INCLUDING DOOR, FINISHES, FIXTURES, FITTINGS) TO REMAIN.
- 11. SALVAGE KITCHENETTE W/ SINK & DISHWASHER (PLACE IN OFFICE)
- 12. DEMOLISH EXIST. MECH UNIT IN PLACE AND PREPARE FOR NEW. PAD, DUCTWORK TO REMAIN.
- 13. LOWEST PLANE AT CLOSET TO BE DEMOLISHED. UPPER (2) PLANES OF WALL TO BE RETAINED FOR REUSE. 14. DEMOLISH ALL CEILING ELEMENTS BELOW FIRE LID INCLUDING
- DROPPED CEILING GRID, PANELS & BULKHEADS U.O.N. EXISTING FIRE LID TO REMAIN.
- 15. DEMOLISH KITCHENETTE & PERMANENTLY CAP ALL UTILITIES.
- 16. EXISTING SHEAR WALL TO REMAIN. PREP WALL FOR NEW FINISHES.
- 17. DEMOLISH WALL, WINDOW, DOORS, FRAMES, AND ALL ASSOCIATED ELECTRICAL DEVICES.
- 18. EXISTING SHEAR WALL TO REMAIN. SHEAR WALL TO BE DEMOLISHED AT A LATER DATE, AFTER NEW MOMENT FRAMES HAVE BEEN CONSTRUCTED/INSPECTED.

19. NOT USED.

20. EXISTING FIRE SPRINKLER SERVICE TO BE RETAINED AND PENDLE GENEOR FUTURE USE.

EXISTING WALL TO REMAIN

EXISTING SHEAR WALL TO REMAIN

APPROVAL STAMPS:

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PROJECT LOCATION STEAMBOAT BASECAMP PARTIAL RENOVATION AND TENANT FIT-OUT

1901 CURVE PLAZA

STEAMBOAT SPRINGS, CO 80487 DRAWING TITLE **GROUND LEVEL ENLARGED DEMOLITION PLAN -**

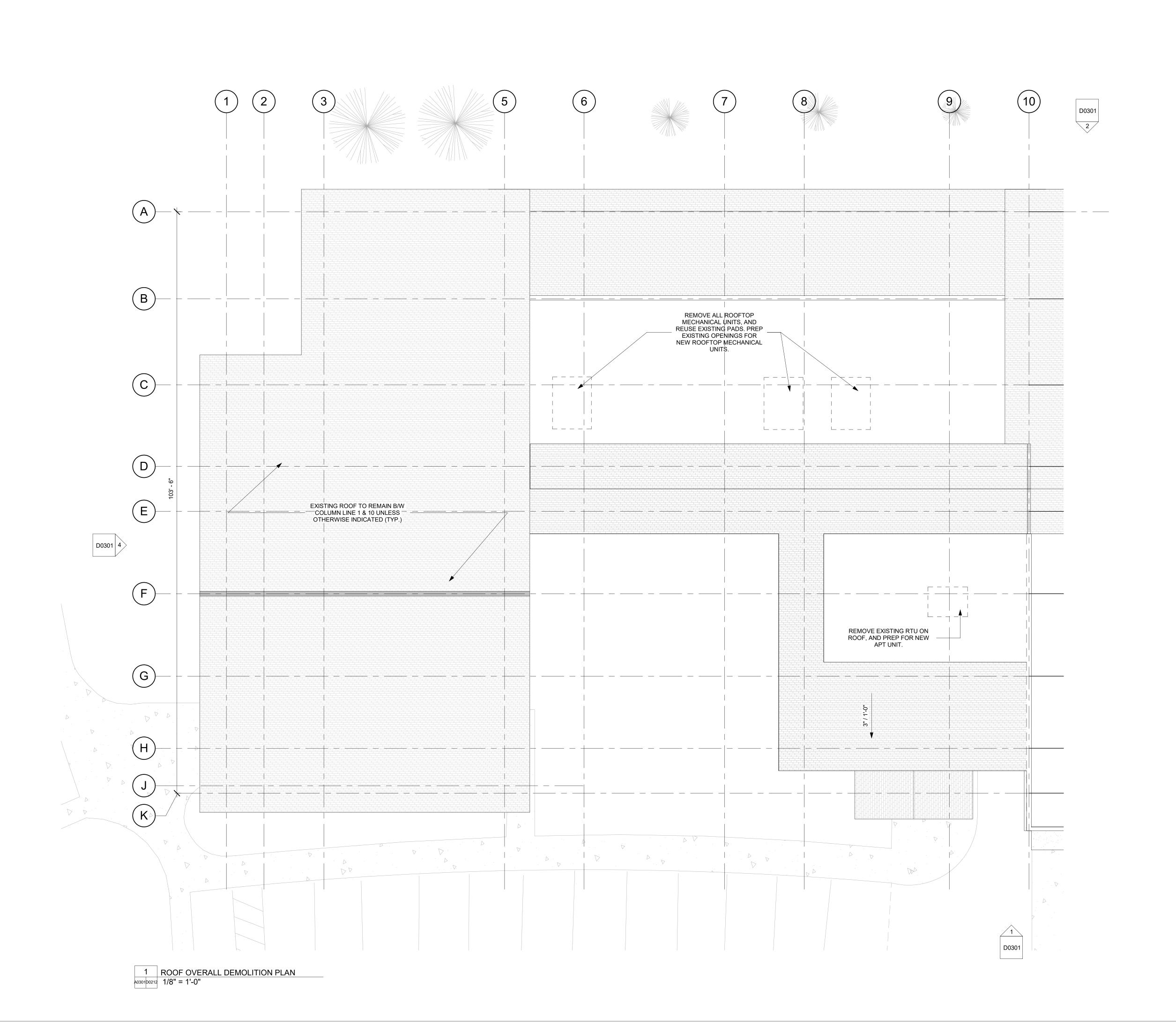
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PROJECT LOCATION
STEAMBOAT BASECAMP
PARTIAL RENOVATION
AND TENANT FIT-OUT

1901 CURVE PLAZA STEAMBOAT SPRINGS, CO 80487 DRAWING TITLE

ROOF DEMOLITION

PLAN

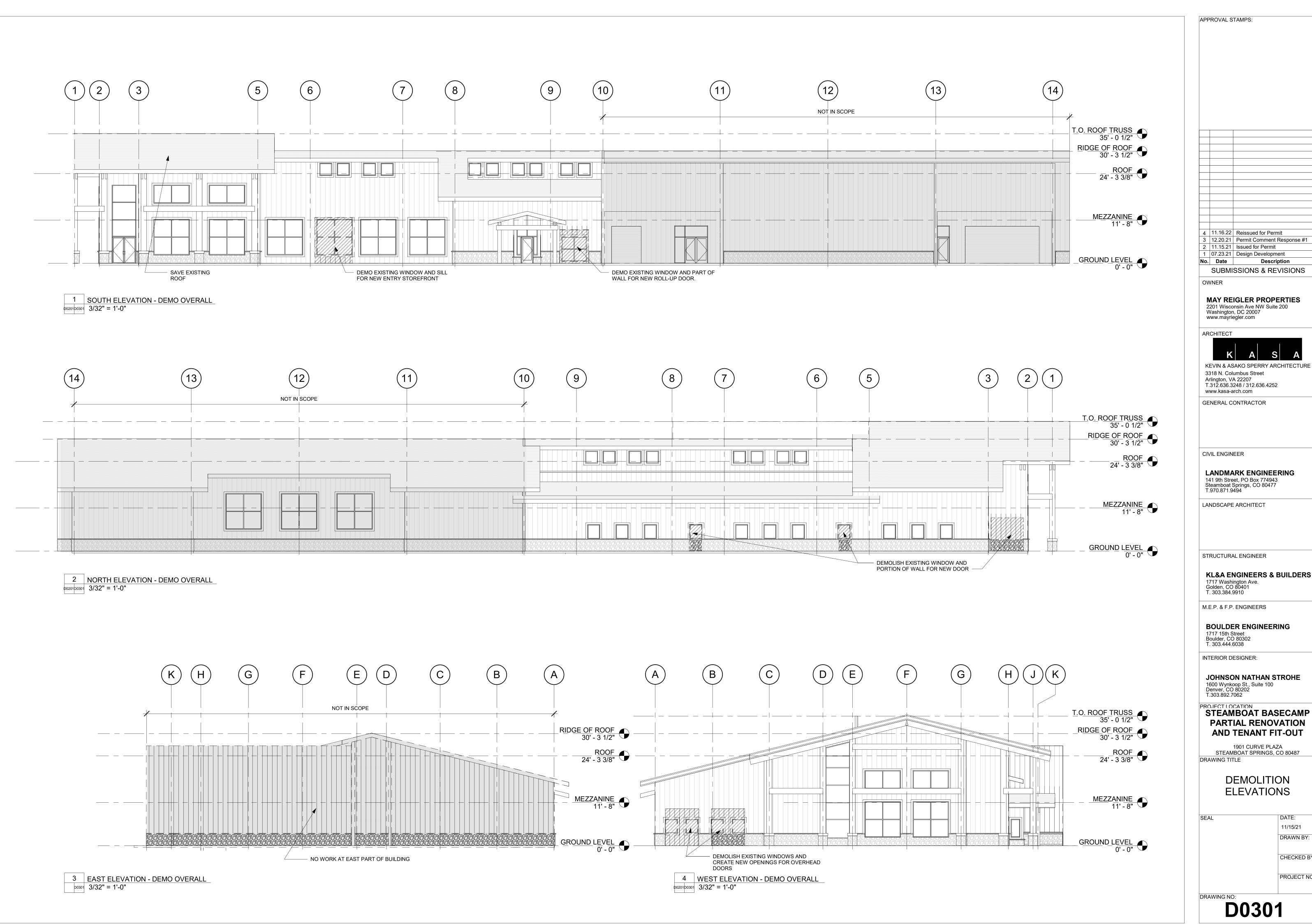
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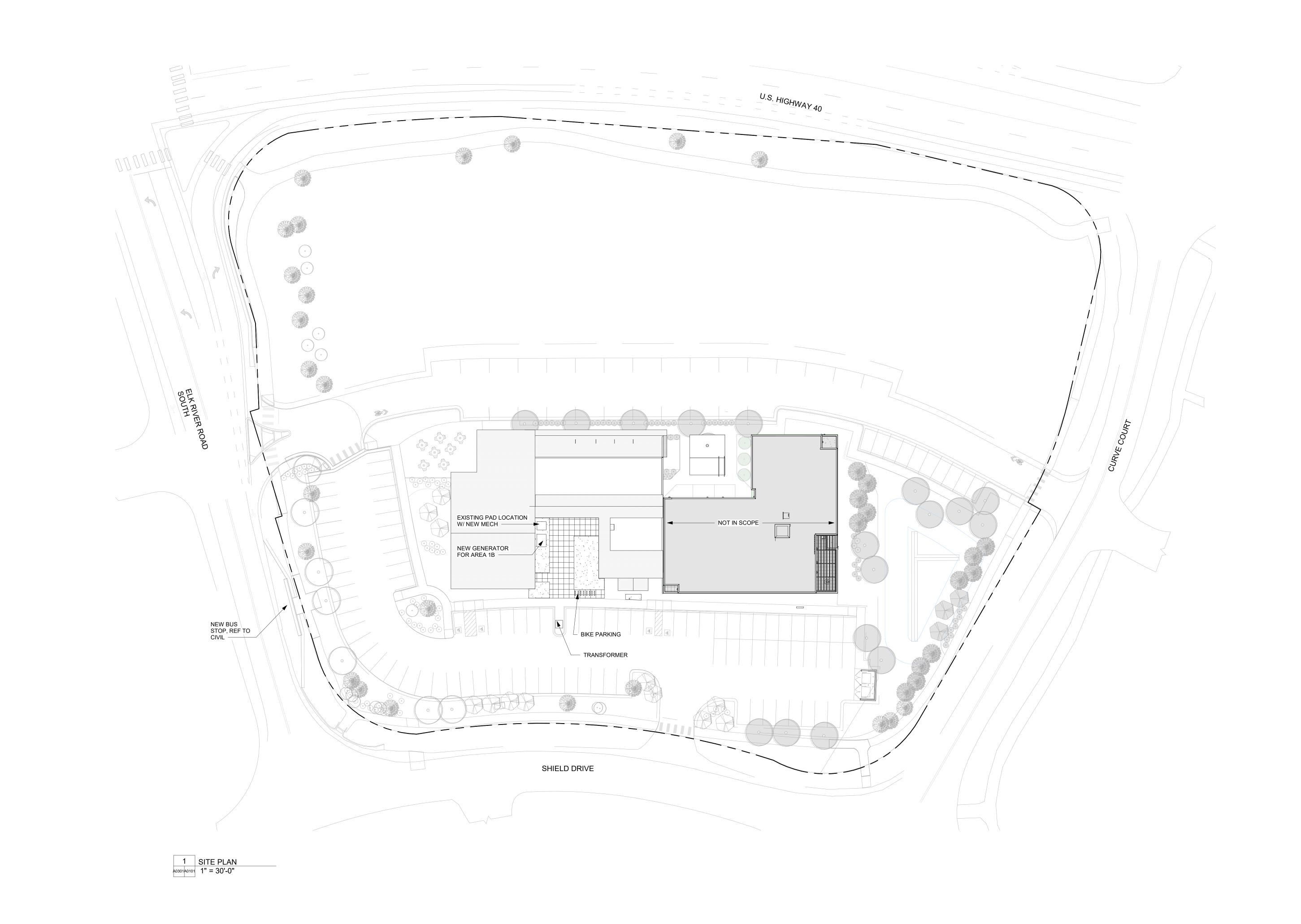
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DEMOLITION

