

1 MASTER PLAN NOTES

- Prior to the start of any excavation for the project both on and off the site, the contractor shall notify the utility notification center of Colorado at 1-800-922-1987 and verify that all existing utilities have been located and marked.
- Contractor(s) shall thoroughly familiarize themselves with all construction documents, specifications, and site conditions prior to bidding and prior to construction. Any discrepancies between drawings, specifications, and site conditions shall be reported immediately to the Landscape Designer for clarification and resolution prior to bidding or construction.
- All trees to be located outside of the water and sewer utility easements.
- All dimensions are taken to face of building except where otherwise noted.
- For layout and dimensioning of site, see engineering drawings.
- Screened images show existing conditions. Where existing conditions lie under or are impinged upon by proposed buildings and/or site elements, the existing condition will be removed, abandoned and/or capped or demolished as required.
- Contractor shall begin maintaining and will continue until final acceptance. The landscape contractor shall guarantee all plant materials for one (1) full year from date of acceptance.
- The landscape contractor shall supply all plant materials in quantities sufficient to complete all plantings shown on this drawing. All plant materials are subject to the approval of the Landscape Designer, at the nursery, and at the site.
- All plant materials shall conform to the guidelines established by the American Association of Nurserymen. All plants to be balled and burlapped, and shall bear the same relationship to final grade as to original grade prior to digging.
- Mulch for planted areas to be aged cedar bark, partially decomposed, dark brown in color and free of wood chips thicker than 1/4 inch. Stone mulch for planted areas to be a mixture of native stone, pea gravel, and other varied sizes of indigenous material to be placed in such a way to be random and visually (natural) in appearance.
- Planting soil mix: excavated soil to be thoroughly incorporated with black gold soil conditioner (or equivalent) to be added per manufacturer's recommended rates.
- All areas of the site which have been disturbed and not otherwise developed shall be loamed and seeded with a minimum depth of 2" depth topsoil.
- All plant material shown will be controlled by an automatic irrigation system to be designed. The irrigation system shall be designed using common industry practices and principles. The system shall be installed in such a manner as to maintain efficiency and performance. The existing conditions of the site will determine the ultimate design and layout of the irrigation system.
- At the request of the owner, an as-built plan will be required for submission at the conclusion of the project. All field changes will be recorded, and updated as necessary.
- Valve box locations are not to be installed in sod areas whenever possible. Take advantage of planting beds, and native turf areas outside the fence for potential valve box locations.
- Provide mainline isolation wherever possible through the use of schedule 40 pipe ball valves (to be sized as necessary).
- Multiple Points-of-Connection to be provided for providing irrigation water for the system. Locations have not been determined at this time. Locations to be designated prior to construction. Site plan to provide 1-1/2" copper (minimum) extending 12" from the foundation wall, a minimum of 18" below grade. A fitting should be provided for conversion to P.V.C. When not located in building mechanical rooms, remote locations may be provided.
- Controller locations have not been determined at this time. A 110v dedicated circuit will be required as a power source for the controllers. Locations to be specified prior to installation. Mounting and connection of 110v power to controller will be required.

