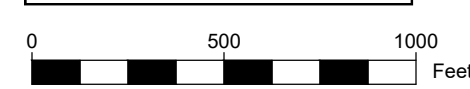


DEVELOPMENT PLAN for COPPER RIDGE VILLAGE

LOT 1 STEAMBOAT AIRPARK, LOCATED IN THE NORTHEAST ¼ OF SECTION 1, TOWNSHIP 6 NORTH, RANGE 85 WEST OF THE 6TH PRINCIPAL MERIDIAN, STEAMBOAT SPRINGS, ROUTT COUNTY, COLORADO



MICINITY MAP



LEGEND	
---	PROPERTY BOUNDARY
---	ADJACENT PROPERTY BOUNDARY
---	EXISTING EASEMENT
---	EXISTING SETBACK
---	EXISTING EDGE OF ASPHALT
---	PROPOSED EDGE OF CONCRETE
---	EXISTING 1 FT CONTOUR
---	EXISTING 5 FT CONTOUR
---	PROPOSED 1 FT CONTOUR
---	PROPOSED 5 FT CONTOUR
---	EXISTING EDGE OF GRAVEL
---	PR CENTER LINE OF DITCH
---	EXISTING WATER LINE
○	EX CURB STOP, GATE VALVE, FIRE HYDRANT
○	PROPOSED WATER SERVICE LINE
○	PR CURB STOP, GATE VALVE, FIRE HYDRANT
△	THRUST BLOCK
---	EXISTING SEWER LINE
○	EXISTING MANHOLE AND CLEANOUTS
○	PROPOSED SEWER LINE
○	PROPOSED MANHOLE AND CLEANOUTS
---	EXISTING ELECTRICAL
---	EXISTING TELEPHONE
□	UTILITY PEDESTALS
○	POWER POLE
---	GAS
---	EXISTING FENCE
---	PROPOSED EDGE OF CONCRETE
---	DECK
---	PROPOSED BUILDING
---	OVERHANG
---	PROPOSED POND
---	SIDEWALK/BOARDWALK
---	PERIMETER DRAIN
---	WALL
---	VEGETATION OUTLINE
○	STORM INLET
---	PR STORMWATER PIPE
---	EX STORMWATER PIPE
---	EX CONCRETE
---	PR CONCRETE
---	PR GRAVEL
---	ROCK/RIP RAP
---	PR ASPHALT
---	SNOW STORAGE
---	FLOW ARROW

SHEET INDEX	
C1	COVER PAGE & NOTES
CIVILS	
C2	EXISTING CONDITIONS PLAN
C3	SITE PLAN
C4	PHASING PLAN
C5	GRADING & DRAINAGE PLAN
C6	ROAD PLAN & PROFILES
C7	SECONDARY EMERGENCY FIRE ACCESS PLAN
C8	SECONDARY EMERGENCY FIRE ACCESS PROFILE
C9	FIRE TURNAROUND EXHIBIT
C10	UTILITY PLAN
C11	PRELIMINARY PLAT
C12	PHOTOMETRIC PLAN
LANDSCAPE	
L1	LANDSCAPE MASTER PLAN
L2	LANDSCAPE AREA DELINEATION PLAN
L3	LANDSCAPE MASTER PLAN ENLARGEMENT 'A'
L4	LANDSCAPE MASTER PLAN ENLARGEMENT 'B'
L5	LANDSCAPE MASTER PLAN ENLARGEMENT 'C'
ARCHITECTURAL	
A0.1	BUILDING PERSPECTIVES
A0.2	BUILDING PERSPECTIVES
A1.0	BUILDING TYPE 1 FLOOR PLAN
A1.1	BUILDING TYPE 1 FLOOR PLAN
A1.2	BUILDING TYPE 1A ROOF PLAN
A1.3	BUILDING TYPE 1B ROOF PLAN
A1.4	BUILDING TYPE 2 FLOOR PLAN
A1.5	BUILDING TYPE 2 FLOOR PLAN
A1.6	BUILDING TYPE 2 ROOF PLAN
A2.0	BLDG 1A - ELEVATIONS
A2.1	BLDG 1A - ELEVATIONS
A2.2	BLDG 1B - ELEVATIONS
A2.3	BLDG 1B - ELEVATIONS
A2.4	BLDG 2 - ELEVATIONS
A2.5	BLDG 2 - ELEVATIONS

STANDARDS	ZONE DISTRICT	COPPER RIDGE VILLAGE
MF-1: MULTI FAMILY	REQUIREMENTS	PROPOSED
Lot Area	12,000 min, No max	15.02 Acres
Lot Coverage	35% Max.	10%
Floor Area Ratio	40% Max.	40.6%
Building Height	63' Max.	67' 9.5", Bldg #5
Average Plate Height	41' Max	55' 10" Max, Bldg #5
Front Setback	20' Min.	20'
Side Setback	15' Min.	n/a
Rear Setback	15' Min.	54'
Units Per Lot	No. Max	201 Total



ABBREVIATIONS:	
AP	ANGLE POINT
APR	APPROXIMATE
A	ASPHALT
BFF	BASEMENT FINISH FLOOR
BOW	BOTTOM OF WALL
BVC	BEGIN VERTICAL CURVE
BW	BACK OF WALK
C	CURB
CC	CURB AND GUTTER
CL	CENTERLINE
CMP	CORRUGATED METAL PIPE
C/O	CLEAN OUT
CONC	CONCRETE
CNR	CORNER
CR	CURB RETURN
CS	CURB STOP
D	DEPTH
D/I	DRAIN INLET
DIP	DUCTILE IRON PIPE
DMH	DRAINAGE MANHOLE
DRN	DRAIN
DT	DITCH
DW	DRIVEWAY
EG	EXISTING GRADE
EL	ELEVATION
EOA	EDGE OF ASPHALT
EW	EDGE OF WALK
EX	EXISTING
FES	FLARED END SECTION
FFE	FINISH FLOOR ELEVATION
FG	FINISH GRADE
FH	FIRE HYDRANT
FL	FLOW LINE
FT	FOOT OR FEET
G	GRAVEL
GB	GRADE BREAK
HC	HANDICAP RAMP
HP	HIGH POINT
IN	INLET

INV	INVERT
LF	LINEAL FEET
LP	LOW POINT
MAX	MAXIMUM
MIN	MINIMUM
NG	NATURAL GROUND
O/S	OFFSET
PC	POINT OF CURVATURE
PED	PEDESTAL
PI	POINT OF INTERSECTION
PL	PROPERTY LINE
PR	PROPOSED
PT	POINT
PVC	POINT OF VERTICAL CURVE
PVC	POLYVINYL CHLORIDE PIPE
PVI	POINT OF VERTICAL INTERSECTION
RD	ROAD
R	RADIUS
R/W	RIGHT-OF-WAY
RW	RETAINING WALL
SOFT	SQUARE FEET
SMH	SEWER MANHOLE
SS	SANITARY SEWER
STA	STATION
SW	SIDEWALK
TB	THRUST BLOCK
TBC	TOP BACK OF CURB
TBR	TO BE REMOVED
TBW	TOP BACK OF WALK
TEL	TELEPHONE
TOP	TOP OF PIPE
TOW	TOP OF WALL
TYP	TYPICAL
VOL	VOLUME
VPL	VALLEY PAN
W	WIDTH
WL	WATERLINE
W/	WITH

NOT FOR CONSTRUCTION

DEVELOPMENT PLANS PREPARED BY FOUR POINTS SURVEYING & ENGINEERING	No.	DATE	REVISIONS	INT
DATE: 4-15-2021				
JOB #: 1992-001				
DRAWN BY: MDM				
DESIGN BY: MDM				
REVIEW BY: FPSE				

IF THIS DRAWING IS PRESENTED IN A FORMAT OTHER THAN 24" X 36", THE GRAPHIC SCALE SHOULD BE UTILIZED.

PROJECT CONTACT LIST	
PROJECT OWNER	
LONETREE TRUST ATTN: KEN MARSH 9333 Park Meadows Drive #213 Lonetree, CO 80124	CELL: (303) 217-6080 EMAIL: kenmarsh57@msn
CIVIL ENGINEER	
FOUR POINTS SURVEYING AND ENGINEERING ATTN: MATTHEW MCLEOD, P.E. 440 S. Lincoln Ave, Suite 4B PO Box 775966 Steamboat Springs, CO 80487	OFFICE: (970) 871-6772 CELL: (248) 444-3268 EMAIL: matthewm@fourpointss.com
ARCHITECT	
GODDEN SUDIK ARCHITECTS ATTN: ALEX DURAN 5975 S. Quebec Street Suite 250 Centennial, CO 80111	OFFICE: (303) 455-4437 EMAIL: aduran@goddensudik.com
LANDSCAPE DESIGN	
HICKORY FLATS LANDSCAPE DESIGN SERVICES ATTN: ANDY BENJAMIN Oak Creek, CO	OFFICE: (970) 846-0117 EMAIL: hickoryflats-lds@gmail.com

UTILITY CONTACT LIST	
WATER AND SANITARY SEWER	
CITY OF STEAMBOAT SPRINGS UTILITY DEPARTMENT 137 10TH STREET STEAMBOAT SPRINGS, CO	CONTACT: AMBER GREGORY 970-871-8211
ELECTRICAL	
YAMPA VALLEY ELECTRIC COMPANY 2211 ELK RIVER ROAD STEAMBOAT SPRINGS, CO	CONTACT: LARRY BALL 970-871-2264
GAS	
ATMOS ENERGY 30405 DOWNHILL DRIVE STEAMBOAT SPRINGS, CO	CONTACT: DON CRANE 970-879-3223
TELEPHONE	
CENTURY LINK 138 7TH STREET STEAMBOAT SPRINGS, CO	CONTACT: JASON SHARPE 970-328-2517
CABLE TELEVISION	
COMCAST 825 SOUTH LINCOLN, SUITE #205 STEAMBOAT SPRINGS, CO 80487	CONTACT: TONY HILDRETH 970-401-2782
UTILITY NOTIFICATION CENTER OF COLORADO	
CALL TWO BUSINESS DAYS BEFORE YOU DIG, GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND UTILITIES 1-800-922-1987	

GENERAL NOTES:

- BENCHMARK = SOUTHERN PROPERTY CORNER, FOUND 1 1/2" ALUMINUM CAP ON #5 REBAR, PLS 29039, ELEVATION=6758.09, SEE EXISTING CONDITIONS PLAN.
- TOPOGRAPHIC AND EXISTING CONDITIONS MAPPED BY FOUR POINTS SURVEYING AND ENGINEERING COMPLETED ON APRIL 23, 2018.
- CITY OF STEAMBOAT SPRINGS PLAN REVIEW AND APPROVAL IS ONLY FOR GENERAL CONFORMANCE WITH CITY DESIGN CRITERIA AND THE CITY CODE. THE CITY IS NOT RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF THE DRAWINGS. DESIGN, DIMENSIONS, AND ELEVATIONS SHALL BE CONFIRMED AND CORRELATED AT THE JOB SITE.
- ONE COPY OF THE APPROVED CONSTRUCTION PLANS AND SPECIFICATIONS SHALL BE KEPT ON THE JOB SITE AT ALL TIMES. PRIOR TO THE START OF CONSTRUCTION, CONTRACTOR TO VERIFY WITH PROJECT ENGINEER THE LATEST REVISION DATE OF THE APPROVED CONSTRUCTION PLANS.
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES. CALL THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) AT 1-800-922-1987 AND ANY NECESSARY PRIVATE UTILITY TO PERFORM LOCATES PRIOR TO CONDUCTING ANY SITE WORK.
- ALL INFRASTRUCTURE CONSTRUCTION AND RELATED WORK SHALL CONFORM TO THE CITY OF STEAMBOAT SPRINGS STANDARD SPECIFICATIONS, LATEST REVISION.
- ALL WATER AND SANITARY SEWER CONSTRUCTION AND RELATED WORK SHALL CONFORM TO THE CITY OF STEAMBOAT SPRINGS UTILITY STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS REQUIRED TO PERFORM THE WORK SUCH AS RIGHT-OF-WAY PERMIT, GRADING AND EXCAVATION PERMIT, CONSTRUCTION DEWATERING PERMIT, STORM WATER QUALITY PERMIT, ARMY CORP OF ENGINEER PERMIT, ETC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF ALL APPLICABLE CODES, LICENSES, SPECIFICATIONS, AND STANDARDS NECESSARY TO PERFORM THE WORK, AND BE FAMILIAR WITH THEIR CONTENTS PRIOR TO COMMENCING ANY WORK.
- PRIOR TO ANY WORK IN THE CITY RIGHT-OF-WAY INCLUDING STREET CUTS, CONTACT THE CITY OF STEAMBOAT SPRINGS STREET DEPARTMENT AT 970.879.1807 FOR PERMIT REQUIREMENTS. NO WORK SHALL OCCUR IN THE ROW BETWEEN NOVEMBER 1 - APRIL 1 UNLESS A WRITTEN VARIANCE HAS BEEN APPROVED AND ISSUED BY THE CITY PUBLIC WORKS DIRECTOR.
- PRIOR TO CLOSURE OF ANY STREET OR PART OF STREET, AN APPROVED OBSTRUCTION PERMIT MUST BE ISSUED BY CITY CONSTRUCTION SERVICES FOREMAN.
- CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) AND OBTAINING ANY REQUIRED PERMITS OR APPROVALS FOR WORK ON OR ADJACENT TO CDOT ROW.
- PRIOR TO START OF CONSTRUCTION CONTRACTOR SHALL COORDINATE WITH PROJECT ENGINEER TO IDENTIFY PROJECT INSPECTION AND TESTING REQUIREMENTS. CONTRACTOR SHALL PROVIDE FOR INSPECTIONS AND TESTING AT AN ADEQUATE FREQUENCY FOR THE PROJECT ENGINEER TO DOCUMENT THAT PROJECT IS CONSTRUCTED IN CONFORMANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. PRIOR TO MAKING ANY CHANGES TO THE
- CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY TRAFFIC CONTROL. TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY TRAFFIC CONTROL (SIGNS, BARRICADES, FLAGMEN, LIGHTS, ETC) IN ACCORDANCE WITH THE MUTCD, CURRENT EDITION.
- CONTRACTOR MUST SUBMIT A CONSTRUCTION SITE MANAGEMENT PLAN (CSMP) FOR REVIEW AND APPROVAL BY THE CITY CONSTRUCTION SERVICES FOREMAN PRIOR TO START OF CONSTRUCTION. THE CSMP MUST BE MAINTAINED ON-SITE AND UPDATED AS NEEDED TO REFLECT CURRENT CONDITIONS.
- THE FOLLOWING PRIVATE IMPROVEMENTS REQUIRE CONSTRUCTION OBSERVATION PER THE CITY'S ENGINEERING SERVICES SPECIFICATION: WATER, SEWER, STORM SEWER, PONDS, WATER AND SEWER CONSTRUCTION SHALL BE INSTALLED PER THE CITY WATER AND SEWER DIVISION STANDARDS, LATEST EDITION.
- RECORD DRAWINGS ARE REQUIRED FOR: PUBLIC AND PRIVATE WATER AND SEWER
- DRIVEWAY CURB CUTS TO BE INSTALLED DURING PUBLIC IMPROVEMENTS, DRIVEWAYS AND LANDSCAPING FOR INDIVIDUAL UNITS TO BE INSTALLED PRIOR TO BUILDING CERTIFICATE OF OCCUPANCY.
- ALL PIPE OUTFALLS REQUIRE FLARED END SECTIONS AND RIPRAP. ALL VALLEY PAN OUTFALLS REQUIRE RIPRAP.