ELEVATIONS

D0301



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STRUCTURAL ENGINEER

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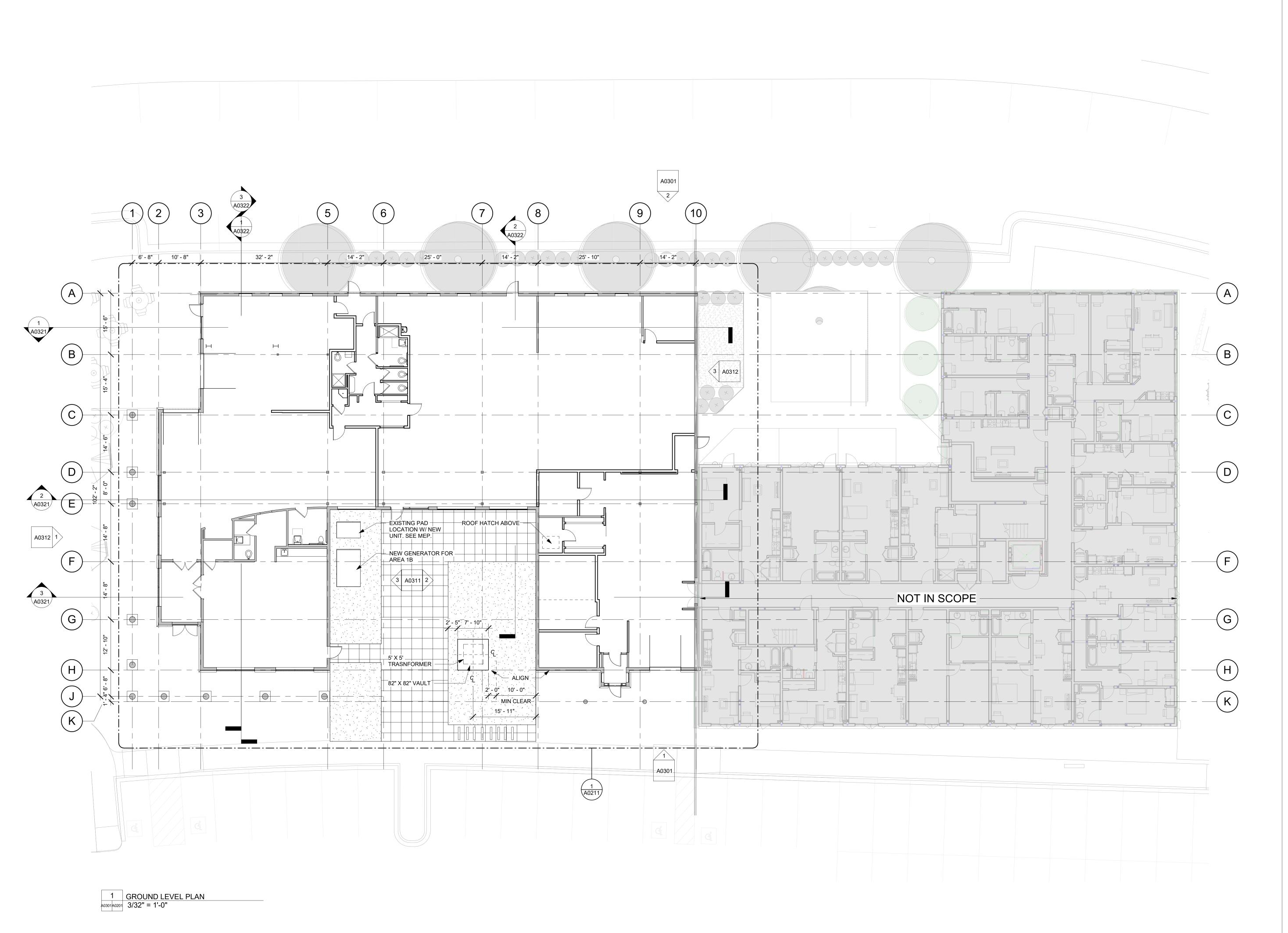
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STRUCTURAL ENGINEER

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M.E.P. & F.P. ENGINEERS

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INTERIOR DESIGNER:

JOHNSON NATHAN STROHE 1600 Wynkoop St., Suite 100 Denver, CO 80202 T.303.892.7062

STEAMBOAT BASECAMP
PARTIAL RENOVATION
AND TENANT FIT-OUT

1901 CURVE PLAZA STEAMBOAT SPRINGS, CO 80487 DRAWING TITLE

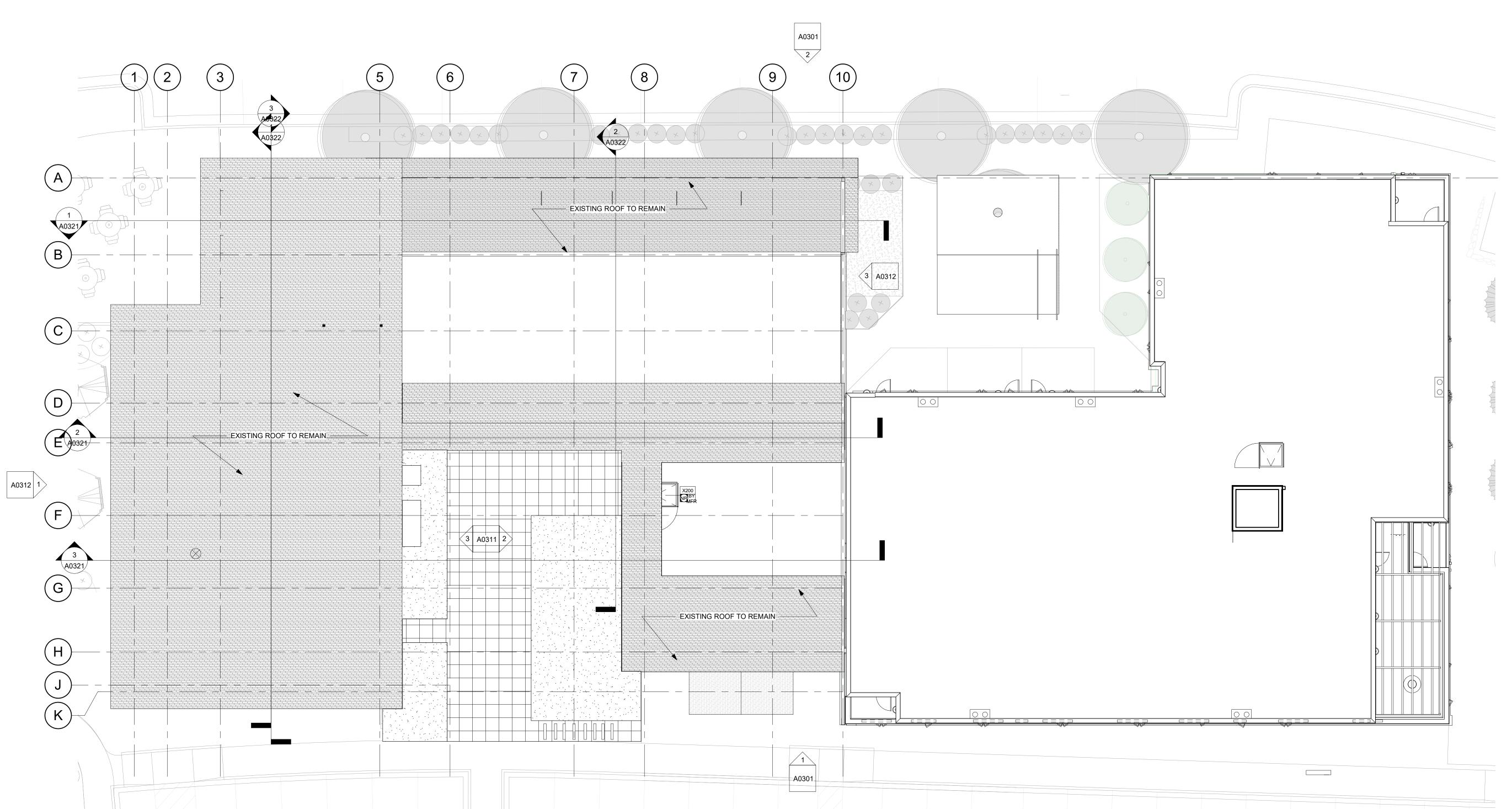
GROUND LEVEL PLAN

SEAL

DATE: 11/15/21 DRAWN BY:

CHECKED BY:

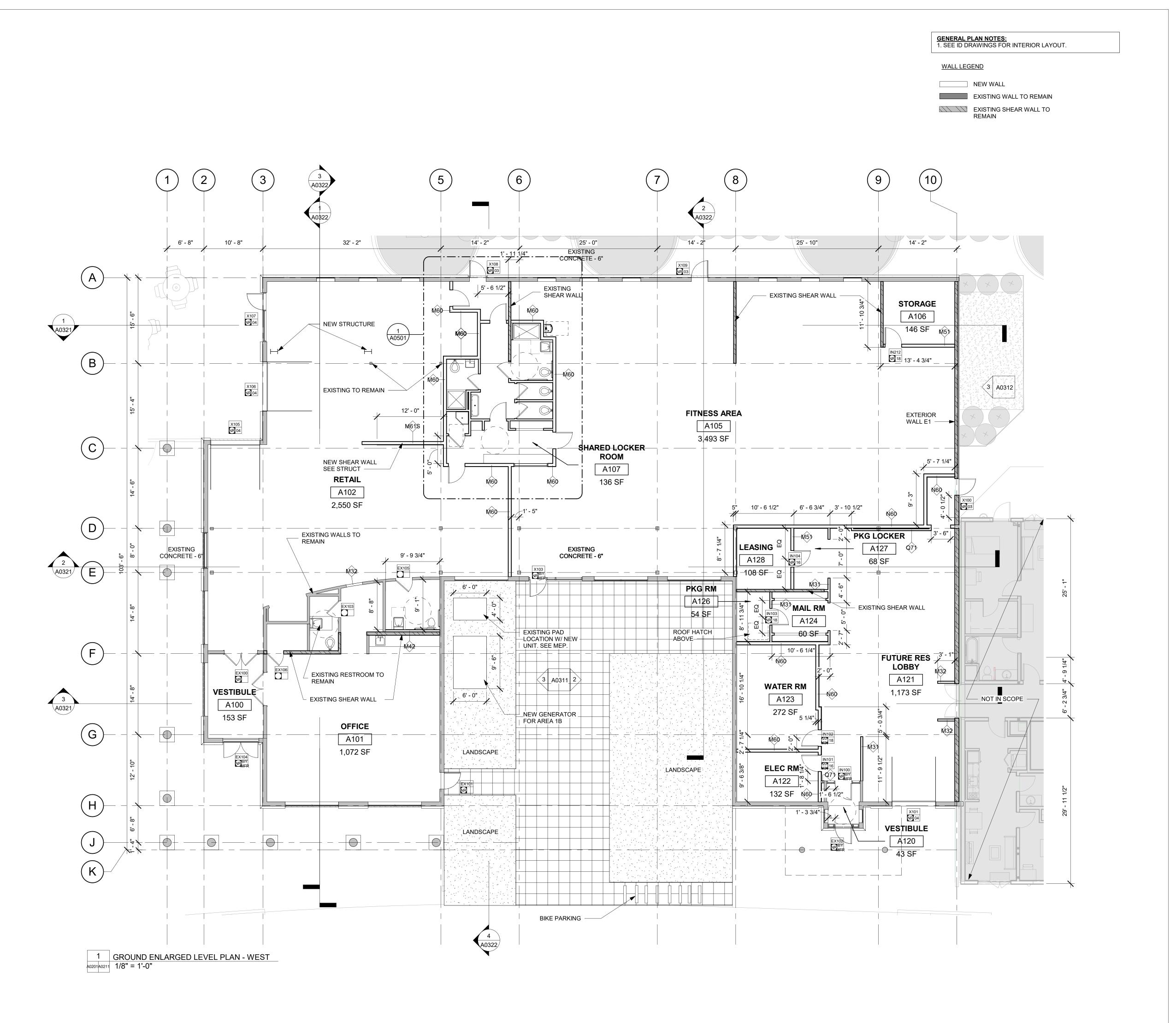
PROJECT NO:



1 ROOF PLAN
40202 3/32" = 1'-0"

A0202

DRAWING NO:



4 11.16.22 Reissued for Permit

3 | 12.20.21 | Permit Comment Response #1 2 11.15.21 Issued for Permit

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PROJECT LOCATION

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1901 CURVE PLAZA STEAMBOAT SPRINGS, CO 80487 DRAWING TITLE

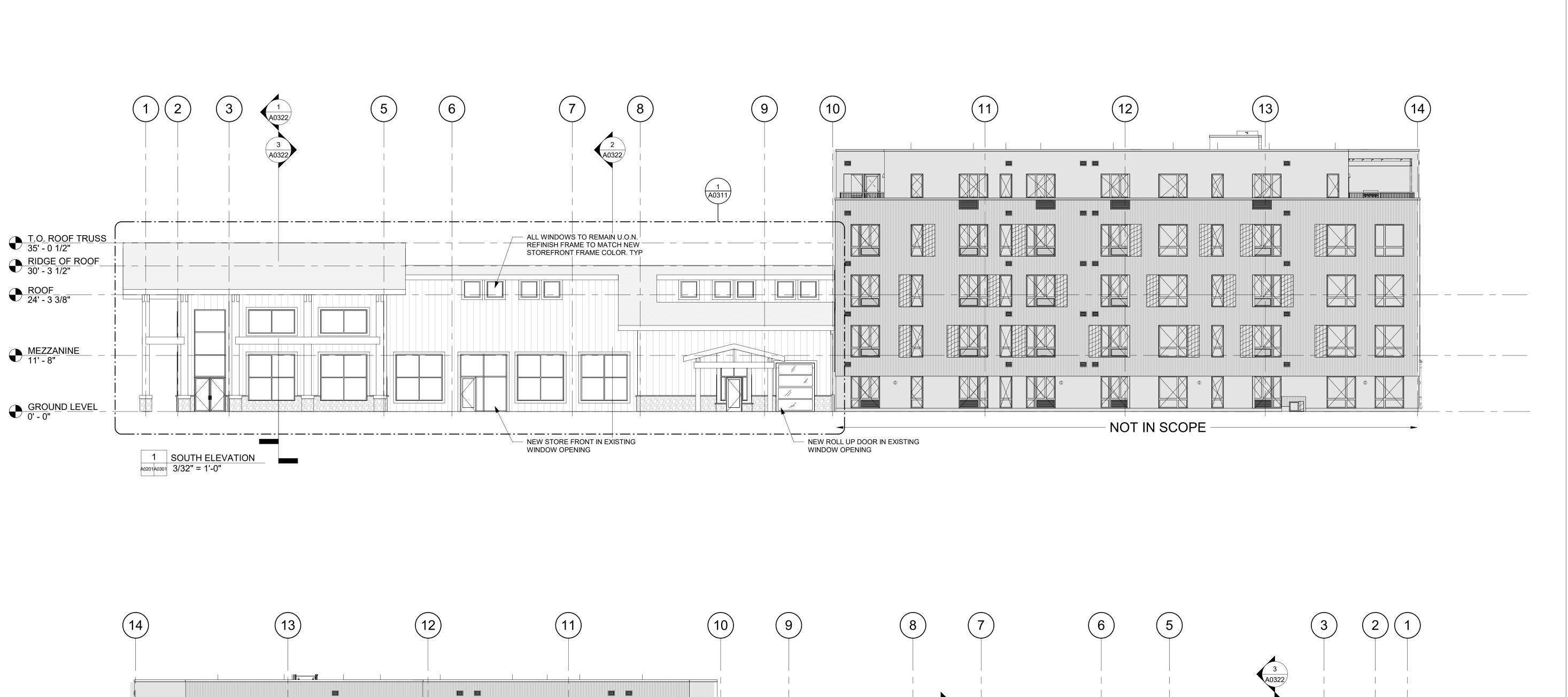
GROUND LEVEL ENLARGED PLAN -WEST

DRAWING NO:

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CHECKED BY:

PROJECT NO:



A0322

4 11.16.22 Reissued for Permit 3 | 12.20.21 | Permit Comment Response #1 2 11.15.21 Issued for Permit 1 07.23.21 Design Development SUBMISSIONS & REVISIONS MAY REIGLER PROPERTIES
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www.mayriegler.com ARCHITECT KEVIN & ASAKO SPERRY ARCHITECTURE 3318 N. Columbus Street Arlington, VA 22207 T.312.636.3248 / 312.636.4252 www.kasa-arch.com GENERAL CONTRACTOR CIVIL ENGINEER LANDMARK ENGINEERING 141 9th Street, PO Box 774943 Steamboat Springs, CO 80477 T.970.871.9494 LANDSCAPE ARCHITECT STRUCTURAL ENGINEER **KL&A ENGINEERS & BUILDERS** 1717 Washington Ave. Golden, CO 80401 T. 303.384.9910 M.E.P. & F.P. ENGINEERS BOULDER ENGINEERING 1717 15th Street Boulder, CO 80302 T. 303.444.6038 INTERIOR DESIGNER: JOHNSON NATHAN STROHE 1600 Wynkoop St., Suite 100 Denver, CO 80202 T.303.892.7062 PROJECT LOCATION

STEAMBOAT BASECAMP PARTIAL RENOVATION AND TENANT FIT-OUT 1901 CURVE PLAZA STEAMBOAT SPRINGS, CO 80487 DRAWING TITLE NORTH & SOUTH **ELEVATIONS** DATE: 11/15/21 DRAWN BY:

RIDGE OF ROOF 30' - 3 1/2"

> MEZZANINE 11' - 8"

_GROUND_LEVEL 0' - 0" APPROVAL STAMPS:

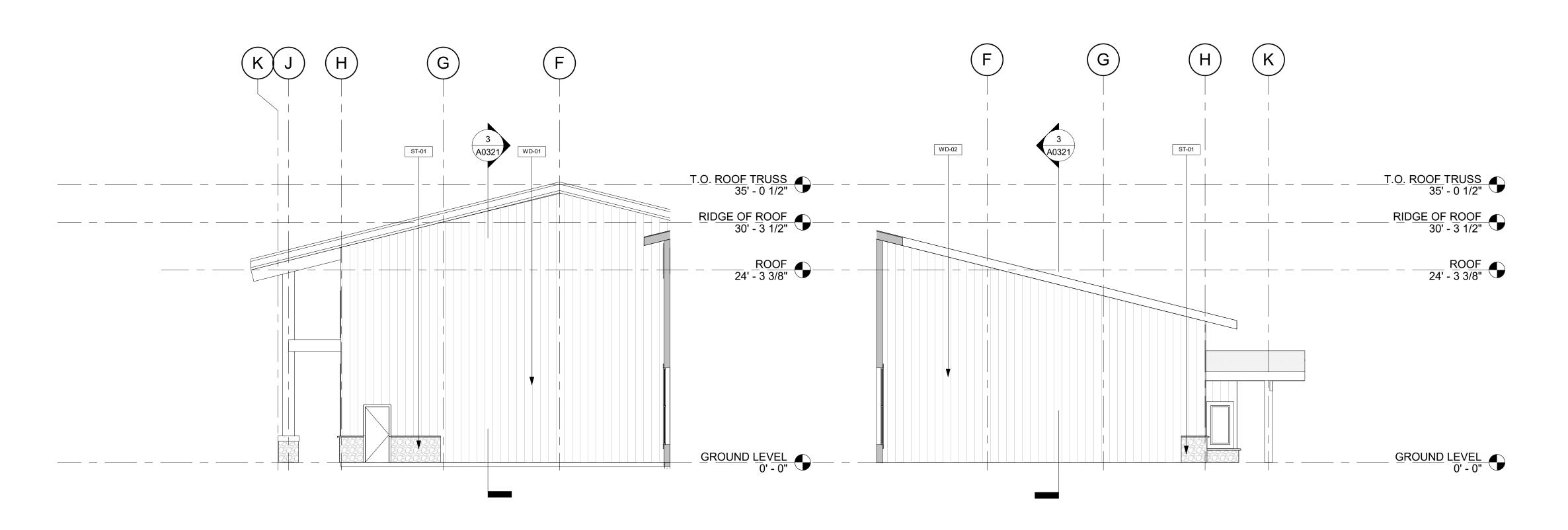
2 NORTH ELEVATION A0201 A0301 3/32" = 1'-0" NOT IN SCOPE

A0301

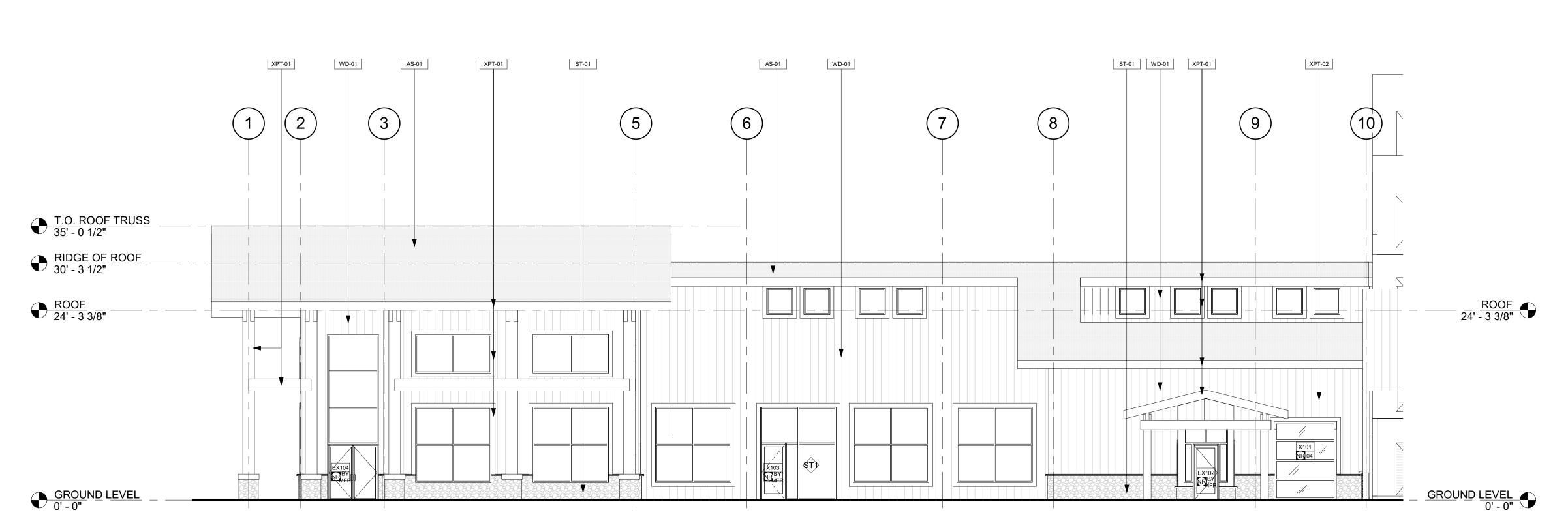
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2 EAST COURTYARD ELEVATION A0201 A0311 1/8" = 1'-0"



1 SOUTH ELEVATION - WEST
A0301 A0311 1/8" = 1'-0"

3 WEST COURTYARD ELEVATION 40201 40311 1/8" = 1'-0"

APPROVAL STAMPS:

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1901 CURVE PLAZA STEAMBOAT SPRINGS, CO 80487 DRAWING TITLE

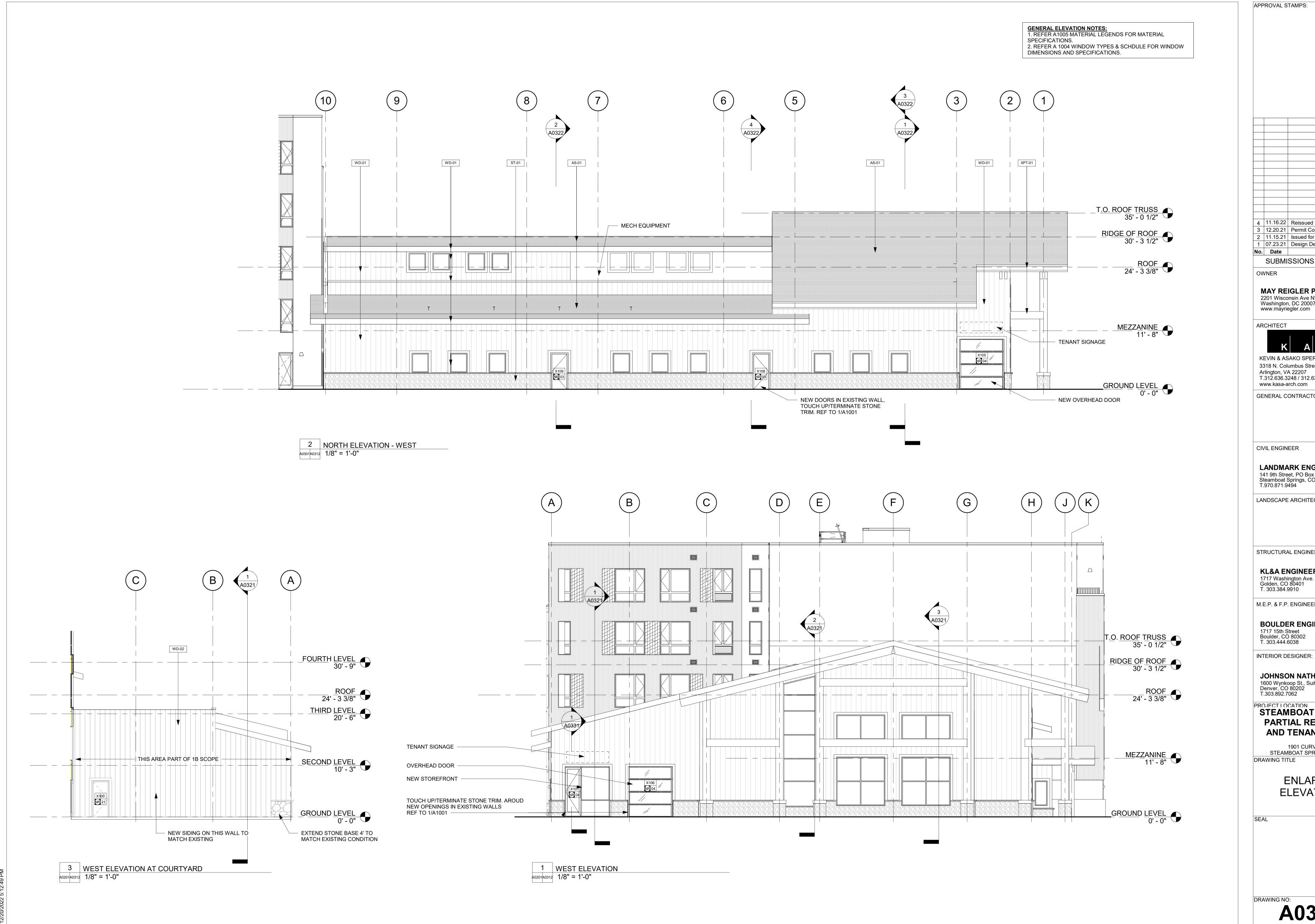
> **ENLARGED ELEVATIONS**

DATE: 11/15/21 DRAWN BY:

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PROJECT NO:

DRAWING NO:



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PROJECT LOCATION

STEAMBOAT BASECAMP PARTIAL RENOVATION

AND TENANT FIT-OUT 1901 CURVE PLAZA STEAMBOAT SPRINGS, CO 80487

> **ENLARGED ELEVATIONS**

> > DATE: 11/15/21 DRAWN BY:

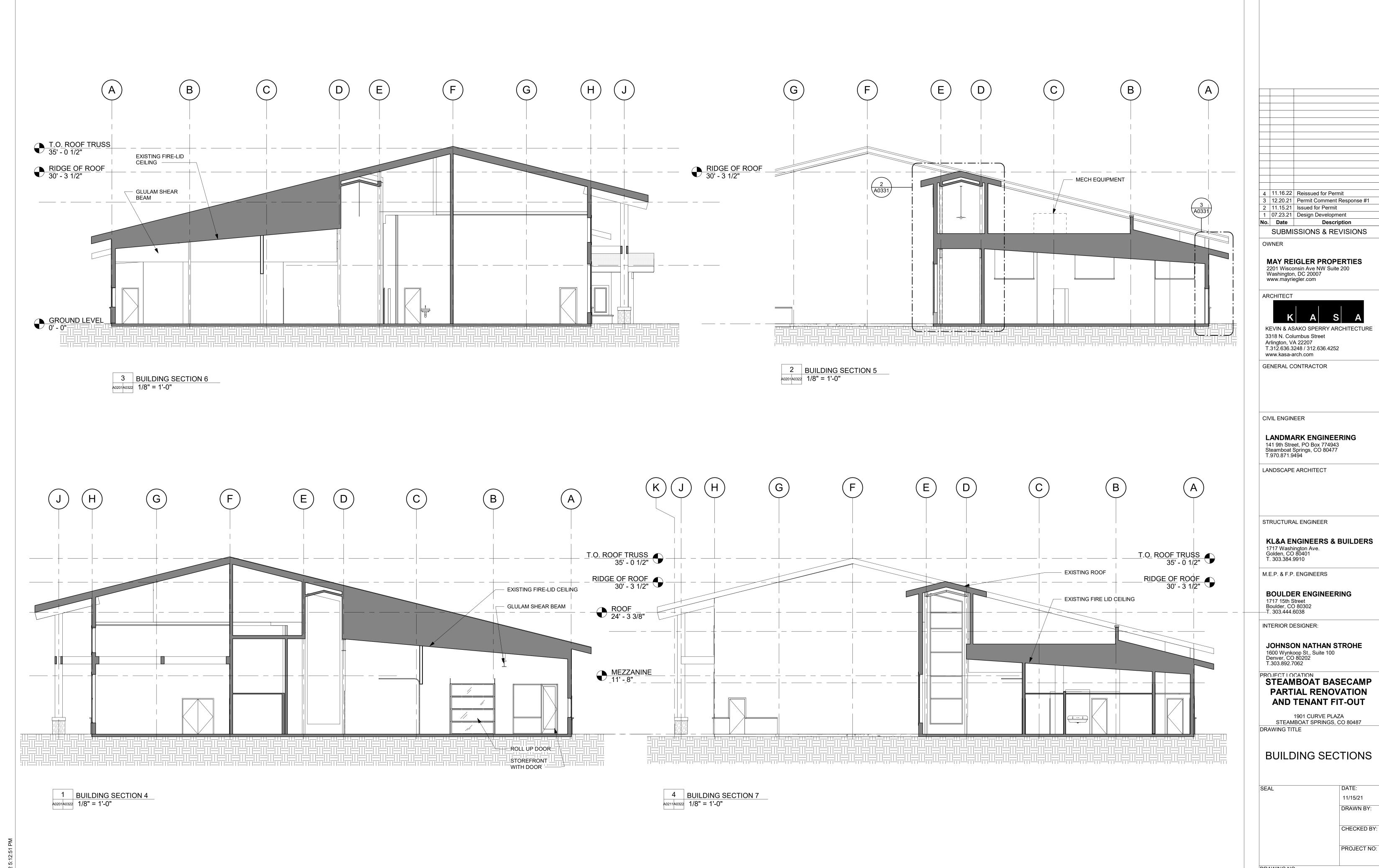
CHECKED BY:

PROJECT NO:

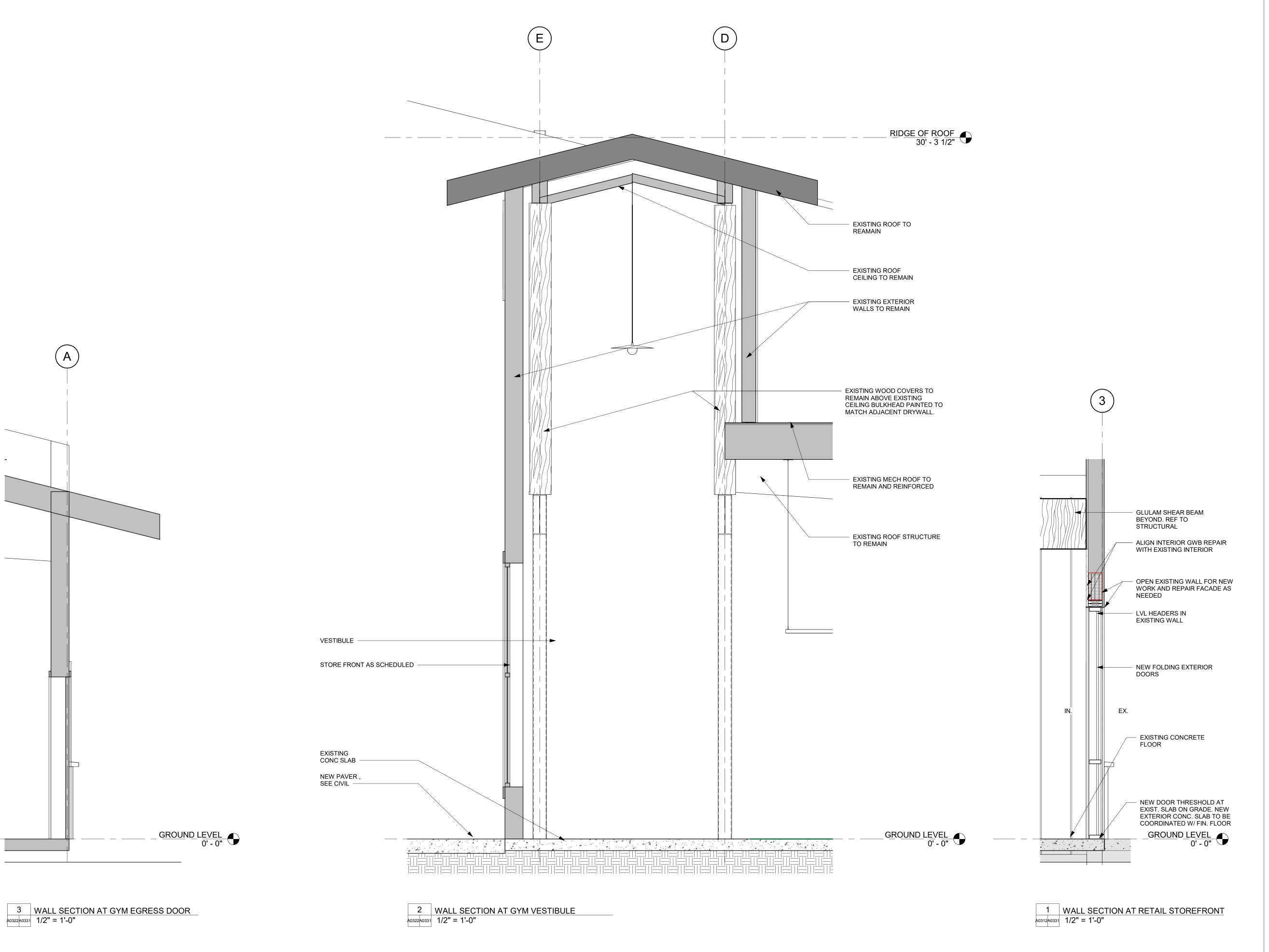


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DATE:



NO: **A 0222**



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1901 CURVE PLAZA STEAMBOAT SPRINGS, CO 80487 DRAWING TITLE

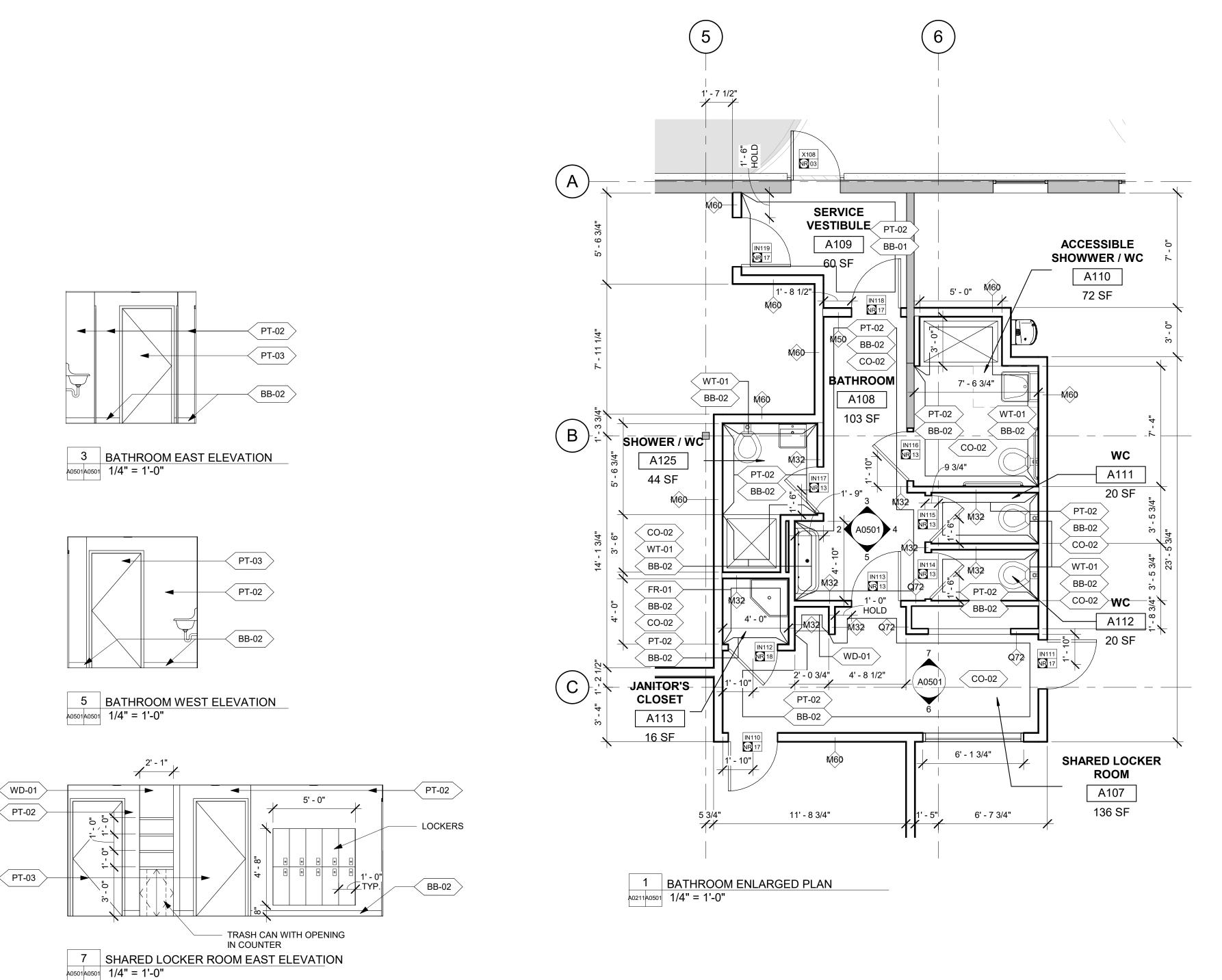
WALL SECTIONS

DATE: 11/15/21 DRAWN BY:

PROJECT NO:

CHECKED BY:

DRAWING NO:



			INTERIOR FINIS	H LEGEND	
TAG	DESCRIPTION	MANUFACTURER	PRODUCT	COLOR	NOTES
BB-01	VINYL BASE	ROPPE	STANDARD 4"H VINYL WALL BASE	193 BLACK BROWN	
BB-02	CERAMIC TILE BASE	DALTILE	COLOR WHEEL COLLECTION CLASSIC	ARCTIC WHITE 01901 GLOSSY	4X4 BASE. GROUT MAPEI 47 CHARCOL OR EQ.
CO-01	POLISHED CONCRETE		GC DISCRETION	NATURAL	CLEAR SEALER
CO-02	UNFINISHED CONCRETE		GC DISCRETION	NATURAL	CLEAR SEALER
FR-01	FRP WALL	TBD	GC DISCRETION	WHITE	
GL-01	MIRROR GLAZING	GC DISCRETION	CUSTOM	BLACK	MTL FRAMED MIRROR
PT-01	CLG PAINT	SHERWIN WILLIAMS	GC DISCRETION	SW6258 TRICORN BLACK	FLAT
PT-02	WALL PAINT	SHERWIN WILLIAMS	GC DISCRETION	SW7005 PURE WHITE	EGGSHELL
PT-03	ACCENT PAINT	SHERWIN WILLIAMS	GC DISCRETION	SW7069 IRON ORE	EGGSHELL
WD-01	WOOD	GC DISCRETION	WHITE OAK	NATURAL	CLEAR SATIN VARNISH
WT-01	CERAMIC WALL TILE	DALTILE	COLOR WHEEL COLLECTION CLASSIC	ARCTIC WHITE 01901 GLOSSY	4X4 RUNNING BOND. GROUT: MAPEI 47 CHARCOL OR EQ.

PT-03

PT-02

BB-02

PT-03

GL-01

WT-01

PT-02

PT-03

BB-02

PT-03

< PT-02

BB-02

2 BATHROOM NORTH ELEVATION

4 BATHROOM SOUTH ELEVATION

6 SHARED LOCKER ROOM WEST ELEVATION

A0501 A0501 1/4" = 1'-0"

A0501 A0501 1/4" = 1'-0"

INTERIOR

A0501 A0501 1/4" = 1'-0"

WINDOW

APPROVAL STAMPS:

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STEAMBOAT BASECAMP PARTIAL RENOVATION AND TENANT FIT-OUT

1901 CURVE PLAZA STEAMBOAT SPRINGS, CO 80487 DRAWING TITLE

PROJECT LOCATION

ENLARGED BATHROOM PLANS AND ELEVATIONS

DRAWING NO:

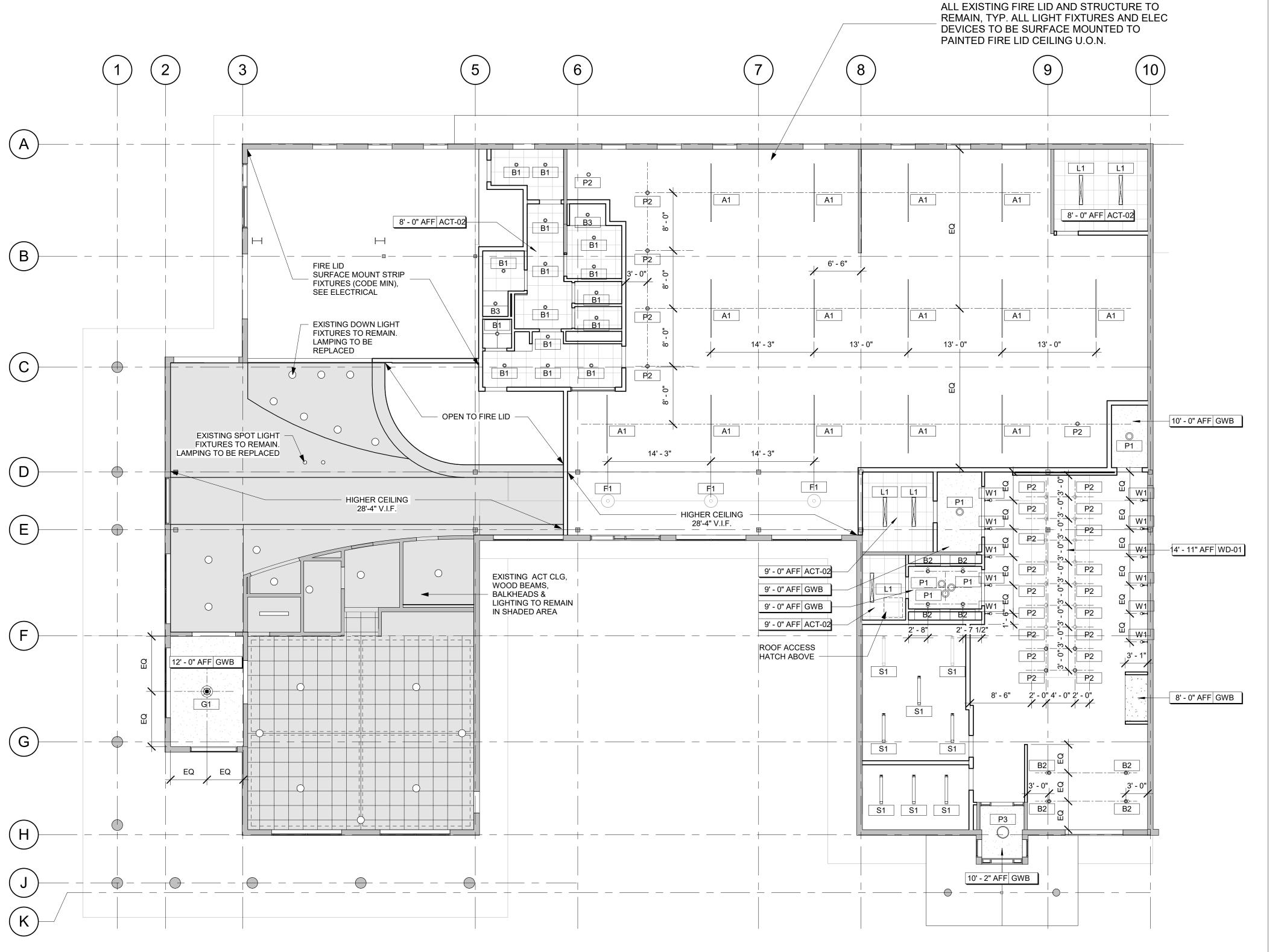
DATE: 10/16/22 DRAWN BY:

CHECKED BY:

PROJECT NO:

LIGHT FIXTURE SCHEDULE									
TAG	DESCRIPTION	MANUFACTURER	MODEL	COLOR/FINISH	DIMENSIONS	COMMENTS			
A1	LINEAR PENDANT	TBD	TBD						
B1	RECESSED DOWN LIGHT	TBD	TBD						
B2	RECESSED WALL WASH	WAC LIGHTING	OCULARC ADJUSTABLE ROUND	BLACK	4 3/4"W X 4 3/4"D X 4"H				
B3	RECESSED DAMP PROOF DOWN LIGHT	TBD	TBD						
F1	DECORATIVE PENDANT	TBD	TBD						
G1	DECORATIVE PENDANT	TBD	TBD						
L1	RECESSED LINEAR LIGHT	NULITE	RG2-05-L30-UNV-FRL-4	FROSTED	48"W X 2"D				
P1	DECORATIVE PENDANT	CEDAR AND MOSS	SALLY PENDANT	PERSIMMON / BLACK	8" W X 4" H				
P2	FLUSH MOUNT DOWN LIGHT	WAC LIGHTING	TUBE ARCHITECTURAL 6" / DS-CD06-S27-BK	BLACK	6"DIA X 10"H				
P3	SURFACE MOUNT LIGHT	SCHOOLHOUSE	FACTORY 4 SURFACE MOUNT WITH CAGE	BLACK / BLACK	12"DIA X 11"H				
S1	SURFACE MOUNT LINEAR	TBD	TBD						
W1	WALL MOUNT DIRECTIONAL UP LIGHT	ZANIBONI LIGHTING	GEM L 2 P / 343-612-848 LM	BLACK	2"W X 2"D X 4"H				

1 GROUND LEVEL RCP A0301 A0601 1/8" = 1'-0"



APPROVAL STAMPS:

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PROJECT LOCATION STEAMBOAT BASECAMP PARTIAL RENOVATION AND TENANT FIT-OUT

1901 CURVE PLAZA STEAMBOAT SPRINGS, CO 80487 DRAWING TITLE

REFLECTED CEILING **PLANS**

DATE: 11/15/21 DRAWN BY:

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DRAWING NO: A0601

			INTERIOR FINIS	SH LEGEND	
TAG	DESCRIPTION	MANUFACTURER	PRODUCT	COLOR	NOTES
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WD-01	WOOD	GC DISCRETION	WHITE OAK	NATURAL	CLEAR SATIN VARNISH
WT-01	CERAMIC WALL TILE	DALTILE	COLOR WHEEL COLLECTION CLASSIC	ARCTIC WHITE 01901 GLOSSY	4X4 RUNNING BOND. GROUT: MAPEI 47 CHARCOL OR EQ.



