



Ph: 970-871-6772 · Fax: 970-879-8023 · P.O. Box 775966 · Steamboat Springs, Colorado 80477

July 23, 2025

City of Steamboat Springs Planning Department  
Attn: Bob Keenan, Principal Planner  
137 10th Street  
Steamboat Springs, CO 80487

RE: Floodway Restoration Memorandum for Lot 2 Truslow Meadows Subdivision  
3397 and 3399 Stone Lane, Steamboat Springs  
FPSE Job No. 1450-002

Dear Planning Department,

Four Points Surveying and Engineering (FPSE) provides the following documentation for recent floodway restoration efforts that were completed on the Lot 2 Truslow Meadows Townhomes property.

**Background:**

A Letter of Map Revision Based on Fill (LOMR-F) application was submitted by Four Points Surveying and Engineering via the FEMA online permitting portal at the request of the property owner, with the goal of reducing homeowner flood insurance for the subject property.

As part of the original submittal, a Metes and Bounds Exhibit was included, which inadvertently depicted proposed contouring within portions of the regulatory floodway. This contouring was derived from field survey data collected beyond the construction disturbance limits and was later incorporated into the finished grading surface shown on the exhibit.

In response to the application, FEMA issued a letter dated May 27, 2025, prepared by David Bascom, Acting Director of FEMA's Engineering and Modeling Division. The letter identified grading within the regulatory floodway as a violation of Subparagraph 60.3(d)(3) of the National Flood Insurance Program (NFIP) regulations. A copy of this letter is attached to this memorandum.

Following receipt of FEMA's comments, Four Points conducted additional field surveying on June 30, 2025, to assess potential disturbance within the regulatory floodway. Topographic elevations were recorded along the floodway boundary and at the limits of site disturbance. The disturbance boundary remains visible in the field, with a clear transition between native vegetation and newly planted turf grass used for site restoration. A photograph of this transition is included in the attached Restoration Exhibit.

A detailed review of the updated field data revealed a narrow strip of disturbed land—approximately 77 square feet—extending partially into the regulatory floodway. However, this disturbance is significantly less than what was shown in the original Metes and Bounds Exhibit. Moreover, the disturbed area lies within a vertical deviation of  $\pm 0.2$  feet (2–3 inches) from predevelopment grades.

On July 16, 2025, Four Points staff met on site with Bob Keenan, the City of Steamboat Springs Floodplain Administrator, to evaluate the minor disturbance within the regulatory floodway. During the meeting, it was confirmed that the grading did not meet FEMA and City floodplain standards, and it was requested that the affected area be restored to native conditions.

On July 18, 2025, Four Points Surveying and Engineering delineated the area to be restored, and the contractor regraded the previously disturbed strip to match predevelopment conditions. A Restoration Exhibit and supplemental photographs documenting this work are included in the attachments.

**Conclusions:**

Currently, the previously disturbed portion of the site—approximately 77 square feet within the regulatory floodway is adequately restored to native conditions and predevelopment elevations. A native seed mix, consistent with the City of Steamboat Springs Technical Specifications, is applied to the disturbed area to initiate revegetation.

Four Points intends to continue working with the property owner to advance the LOMR-F application previously submitted to FEMA. The floor elevations of the residence were constructed above the base flood elevation of the Zone AE floodplain, thereby reducing the site's flood risk. These elevations have been properly documented in the Building Elevation Certificate and previously submitted to the City of Steamboat Springs. The original Metes and Bounds Exhibit and legal description will be updated to reflect the more accurate grading data collected during the July 30, 2025, field survey and will be resubmitted to FEMA accordingly.

We look forward to working collaboratively with the City to ensure compliance with applicable floodplain development standards and to confirm that the recent restoration actions sufficiently address the violation identified during the site visit. Please contact us if you have any questions or need additional information regarding the matters outlined above.