3 SITE PLAN LEGEND

|  |                                   |
|--|-----------------------------------|
| PROPERTY BOUNDARY                      | EXISTING TELEPHONE                |
| ADJACENT PROPERTY BOUNDARY             | UTILITY PEDESTALS                 |
| EXISTING EASEMENT                      | POWER POLE                        |
| EXISTING SETBACK                       | GAS                               |
| EXISTING EDGE OF ASPHALT               | STORM INLET                       |
| PROPOSED EDGE OF ASPHALT               | PR CULVERT W/ FLARED END SECTIONS |
| EXISTING 2 FT CONTOUR                  | EX CULVERT W/ FLARED END SECTIONS |
| EXISTING 10 FT CONTOUR                 | EXISTING FENCE                    |
| PROPOSED 2 FT CONTOUR                  | PROPOSED EDGE OF CONCRETE         |
| PROPOSED 10 FT CONTOUR                 | DECK                              |
| EXISTING EDGE OF GRAVEL                | PROPOSED BUILDING                 |
| CENTER LINE OF DITCH                   | OVERHANG                          |
| EXISTING WATER LINE                    | SIDEWALK/BOARDWALK                |
| EX CURB STOP, GATE VALVE, FIRE HYDRANT | PROPOSED WATER SERVICE LINE       |
| PR CURB STOP, GATE VALVE, FIRE HYDRANT | AREA OF PHASE ONE CONSTRUCTION    |
| THRUST BLOCK                           | VEGETATION OUTLINE                |
| EXISTING SEWER LINE                    | ASPHALT                           |
| EXISTING MANHOLE AND CLEANOUTS         | CONCRETE                          |
| PROPOSED SEWER LINE                    | GRAVEL                            |
| PROPOSED MANHOLE AND CLEANOUTS         | ROCK/RIP RAP                      |
| EXISTING ELECTRICAL                    |                                   |

4 SEED MIX FOR WATER QUALITY SWALE

| COMMON NAME         | SCIENTIFIC NAME          | VARIETY   | PLT'S<br>LBS PER<br>ACRE | QUINCES<br>PER<br>ACRE |
|---------------------|--------------------------|-----------|--------------------------|------------------------|
| Sand Bluestem       | Andropogon halli         | Garden    | 3.5                      |                        |
| Sideoats grama      | Bouteloua curtipendula   | Butte     | 3                        |                        |
| Prairie Sandreed    | Calamagrostis longifolia | Goshen    | 3                        |                        |
| Indian Ricegrass    | Oryzopsis hymenoides     | Paloma    | 3                        |                        |
| Switchgrass         | Panicum virgatum         | Blackwell | 3                        |                        |
| Western Wheatgrass  | Pascopyrum smithii       | Arlita    | 3                        |                        |
| Little Bluestem     | Schizachyrium scoparium  | Patura    | 3                        |                        |
| Alkali sacaton      | Sporobolus airoides      |           | 3                        |                        |
| Sand Dropseed       | Sporobolus cryptandrus   |           | 3                        |                        |
| Sub-Totals:         |                          |           | 27.5                     | 00.0                   |
| Total lbs per acre: |                          |           | 27.5                     |                        |