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FINISH PLANS

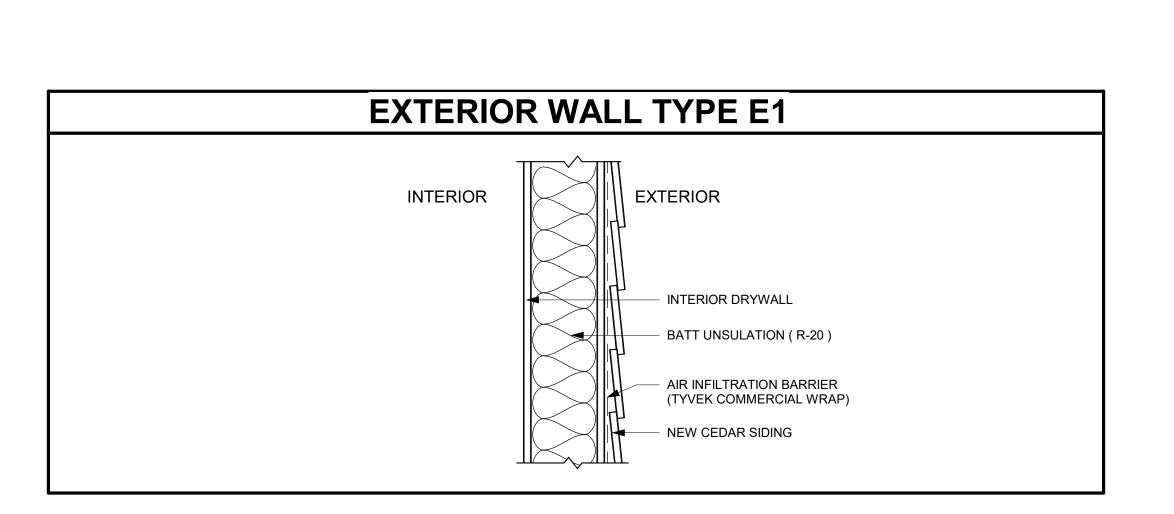
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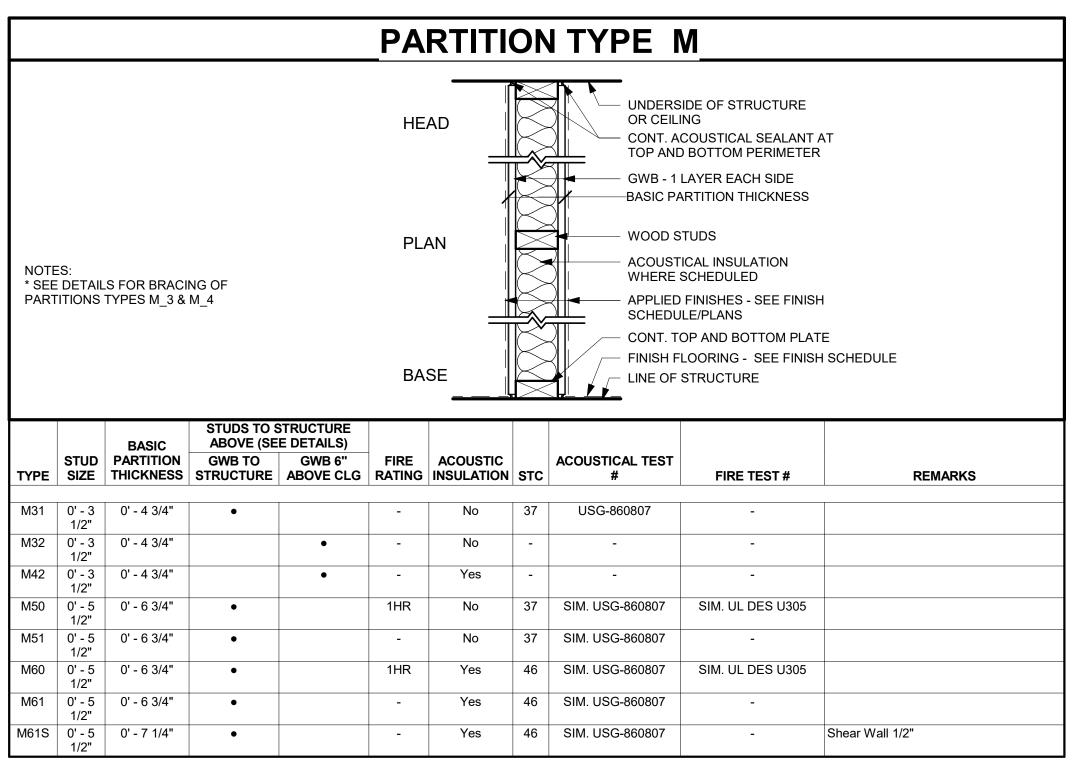
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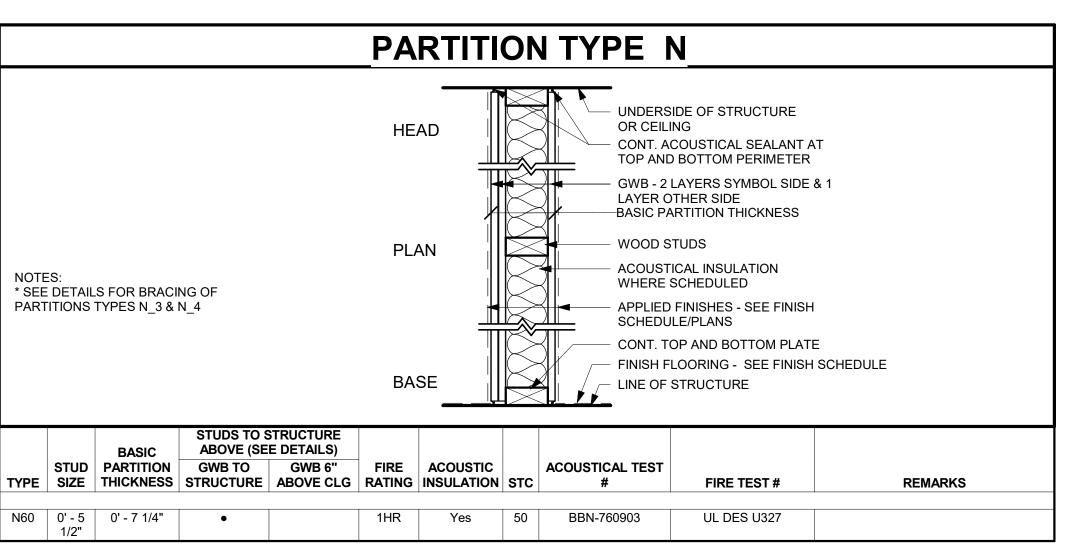
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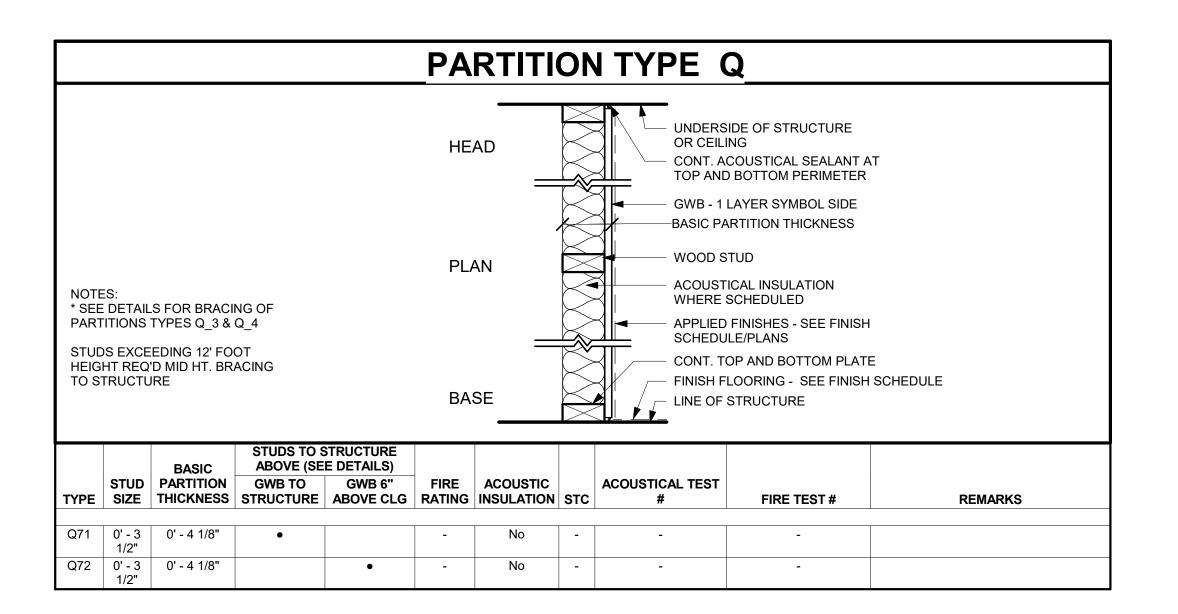
PROJECT NO:

DRAWING NO:









PARTITION GENERAL NOTES

A. REFERENCE ROOM FINISH SCHEDULE FOR BASES AND FINAL

- A. ALL BEARING PARTITIONS SHALL BE CONSTRUCTED PER
- B. ALL NON-BEARING PARTITIONS SHALL BE CONSTRUCTED TO LIMIT DEFLECTION TO L/240 WITH UNIFORM 5 P.S.F. UNIFORM
- PROVIDE DOUBLE FRAMING AT ALL JAMBS OF FRAMES AND
- PARTITION FRAMING.
- WHERE CONTROL JOINTS ARE REQUIRED BASED ON SPECIFIED FREQUENCY, AND ARE NOT SHOWN ON INTERIOR ELEVATIONS, LOCATE CONTROL JOINTS ON BOTH THE STRIKE AND SWING SIDE OF DOORS. WHEN PROVIDING CONTROL JOINTS AT DOORS DOES NOT MEET THE SPECIFIED FREQUENCY, PROVIDE DOUBLE STUD CONTROL JOINT CONSTRUCTION AND VERIFY LOCATION WITH THE ARCHITECT.
- SCREW ATTACHMENT OF STUDS TO RUNNER TRACKS TO
- PROVIDE ADEQUATE SHEET METAL OR STEEL BACKING FOR ALL WALL MOUNTED ARCHITECTURAL WOODWORK, FINISH CARPENTRY, TOILET PARTITIONS AND ACCESSORIES, RAILINGS AND SIMILAR MOUNTED ITEMS.
- ALL FRAMING SHALL COORDINATE WITH ALL BUILDING TRADES INCLUDING BUT NOT LIMITED TO MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION.

- ITEMS SHOWN OR SCHEDULED TO BE SEMI OR FULLY RECESSED SHALL BE INSTALLED FLUSH WITH THE FINISH FACE OF PARTITIONS UNLESS NOTED OTHERWISE. PARTITION DEPTH OR TYPE SHALL BE ADJUSTED TO ACCOMMODATE THE DEPTH OF RECESSED ITEM OR AS DIRECTED BY THE ARCHITECT.
- PROVIDE CEMENTITIOUS BACKER BOARD AT ALL SHOWER LOCATIONS AND WATER-RESISTANT BACKER BOARD AT ALL OTHER LAVATORY AND TOILET LOCATIONS.

- PROVIDE PERMANENTLY STENCILED IDENTIFICATION ABOVE THE CEILING AT 4'-0" O.C. ON ALL CORRIDOR PARTITIONS, SMOKE PARTITIONS, HORIZONTAL EXIT PARTITIONS, EXIT ENCLOSURES, AND FIRE RATED WALLS. THE IDENTIFICATION SHALL BE A MINIMUM OF 4" HIGH AND READ AS FOLLOWS: "FIRE AND SMOKE BARRIER - PROTECT ALL OPENINGS".
- ALL FIRE-RESISTANCE RATED PARTITIONS SHALL BE CONSTRUCTED FROM TOP OF NON-FINISHED FLOOR CONSTRUCTION TO BOTTOM OF FLOOR CONSTRUCTION
- FIRE RATED HEAD CONDITONS AND THROUGH PENETRATIONS, WHETHER A SUB-PART OF THE REFERENCED RATED ASSEMBLY, OR AS SHOWN IN DETAIL REPRESENT TYPICAL HEAD-OF-WALL CONDITIONS. ATYPICAL CONDITIONS DISCOVERED DURING REQUIRED TRADE COORDINATION ARE REQUIRED TO MAINTAIN THE INTEGRITY OF THE FIRE-RESISTANCE RATING NOTED ON THE FLOOR PLANS. PROVIDE AND INDUSTRY RECOGNIZED FIRE RESISTANCE TEST OR LETTER OF ENGINEERING JUDGMENT, FOR ALL ATYPICAL CONDITIONS FOR REVIEW PRIOR TO CONSTRUCTION.
- ALL THROUGH PENETRATIONS IN FIRE-RESISTANCE RATED PARTITIONS SHALL BE SEALED WITH MATERIALS AND ASSEMBLIES NECESSARY TO MAINTAIN THE REQUIRED FIRE-RESISTANCE RATING OF THE PARTITION.

5. SOUND RESISTANCE RATING

- A. ALL PARTITIONS NOTED TO BE SOUND RESISTANCE RATED (SA), SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE REFERENCED TEST.
- GYPSUM BOARD PARTITIONS SHALL BE CONSTRUCTED WITH SOUND ATTENUATED INSULATION AS SCHEDULED. INSULATION SHALL BE CONTINUOUS AND WITHOUT INTERRUPTION.
- ALL THROUGH PENETRATIONS IN SOUND RESISTANCE RATED PARTITIONS SHALL BE SEALED WITH ACOUSTICAL SEALANT TO MAINTAIN REFERENCED SOUND RESISTANCE RATING.
- THROUGH PENETRATIONS IN ALL PARTITIONS NOTED TO BE SOUND RESISTANCE RATED AND FIRE RESISTANCE RATED ARE REQUIRED TO BE SEALED WITH MATERIALS CAPABLE OF MEETING BOTH SOUND AND FIRE RESISTANCE RATINGS.