GRADING:

- GRADING SHALL OCCUR WITHIN THE PROPERTY LIMITS. WHERE OFF-SITE WORK IS APPROVED, WRITTEN PERMISSION OF THE ADJACENT PROPERTY OWNER MUST BE OBTAINED PRIOR TO ANY OFF-SITE GRADING OR CONSTRUCTION.
- NO WORK SHALL OCCUR IN WETLANDS OR FLOODPLAINS WITHOUT APPROPRIATE PERMITS. ANY WORK SHALL BE IN ACCORDANCE WITH THE ISSUED PERMITS.
- ALL CUT SLOPES SHALL RECEIVE A MAXIMUM OF 4 INCHES OF TOPSOIL COVER TO PROMOTE VEGETATION AND STABILIZED WITH EROSION CONTROL BLANKET.
- VEGETATED SLOPES 2:1 AND GREATER REQUIRE SOIL STABILIZATION WITH THE USE OF STRAW BLANKET OR TURF REINFORCEMENT MAT (TRM) WHERE SPECIFICALLY INDICATED.
- TRM SHALL CONSIST OF PROPEX PYRAMAT 75 OR ENGINEER APPROVED EQUIVALENT PRODUCT. TRM SHALL BE INSTALLED PER THE MANUFACTURERS RECOMMENDATIONS WITH AN ANCHOR TRENCH AT THE CREST OF THE TOE SLOPE.

EROSION CONTROL:

- CONTRACTOR SHALL SUBMIT A CONSTRUCTION SITE MANAGEMENT PLAN TO THE CITY FOR APPROVAL PRIOR TO BUILDING PERMIT ISSUANCE.
- CONTRACTOR SHALL WORK IN A MANNER THAT MINIMIZES THE POTENTIAL FOR EROSION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING, INSPECTING, AND MAINTAINING ALL NECESSARY EROSION AND SEDIMENT CONTROL DURING CONSTRUCTION AND REMOVING EROSION CONTROL WHEN PROJECT IS COMPLETE AND VEGETATION IS ESTABLISHED.
- ANY AREA DISTURBED BY CONSTRUCTION AND NOT PAVED OR NATURAL ROCK SURFACE SHALL BE REVEGETATED WITHIN ONE CONSTRUCTION SEASON.

PAVING:

- PAVING OF PUBLIC STREETS SHALL NOT START UNTIL SUB GRADE COMPACTION AND MATERIAL TESTS ARE TAKEN AND ACCEPTED BY THE PUBLIC WORKS DIRECTOR.
- EXISTING ASPHALT PAVEMENT SHALL BE STRAIGHT SAW CUT WHEN ADJOINING WITH NEW ASPHALT PAVEMENT OR WHEN ACCESS TO UNDERGROUND UTILITIES IS REQUIRED. TACK COAT SHALL BE APPLIED TO ALL EXPOSED SURFACES INCLUDING SAW CUTS, POTHOLES, TRENCHES, AND ASPHALT OVERLAY. ASPHALT PATCHES IN THE RIGHT-OF-WAY SHALL BE PER CITY SPECIFICATIONS.
- ADJUST RIMS OF CLEANOUTS, MANHOLES, VALVE COVERS TO FINAL GRADE.
- CONTRACTOR TO CONTACT CITY STREETS SUPERINTENDENT AT (970)879-1807 TO SCHEDULE INSTALLATION OF PUBLIC STREET SIGNS. ALL OTHER TRAFFIC CONTROL SIGNS ARE THE RESPONSIBILITY OF THE CONTRACTOR.

WATER, SEWER AND UTILITY NOTES:

- EXISTING DRY UTILITY LOCATIONS WERE OBTAINED FROM UTILITY MAPPING, FIELD SURVEYING AND HAVE NOT BEEN VERIFIED WITH ANY ADDITIONAL UNDERGROUND POTHOILING.
- MINIMUM SEPARATION BETWEEN PARALLEL WATER AND SEWER MAINS AND SERVICES IS TEN (10') FEET. MINIMUM SEPARATION BETWEEN PARALLEL WATER AND SEWER SERVICE LINES IS TEN (10') FEET.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF STEAMBOAT SPRINGS STANDARDS AND SPECIFICATIONS, LATEST EDITION.
- MINIMUM COVER FROM FINISHED GRADE TO TOP OF WATER MAIN LINE IS SEVEN (7') FEET. ALL WATER SERVICE LINES SHALL BE TYPE "K" COPPER AND SEAMLESS BETWEEN FITTINGS.
- MINIMUM SEPARATION BETWEEN UTILITY PEDESTALS AND FIRE HYDRANTS IS FIFTEEN (15') FEET. MINIMUM SEPARATION BETWEEN FIRE HYDRANTS, WATER OR SEWER MAINS, AND ENDS OF CULVERTS IS TEN (10') FEET. NO RIP-RAP IS PERMITTED WITHIN TEN (10') FEET OF A SEWER MAIN.
- VALVES SHALL BE OPERATED BY UTILITY PERSONNEL ONLY.
- SEWER SERVICES ARE TO BE FOUR (4") INCH DIAMETER, SDR 35 PVC, MINIMUM SLOPE OF 2%.
- DISINFECTION, BACTERIOLOGICAL, AND HYDROSTATIC TESTING IS REQUIRED FOR THE ALL WATER/FIRE SERVICE PIPE 4 INCHES OR LARGER PER CITY STANDARDS.
- ALL MECHANICAL JOINTS, RESTRAINT, THRUST BLOCKS AND CROSSING MUST BE OBSERVED BY THE ENGINEER PRIOR TO THE PLACEMENT OF BACKFILL.
- THE FIRE SERVICE LINES SHALL BE PVC.
- MECHANICAL RESTRAINTS AND THRUST BLOCKS ARE REQUIRED AT ALL BENDS, TEES, REDUCERS AND DEAD ENDS.
- ALL FITTINGS ASSOCIATED WITH UTILITY INSTALLATION WILL BE ON-SITE PRIOR TO WATER LINE SHUT DOWN.
- FIRE HYDRANT BURY ELEVATIONS REFER TO FINISHED GRADE ELEVATIONS TO SET THE MARKED FIRE HYDRANT BURY LINE.
- WATER AND SEWER CROSSINGS SUBJECT TO CHANGE PER IN FIELD CONDITIONS. EXISTING DEPTHS UNKNOWN AND WILL BE DETERMINED PRIOR TO CONSTRUCTION.



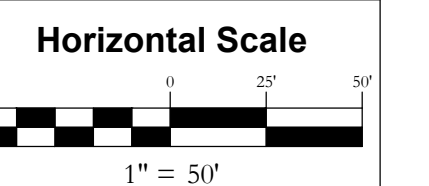
Four Points Surveying & Engineering
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SHEET #

C1

NO.	DATE	REVISIONS

COPPER RIDGE VILLAGE
GLORIA GOSSARD PARKWAY
STEAMBOAT SPRINGS, CO 80487



Contour Interval = 2 ft

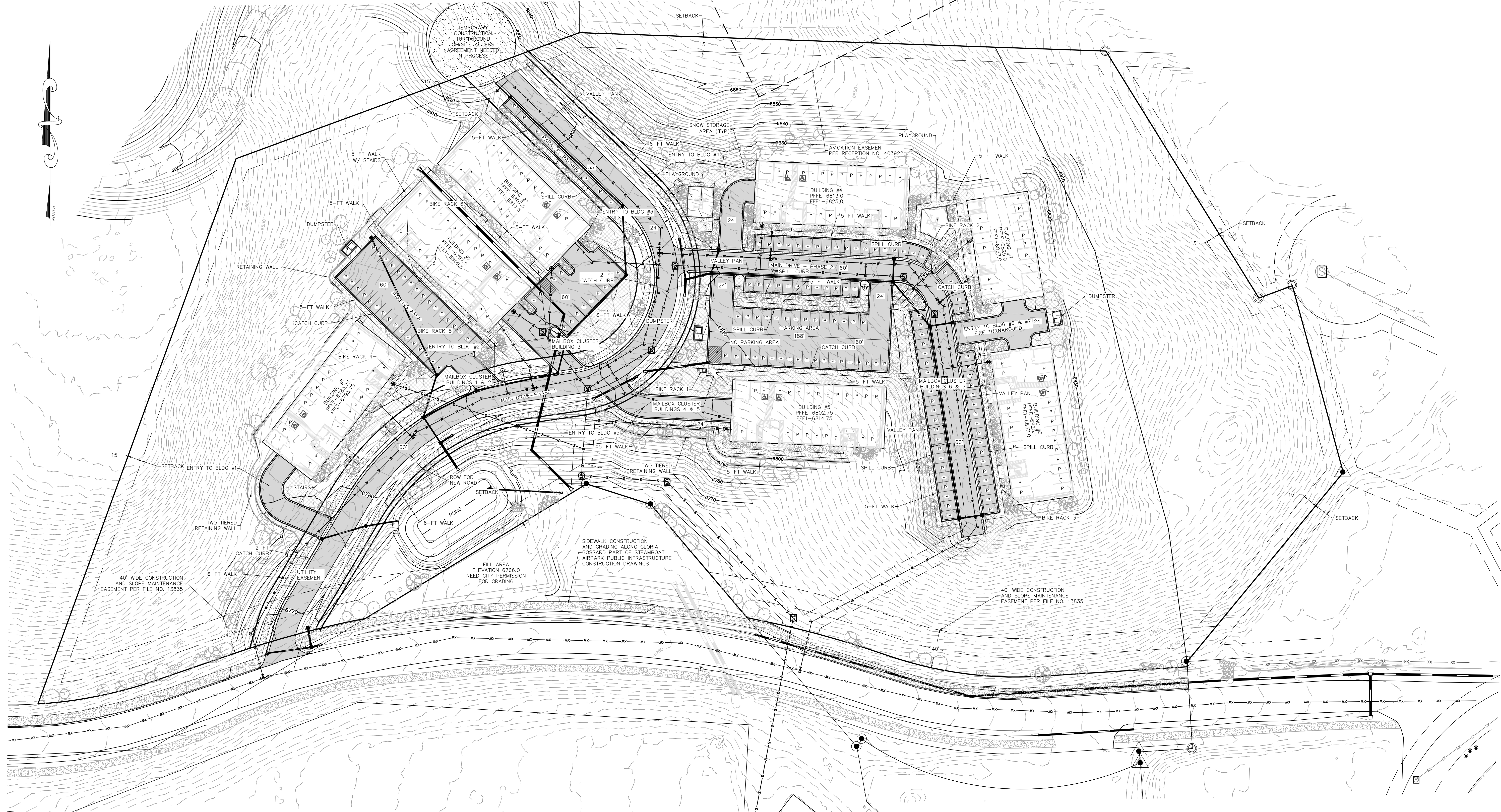
DATE: 4-27-2021
JOB #: 1992-001
DRAWN BY: MDM
DESIGN BY: MDM
REVIEW BY: FPSE

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DRAWING: **SITE PLAN**

SHEET #

C3

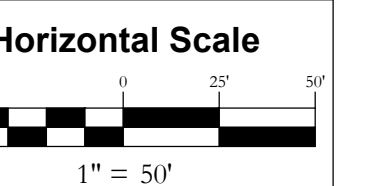


SNOW STORAGE CALCULATIONS
ASPHALT AREA = 59,262 SF
CONCRETE AREA = 18,648 SF
TOTAL = 77,910 SF
SNOW STORAGE REQUIRED = 38,955 SF
SNOW STORAGE AREA = 44,099 SF
LANDSCAPE DEDUCTIONS TREES IN SNOW STORAGE AREA
DEDUCT 30 SQ FT PER TREE = 4,920 SF (164 PLANTINGS)
TOTAL PROVIDED = 39,179 SQ FT

Copper Ridge Vilalge - PARKING REQUIREMENTS							
REQUIRED PARKING PER COMMUNITY DEVELOPMENT CODE							
Unit Counts							
TYPES OF HOUSING FOR ALL BUILDINGS	REQ'D SPACES	# OF UNITS	TOTALS	PHASE 1 PARKING		PHASE 2 PARKING	
				PHASE 1 UNITS	SPACES REQ'D	PHASE 1 UNITS	SPACES REQ'D
THREE-BEDROOM	2.0 PER UNIT	30	60	15	30	15	30
THREE-BEDROOM WORK FORCE HOUSING	1.0 PER UNIT	6	6	3	3	3	3
TWO-BEDROOM	2.0 PER UNIT	43	86	20	40	23	46
TWO-BEDROOM WORK FORCE HOUSING	1.0 PER UNIT	17	17	7	7	10	10
ONE-BEDROOM	1.5 PER UNIT	80	120	34	51	46	69
ONE BEDROOM WORK FORCE HOUSING	1.0 PER UNIT	25	25	11	11	14	14
TOTAL REQUIRED			201	90	142	111	172
TOTAL WORK FORCE UNITS		48					
PERCENTAGE OF WORK FORCE HOUSING		23.9%					
PARKING PROVIDED AS OF 3-8-2021							
UNDERGROUND PARKING	COVERED		152				
OUTDOOR PARKING	OUTDOOR		162				
TOTAL PROPOSED			314				
HANDICAP COUNTS							
REQUIRED HANDICAP SPACES (301-400 SPACES)			314				8
REQUIRED VAN ACCESSIBLE SPACES (1 PER 6 HC SPACES)							2
PROVIDED HANDICAP SPACES							12
PROVIDED VAN ACCESSIBLE SPACES							6