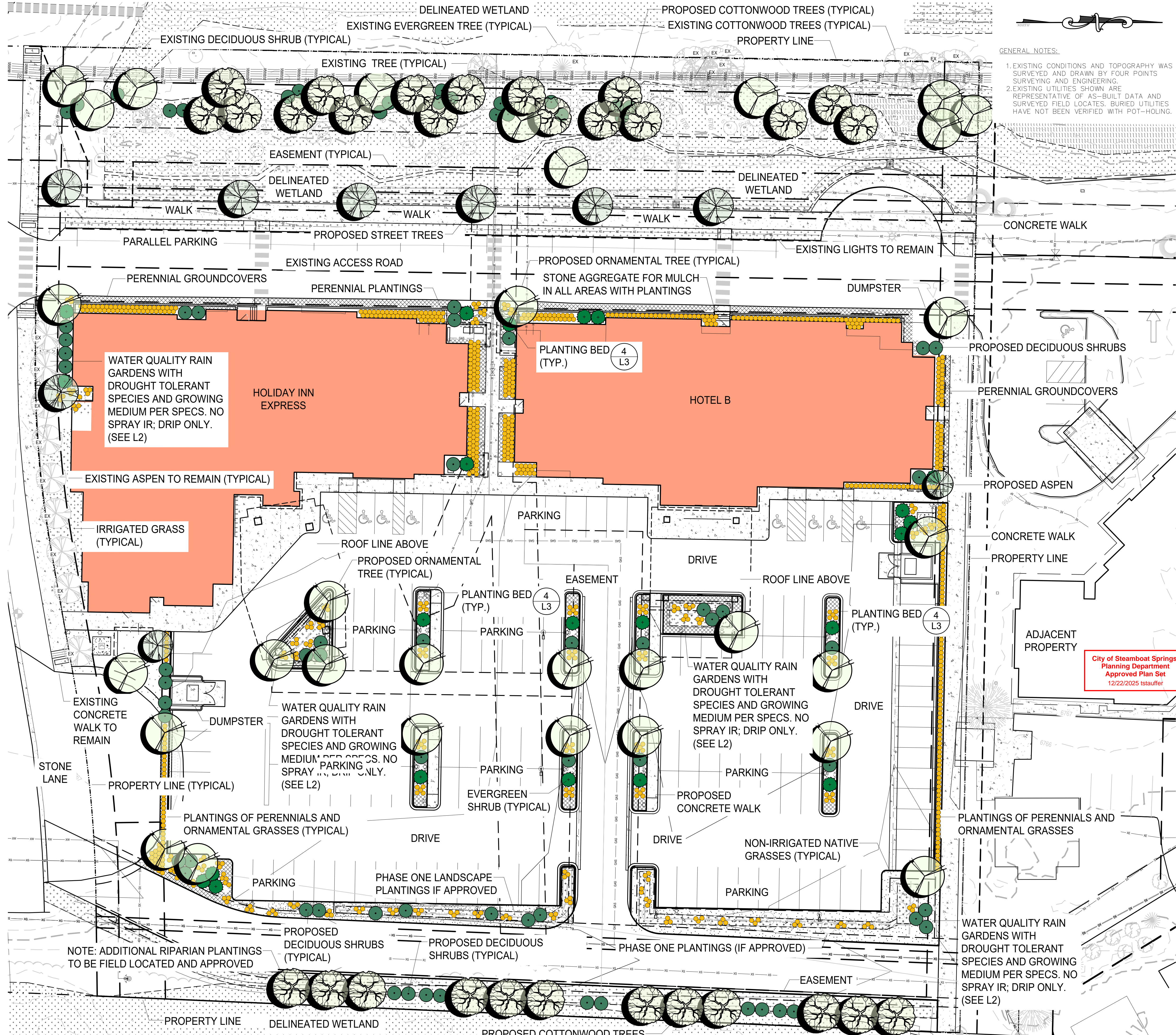
5 PLANT LEGEND

|   |   |
|---|---|
| Proposed Quaking Aspen (09 Total)<br>Populus tremuloides<br>2.50" minimum caliper (Clumps and Single Stem)      | Proposed Deciduous Shade & Street Trees (29 Total)<br>Populus angustifolia, Gleditsia tricanthos 'Skyline', etc.<br>2.50" minimum caliper (Single Stem) |
| Native and cultivated evergreen shrubs (24 Total)<br>Juniperus, Picea, Pinus spp.<br>Size: #5 Container Minimum | Native and cultivated deciduous shrubs (74 Total)<br>Prunus, Cornus, Rosa, etc.<br>Size: #5 Container Minimum   |
| Proposed Ornamental Trees (31 Total)<br>Flowering Crabapple-Malus hybrids<br>Size: 2.50" Minimum Caliper        | Native and Ornamental Perennials (826 Total)<br>Size: #1 Container Minimum  |
| Existing Trees and Shrubs to Remain<br>Populus, Pinus, Picea, Malus spp., etc.<br>(Size & Condition Varies)     |   |