Sincerely,

Walter Magill, PE  
Four Points Surveying and Engineering

**Attachments:**

1. Metes and Bounds Exhibit (LOMR-F Application)
2. Letter received from FEMA dated May 27, 2025.
3. Restoration Plan and Photographs







# Federal Emergency Management Agency

Washington, D.C. 20472

May 27, 2025

Gail Garey  
President, City Council  
City of Steamboat Springs  
115 10<sup>th</sup> Street  
Steamboat Springs, CO 80487

IN REPLY REFER TO CASE NO.: 25-08-0408A  
Community: City of Steamboat Springs,  
Routt County, Colorado  
Community No.: 080159  
Map Panel Affected: 08107C0879D  
Map Effective Date: February 4, 2005

218-65-NF

✓ Dear Gail Garey:

We reviewed a Letter of Map Revision Based on Fill request dated April 10, 2025. On the basis of the submitted information and the effective National Flood Insurance Program (NFIP) map, we determined that the property described below is located within the Special Flood Hazard Area (SFHA), the area subject to inundation by the base (1%-annual-chance) flood, and within the regulatory floodway for Walton Creek, and that fill has been placed on the property since the designation of the floodway. The property is correctly shown on the effective NFIP map in an SFHA designated Zone AE, with Base Flood Elevations (BFEs) determined.

Property Description: Lots 2A and 2B, Truslow Meadows Townhomes, as shown on the Final Plat recorded as Reception No. 856045, in the Office of the Clerk and Recorder, Routt County, Colorado

Street Address: 3397 and 3399 Stone Lane

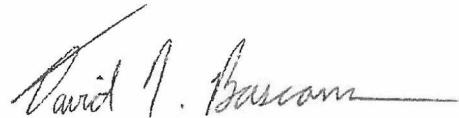
Flooding Source: Walton Creek

We have determined that fill has been placed on the above-referenced property, portions of which lie within the regulatory floodway adopted by your community. In accordance with Subparagraph 60.3(d)(3) of the NFIP regulations, no development may take place within the regulatory floodway if the development would cause an increase in the BFEs. Therefore, the placement of fill on the property may be in violation of the regulations.

We have notified our Regional Office in Denver, Colorado of this situation. Revisions to the BFEs and/or regulatory floodway must be coordinated by community officials and submitted to our Regional Office for review and approval. Your community should contact Thomas Birney, CFM of the Federal Emergency Management Agency Region 8 Office, by telephone at (720) 281-1278 or by email at [thomas.birney@fema.dhs.gov](mailto:thomas.birney@fema.dhs.gov), for guidance on the specific actions required to resolve this issue.

We will not continue processing this request until the issue is resolved with our Regional Office. This determination is based on the flood data presently available.

Sincerely,

A handwritten signature in black ink, appearing to read "David N. Bascom".

David N. Bascom, Acting Director  
Engineering and Modeling Division  
Risk Analysis, Planning and Information Directorate

cc: David Clemmer, Four Points Surveying and Engineering

# FLOODWAY RESTORATION EXHIBIT

## LOT 2B, TRUSLOW MEADOWS TOWNHOMES

LOCATED IN THE SE  $\frac{1}{4}$  OF SECTION 28,  
TOWNSHIP 6 NORTH, RANGE 84 WEST, 6TH P.M.,  
STEAMBOAT SPRINGS, ROUTT COUNTY, COLORADO



### LOT 2 TRUSLOW MEADOWS SUBDIVISION 3397 AND 3399 STONE LANE STEAMBOAT SPRINGS, CO

440 S. Lincoln Ave, Suite 4A  
P.O. Box 75966  
Steamboat Springs, CO 80487  
(970) 871-6772  
www.fourpointse.com

INT	REVISIONS
No.	DATE

No.	DATE

Horizontal Scale		
0	10'	20'
SCALE: 1" = 10'		
Contour Interval = 1 ft		
DATE: 07-23-2025		
JOB #: 1450-002		
DRAWN BY: DSC		
DESIGN BY: DSC		
REVIEW BY: WNM		
IF THIS DRAWING IS PRESENTED IN A FORMAT OTHER THAN 24" X 36", THE GRAPHIC SCALE SHOULD BE UTILIZED.		