INT	REVISIONS	No.	DATE

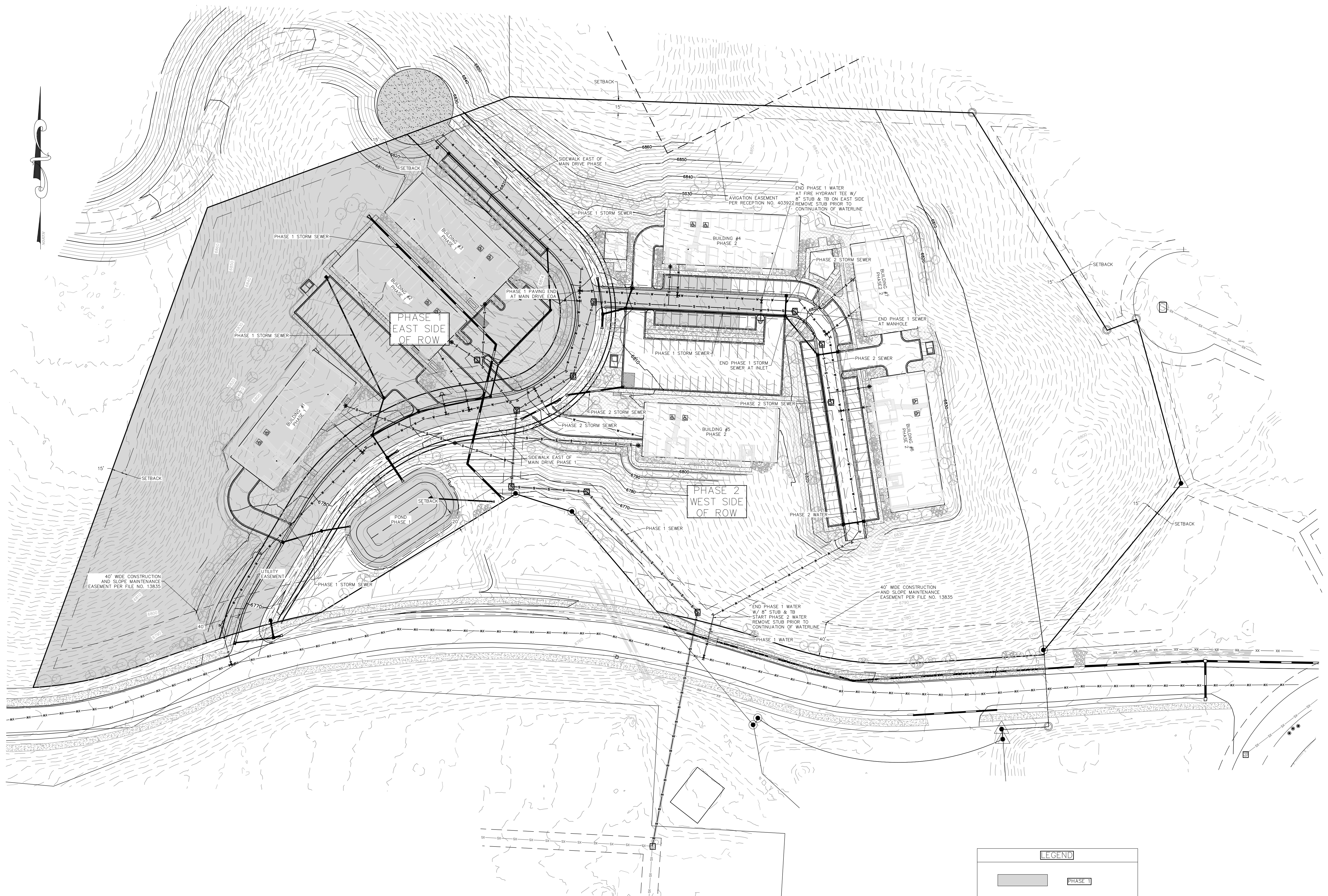
COPPER RIDGE VILLAGE
GLORIA GOSSARD PARKWAY
STEAMBOAT SPRINGS, CO 80487

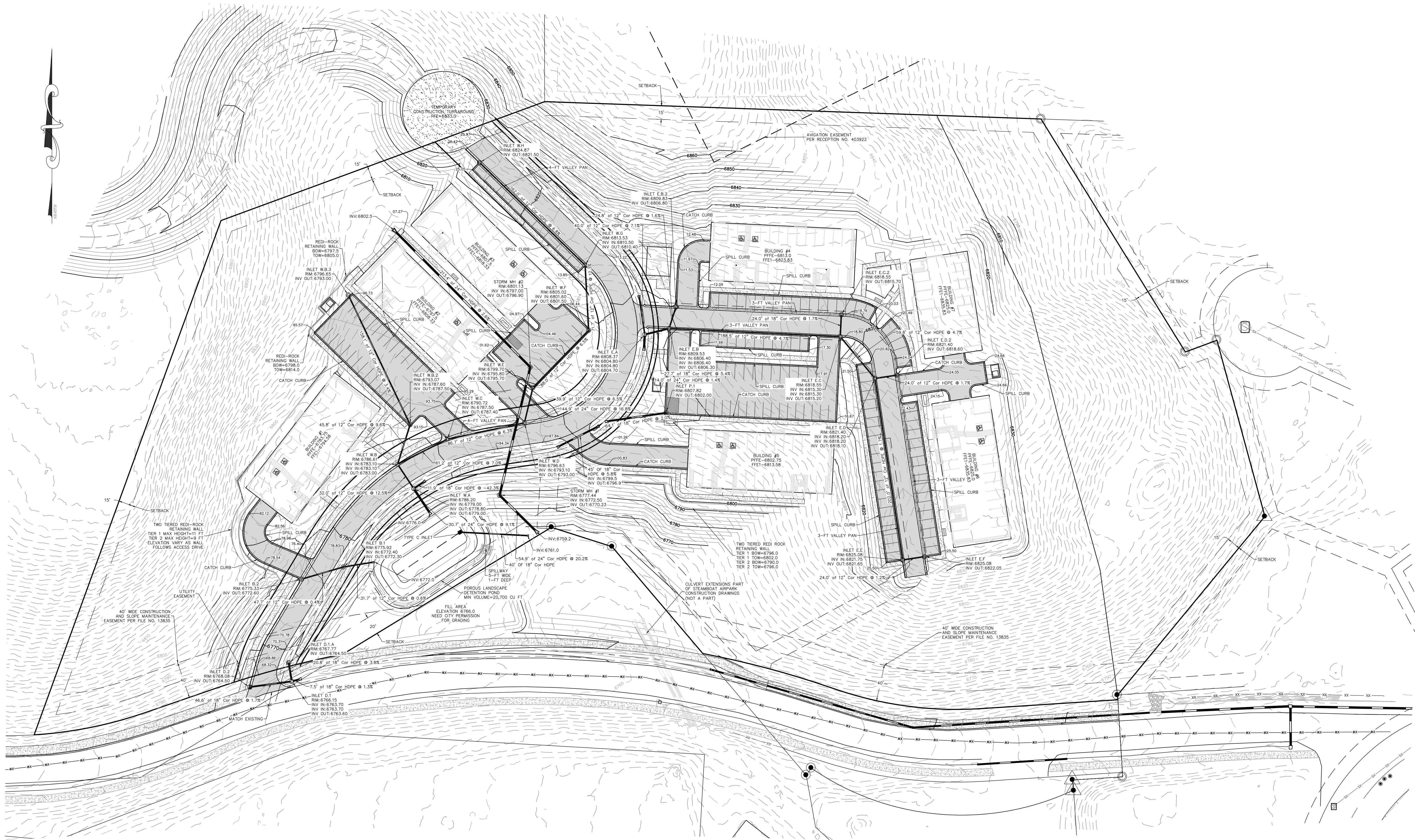


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REVIEW BY: FPSE

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DRAWING: PHASING PLAN
SHEET # **C4**

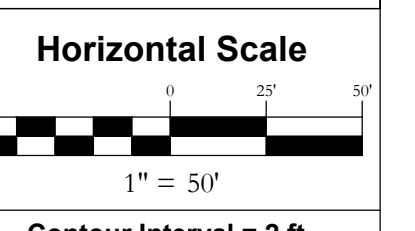




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INT	REVISIONS	No.	DATE

COPPER RIDGE VILLAGE
GLORIA GOSSARD PARKWAY
STEAMBOAT SPRINGS, CO 80487



Contour Interval = 2 ft
 DATE: 4-27-2021
 JOB #: 1992-001
 DRAWN BY: MDM
 DESIGN BY: MDM
 REVIEW BY: FPSE

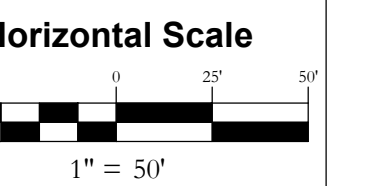
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DRAWING:
**GRADING &
 DRAINAGE PLAN**

SHEET #
C5

INT	REVISIONS	No.	DATE

COPPER RIDGE VILLAGE
GLORIA GOSSARD PARKWAY
STEAMBOAT SPRINGS, CO 80487

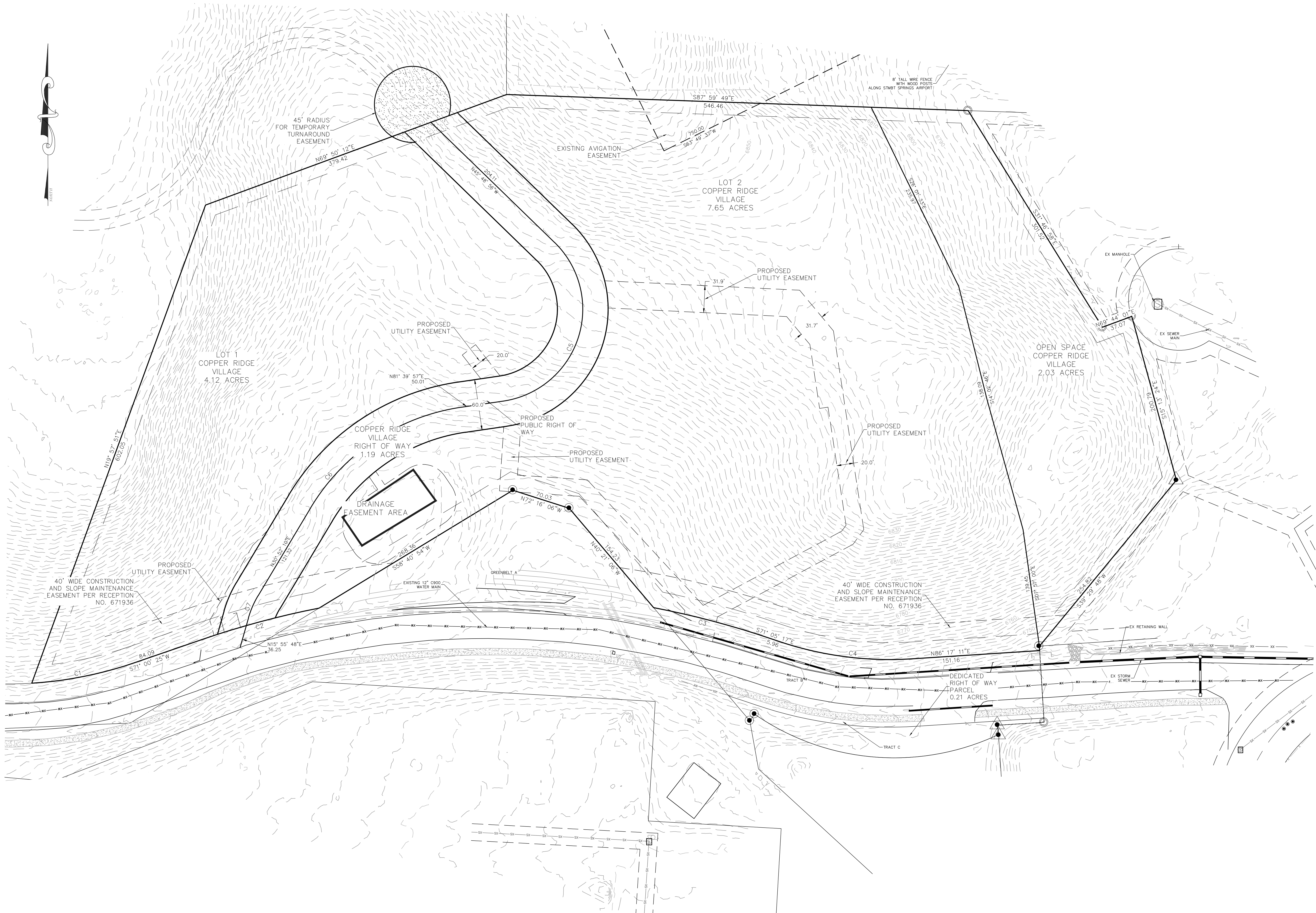


Contour Interval = 2 ft
 DATE: 4-27-2021
 JOB #: 1992-001
 DRAWN BY: WNM
 DESIGN BY: WNM
 REVIEW BY: FPSE

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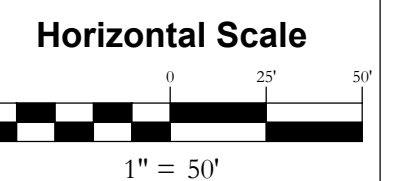
DRAWING:
PRELIMINARY PLAT

SHEET #
C11



INT	REVISIONS	DATE

COPPER RIDGE VILLAGE
GLORIA GOSSARD PARKWAY
STEAMBOAT SPRINGS, CO 80487



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DESIGN BY: MDM
REVIEW BY: FPSE

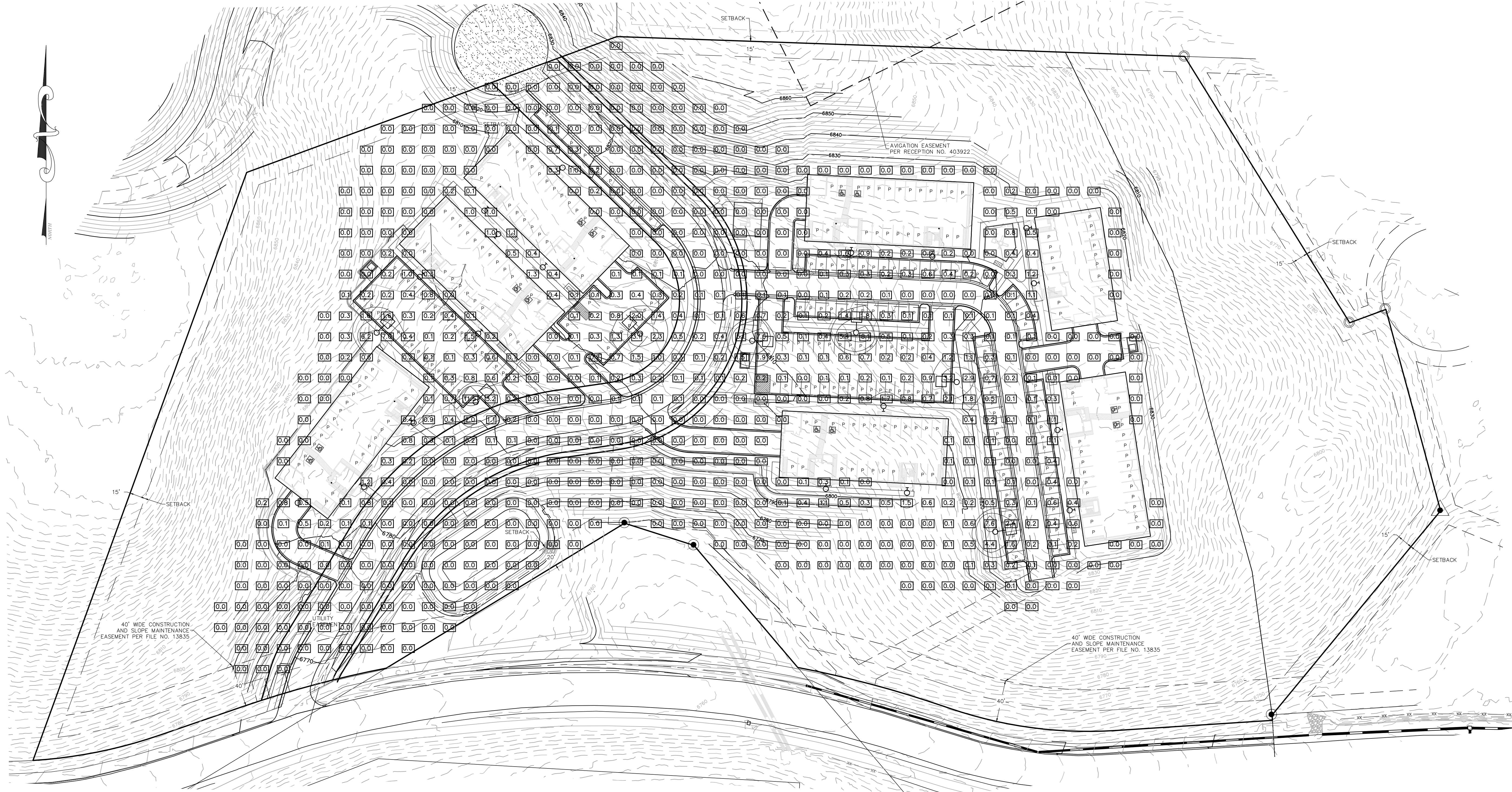
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LIGHTING PLAN

DRAWING:

SHEET #

C12



LUMINAIRE SCHEDULE

CALLOUT	SYMBOL	LAMP	DESCRIPTION	MOUNTING	MODEL	VOLTS	QUANTITY
P		(1) LED, LED	DSX1 LED Visual Comfort, P1 symmetric Type V distribution 30K	POLE	Lithonia Lighting, DSX1 LED P1 30K VLS	120V 1P 2W	7
W		(1) LED,	DSXW1 LED WITH (1) 10 LED LIGHT ENGINES, TYPE T2M OPTIC, 3000K, @ 350mA.	WALL	Lithonia Lighting, DSXW1 LED 10C 350 30K T2M MVOLT	120V 1P 2W	18

D-Series Size 0 LED Area Luminaire

Specifications

EPA: 0.95 ft² (0.09m²)

Length: 26" (663mm)

Width: 13" (330mm)

Height: 3" (76mm)

Height₁: 7" (178mm)

Weight: 16 lbs (7.3kg)

D-Series Size 1 LED Wall Luminaire

Specifications Luminaire

Width: 13-3/4" (347mm)

Depth: 10" (254mm)

Height: 6-3/8" (162mm)

Back Box (BBW, ELCW)

Width: 13-3/4" (347mm)

Depth: 4" (102mm)

Height: 6-3/8" (162mm)

BBW Weight: 5 lbs (2.3kg)

ELCW Weight: 10 lbs (4.5kg)

LIGHTING NOTES:

1) ALL PROPOSED PARKING LOT LIGHT POSTS ARE 20 FEET TALL.

1) ALL PROPOSED PARKING LOT LIGHT POSTS ARE 20 FEET TALL.