6 FINAL PLANT LIST

| EVERGREEN TREES          |                                    |      |              |                  |
|--------------------------|------------------------------------|------|--------------|------------------|
| COMMON NAME              | SCIENTIFIC NAME                    | AMT. | ABBREVIATION | SIZE             |
| Spring Snow Crabapple    | Malus 'Spring Snow'                | 31   | SSC          | 2.0" - 2.5" cal. |
| Narrowleaf Cottonwood    | Populus angustifolia               | 09   | CTW          | 2.0" - 2.5" cal. |
| Quaking Aspen            | Populus tremuloides                | 29   | ASP          | 2.0" - 2.5" cal. |
| EVERGREEN SHRUBS         |                                    |      |              |                  |
| COMMON NAME              | SCIENTIFIC NAME                    |      |              | SIZE             |
| Blue Chip Juniper        | Juniperus horizontalis 'Blue Chip' | 24   | BCJ          | #5 Pot           |
| DECIDUOUS SHRUBS         |                                    |      |              |                  |
| COMMON NAME              | SCIENTIFIC NAME                    |      |              | SIZE             |
| Thicket (Mountain) Alder | Alnus tenuifolia                   | 06   | ALN          | #5 Pot           |
| Redwing Dogwood          | Cornus stolonifera                 | 09   | CRD          | #5 Pot           |
| Native Pink Shrub Rose   | Rosa woodsii                       | 15   | ROS          | #5 Pot           |
| Black Willow             | Salix nigra                        | 29   | SW           | #5 Pot           |
| Goldenrod                | Rhus glabra                        | 15   | GRD          | #5 Pot           |
| Yellow Potentilla        | Potentilla fruticosa               | 24   | POT          | #5 Pot           |
| PERENNIALS               |                                    |      |              |                  |
| COMMON NAME              | SCIENTIFIC NAME                    |      |              | SIZE             |
| Rocky Mountain Columbine | Aquilegia canadensis               | 93   | COL          | #1 Pot           |
| Show Daisy               | Aster alpinus 'Spatzli'            | 232  | AST          | #1 Pot           |
| Lance-leaf Coreopsis     | Coreopsis lanceolata               | 129  | CRP          | #1 Pot           |
| Joe Pye Weed*            | Eupatorium maculatum               | 282  | EUP          | #1 Pot           |
| Marsh Sunflower          | Helianthus nuttallii               | 38   | HEL          | #1 Pot           |
| Rocky Mountain Iris      | Iris missouriensis                 | 29   | IRI          | #1 Pot           |
| Arrowweed*               | Triglochin maritimum               | 23   | TRI          | #1 Pot           |
| Blue Vervain*            | Verbena hastata                    | 50   | VER          | #1 Pot           |
| Golden Rod*              | Solidago canadensis                | 83   | SOL          | #1 Pot           |
| GROUNDCOVERS             |                                    |      |              |                  |
| COMMON NAME              | SCIENTIFIC NAME                    |      |              | SIZE             |
| White Creeping Phlox     | Phlox subulata                     | 36   | PWL          | Flat - F15       |
| Vinca                    | Vinca major                        | 31   | VMA          | Flat - F15       |

NOTE: WETLAND SPECIFIC PERENNIALS AND SHRUBS TO BE USED IN THE WATER QUALITY SWALE PLANTINGS ARE DESIGNATED BY AN \* IN THE ABOVE SAMPLE PLANT LIST



**NOT FOR CONSTRUCTION**

**FOUR POINTS SURVEYING & ENGINEERING**

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(970)-871-6772  
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| REVISIONS | DATE     | DESCRIPTION                       |
|-----------|----------|-----------------------------------|
| 1         | 6-16-22  | BASE MAP UPDATE & TAC COMMENTS    |
| 2         | 12-12-22 | UPDATED SITE PLAN FOR PHASE 2     |
| 3         | 01-30-23 | UPDATED SITE PLAN FOR PHASE 2     |
| 4         | 02-22-23 | STREET TREES ALONG ACCESS ROAD    |
| 5         | 05-12-23 | STONE IN FRONTAGE PLANTINGS ADDED |
| 6         | 08-11-23 | RIPIAN PLANTINGS ADDED            |
| 7         | 10-30-23 | BASE MAP UPDATE                   |