FINISHES NOT SHOWN ON PARTITION TYPES

2. FRAMING

- STRUCTURAL DRAWINGS AND SPECIFICATIONS.
- CASED OPENINGS.
- ISOLATE NON-BEARING FRAMING FROM STRUCTURAL ELEMENTS TO PREVENT THE TRANSFER OF LOADS TO
- OCCUR ON BOTH SIDES.

3. GYPSUM BOARD

4. FIRE RATED PARTITIONS

- RATED PARTITIONS ARE TO BE CONTSTRUCTED BEFORE NON-RATED PARTITIONS. ABUTT NON-RATED PARTITIONS TO RATED PARTITIONS.

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STRUCTURAL ENGINEER

KL&A ENGINEERS & BUILDERS

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PROJECT LOCATION STEAMBOAT BASECAMP PARTIAL RENOVATION AND TENANT FIT-OUT

1901 CURVE PLAZA STEAMBOAT SPRINGS, CO 80487 DRAWING TITLE

PARTITION SCHEDULES

11/15/21 DRAWN BY:

DATE:

CHECKED BY:

PROJECT NO:

		DOOR HARDWARE SCHEDU	ULE	
QTY	ITEM	MODEL	FINISH	MFR
#01		•	•	
6 EA	HINGES BY SF MFR	PRE-HUNG DOOR & FRAME		
1 EA	RIM CYLINDER			
2 EA	PANIC HARDWARE			
2 EA	90 DEG OFFSET PULL			
2 EA	OH STOP			
2 EA	SURFACE CLOSER			
2 EA	MOUNTING PLATE			
2 EA	DOOR SWEEP			
1 EA	THRESHOLD			
1 EA	FLUSH BOLT SET			
	WEATHER SEAL BY			
	ALUMINIUM DOOR			
#02	•	•	•	
3 EA	HINGES BY SF MFR	PRE-HUNG DOOR & FRAME		
1 EA	RIM CYLINDER			
1 EA	PANIC HARDWARE			
1 EA	90 DEG OFFSET PULL			
1 EA	OH STOP			
1 EA	SURFACE CLOSER	+	+	
1 EA	MOUNTING PLATE	+		
1 EA	DOOR SWEEP			
1 EA	THRESHOLD			
	WEATHER SEAL BY			
L	ALUMINIUM DOOR	<u> </u>		
#03				
3 EA	HINGE			
	PANIC HARDWARE W/ KEY		<u> </u>	
1 EA	LOCK LEVER			
1 EA	DOOR STOP	+	+	
		+	+	
1 EA	SURFACE CLOSER	+		
1 EA	MOUNTING PLATE			
1 EA	DOOR SWEEP			
1 EA	THRESHOLD			
#04				
		ALL HARDWARE BY MFR		
#11		•		
6 EA	HINGES BY SF MFR	PRE-HUNG DOOR & FRAME		
2 EA	PANIC HARDWARE			
2 EA	90 DEG OFFSET PULL			
2 EA	OH STOP			
2 EA	SURFACE CLOSER			
2 EA	MOUNTING PLATE			
2 EA	DOOR SWEEP			
1 EA	THRESHOLD			
1 EA	FLUSH BOLT SET			
#12				
3 EA	HINGE			
1 EA	OFFICE LOCK			
1 EA	DOOR STOP			
#13	•	•	•	
3 EA	HINGE			
1 EA	PRIVACY LOCK		<u> </u>	
1 EA	DOOR STOP	†		
#14	1-000101	ı	I	<u> </u>
2 EA	DOUBLE ACTING LUNCE	1		
	DOUBLE ACTING HINGE		1	
een E			<u> </u>	
#15	CLIDING BYDAGG HARDWARE	1		1
1 EA	SLIDING BYPASS HARDWARE			
1 EA 2 EA	SLIDING BYPASS HARDWARE SLIDING DOOR HANDLE			
1 EA 2 EA #16	SLIDING DOOR HANDLE			
1 EA 2 EA #16 3 EA	SLIDING DOOR HANDLE HINGE			
1 EA 2 EA #16 3 EA 1 EA	SLIDING DOOR HANDLE HINGE PASSAGE LATCH			
1 EA 2 EA #16 3 EA	SLIDING DOOR HANDLE HINGE			
1 EA 2 EA #16 3 EA 1 EA	SLIDING DOOR HANDLE HINGE PASSAGE LATCH			
1 EA 2 EA #16 3 EA 1 EA	SLIDING DOOR HANDLE HINGE PASSAGE LATCH	PRE-HUNG DOOR & FRAME		
1 EA 2 EA #16 3 EA 1 EA 1 EA #17 3 EA	SLIDING DOOR HANDLE HINGE PASSAGE LATCH DOOR STOP HINGES BY SF MFR	PRE-HUNG DOOR & FRAME		
1 EA 2 EA #16 3 EA 1 EA 1 EA #17 3 EA 1 EA	SLIDING DOOR HANDLE HINGE PASSAGE LATCH DOOR STOP HINGES BY SF MFR RIM CYLINDER	PRE-HUNG DOOR & FRAME		
1 EA 2 EA #16 3 EA 1 EA 1 EA #17 3 EA 1 EA 1 EA	SLIDING DOOR HANDLE HINGE PASSAGE LATCH DOOR STOP HINGES BY SF MFR RIM CYLINDER PANIC HARDWARE	PRE-HUNG DOOR & FRAME		
1 EA 2 EA #16 3 EA 1 EA 1 EA #17 3 EA 1 EA 1 EA	HINGE PASSAGE LATCH DOOR STOP HINGES BY SF MFR RIM CYLINDER PANIC HARDWARE 90 DEG OFFSET PULL	PRE-HUNG DOOR & FRAME		
1 EA 2 EA #16 3 EA 1 EA 1 EA #17 3 EA 1 EA 1 EA 1 EA	HINGE PASSAGE LATCH DOOR STOP HINGES BY SF MFR RIM CYLINDER PANIC HARDWARE 90 DEG OFFSET PULL OH STOP	PRE-HUNG DOOR & FRAME		
1 EA 2 EA #16 3 EA 1 EA 1 EA 1 EA 1 EA 1 EA 1 EA 1 EA	HINGE PASSAGE LATCH DOOR STOP HINGES BY SF MFR RIM CYLINDER PANIC HARDWARE 90 DEG OFFSET PULL OH STOP SURFACE CLOSER	PRE-HUNG DOOR & FRAME		
1 EA 2 EA #16 3 EA 1 EA 1 EA 1 EA 1 EA 1 EA 1 EA 1 EA 1	HINGE PASSAGE LATCH DOOR STOP HINGES BY SF MFR RIM CYLINDER PANIC HARDWARE 90 DEG OFFSET PULL OH STOP SURFACE CLOSER MOUNTING PLATE	PRE-HUNG DOOR & FRAME		
1 EA 2 EA #16 3 EA 1 EA 1 EA 1 EA 1 EA 1 EA 1 EA 1 EA 1	HINGE PASSAGE LATCH DOOR STOP HINGES BY SF MFR RIM CYLINDER PANIC HARDWARE 90 DEG OFFSET PULL OH STOP SURFACE CLOSER MOUNTING PLATE DOOR SWEEP	PRE-HUNG DOOR & FRAME		
1 EA 2 EA #16 3 EA 1 EA 1 EA 1 EA 1 EA 1 EA 1 EA 1 EA 1	HINGE PASSAGE LATCH DOOR STOP HINGES BY SF MFR RIM CYLINDER PANIC HARDWARE 90 DEG OFFSET PULL OH STOP SURFACE CLOSER MOUNTING PLATE	PRE-HUNG DOOR & FRAME		
1 EA 2 EA #16 3 EA 1 EA 1 EA 1 EA 1 EA 1 EA 1 EA 1 EA 1	HINGE PASSAGE LATCH DOOR STOP HINGES BY SF MFR RIM CYLINDER PANIC HARDWARE 90 DEG OFFSET PULL OH STOP SURFACE CLOSER MOUNTING PLATE DOOR SWEEP	PRE-HUNG DOOR & FRAME		
1 EA 2 EA #16 3 EA 1 EA 1 EA 1 EA 1 EA 1 EA 1 EA 1 EA 1	HINGE PASSAGE LATCH DOOR STOP HINGES BY SF MFR RIM CYLINDER PANIC HARDWARE 90 DEG OFFSET PULL OH STOP SURFACE CLOSER MOUNTING PLATE DOOR SWEEP	PRE-HUNG DOOR & FRAME		
1 EA 2 EA #16 3 EA 1 EA 1 EA 1 EA 1 EA 1 EA 1 EA 1 EA 1	HINGE PASSAGE LATCH DOOR STOP HINGES BY SF MFR RIM CYLINDER PANIC HARDWARE 90 DEG OFFSET PULL OH STOP SURFACE CLOSER MOUNTING PLATE DOOR SWEEP THRESHOLD	PRE-HUNG DOOR & FRAME		
1 EA 2 EA #16 3 EA 1 EA 1 EA 1 EA 1 EA 1 EA 1 EA 1 EA 1	HINGE PASSAGE LATCH DOOR STOP HINGES BY SF MFR RIM CYLINDER PANIC HARDWARE 90 DEG OFFSET PULL OH STOP SURFACE CLOSER MOUNTING PLATE DOOR SWEEP THRESHOLD HINGE STOREROOM LOCK	PRE-HUNG DOOR & FRAME		
1 EA 2 EA #16 3 EA 1 EA 1 EA 1 EA 1 EA 1 EA 1 EA 1 EA 1	HINGE PASSAGE LATCH DOOR STOP HINGES BY SF MFR RIM CYLINDER PANIC HARDWARE 90 DEG OFFSET PULL OH STOP SURFACE CLOSER MOUNTING PLATE DOOR SWEEP THRESHOLD	PRE-HUNG DOOR & FRAME		
1 EA 2 EA #16 3 EA 1 EA 1 EA 1 EA 1 EA 1 EA 1 EA 1 EA 1	HINGE PASSAGE LATCH DOOR STOP HINGES BY SF MFR RIM CYLINDER PANIC HARDWARE 90 DEG OFFSET PULL OH STOP SURFACE CLOSER MOUNTING PLATE DOOR SWEEP THRESHOLD HINGE STOREROOM LOCK DOOR STOP	PRE-HUNG DOOR & FRAME		
1 EA 2 EA #16 3 EA 1	HINGE PASSAGE LATCH DOOR STOP HINGES BY SF MFR RIM CYLINDER PANIC HARDWARE 90 DEG OFFSET PULL OH STOP SURFACE CLOSER MOUNTING PLATE DOOR SWEEP THRESHOLD HINGE STOREROOM LOCK DOOR STOP	PRE-HUNG DOOR & FRAME		
1 EA 2 EA #16 3 EA 1 EA 2 EA 1 EA	SLIDING DOOR HANDLE HINGE PASSAGE LATCH DOOR STOP HINGES BY SF MFR RIM CYLINDER PANIC HARDWARE 90 DEG OFFSET PULL OH STOP SURFACE CLOSER MOUNTING PLATE DOOR SWEEP THRESHOLD HINGE STOREROOM LOCK DOOR STOP HINGE BALL LATCH	PRE-HUNG DOOR & FRAME		
1 EA 2 EA #16 3 EA 1 EA 2 EA 2 EA 2 EA	HINGE PASSAGE LATCH DOOR STOP HINGES BY SF MFR RIM CYLINDER PANIC HARDWARE 90 DEG OFFSET PULL OH STOP SURFACE CLOSER MOUNTING PLATE DOOR SWEEP THRESHOLD HINGE STOREROOM LOCK DOOR STOP HINGE BALL LATCH DUMMY SET	PRE-HUNG DOOR & FRAME		
1 EA 2 EA #16 3 EA 1	SLIDING DOOR HANDLE HINGE PASSAGE LATCH DOOR STOP HINGES BY SF MFR RIM CYLINDER PANIC HARDWARE 90 DEG OFFSET PULL OH STOP SURFACE CLOSER MOUNTING PLATE DOOR SWEEP THRESHOLD HINGE STOREROOM LOCK DOOR STOP HINGE BALL LATCH	PRE-HUNG DOOR & FRAME		

	- WOOD TRIM TO MATCH EXISTING
	- REPLACE OR REPAIR SIDING TO MATCH EXISTING AROUND NEW DOOR
	- EXISTING STONE BASE, REPAIR AS NEEDED AFTER DEMO FOR
	NEW DOOR - STONE TRIM TO MATCH EXISTING AND OPENING EDGE