1 PLANTING NOTES

- Prior to the start of any excavation for the project both on and off the site, the contractor shall notify the utility notification center of Colorado at: 1-800-922-1987 and verify that all existing utilities have been located and marked.
- Contractor(s) shall thoroughly familiarize themselves with all construction documents, specifications, and site conditions prior to bidding and prior to construction. Any discrepancies between drawings, specifications, and site conditions shall be reported immediately to the Landscape Designer for clarification and resolution prior to bidding or construction.
- All trees to be located outside of the water and sewer utility easements.
- All dimensions are taken to faces of building except where otherwise noted.
- For layout and dimensioning of lots, see engineering drawings.
- Screened images show existing conditions. Where existing conditions lie under or are impinged upon by proposed buildings and/or site elements, the existing condition will be removed, abandoned and/or capped or demolished as required.
- Contractor shall begin maintenance immediately after planting and will continue until final acceptance. The landscape contractor shall guarantee all plant materials for one (1) full year from date of installation.
- The landscape contractor shall supply all plant materials in quantities sufficient to complete all plantings shown on this drawing. All plant materials are subject to the approval of the Landscape Designer, at the nursery, and at the site.
- All plant materials shall conform to the guidelines established by the American Association of Nurserymen. All plants to be balled and burlapped or containerized, and shall bear the same relationship to finish grade as to original grades before digging.
- Mulch for planted areas to be aged cedar bark, partially decomposed, dark brown in color and free of wood chips thicker than 1/4 inch. Stone mulch for planted areas to be a mixture of native stone, pea gravel, and other various sizes of indigenous material to be placed in such a way to be random and visually (natural) in appearance.
- Planting soil mix: excavated soil to be thoroughly incorporated with black gold soil conditioner (or equivalent) to be added per manufacturer's recommended rates.
- All areas of the site which have been disturbed and not otherwise developed shall be loamed and seeded with a minimum depth of 6" depth topsoil.
- All plant materials to be under an automatic drip irrigation system to be installed.

2 PLANTING SPECIFICATIONS - GENERAL

- SOIL PREPARATION AND PLANTING**
- PREPARATION - GENERAL**
- Lay out individual tree and shrub locations and the areas for multiple plantings. Stake tree locations and outline planting areas before start of planting work. Make minor adjustments as may be required. Landscape Designer or Owners Representative approved required before installation.

- PREPARATION OF PLANTING SOIL**
- Topsoil (Stockpiled): Clean topsoil of roots, plants, stones, clay lumps, and other extraneous materials harmful or toxic to plant growth.
 - Mix Black Gold Soil Conditioner (or approved substitute soil amendments) and fertilizer with topsoil as required based on existing soil conditions. Preparation of the planting soil shall not occur if planting will not follow within a few days. Stockpile covered on-site.
 - Pit and Trench Backfill: Mix planting soil prior to backfilling, and stockpile at site.
 - Planting Beds: Mix planting soil either prior to planting, or apply on surface of topsoil and mix thoroughly before planting.

- PREPARATION OF PLANTING BEDS**
- Spread planting soil mixture to minimum depth required to meet lines, grades, and elevations shown, after light rolling and natural settlement. Place approximately 1/2 of total amount of planting soil required. Work into top of loosened sub-grade to create a transition layer, then place remainder of the planting soil.
 - Remove 8 inches to 10 inches of soil and replace with prepared planting soil mixture. Backfill for each bed with three parts topsoil and one part Black Gold Soil Conditioner (or approved substitute) thoroughly mixed prior to planting.

- EXCAVATION FOR TREES AND SHRUBS**
- Excavate pits, beds, and trenches with vertical sides and with bottom of excavation slightly raised at center to provide proper drainage. Loosen hard sub-soil in bottom of excavation.
 - For ball and burlap (B&B) trees, make excavations at least half again as wide as the ball diameter and equal to the ball depth, plus following allowance for setting of ball on a layer of compacted backfill.
 - Allow for 3 inch thick setting layer of planting soil mixture.
 - For container grown stock, excavate as specified for ball and burlap stock, adjusted to size of container width and depth.
 - Dispose of subsoil removed from planting excavations. Do not mix with planting soil or use as backfill.
 - Fill excavations for trees and shrubs with water and allow water to percolate out prior to planting.
 - Backfill pits with three parts topsoil and one part Black Gold Soil Conditioner (or approved substitute) thoroughly mixed prior to planting.
 - Place AgriForm Tree Fertilizer Tablets (or approved substitute) in planting pit prior to backfilling at the following rate: three per each tree, one per each shrub.

- PLANTING TREES AND SHRUBS**
- Set ball and burlap (B&B) stock on layer of compacted planting soil mixture, plumb and in center of pit or trench with top of ball at same elevation as adjacent finished landscape grades. Remove burlap from sides of balls; retain on bottoms. When set, place additional backfill around base and sides of ball, and work each layer to settle backfill and eliminate voids and air pockets. When elevation is approximately 2/3 full, water thoroughly before placing remainder of backfill. Repeat watering until no more is absorbed. Water again after placing final layer of backfill.
 - Set container grown stock, as specified, for balled burlapped stock, except cut cans on 2 sides with an approved can cutter an from plant ball so as not to damage root balls.
 - Dish top of backfill to allow for mulching.
 - Apply anti-desiccant, using power spray, to provide an adequate film over trunks, branches, stems, twigs and foliage.
 - If deciduous trees or shrubs are moved when in full-leaf, spray with anti-desiccant at nursery before moving and spray again 2 weeks after planting.
 - Remove and replace excessively pruned or disfigured stock resulting from improper pruning.
 - Wrap tree trunks of 2 inches caliper and larger, start at ground and cover trunk to height of first branches and securely attach. Inspect tree trunks for injury, improper pruning and insect infestation and take corrective measures before wrapping.
 - Gay and stake trees immediately after planting, as indicated.

3 SAMPLE PLANT LIST

COMMON NAME	SCIENTIFIC NAME	SIZE
DECIDUOUS & EVERGREEN TREES		
Quaking Aspen	Populus tremuloides	1.5' - 3.5' cal.
Northern Acacia Honeylocust	Gleditsia triacanthos 'Inermis' Northern Acclaim	2.0' - 2.5' cal.
Prairie Fire Crabapple	Malus 'Prairie Fire'	2.0' - 2.5' cal.
Red Baron Crabapple	Malus 'Red Baron'	2.0' - 2.5' cal.
Spring Snow Crabapple	Malus 'Spring Snow'	2.0' - 2.5' cal.
EVERGREEN SHRUBS		
Globe Spruce	Picea pungens 'Glaucia Globosa'	#7 Pot
Mugo Pine	Pinus mugo 'Stolomund'	#7 Pot
Blue Chip Juniper	Juniperus horizontalis 'Blue Chip'	#5 Pot
Buffalo Juniper	Juniperus sibirica 'Buffalo'	#5 Pot
DECIDUOUS SHRUBS		
Saskatoon Serviceberry	Amelanchier alnifolia	#7 Pot
Redwing Dogwood	Cornus stolonifera	#5 Pot
Diablo Ninebark	Physocarpus opulifolius 'Monro'	#5 Pot
Yellow Potentilla	Potentilla fruticosa	#5 Pot
Pink Potentilla	Potentilla fruticosa 'pink beauty'	#5 Pot
Arnold's Red Honey Suckle	Lonicera involucrata 'Arnold's Red'	#7 Pot
Cordifera Spirea	Rosa salmiana	#5 Pot
Native Pink Shrub Rose	Rosa woodii	#5 Pot
Common Lilac	Syringia vulgaris	#7 Pot
PERENNIALS		
Rocky Mountain Columbine	Aquilegia canadensis	#1 Pot
Showy Daisy	Aster alpinus 'Igaltii'	#1 Pot
Lance-leaf Coreopsis	Coreopsis lanceolata	#1 Pot
Orange Pink Dianthus	Dianthus spp.	#1 Pot
Purple Coneflower	Echinacea purpurea	#1 Pot
Cranesbill Geranium	Geranium spp.	#1 Pot
Rocky Mountain Summer Dazzly	Hemerocallis 'Rocky Mountain Summer'	#1 Pot
Western Blue Flag	Iris missouriensis	#1 Pot
Blue Lupine	Lupinus 'the governor'	#1 Pot
Red Bee-Balm	Monarda 'scarlet red'	#1 Pot
Oriental Poppy	Papaver orientale	#1 Pot
Rocky Mountain Penstemon	Penstemon strictus	#1 Pot
Black-eyed Susan	Rudbeckia fulgida 'goldstrum'	#1 Pot
ORNAMENTAL GRASSES		
Karl Foerster Feather Reed Grass	Calamagrostis x austriaca 'Karl Foerster'	#1 Pot
Blue Oat Grass	Helictotriton sempervirens	#1 Pot
GROUNDCOVERS		
Sweet Woodruff	Galium odoratum	Flat - F15
Blue Creeping Phlox	Phlox subulata 'emerald blue'	Flat - F15
Creeping Yellow Potentilla	Potentilla reptans	Flat - F15
Rock Soapwort	Saponaria ocyroides	Flat - F15
Goldstone Staranem	Sedum acre evergreen	Flat - F15
Dragon's Blood Sedum	Sedum 'Dragon's Blood'	Flat - F15
Creeping Speedwell	Veronica repens	Flat - F15
Retenue	Viola minor	Flat - F15

4 SITE PLAN LEGEND

--- PROPERTY BOUNDARY	--- PROPOSED EDGE OF CONCRETE DECK
--- ADJACENT PROPERTY BOUNDARY	--- PROPOSED BUILDING
--- EXISTING EASEMENT	--- EXISTING SETBACK
--- OVERHANG	--- PROPOSED POND
--- EXISTING EDGE OF ASPHALT	--- SIDEWALK/BOARDWALK
--- PROPOSED EDGE OF ASPHALT	--- PERIMETER DRAIN
--- EXISTING 2 FT CONTOUR	--- WALL
--- EXISTING 10 FT CONTOUR	--- VEGETATION OUTLINE
--- PROPOSED 2 FT CONTOUR	--- ASPHALT
--- EXISTING EDGE OF GRAVEL	--- CONCRETE
--- CENTER LINE OF DITCH	--- GRAVEL
--- EXISTING FENCE	--- ROCK/RIIP RAP
--- PHASE LINE	

5 RECOMMENDED NATIVE GRASS SEED MIXTURE

TRADE OR INDUSTRY NAME	SEED COMMON NAME	PERCENT OF MIX	COMMENTS
LOW GROW HIGH ALTITUDE	Crested Wheatgrass, Ephraim	30%	Broadcast Seeding Rate 30-35 lbs. per Acre
	Perennial Ryegrass, VNS	25%	
	Sheep Fescue, VNS	15%	
	Chewing Fescue, Shadow II	15%	
NO MOW TURF GRASS	Hard Fescue	25%	Broadcast Seeding Rate 220 lbs. per Acre
	Sheep Fescue, VNS	25%	
	Red Fescue	15%	
	Chewing Fescue, Shadow II	10%	
	Chewing Fescue, Shadow II	25%	

NOTE:
Application rates per manufacturer specifications. Accepted methods of application include: Broadcast with Penn Mulch, and hydroseeding.

6 IRRIGATION SPECIFICATIONS - GENERAL

- IRRIGATION SYSTEM DESIGN GUIDELINES**
- All irrigation systems shall be designed to avoid runoff onto hardscape from low head drainage, overspray and other similar conditions where water flows onto adjacent property, non-irrigated areas, walkways or structures.
 - The irrigation system shall be automatic, constructed to discourage vandalism and simple to maintain.
 - All equipment shall be of proven design with local service available.
 - Control valves should be rated at 200 PSI.
 - Visible sprinklers adjacent to hardscape shall be of pop-up design.
 - All heads should have a minimum number of watering pieces with an extended life cycle.
 - Lawn and shrub spray heads shall be set back from hardscape a minimum of 18 inches. Rotor type heads shall be set back a minimum of 4 feet from hardscape.
 - Design sprayhead and rotor head stations with consideration for worst wind conditions. Close spacing and low-angle nozzles are required in high and frequent wind areas.
 - Spacing of sprinkler heads shall not exceed manufacturer's maximum recommendations for proper coverage.
 - Valve cranking shall be designed to be consistent with hydrotics.
 - Sprinklers, drippers, valves, etc., must be operated within manufacturer's specifications.
 - The use of drip or pressure compensating bubblers is encouraged for all shrubs and trees. Small, narrow and irregularly shaped or sloping areas shall be irrigated with drip, micro-spray or pressure-compensating bubbler heads.
 - Trees in turf areas shall be on a separate station to provide proper deep watering.

- DRIP IRRIGATION DESIGN GUIDELINES**
- The drip system must be sized for mature-size plants.
 - All drip valves may be operated at any one time during an irrigation cycle provided gpm does not exceed supply.
 - Distribution tubing (microtubing) shall be buried no more than 6 inches below grade. The end of 1/2" distribution tube must be secured by a stake. The maximum length of microtubing must be specified on the plan to be 10 feet or less.
 - All proposed drip emitters shall match the gallons per day per plant according to plant size and plant type.

- SPECIFICATIONS FOR IRRIGATION EFFICIENCY**
Irrigation efficiencies are expected from well-designed and maintained systems. The following are required:
- High flow check valves shall be installed in or under all heads where damage could occur to property due to flooding, unless controllers with low sensor capabilities are specified that can automatically shut off individual control valves when excess flow is detected.
 - Pressure compensating screens/diverters shall be specified on all spray heads to reduce radius as needed to prevent overflow onto hardscape and/or to control high pressure misting.
 - Soil moisture sensing systems for turf grass hydrotics shall be used. The moisture sensing system shall provide at least one sensor location in the turf grass.
 - Controller systems with the capabilities of automatically making daily schedule adjustments according to plant water needs, derived from weather sensing and recording equipment on or near the site are recommended and may be substituted for a moisture sensing system.
 - If a soil moisture sensing system is not used and the controller cannot automatically make daily schedule adjustments from local data, then provide an irrigation schedule for all each of the following conditions:
 - Plant establishment period.
 - Established landscaping.
 - Temporarily irrigated areas.
 - Schedules shall include: irrigation run times per cycle, cycles per day, and days per week (month) for each plant hydrotic zone and application rate. Irrigating shall be scheduled for the cooler time of each day to avoid irrigating during periods of strong wind and high temperatures, with high evaporation loss.
 - Electronic multi-program controllers shall be specified where there is a combination of different hydrotic zones or when using different types of irrigation equipment.

7 IRRIGATION NOTES

- All plant material shown will be controlled by an automatic irrigation system to be designed. The irrigation system shall be designed using common industry practices and principals. The system shall be installed in such a manner as to maintain efficiency and performance. The existing conditions of the site will determine the ultimate design and layout of the irrigation system.
- At the request of the owner, an as-built plan will be required for submission at the conclusion of the project. All field changes will be recorded, and updated as necessary.
- Valve box locations are not to be installed in sod areas whenever possible. Take advantage of planting beds, and native turf areas outside the fence for potential valve box locations.
- Provide mainline isolation wherever possible through the use of schedule 40 pvc ball valves (to be sized as necessary).
- Multiple Points-of-Connection to be provided for providing irrigation water for the system. Locations have not been determined at this time. Locations to be designated prior to construction. Site plumber to provide 1-1/2" copper (minimum) extending 12" from the foundation wall, a minimum of 18" below grade. A fitting should be provided for conversion to PVC. When not located in building mechanical rooms, remote locations may be provided.
- Controller locations have not been determined at this time. A 110v dedicated circuit will be required as a power source for the controllers. Locations to be specified prior to installation. Mounting and connection of 110v power to controller will be required.