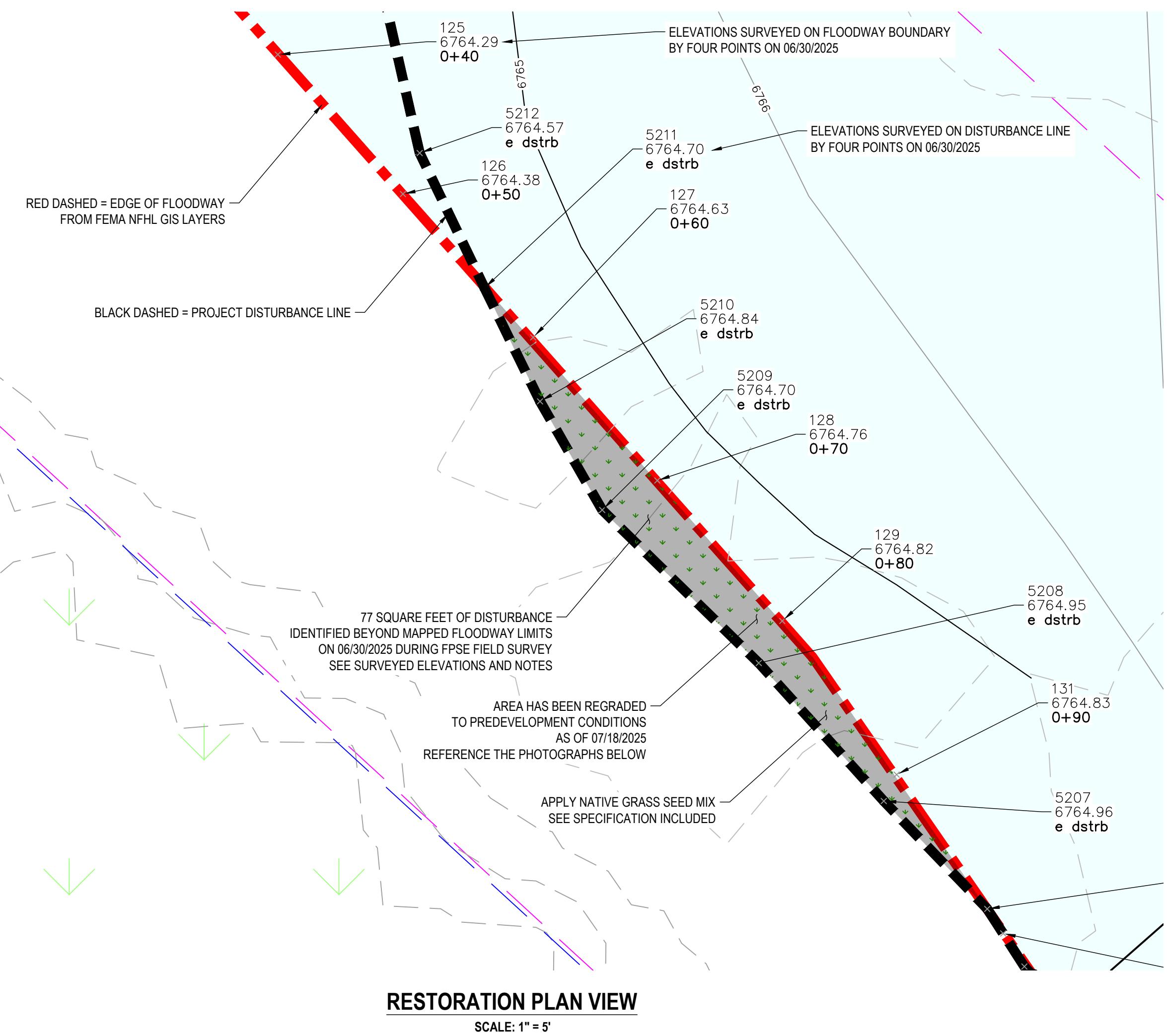
DRAWING:	FLOODWAY RESTORATION EXHIBIT
SHEET #	1

NOTES:		
1. RESTORATION EXHIBIT OF LOT 1 AND LOT 2, TRUSLOW MEADOWS TOWNHOMES ACCORDING TO THE PLAT THEREOF AS RECORDED AT CLERK AND RECORDER'S OFFICE, AT RECEIPTION NO. 856045, COUNTY OF ROUTT, STATE OF COLORADO.		
2. EXISTING CONTOURS ARE GENERATED FROM LIDAR INFORMATION PROVIDED BY THE COLORADO HAZARD MAPPING & RISK MAP PORTAL AT THE COLORADO WATER CONSERVATION BOARD. THE CONTOURS REFLECT THE CONDITIONS ON THE GROUND FROM 10-14-2015 TO 9-20-2016. THE LIDAR INFORMATION WAS COLLECTED BY MERRICK & CO AND PUBLISHED BY CWCB ON 10-1-2016 USING THE COLORADO STATE PLANE NORTH, NAD 1983 COORDINATE SYSTEM.		
3. A FIELD TOPOGRAPHIC SURVEY WAS COMPLETED BY FOUR POINTS ON JUNE 30, 2025. FOUR POINTS SURVEYED THE FLOODWAY BOUNDARY AT TEN FOOT STATIONS TO VERIFY GRADING AND SITE ELEVATION CONDITIONS AT THE BOUNDARY. THE FLOODWAY BOUNDARY IS BASED ON FIRM PANEL NO. 08107C0883D AND DOWNLOADED GIS DATA FROM THE FEMA NATIONAL FLOOD HAZARD LAYER DATABASE.		
4. A LIMITS OF DISTURBANCE BOUNDARY WAS ALSO FIELD SURVEYED BASED ON OBSERVED CONDITIONS OF THE SITE. THE BREAK BETWEEN NATIVE GRASSES AND ARTIFICIAL TURF GRASSES CONSTRUCTED AS PART OF THE PROJECT REMAINS EVIDENT ON THE PROPERTY. SEE THE SITE PHOTOGRAPH BELOW FOR ADDITIONAL INFORMATION.		
5. THE 77 SQUARE FEET OF DISTURBANCE WITHIN THE FLOODWAY WAS WITHIN A THRESHOLD OF 0.2 FEET OF ELEVATION DIFFERENCE FROM PREDEVELOPMENT ELEVATIONS. FOLLOWING A SITE VISIT WITH BOB KEENAN AT THE CITY OF STEAMBOAT SPRINGS PLANNING DEPARTMENT, IT WAS REQUESTED THAT THE AREA INDENTED AS DISTURBED