TYPICAL ENLARGED ELEVATION AT NEW

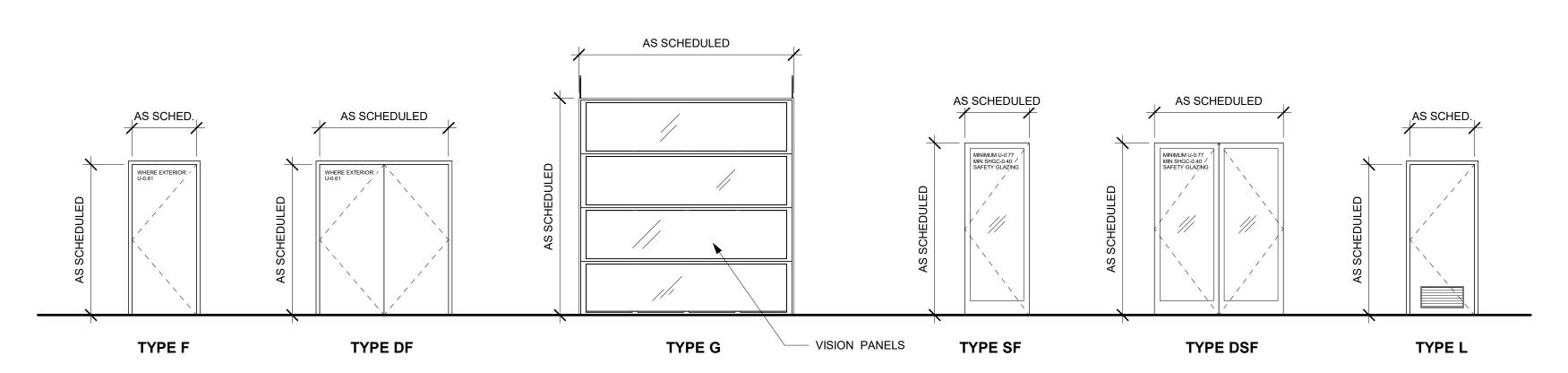
1 EXTERIOR DOOR IN EXISTING WALL

A1001 1/2" = 1'-0"

NOTE: EX DOOORS ARE EXISTING TO REMAIN, NOT SCHEDULED HERE

		Loc	Location						No.				Fram	^		
Door #	From Room: To Room: Door	Material	Finish	Width	Door Height	Thickness	Hardware Set	Fire Rating	Material	Head	Jamb	Sill	Comments			
IN100 (GROUND LEVEL	A120	A121	SF	AL	PTD	3' - 0"	7' - 0"	0' - 1 3/4"	BY MFR	NR	AL				
	GROUND LEVEL	A122	A121	L	HM	PTD	3' - 0"	7' - 0"	0' - 1 3/4"	16	20 MIN	HM				
IN102 (GROUND LEVEL	A123	A121	F	НМ	PTD	3' - 0"	7' - 0"	0' - 1 3/4"	18	20 MIN	НМ				
IN103 (GROUND LEVEL	A126	A124	F	НМ	PTD	3' - 0"	7' - 0"	0' - 1 3/4"	18	NR	НМ				SALVAGED DOOR
IN104 (GROUND LEVEL	A127	A128	F	HM	PTD	3' - 0"	7' - 0"	0' - 1 3/4"	16	NR	НМ				
IN110 (GROUND LEVEL	A102	A107	F	HM	PTD	3' - 0"	7' - 0"	0' - 1 3/4"	17	NR	HM				
IN111 (GROUND LEVEL	A105	A107	F	HM	PTD	3' - 0"	7' - 0"	0' - 1 3/4"	17	NR	HM				
IN112 (GROUND LEVEL	A113	A107	F	HM	PTD	3' - 0"	7' - 0"	0' - 1 3/4"	18	NR	HM				
IN113 (GROUND LEVEL	A107	A108	F	HM	PTD	3' - 0"	7' - 0"	0' - 1 3/4"	13	NR	HM				BATHROOM STALL
IN114 (GROUND LEVEL	A108	A112	F	HM	PTD	2' - 10"	7' - 0"	0' - 1 3/4"	13	NR	НМ				BATHROOM STALL
IN115 (GROUND LEVEL	A108	A111	F	HM	PTD	2' - 10"	7' - 0"	0' - 1 3/4"	13	NR	НМ				BATHROOM STALL
IN116 (GROUND LEVEL	A108	A110	F	HM	PTD	3' - 0"	7' - 0"	0' - 1 3/4"	13	NR	НМ				
IN117 (GROUND LEVEL	A125	A108	F	HM	PTD	2' - 10"	7' - 0"	0' - 1 3/4"	13	NR	HM				
N118 (GROUND LEVEL	A108	A109	F	HM	PTD	3' - 0"	7' - 0"	0' - 1 3/4"	17	NR	HM				
IN119 (GROUND LEVEL	A102	A109	F	HM	PTD	3' - 0"	7' - 0"	0' - 1 3/4"	17	NR	HM				
IN212 (GROUND LEVEL	A105	A106	F	НМ	PTD	3' - 0"	7' - 0"	0' - 1 3/4"	18	NR	HM				SALVAGED DOOR

	EXTERIOR DOOR SCHEDULE															
		Loc	cation	Door					Fram	ie						
Door #	or Level	From Room: Number	To Room: Number	Door Type	Material	Finish	Width	Height	Thickness	Hardware Set	Fire Rating	Material	Head	Jamb	Sill	Comments
X100	GROUND LEVEL	A121		F	НМ	PTD	3' - 0"	7' - 0"	0' - 1 3/4"	03	NR	НМ	H1	J1	S1	
X101	GROUND LEVEL	7.121	A121	G	AL	PTD	7' - 10"	9' - 0"	0' - 1 1/2"	04	NR	AL	H2	J2	S2	ROLL UP DOOR
X103	GROUND LEVEL	A105		SF	AL	PTD	3' - 0"	7' - 2"	0' - 1 3/4"	BY MFR	NR	AL	H3	J3	S3	STOREFRONT
X105	GROUND LEVEL		A102	G	AL	PTD	8' - 10"	10' - 0"	0' - 1 1/2"	04	NR	AL	H2	J2	S2	ROLL UP DOOR
X106	GROUND LEVEL	A102		G	AL	PTD	8' - 10"	10' - 0"	0' - 1 1/2"	04	NR	AL	H2	J2	S2	ROLL UP DOOR
X107	GROUND LEVEL	A102		SF	AL	PTD	3' - 0"	9' - 8"	0' - 1 3/4"	04	NR	AL	H3	J3	S3	STOREFRONT
X108	GROUND LEVEL		A109	F	HM	PTD	3' - 0"	7' - 0"	0' - 1 3/4"	03	NR	НМ	H1	J1	S1	
X109	GROUND LEVEL		A105	F	HM	PTD	3' - 0"	7' - 0"	0' - 1 3/4"	03	NR	НМ	H1	J1	S1	
X200	SECOND LEVEL					N/A	4' - 0"	1' - 0"		BY MFR	NR					4'X4' ROOF HATCH



DOOR ELEVATION LEGEND
1/4" = 1'-0"

APPROVAL STAMPS:

4 11.16.22 Reissued for Permit

4 11.16.22 Reissued for Permit
3 12.20.21 Permit Comment Response #1
2 11.15.21 Issued for Permit
1 07.23.21 Design Development

1 07.23.21 Design Development

No. Date Description

SUBMISSIONS & REVISIONS

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STRUCTURAL ENGINEER

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T. 303.384.9910

M.E.P. & F.P. ENGINEERS

BOULDER ENGINEERING 1717 15th Street Boulder, CO 80302 T. 303.444.6038

INTERIOR DESIGNER:

JOHNSON NATHAN STROHE 1600 Wynkoop St., Suite 100 Denver, CO 80202 T.303.892.7062

PROJECT LOCATION
STEAMBOAT BASECAMP
PARTIAL RENOVATION
AND TENANT FIT-OUT

1901 CURVE PLAZA STEAMBOAT SPRINGS, CO 80487 DRAWING TITLE

DOOR TYPES & SCHEDULE

SEAL

DATE: 11/15/21 DRAWN BY:

CHECKED BY:

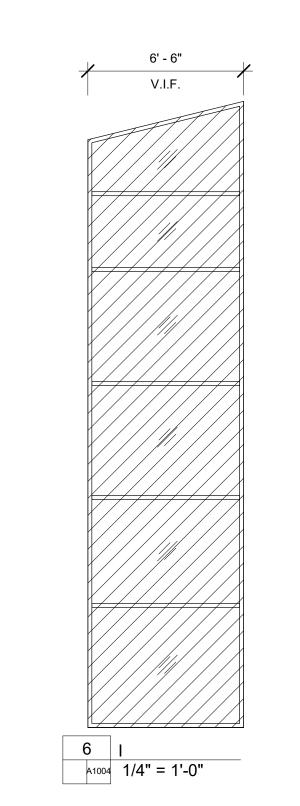
PROJECT NO:

A1001

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WINDOW SCHEDULE								
Type Mark	Width	Height	Operation	Manufacturer	Model	Color/Finish	Contact	Notes
Α	6' - 6"	21' - 2"	FIXED		MATCH EX	XISTING FRAME/MULLION (DARK BRONZE)		EXISTING TO REMAIN. PAINT CASING TO MATCH WINDOWS
В	9' - 8"	4' - 11"	FIXED		MATCH EX	XISTING FRAME/MULLION (DARK BRONZE)		EXISTING TO REMAIN. PAINT CASING TO MATCH WINDOWS
С	9' - 8"	9' - 8"	FIXED		MATCH EX	XISTING FRAME/MULLION (DARK BRONZE)		EXISTING TO REMAIN. PAINT CASING TO MATCH WINDOWS
D	3' - 4"	3' - 4"	FIXED		MATCH EX	XISTING FRAME/MULLION (DARK BRONZE)		EXISTING TO REMAIN. PAINT CASING TO MATCH WINDOWS
E	6' - 10"	6' - 8"	FIXED		MATCH EX	XISTING FRAME/MULLION (DARK BRONZE)		EXISTING TO REMAIN. PAINT CASING TO MATCH WINDOWS
Н	3' - 4"	3' - 10"	FIXED		MATCH EX	XISTING FRAME/MULLION (DARK BRONZE)		EXISTING TO REMAIN. PAINT CASING TO MATCH WINDOWS
I	6' - 6"	26' - 1 1/4"	FIXED		MATCH EX	XISTING FRAME/MULLION (DARK BRONZE)		EXISTING TO REMAIN. PAINT CASING TO MATCH WINDOWS
J	5' - 7 1/4"	21' - 2"	FIXED		MATCH EX	XISTING FRAME/MULLION (DARK BRONZE)		EXISTING TO REMAIN. PAINT CASING TO MATCH WINDOWS
Ja	2' - 5"	4' - 11"	FIXED	MATCH EXISTING FRAME/MULLION (DARK BRONZE) EXISTING TO REMA				EXISTING TO REMAIN. PAINT CASING TO MATCH WINDOWS

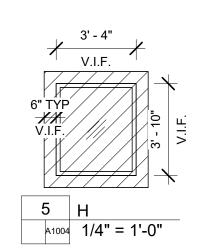
NOTE: ALL NEW WINDOWS AND STOREFRONT TO BE DARK BRONZE COLOR

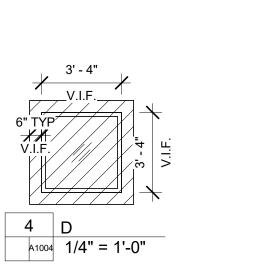


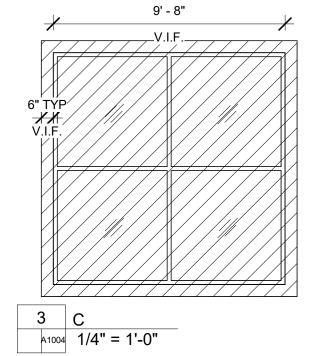
5' - 7 1/4"

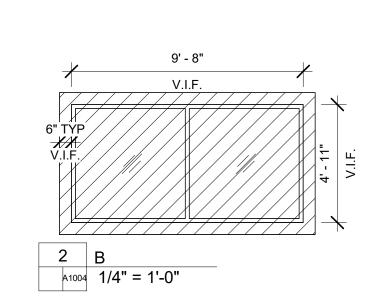
3' - 3 3/4"—

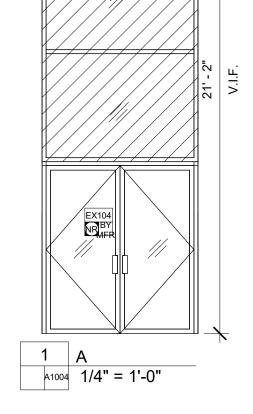
7 J V.I.F.
A1004 1/4" = 1'-0"











6' - 6" V.I.F.

4 11.16.22 Reissued for Permit 3 12.20.21 Permit Comment Response #1 2 11.15.21 Issued for Permit 1 07.23.21 Design Development No. Date Description SUBMISSIONS & REVISIONS

APPROVAL STAMPS:

OWNER

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ARCHITECT



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WINDOW TYPES &

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