8 PLANT LEGEND

- Proposed Street Trees (133 Total)
- Gleditsia, Populus spp.
- Size: 2.50' minimum caliper
- Native Grass or No Mow Turf Grass - As Labeled (See Seed Mixtures)
- Proposed Quaking Aspen (54 Total)
- Populus tremuloides
- 2.50' minimum caliper (Clumps and Single Stem)
- Native and cultivated evergreen shrubs (120 Total)
- Juniperus, Picea, Pinus spp.
- Size: #5 Container Minimum
- Native and cultivated deciduous shrubs (165 Total)
- Phlox, Cornus, Rosa, etc.
- Size: #5 Container Minimum
- Proposed Ornamental Trees (80 Total)
- Pawsonia, Catalpa, Malus hybrids
- Size: 2.50' Minimum Caliper
- Perennial Groundcovers
- Native and Ornamental Perennials (821 Total)
- Size: #1 Container Minimum



FOUR POINTS ENGINEERING SURVEYING

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NO.	DATE	REVISIONS

LOT 1, STEAMBOAT AIRPARK SUBDIVISION

LANDSCAPE MASTER PLAN

GLORIA GOSSARD PARKWAY
STEAMBOAT SPRINGS, CO 80487

Horizontal Scale

1" = 60'

Contour Interval = 2 ft

DATE: 04/23/2021
JOB #: 1992-001
DRAWN BY: AAB
DESIGN BY:
REVIEW BY:

IF THIS DRAWING IS PRESENTED IN A FORMAT OTHER THAN 24" X 36" THE GRAPHIC SCALE SHOULD BE UTILIZED.

SHEET #

L1

1 LANDSCAPE PLAN PREPARATION WORKSHEET

Project Name: Steamboat Airpark
 8888 Gloria Gossard Parkway
 Steamboat Springs, CO 80487

Submission Date: 04-23-2021

Applicant: Steamboat Springs Airpark, LLC
 27522 Silver Spur Street
 Steamboat Springs, CO 80487

Project Zoning: Residential Estate - One (RE-1)

Project Land Use: Residential

Landscape Requirements: INTERIOR PARKING LOT LANDSCAPING AREA: 200 sf per 9 Parking Spaces
 FRONTAGE LANDSCAPE AREA: 1 tree per 200 Square Feet
 INTERIOR LANDSCAPE AREA: 1 tree per 500 Square Feet

Entry Corridor Overlay Zone: Yes No X

INTERIOR PARKING LOT LANDSCAPE AREA CALCULATIONS: 200 sf per 9 Parking Spaces Required

PLANT DISTRIBUTION CALCULATIONS:

NEW PARKING SPACES (required per current building and development codes)
 (120 / 9) = 14 (x 200) = 2,800 sf of Interior Parking Landscape Area Required (3,972 sf provided)

DISTRIBUTION OF PLANT MATERIAL:

Deciduous Trees Required: 1 per 200 sf (minimum) = 14 each (2.5' Caliper) - 14 TOTAL PROVIDED
 Shrubs Required: 4 per 200 sf (minimum) = 56 each (#5 Pot) - 56 TOTAL PROVIDED

HIGHWAY 40 LANDSCAPE FRONTAGE AREA CALCULATIONS: 1 Planting per 200 sf of Landscape Frontage Area Required

12,387 = 31 Plantings
 Square Feet Calculated

PLANT DISTRIBUTION CALCULATIONS: 50 Total Plantings Required as Calculated Above
 Existing Tree Credit = 0

Distribution of 50 Total Plantings Required per the City of Steamboat Springs Community Development Code

10% Evergreen Trees (10")	= 05
15% Evergreen Trees (8-9")	= 08
10% Evergreen Trees (6-7")	= 05
20% Deciduous Trees (2.50')	= 10
15% Ornamental Trees (2.50')	= 08
15% Shrubs (#5 Container)	= 08 (x 3 Each) = 24
44 Calculated Plantings per Minimum Percentages Required	
+ 06 Additional Plantings Provided	
01 Ornamental Trees	
01 Plantings (x3 Shrubs Each) = 03 Shrubs	
= 50 Total Plantings Provided	

INTERIOR LANDSCAPE AREA CALCULATIONS: 1 Planting per 500 sf of Interior Landscape Area Required

158,269 = 316 Plantings
 Square Feet Calculated

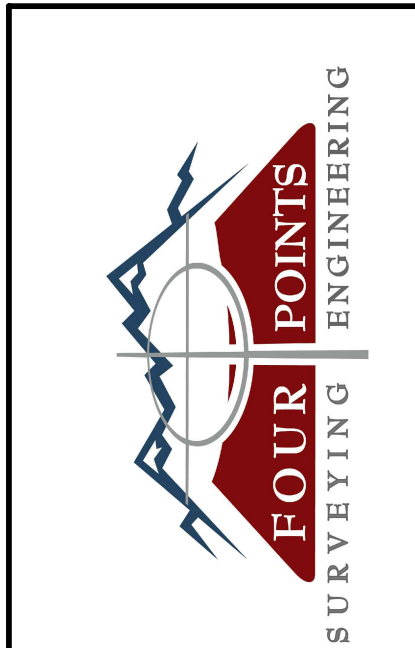
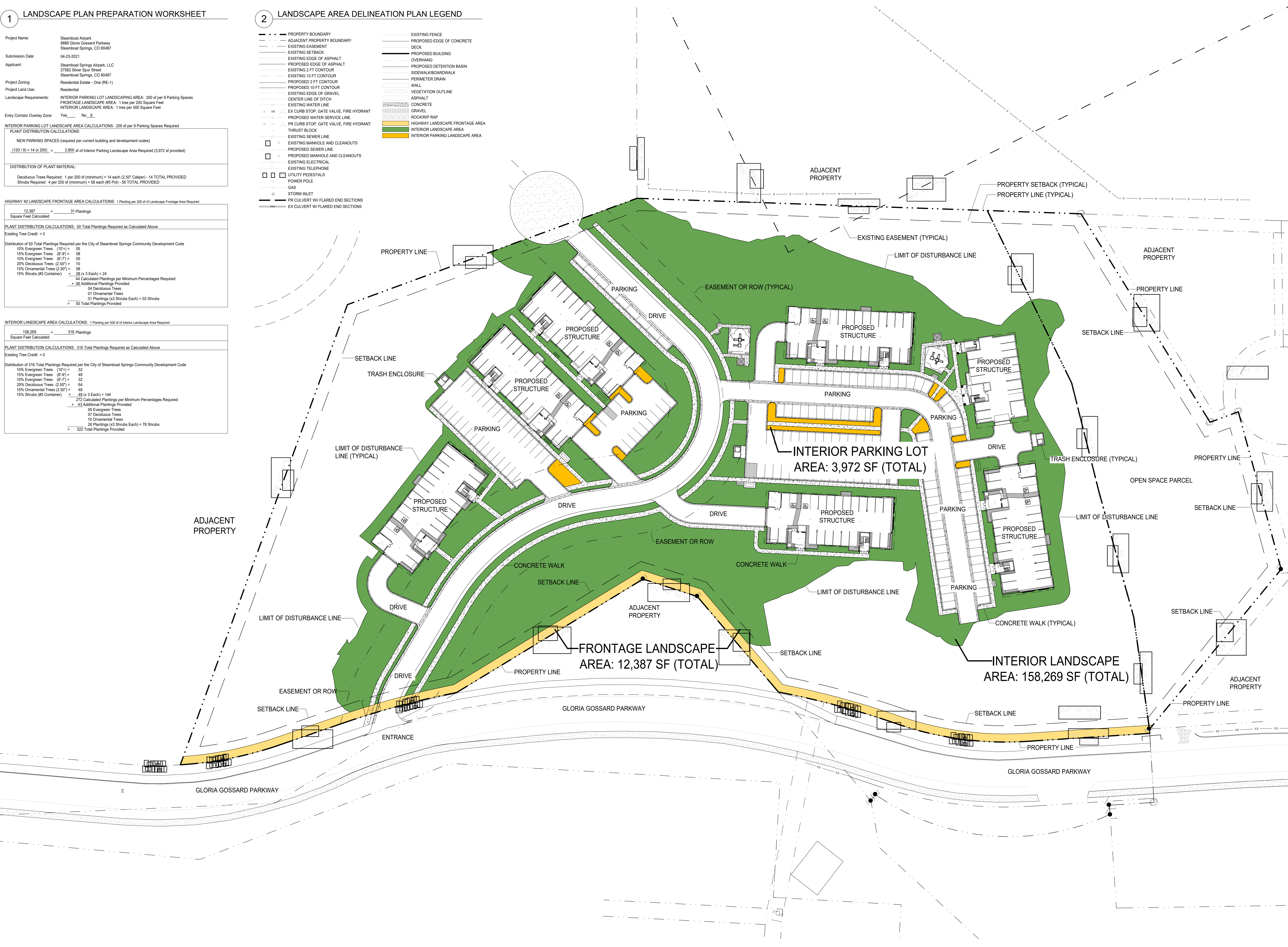
PLANT DISTRIBUTION CALCULATIONS: 316 Total Plantings Required as Calculated Above
 Existing Tree Credit = 0

Distribution of 316 Total Plantings Required per the City of Steamboat Springs Community Development Code

10% Evergreen Trees (10")	= 32
15% Evergreen Trees (8-9")	= 48
10% Evergreen Trees (6-7")	= 32
20% Deciduous Trees (2.50')	= 64
15% Ornamental Trees (2.50')	= 48
15% Shrubs (#5 Container)	= 48 (x 3 Each) = 144
272 Calculated Plantings per Minimum Percentages Required	
+ 43 Additional Plantings Provided	
00 Evergreen Trees	
07 Deciduous Trees	
10 Ornamental Trees	
26 Plantings (x3 Shrubs Each) = 78 Shrubs	
= 322 Total Plantings Provided	

2 LANDSCAPE AREA DELINEATION PLAN LEGEND

- PROPERTY BOUNDARY
- - - ADJACENT PROPERTY BOUNDARY
- - - EXISTING EASEMENT
- - - EXISTING SETBACK
- - - EXISTING EDGE OF ASPHALT
- - - PROPOSED EDGE OF ASPHALT
- - - EXISTING 2 FT CONTOUR
- - - EXISTING 10 FT CONTOUR
- - - PROPOSED 2 FT CONTOUR
- - - PROPOSED 10 FT CONTOUR
- - - EXISTING EDGE OF GRAVEL
- - - CENTER LINE OF DITCH
- - - EXISTING WATER LINE
- - - EXISTING SEWER LINE
- - - PROPOSED SEWER LINE
- - - EXISTING MANHOLE AND CLEANOUTS
- - - PROPOSED SEWER LINE
- - - EXISTING ELECTRICAL
- - - EXISTING TELEPHONE
- - - UTILITY PEDESTALS
- - - POWER POLE
- - - GAS
- - - STORM INLET
- - - PR CULVERT W/ FLARED END SECTIONS
- - - EX CULVERT W/ FLARED END SECTIONS
- - - EXISTING FENCE
- - - PROPOSED EDGE OF CONCRETE
- - - DECK
- - - PROPOSED BUILDING
- - - OVERHANG
- - - PROPOSED DETENTION BASIN
- - - SIDEWALK/BOARDWALK
- - - PERIMETER DRAIN
- - - WALL
- - - VEGETATION OUTLINE
- - - ASPHALT
- - - CONCRETE
- - - GRAVEL
- - - ROCK/RIP RAP
- - - HIGHWAY LANDSCAPE FRONTAGE AREA
- - - INTERIOR LANDSCAPE AREA
- - - INTERIOR PARKING LANDSCAPE AREA



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INT	REVISIONS	DATE

**LOT 1, STEAMBOAT AIRPARK
 SUBDIVISION**

**GLORIA GOSSARD PARKWAY
 STEAMBOAT SPRINGS, CO 80487**

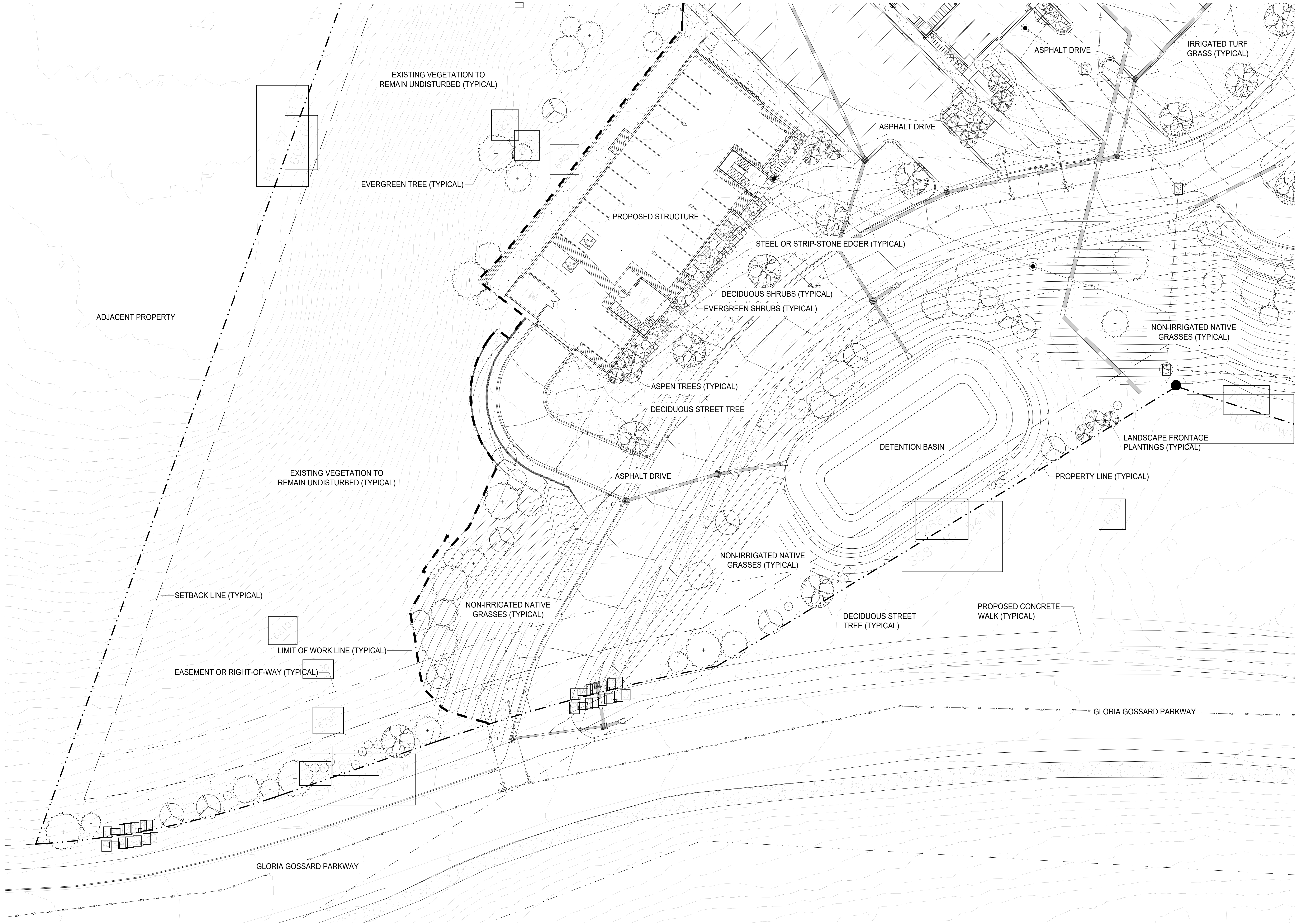
Horizontal Scale
 1" = 50'

Contour Interval = 2 ft

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 DESIGN BY:
 REVIEW BY:

DRAWING:
**LANDSCAPE AREA
 DELINEATION
 PLAN**

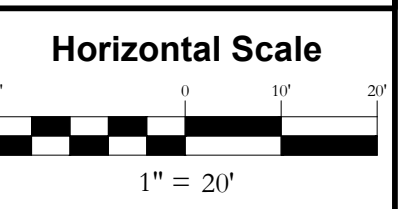
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INT	REVISIONS	No.	DATE

LOT 1 - COPPER RIDGE VILLAGE
GLORIA GOSSARD PARKWAY
STEAMBOAT SPRINGS, CO 80487



Contour Interval = 2 ft
DATE: 04/28/2021
JOB #: 1992-001
DRAWN BY: AAB
DESIGN BY:
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DRAWING:
LANDSCAPE MASTER PLAN ENLARGEMENT 'A'

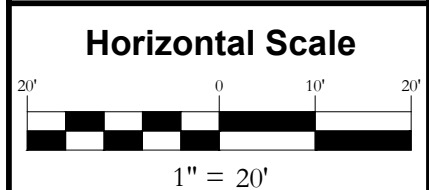
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No.	DATE	REVISIONS	INT