**HOLIDAY INN EXPRESS & HOTEL B**

**LOT 1, INDIAN MEADOWS FILING NO. 3**

**STEAMBOAT SPRINGS, CO 80487**

**PHASE TWO LANDSCAPE MASTER PLAN**

**L1**

**City of Steamboat Springs Planning Department Approved Plan Set 12/22/2025 tstauffer**

**HORIZONTAL SCALE**

0 20' 40'

SCALE: 1" = 20'

**CONTOUR INTERVAL = 1 FT**

DATE: 04/01/2022  
JOB #: 1448-005  
DRAWN BY: AAB  
DESIGN BY: AAB  
REVIEW BY: RL

IF THIS DRAWING IS PRESENTED IN A FORMAT OTHER THAN A4 X 36", THE GRAPHIC SCALE SHOULD BE UTILIZED.

**PHASE TWO LANDSCAPE MASTER PLAN**

**L1**

**SHEET NO.**







### SOIL PREPARATION AND PLANTING

### PREPARATION - GENERAL

1. Lay out individual tree and shrub locations and the areas for multiple plantings. Stake tree locations and outline planting areas before start of planting work. Make minor adjustments as may be required. Landscape Designer or Owners Representative approval required before installation.

#### PREPARATION OF PLANTING SOIL

1. Topsoil (Stockpile): Clean topsoil of roots, plants, stones, clay lumps, and other extraneous materials harmful or toxic to plant growth.
2. Mix Black Gold Soil Conditioner (or approved substitute soil amendments) and fertilizer with topsoil as required based on existing soil conditions. Preparation of the planting soil shall not occur if planting will not follow within a few days. Stockpile covered on-site.
3. Pit and Trench Backfill: Mix planting soil prior to backfilling, and stockpile at site.
4. Planting Beds: Mix planting soil either prior to backfilling, or apply on surface of topsoil and mix thoroughly before planting.

#### PREPARATION OF PLANTING BEDS

1. Spread planting soil mixture to minimum depth required to meet lines, grades, and elevations shown, after light rolling and natural settlement. Place approximately 1/2 of total amount of planting soil required. Work into top of loosened sub-grade to create a transition layer, then place remainder of the planting soil.
2. Remove 8 inches to 10 inches of soil and replace with prepared planting soil mixture. Backfill for each bed with three parts topsoil and one part Black Gold Soil Conditioner (or approved substitute) thoroughly mixed prior to placing.

## EXCAVATION FOR TREES AND SHRUBS

1. Excavate pits, beds, and trenches with vertical sides and with bottom of excavation slightly raised at center to provide proper drainage. Loosen hard sub-soil in bottom of excavation.
2. For ball and burrow (BAB) trees, make excavations at least half again as wide as the ball diameter and equal to the ball depth, plus following allowance for setting of ball on a layer of compacted backfill.
3. Allow for 3 inch thick setting layer of ball and planting soil mixture.
4. For container grown stock, excavate as specified for ball and burrow stock, adjusted to size of container width and depth.
5. Dispose of subsoil removed from planting excavations. Do not mix with planting soil or use as backfill.
6. Fill excavations for trees and shrubs with water and allow water to percolate out prior to planting.
7. Backfill pits with three parts topsoil and one part Black Gold Soil Conditioner (or approved substitute) thoroughly mixed prior to planting.
8. Place Agriform Tree Fertilizer Tablets (or approved substitute) in planting pit prior to back filling at the following rate: three per each tree, one per each shrub.