WITHIN THE FLOODWAY BOUNDARY WAS TO BE RESTORED ENTIRELY TO PREDEVELOPMENT CONDITIONS. THE 77 SQUARE FEET OF DISTURBED AREA HAS BEEN REGRADED BY THE CONTRACTOR (AS OF JULY 18, 2025) TO MATCH THE ORIGINAL ELEVATIONS WITHIN THE FLOODWAY. SEE ACCOMPANYING IMAGES INCLUDED ON THIS PLAN FOR ADDITIONAL INFORMATION.		
6. THE DISTURBED STRIP OF LAND WITHIN THE FLOODWAY BOUNDARY TO BE REVEGETATED IMMEDIATELY. FOLLOW THE CITY OF STEAMBOAT SPRINGS TECHNICAL SPECIFICATIONS, SECTION 02933 'REVEGETATION'. THE TYPICAL NATIVE GRASS SEED MIX SPECIFICATIONS HAVE BEEN PROVIDED ON THIS PLAN.		
7. PROPOSED CONTOURS REFLECT THE CONDITIONS OF THE FINISHED SLOPE ON THE WEST SIDE OF THE PROPERTY, AS MEASURED ON JUNE 30, 2025. CONTOUR RANGES ARE PRESENTED IN ONE FOOT VERTICAL INTERVALS.		
<b>B. Native Grass Seed Mix:</b> Shall consist of a mixture of the following or an approved equal:		
1. Smooth Brome (Manchar)	8 lbs PLS/ac	
2. Crested Wheatgrass (Standard)	6 lbs PLS/ac	
3. Hard Fescue (Durar)	3 lbs PLS/ac	
4. Western Wheatgrass	8 lbs PLS/ac	
5. Intermediate Wheatgrass	11 lbs PLS/ac	
6. Alsike Clove	2 lbs PLS/ac	
7. Kentucky Bluegrass	2 lbs PLS/ac	
<b>TOTAL</b>	40 lbs PLS/ac (PLS – Pure Live Seed)	
<b>CITY OF STEAMBOAT SPRINGS - NATIVE GRASS SEED MIX COMPONENTS</b>		
SEE SECTION 02933 OF THE CITY OF STEAMBOAT SPRINGS TECHNICAL SPECIFICATIONS FOR ADDITIONAL INFORMATION		



SITE PHOTOGRAPH (RECORDED AT THE TIME OF FIELD SURVEY)

DATE: JUNE 30, 2025



RESTORATION PLAN VIEW

SCALE: 1" = 5'



RESTORATION PHOTOGRAPHS

DATE: JULY 18, 2025



REGRADED COMPLETED TO  
MATCH PREDEVELOPMENT ELEVATIONS  
AT THE FLOODWAY BOUNDARY