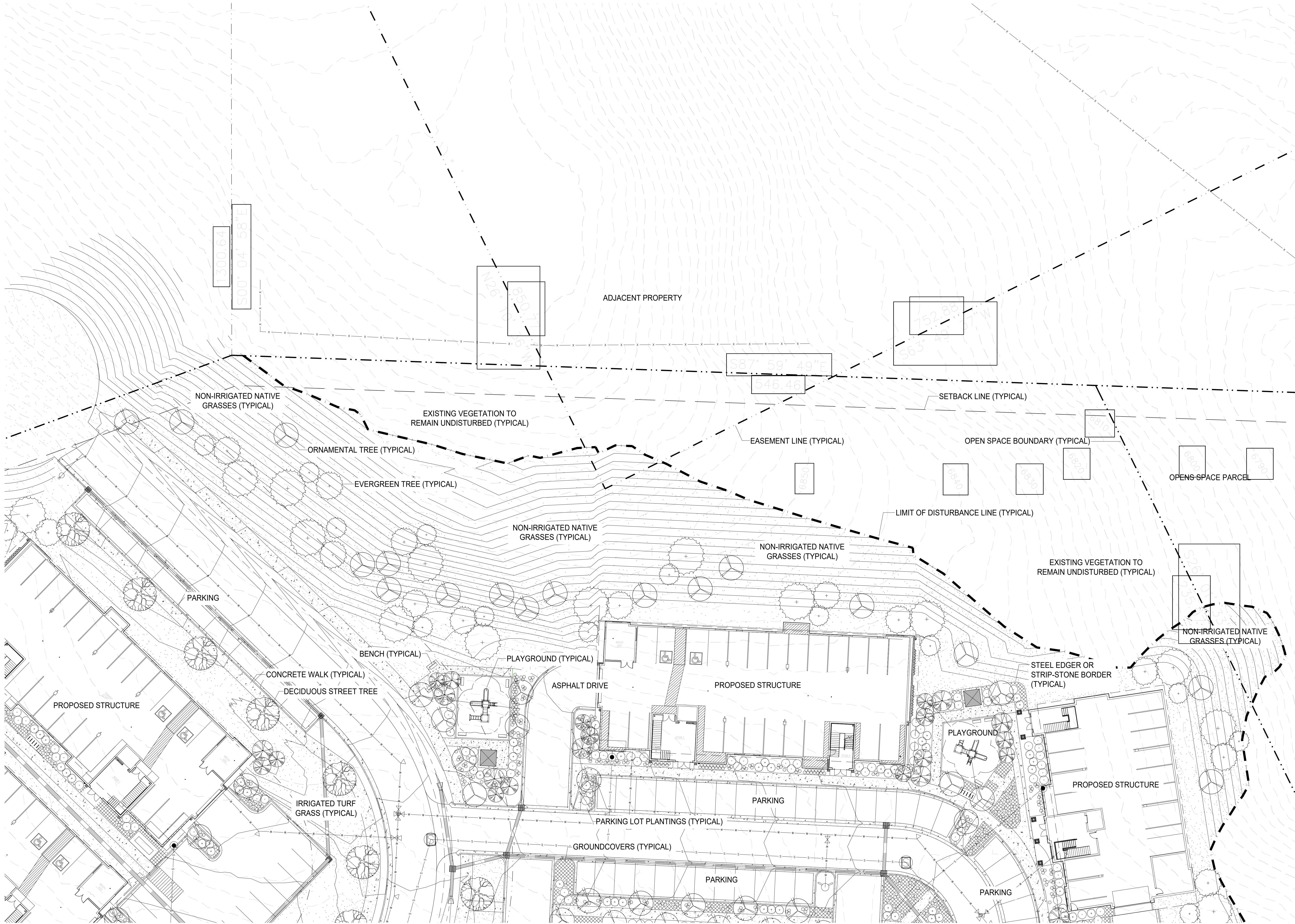
LOT 1 - COPPER RIDGE VILLAGE
GLORIA GOSSARD PARKWAY
STEAMBOAT SPRINGS, CO 80487

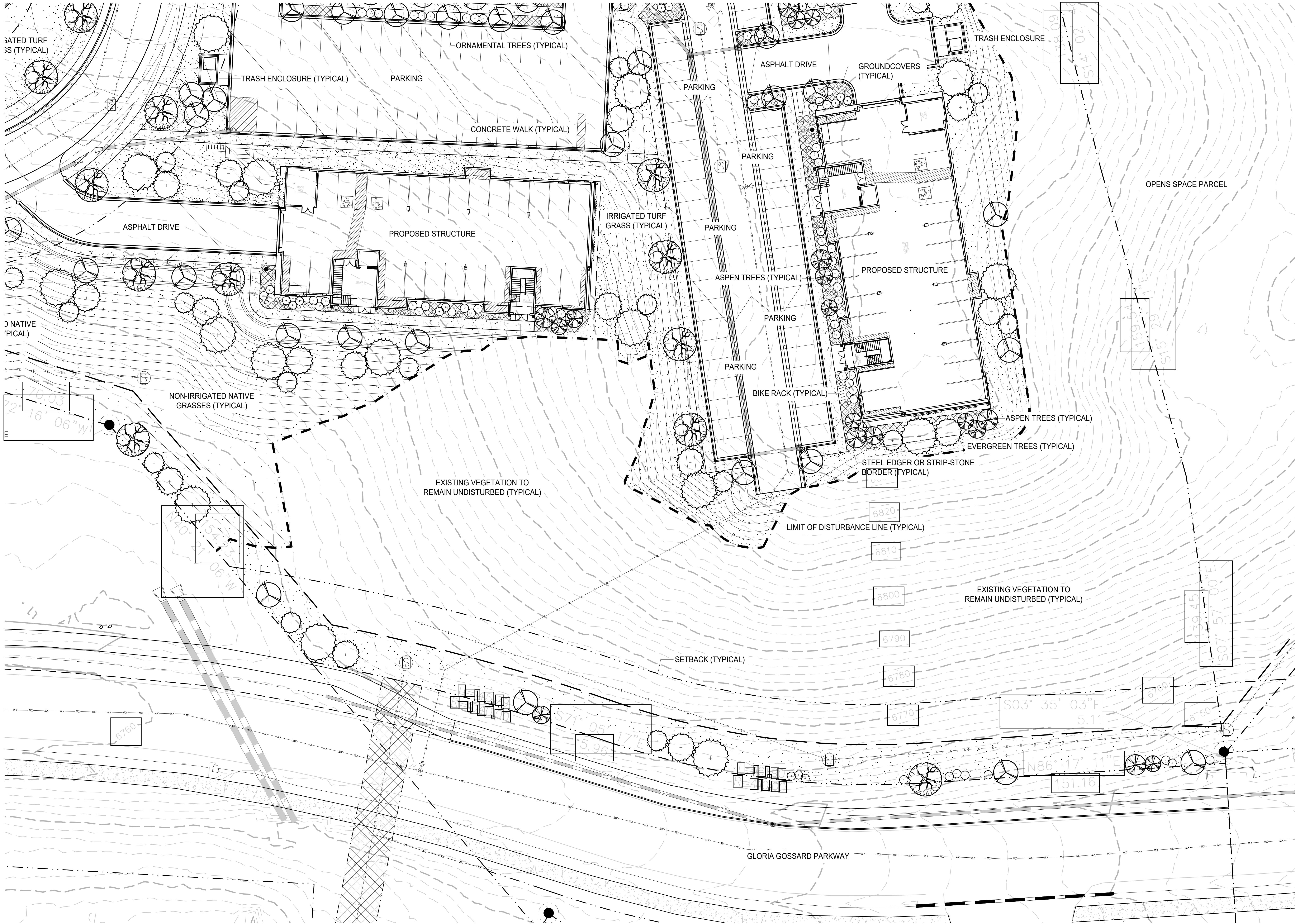


Horizontal Scale
1" = 20'
Contour Interval = 2 ft
DATE: 04/28/2021
JOB #: 1992-001
DRAWN BY: AAB
DESIGN BY:
REVIEW BY:

DRAWING:
LANDSCAPE MASTER PLAN ENLARGEMENT 'B'

SHEET #
L4

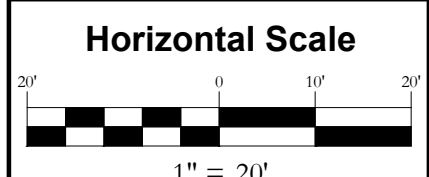




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No.	DATE	REVISIONS	INT

LOT 1 - COPPER RIDGE VILLAGE
GLORIA GOSSARD PARKWAY
STEAMBOAT SPRINGS, CO 80487

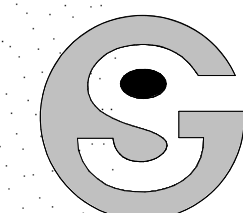


Contour Interval = 2 ft
DATE: 04/28/2021
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DRAWN BY: AAB
DESIGN BY:
REVIEW BY:

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DRAWING:
LANDSCAPE MASTER PLAN ENLARGEMENT 'C'

SHEET #
L5



Godden|Sudik
 ARCHITECTS
 SEE WHAT COULD BE
 303.455.4437
 www.goddensudik.com

5975 S. Quebec Street
 Suite 250
 Centennial, CO 80111

NOT FOR
 CONSTRUCTION



2 BUILDING 2 - PERSPECTIVE



1 BUILDING 1A - PERSPECTIVE

COPPER RIDGE VILLAGE

STEAMBOAT SPRINGS, CO

NOT FOR
 CONSTRUCTION

DRAWN BY:

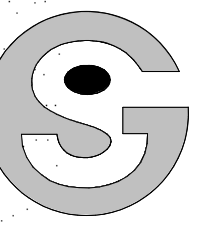
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ISSUE DATE:
 04/19/2021

REVISIONS:

BUILDING
 PERSPECTIVES

A0.1



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COPPER RIDGE VILLAGE

STEAMBOAT SPRINGS, CO

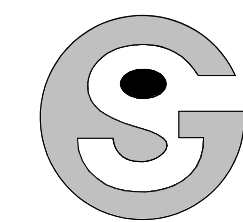


1 BUILDING 1B - PERSPECTIVE

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BUILDING
PERSPECTIVES

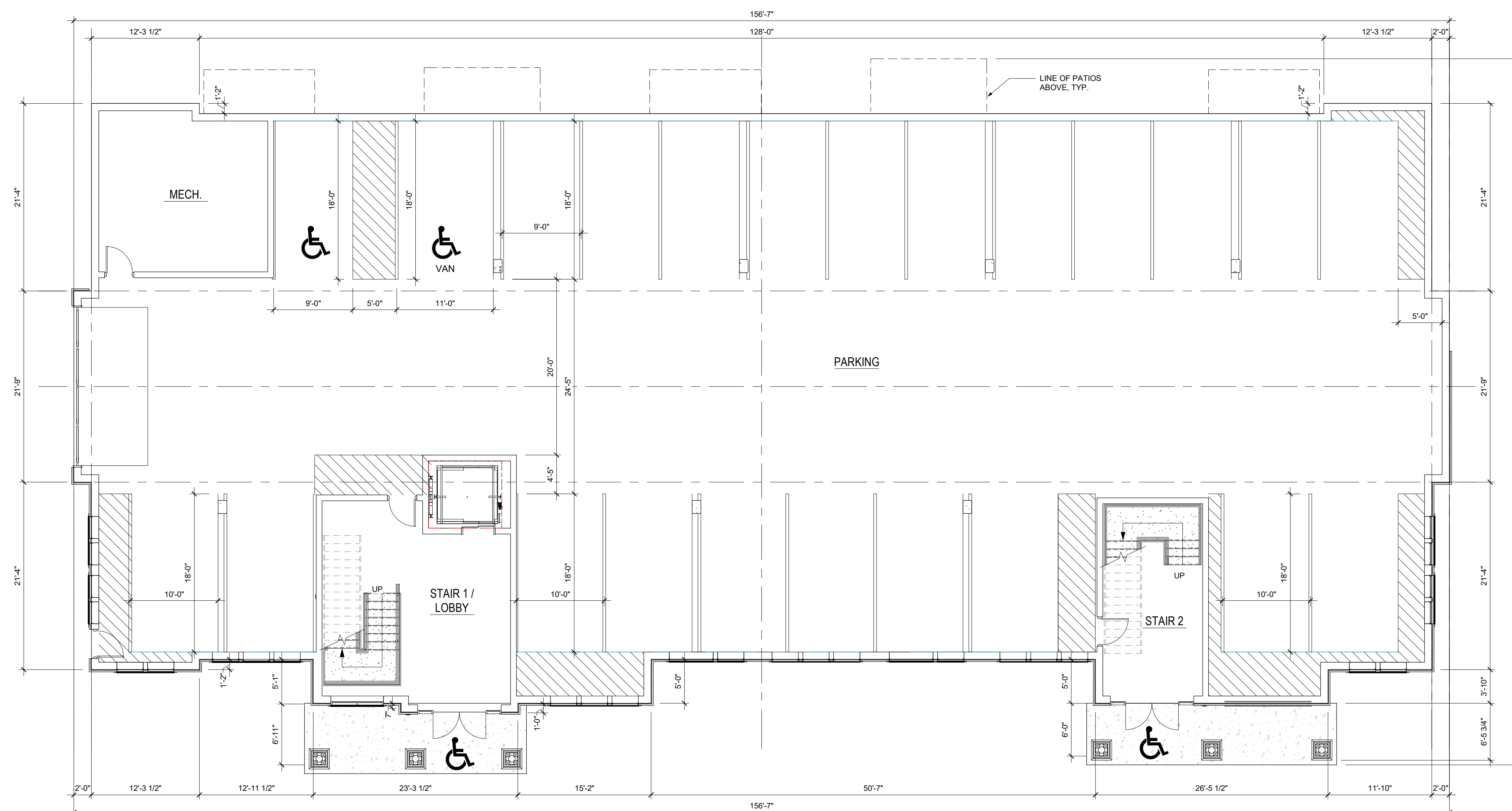
A0.2



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1 BUILDING 1A - LEVEL 1
1/8" = 1'-0"

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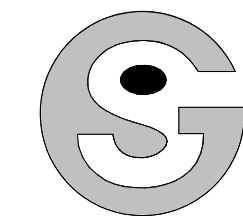
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BUILDING TYPE 1
FLOOR PLAN

A1.0



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1 BUILDING 1A - LEVELS 2-4
 1/8" = 1'-0"

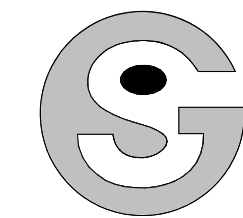
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REVISIONS:

BUILDING TYPE 1
 FLOOR PLAN

A1.1



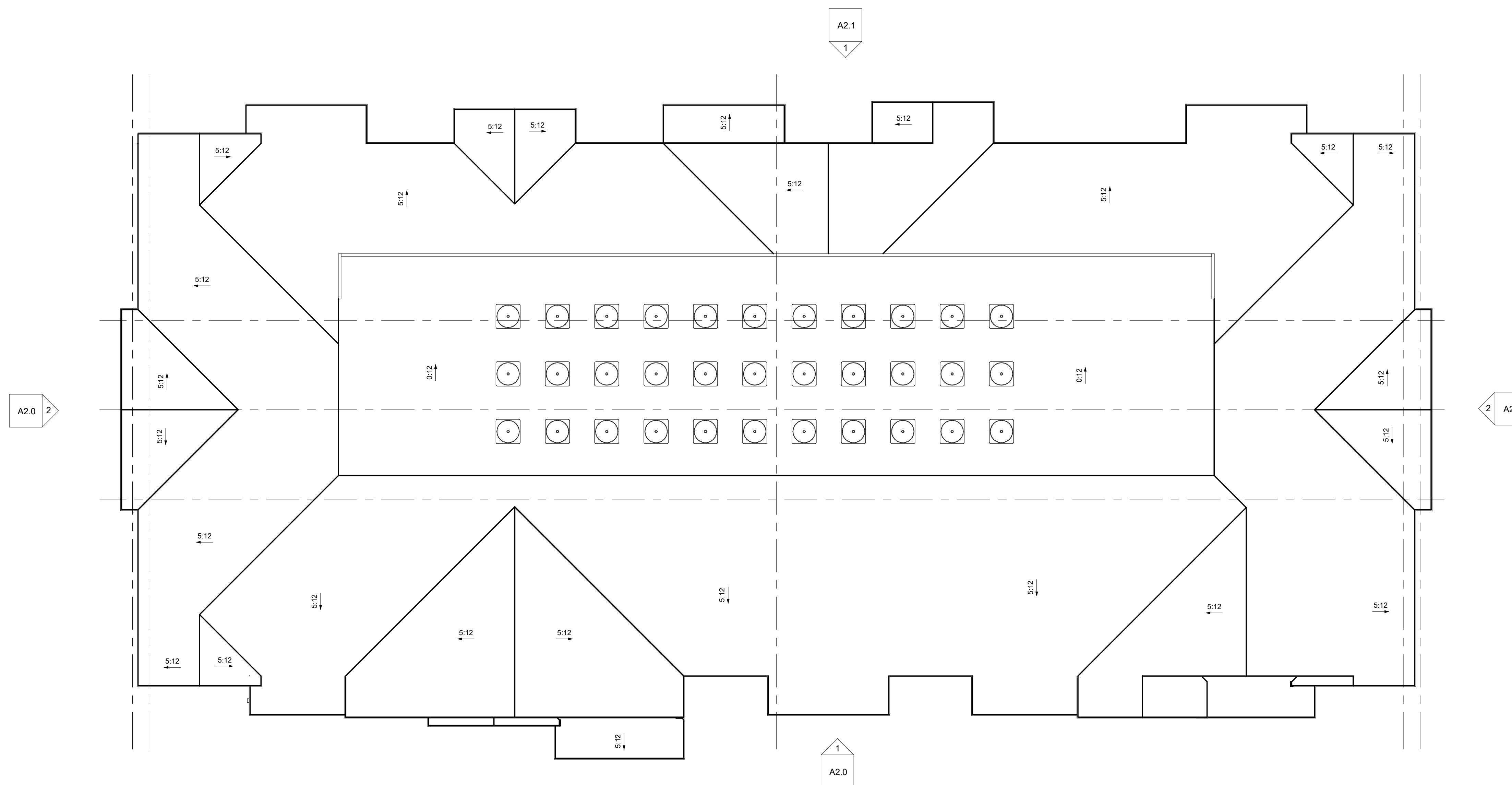
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1 BUILDING 1A-ROOF PLAN
1/8" = 1'-0"

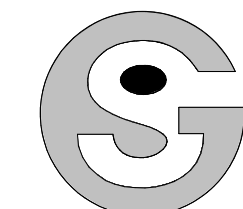
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BUILDING TYPE 1A
ROOF PLAN

A1.2

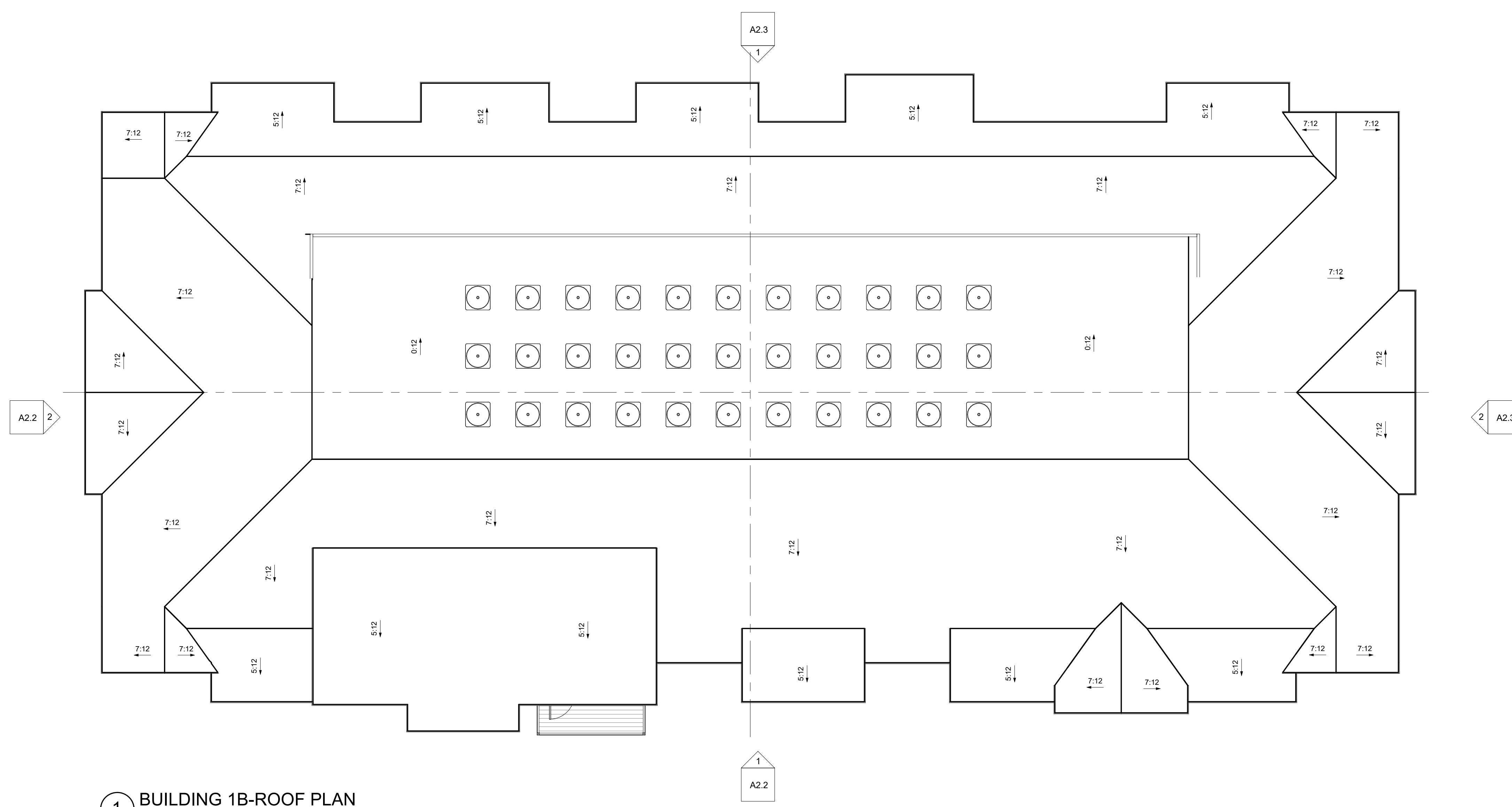


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1 BUILDING 1B-ROOF PLAN
1/8" = 1'-0"

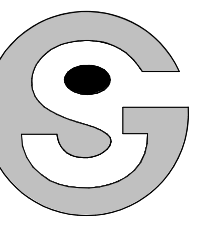
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BUILDING TYPE 1B
ROOF PLAN

A1.3



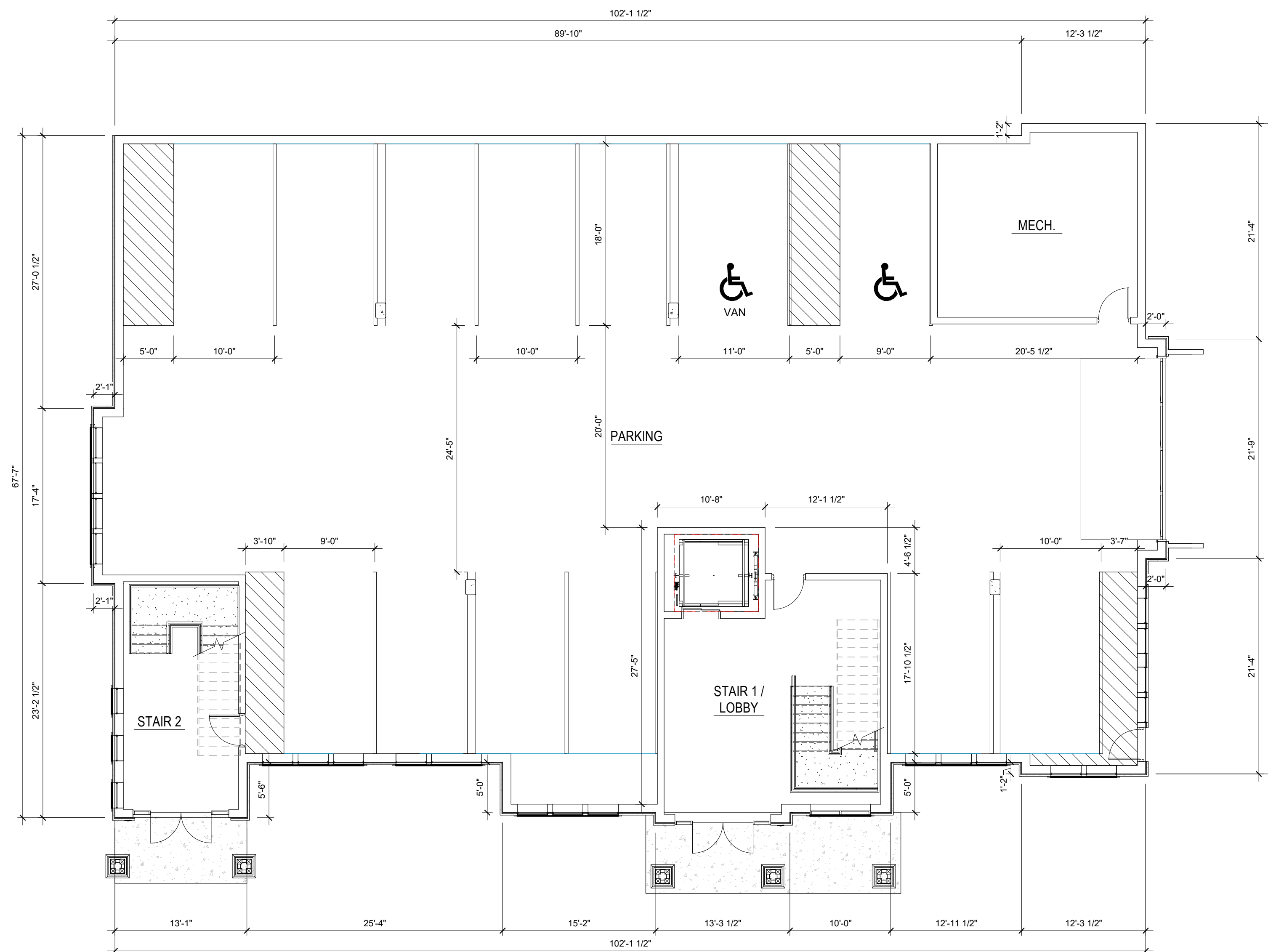
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1 BUILDING 2 - LEVEL 1
 1/8" = 1'-0"

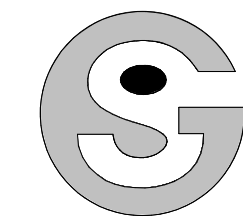
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BUILDING TYPE 2
 FLOOR PLAN

A1.4



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1 BUILDING 2 - LEVEL 2-4
 1/8" = 1'-0"

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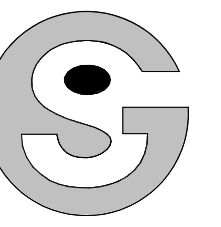
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BUILDING TYPE 2
 FLOOR PLAN

A1.5



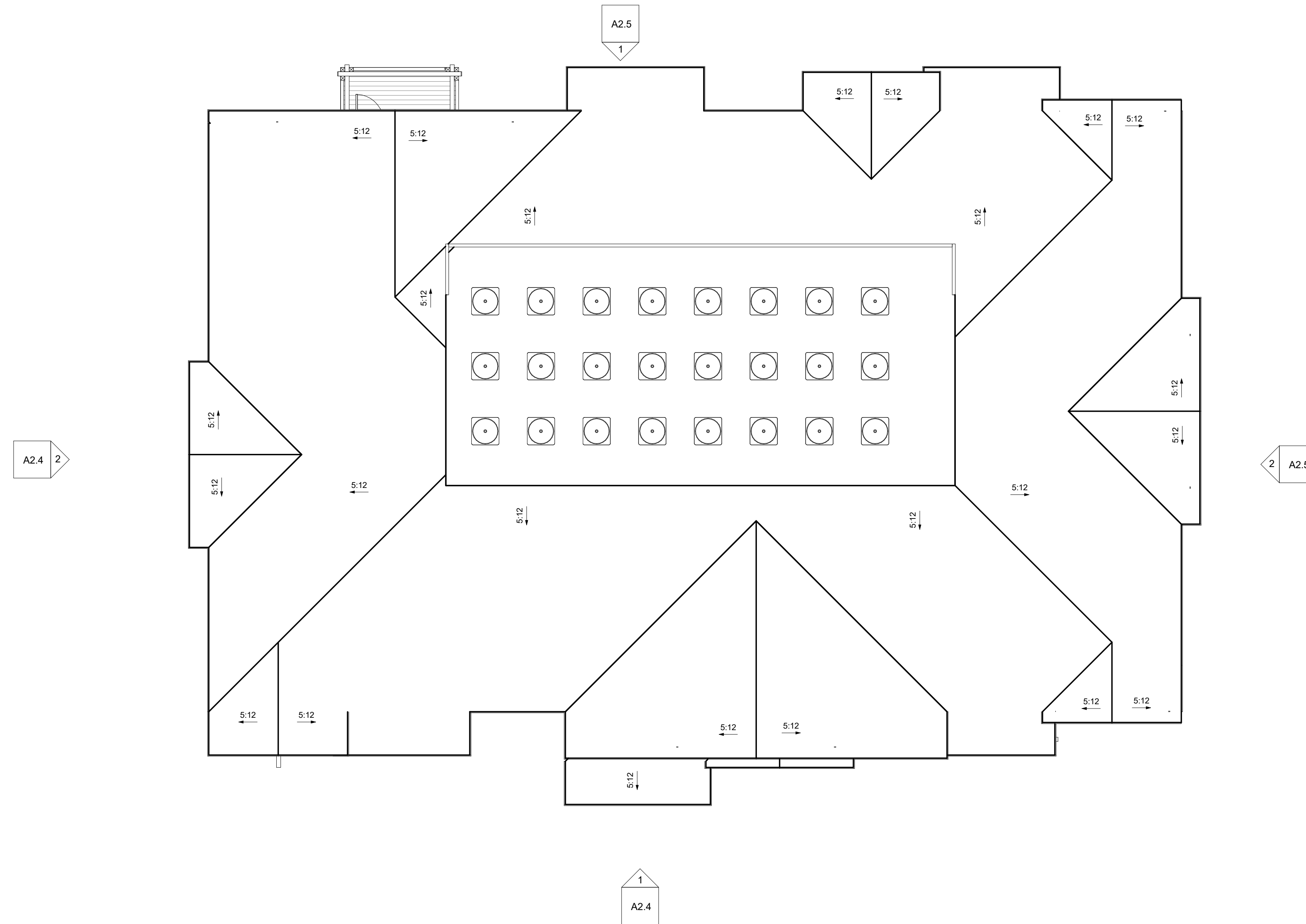
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1 BUILDING 2 - ROOF PLAN
 1/8" = 1'-0"

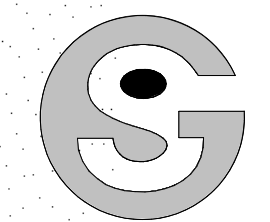
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BUILDING TYPE 2
 ROOF PLAN

A1.6



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STEAMBOAT SPRINGS, CO



TRANSPARENCY CALCS:
FLOOR AREA: 1499 SF
REQUIRED: 375 SF
PROVIDED: 519 SF
PERCENTAGE: 34%

TRANSPARENCY CALCS:
FLOOR AREA: 1499 SF
REQUIRED: 375 SF
PROVIDED: 550 SF
PERCENTAGE: 37%

TRANSPARENCY CALCS:
FLOOR AREA: 1499 SF
REQUIRED: 375 SF
PROVIDED: 550 SF
PERCENTAGE: 37%

TRANSPARENCY CALCS:
FLOOR AREA: 1499 SF
REQUIRED: 375 SF
PROVIDED: 650 SF
PERCENTAGE: 43%

1 BUILDING 1A - FRONT ELEVATION
1/8" = 1'-0"

BUILDING 1A - BUILDING HEIGHTS - FRONT ELEVATION			
	BLDG 1	BLDG 3	BLDG 5
OVERALL BLDG HGT.	49'-0"	52'-1 1/2"	67'-9 1/2"
GREATEST PLATE HGT.	41'-8"	46'-4"	63'-6"
LOWEST PLATE HGT.	36'-8 1/2"	42'-1"	34'-8 1/2"
AVERAGE PLATE HGT.	39'-2"	44'-2 1/2"	49'-1"

BUILDING 1A - BUILDING HEIGHTS - LEFT ELEVATION			
	BLDG 1	BLDG 3	BLDG 5
OVERALL BLDG HGT.	36'-5 1/2"	45'-4"	64'-5 1/2"
GREATEST PLATE HGT.	30'-2 1/2"	46'-4 1/2"	63'-3 1/2"
LOWEST PLATE HGT.	23'-5 1/2"	37'-6"	48'-4 1/2"
AVERAGE PLATE HGT.	26'-10"	41'-11 1/4"	55'-10"

COLOR LEGEND*	
A	BODY COLOR 1: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: VIRTUAL TAUPE SW 7039
B	BODY COLOR 2: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: URBANE BRONZE SW 7048
C	STONE: MANUF: CORONADO, OR SIM. COLOR: IDAHO DRYSTACK - ANTIQUE BLUFF
D	TRIM: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: IRON GATE SW 2926
E	ROOF: MANUF: CERTANTEED, OR SIM. COLOR: LANDMARK - HEATHER BLEND

*ALL COLOR INFORMATION IS APPROXIMATE. MANUFACTURER AND FINAL TINT SUBJECT TO CHANGE.