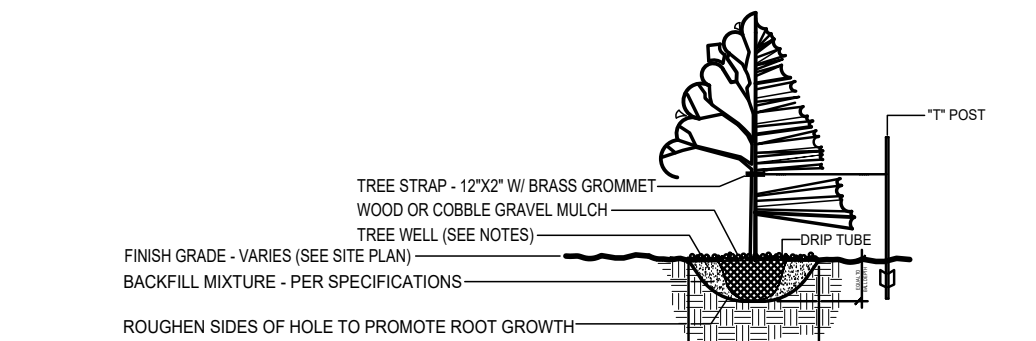
## PLANTING TREES AND SHRUBS

1. Set ball and tumbler (B&T) stock out of compacted planting soil mixture, plumb and in center of pit or trench with cut at same elevation as adjacent finished landscape grade. Remove burrs from sides of balls; render all bottoms flat. When set, ball will be about 1/2" above ground level. If necessary, use shovel to level soil around ball. If soil is loose, use shovel to compact soil around excavation is approximately 23" full, water thoroughly before placing remainder of ball. Repeat watering until no more is absorbed. Water again after placing final layer of ball.
2. Set container grown stock, as specified, fully buried (set stock, except cut can 2 sides with an approved cut can cutter on top of ball so as not to damage root ball).
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1. ALL PLANT MATERIALS AND LANDSCAPE ELEMENTS TO CONFORM TO THE DECLARATION OF PROTECTIVE COVENANTS FOR RUNNING BARR SUBDIVISION AS PUBLISHED IN NOVEMBER OF 1995.
2. CONTRACTOR SHALL BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING AND WILL CONTINUE UNTIL FIRM ACCEPTANCE.
3. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE (1) FULL YEAR FROM DATE OF ACCEPTANCE. THE LANDSCAPE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN SUFFICIENT QUANTITIES TO MEET THE REQUIREMENTS OF THE LANDSCAPE DESIGN. ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE DESIGNER, AT THE NURSERY, AND AT THE SITE. ALL PLANT MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE AMERICAN SOCIETY OF NURSERYMEN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PLANTS AND SHALL BEAR THE SAME RELATIONSHIP TO FINISH GRADE AS TO ORIGINAL GRADES BEFORE DIGGING.
4. MULCH FOR PLANTED AREAS TO BE AGED CEDAR BARK. PARTIALLY DECOMPOSED, DARK BROWN IN COLOR, FREE OF WEEDS, STONES, AND OTHER FOREIGN MATERIALS. MULCH SHALL BE APPLIED TO A MIXTURE OF PLANTS: STEA, PEARL, AND OTHER VARIETIES OF INDIGENOUS MATERIAL TO BE PLACED IN SUCH A WAY TO BE RANDOM AND VISUALLY NATURAL, IN APPEARANCE.
5. 1/2" MAX. EGGSHAPED GRANULAR POLYURETHANE GRANULES, 1/4" MAX. BLACK GOLD SOD CONDITIONER (OR EQUIVALENT) TO BE ADDED PER MANUFACTURER'S RECOMMENDED RATES. ALL AREAS OF THE SITE WHICH HAVE BEEN DISTURBED AND NOT OTHERWISE DEVELOPED SHALL BE RESEED, WITH SEEDING, TO BE DONE BY THE CONTRACTOR.
6. ALL PLANT MATERIALS TO BE UNDER AN AUTOMATIC DRIP IRRIGATION SYSTEM TO BE INSTALLED.