TRANSPARENCY CALCS:
FLOOR AREA: 627 SF
REQUIRED: 157 SF
PROVIDED: 160 SF
PERCENTAGE: 25.5%

TRANSPARENCY CALCS:
FLOOR AREA: 627 SF
REQUIRED: 157 SF
PROVIDED: 160 SF
PERCENTAGE: 25.5%

TRANSPARENCY CALCS:
FLOOR AREA: 627 SF
REQUIRED: 157 SF
PROVIDED: 160 SF
PERCENTAGE: 25.5%

TRANSPARENCY CALCS:
FLOOR AREA: 421 SF
REQUIRED: 106 SF
PROVIDED: 112 SF
PERCENTAGE: 26%

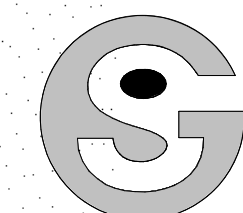
2 BUILDING 1A - LEFT ELEVATION
1/8" = 1'-0"

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REVISIONS:

BLDG 1A - ELEVATIONS

A2.0



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COPPER RIDGE VILLAGE
STEAMBOAT SPRINGS, CO



TRANSPARENCY CALCS:
FLOOR AREA: 1392 SF
REQUIRED: 348 SF
PROVIDED: 536 SF
PERCENTAGE: 38%

TRANSPARENCY CALCS:
FLOOR AREA: 1392 SF
REQUIRED: 348 SF
PROVIDED: 536 SF
PERCENTAGE: 38%

TRANSPARENCY CALCS:
FLOOR AREA: 1392 SF
REQUIRED: 348 SF
PROVIDED: 536 SF
PERCENTAGE: 38%

BUILDING 1A - BUILDING HEIGHTS - REAR ELEVATION			
	BLDG 1	BLDG 3	BLDG 5
OVERALL BLDG HGT.	38'-3 1/2"	44'-2 1/2"	51'-6"
GREATEST PLATE HGT.	28'-11 1/2"	37'-7"	47'-6 1/2"
LOWEST PLATE HGT.	23'-10 1/2"	34'-4 1/2"	25'-10 1/2"
AVERAGE PLATE HGT.	26'-5 1/4"	35'-11 3/4"	36'-8 1/2"

BUILDING 1A - BUILDING HEIGHTS - RIGHT ELEVATION			
	BLDG 1	BLDG 3	BLDG 5
OVERALL BLDG HGT.	38'-0 1/2"	48'-4"	37'-1 1/2"
GREATEST PLATE HGT.	37'-4"	44'-8 1/2"	33'-11"
LOWEST PLATE HGT.	27'-10 1/2"	39'-4 1/2"	25'-8"
AVERAGE PLATE HGT.	39'-3"	42'-0 1/2"	29'-9 1/2"

COLOR LEGEND*	
A	BODY COLOR 1: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: VIRTUAL TAUPE SW 7039
B	BODY COLOR 2: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: URBANE BRONZE SW 7048
C	STONE: MANUF: CORONADO, OR SIM. COLOR: IDAHO DRYSTACK - ANTIQUE BLUFF
D	TRIM: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: IRON GATE SW 2926
E	ROOF: MANUF: CERTANTEED, OR SIM. COLOR: LANDMARK - HEATHER BLEND

*ALL COLOR INFORMATION IS APPROXIMATE. MANUFACTURER AND FINAL TINT SUBJECT TO CHANGE.

TRANSPARENCY CALCS:
FLOOR AREA: 590 SF
REQUIRED: 148 SF
PROVIDED: 160 SF
PERCENTAGE: 27%

TRANSPARENCY CALCS:
FLOOR AREA: 590 SF
REQUIRED: 148 SF
PROVIDED: 160 SF
PERCENTAGE: 27%

TRANSPARENCY CALCS:
FLOOR AREA: 590 SF
REQUIRED: 148 SF
PROVIDED: 160 SF
PERCENTAGE: 27%

TRANSPARENCY CALCS:
FLOOR AREA: 208 SF
REQUIRED: 51 SF
PROVIDED: 60 SF
PERCENTAGE: 29%

1 BUILDING 1A - REAR ELEVATION
1/8" = 1'-0"



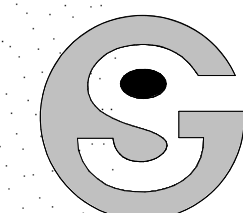
2 BUILDING 1A - RIGHT ELEVATION
1/8" = 1'-0"

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BLDG 1A - ELEVATIONS

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STEAMBOAT SPRINGS, CO

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NO.	DESCRIPTION

BLDG 1B - ELEVATIONS

A2.2



TRANSPARENCY CALCS:
FLOOR AREA: 1499 SF
REQUIRED: 375 SF
PROVIDED: 464 SF
PERCENTAGE: 31%

TRANSPARENCY CALCS:
FLOOR AREA: 1499 SF
REQUIRED: 375 SF
PROVIDED: 464 SF
PERCENTAGE: 31%

TRANSPARENCY CALCS:
FLOOR AREA: 1499 SF
REQUIRED: 375 SF
PROVIDED: 464 SF
PERCENTAGE: 31%

TRANSPARENCY CALCS:
FLOOR AREA: 1499 SF
REQUIRED: 375 SF
PROVIDED: 627 SF
PERCENTAGE: 42%

BUILDING 1B - BUILDING HEIGHTS - FRONT ELEVATION			
	BLDG 2	BLDG 4	BLDG 6
OVERALL BLDG HGT.	52'-8"	38'-1"	31'-4 1/2"
GREATEST PLATE HGT.	50'-2 1/2"	34'-4 1/2"	30'-6 1/2"
LOWEST PLATE HGT.	37'-6 1/2"	19'-8 1/2"	28'-3"
AVERAGE PLATE HGT.	43'-10 1/2"	27'-0 1/2"	29'-4 3/4"

BUILDING 1B - BUILDING HEIGHTS - LEFT ELEVATION			
	BLDG 2	BLDG 4	BLDG 6
OVERALL BLDG HGT.	49'-2 1/2"	32'-7 1/2"	31'-9"
GREATEST PLATE HGT.	37'-4 1/2"	32'-5"	26'-10 1/2"
LOWEST PLATE HGT.	46'-6 1/2"	12'-7"	24'-3 1/2"
AVERAGE PLATE HGT.	41'-11 1/2"	22'-6"	25'-7"

COLOR LEGEND*	
A	BODY COLOR 1: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: VIRTUAL TAUPE SW 7039
B	BODY COLOR 2: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: URBANE BRONZE SW 7048
C	STONE: MANUF: CORONADO, OR SIM. COLOR: IDAHO DRYSTACK - ANTIQUE BLUFF
D	TRIM: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: IRON GATE SW 2926
E	ROOF: MANUF: CERTANTEED, OR SIM. COLOR: LANDMARK - HEATHER BLEND

*ALL COLOR INFORMATION IS APPROXIMATE. MANUFACTURER AND FINAL TINT SUBJECT TO CHANGE.

TRANSPARENCY CALCS:
FLOOR AREA: 590 SF
REQUIRED: 148 SF
PROVIDED: 160 SF
PERCENTAGE: 27%

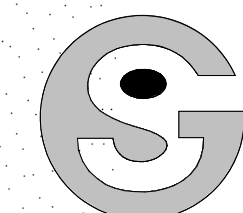
TRANSPARENCY CALCS:
FLOOR AREA: 590 SF
REQUIRED: 148 SF
PROVIDED: 160 SF
PERCENTAGE: 27%

TRANSPARENCY CALCS:
FLOOR AREA: 590 SF
REQUIRED: 148 SF
PROVIDED: 160 SF
PERCENTAGE: 27%

TRANSPARENCY CALCS:
FLOOR AREA: 420 SF
REQUIRED: 105 SF
PROVIDED: 112 SF
PERCENTAGE: 26%

1 BUILDING 1B - FRONT ELEVATION
1/8" = 1'-0"

2 BUILDING 1B - LEFT ELEVATION
1/8" = 1'-0"



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STEAMBOAT SPRINGS, CO



TRANSPARENCY CALCS:
FLOOR AREA: 1304 SF
REQUIRED: 326 SF
PROVIDED: 479 SF
PERCENTAGE: 37%

TRANSPARENCY CALCS:
FLOOR AREA: 1304 SF
REQUIRED: 326 SF
PROVIDED: 479 SF
PERCENTAGE: 37%

TRANSPARENCY CALCS:
FLOOR AREA: 1304 SF
REQUIRED: 326 SF
PROVIDED: 479 SF
PERCENTAGE: 37%

1 BUILDING 1B - REAR ELEVATION
1/8" = 1'-0"

BUILDING 1B - BUILDING HEIGHTS - REAR ELEVATION			
	BLDG 2	BLDG 4	BLDG 6
OVERALL BLDG HGT.	40'-5 1/2"	19'-3 1/2"	31'-2 1/2"
GREATEST PLATE HGT.	37'-6 1/2"	15'-0 1/2"	29'-10 1/2"
LOWEST PLATE HGT.	33'-8"	10'-8"	24'-2"
AVERAGE PLATE HGT.	35'-7 1/4"	12'-10 3/4"	27'-0 1/4"

BUILDING 1B - BUILDING HEIGHTS - RIGHT ELEVATION			
	BLDG 2	BLDG 4	BLDG 6
OVERALL BLDG HGT.	45'-1 1/2"	25'-0 1/2"	31'-6"
GREATEST PLATE HGT.	37'-10"	26'-9"	19'-8"
LOWEST PLATE HGT.	36'-8 1/2"	24'-2 1/2"	15'-0 1/2"
AVERAGE PLATE HGT.	37'-3 1/4"	25'-5 3/4"	17'-4 1/4"

COLOR LEGEND*	
A	BODY COLOR 1: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: VIRTUAL TAUPE SW 7039
B	BODY COLOR 2: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: URBANE BRONZE SW 7048
C	STONE: MANUF: CORONADO, OR SIM. COLOR: IDAHO DRYSTACK - ANTIQUE BLUFF
D	TRIM: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: IRON GATE SW 2926
E	ROOF: MANUF: CERTANTEED, OR SIM. COLOR: LANDMARK - HEATHER BLEND

*ALL COLOR INFORMATION IS APPROXIMATE. MANUFACTURER AND FINAL TINT SUBJECT TO CHANGE.

TRANSPARENCY CALCS:
FLOOR AREA: 590 SF
REQUIRED: 148 SF
PROVIDED: 180 SF
PERCENTAGE: 27%

TRANSPARENCY CALCS:
FLOOR AREA: 590 SF
REQUIRED: 148 SF
PROVIDED: 180 SF
PERCENTAGE: 27%

TRANSPARENCY CALCS:
FLOOR AREA: 590 SF
REQUIRED: 148 SF
PROVIDED: 180 SF
PERCENTAGE: 27%

TRANSPARENCY CALCS:
FLOOR AREA: 206 SF
REQUIRED: 51 SF
PROVIDED: 60 SF
PERCENTAGE: 29%



2 BUILDING 1B - RIGHT ELEVATION
1/8" = 1'-0"

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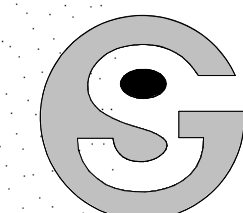
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NO.	DESCRIPTION

BLDG 1B -
ELEVATIONS

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STEAMBOAT SPRINGS, CO



COLOR LEGEND*	
A	BODY COLOR 1: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: VIRTUAL TAUPE SW 7039
B	BODY COLOR 2: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: URBANE BRONZE SW 7048
C	STONE: MANUF: CORONADO, OR SIM. COLOR: IDAHO DRYSTACK - ANTIQUE BLUFF
D	TRIM: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: IRON GATE SW 2926
E	ROOF: MANUF: CERTANTEED, OR SIM. COLOR: LANDMARK - HEATHER BLEND

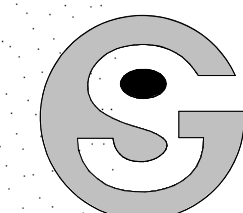
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TRANSPARENCY CALCS:
FLOOR AREA: 933 SF
REQUIRED: 233 SF
PROVIDED: 381 SF
PERCENTAGE: 40%

TRANSPARENCY CALCS:
FLOOR AREA: 933 SF
REQUIRED: 233 SF
PROVIDED: 381 SF
PERCENTAGE: 40%

TRANSPARENCY CALCS:
FLOOR AREA: 933 SF
REQUIRED: 233 SF
PROVIDED: 381 SF
PERCENTAGE: 40%

1 BUILDING 2 - REAR ELEVATION
1/8" = 1'-0"



TRANSPARENCY CALCS:
FLOOR AREA: 627 SF
REQUIRED: 157 SF
PROVIDED: 180 SF
PERCENTAGE: 25.5%

TRANSPARENCY CALCS:
FLOOR AREA: 627 SF
REQUIRED: 157 SF
PROVIDED: 180 SF
PERCENTAGE: 25.5%

TRANSPARENCY CALCS:
FLOOR AREA: 627 SF
REQUIRED: 157 SF
PROVIDED: 180 SF
PERCENTAGE: 25.5%

TRANSPARENCY CALCS:
FLOOR AREA: 421 SF
REQUIRED: 106 SF
PROVIDED: 112 SF
PERCENTAGE: 26%

2 BUILDING 2 - LEFT ELEVATION
1/8" = 1'-0"

COLOR LEGEND*	
A	BODY COLOR 1: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: VIRTUAL TAUPE SW 7039
B	BODY COLOR 2: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: URBANE BRONZE SW 7048
C	STONE: MANUF: CORONADO, OR SIM. COLOR: IDAHO DRYSTACK - ANTIQUE BLUFF
D	TRIM: MANUF: SHERWIN WILLIAMS, OR SIM. COLOR: IRON GATE SW 2926
E	ROOF: MANUF: CERTANTEED, OR SIM. COLOR: LANDMARK - HEATHER BLEND

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BLDG 2 -
ELEVATIONS

A2.5