NOTES:

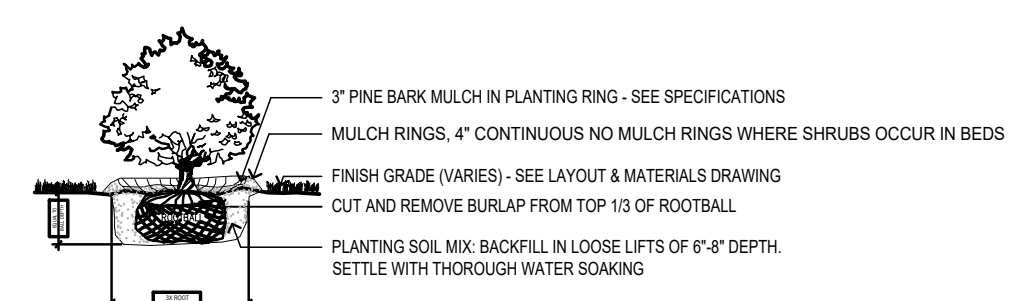
1. TREE WELLS REQUIRED ONLY FOR TREES AND SHRUBS IRRIGATED BY DRIP ZONES. PLANTS LOCATED WITHIN SPRAY ZONES DO NOT NEED TREE WELLS.
2. MULCH VARIES BY LOCATION. SEE THE PRELIMINARY PLANTING PLAN FOR DETAILS.
3. ALL PLANT MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN. ALL PLANTS TO BE BALLED IN BURLAP OR CONTAINERIZED, AND SHALL BEAR THE SAME RELATIONSHIP TO FINISH GRADE AS TO ORIGINAL GRADES BEFORE DIGGING.
4. 5' LENGTH STEEL "T" POSTS - 2 POSTS EQUALLY SPACED PER TREE (TYPICAL).



A cross-sectional diagram of a landscape bed. From left to right, it shows a small plant in a wire mesh basket labeled 'PERENNIALS: REFERENCE PLANTINGS PLANS', a plant in a plastic nursery container labeled 'SHRUB: REFERENCE PLANTINGS PLANS', and a large tree in a large plastic container labeled 'ORNAMENTAL TREE: REFERENCE PLANTINGS PLANS'. A layer of '3" WOOD BARK MULCH' is shown on the surface. Below the mulch is a layer of 'COMPACTED SUB-GRADE'.

NOTES:

1. MULCH RINGS FOR WATER RETENTION REQUIRED ONLY FOR SHRUBS IRRIGATED BY DRIP ZONES. PLANTS LOCATED WITHIN SPRAY ZONES DO NOT NEED MULCH RINGS.
2. MULCH VARIES BY LOCATION. SEE THE PRELIMINARY PLANTING PLAN FOR DETAILS.
3. ALL PLANT MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN. ALL PLANTS TO BE BALLED IN BURLAP OR CONTAINERIZED, AND SHALL BEAR THE SAME RELATIONSHIP TO FINISH GRADE AS TO ORIGINAL GRADES BEFORE DIGGING.



GENERAL NOTES:

1. EXISTING CONDITIONS AND TOPOGRAPHY WAS SURVEYED AND DRAWN BY FOUR POINTS SURVEYING AND ENGINEERING.
2. EXISTING UTILITIES SHOWN ARE REPRESENTATIVE OF AS-BUILT DATA AND SURVEYED FIELD LOCATES. BURIED UTILITIES HAVE NOT BEEN VERIFIED WITH POT-HOLING.

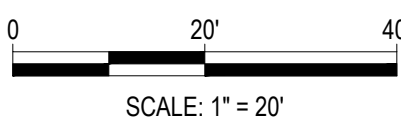
**440 S. Lincoln Ave, Suite 4A  
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[www.fourpointsse.com](http://www.fourpointsse.com)**

| INT | REVISIONS                         | DATE     |
|-----|-----------------------------------|----------|
| AAB | BASE MAP UPDATE & TAC COMMENTS    | 6-16-22  |
| AAB | UPDATED SITE PLAN FOR PHASE 2     | 12-12-22 |
| AAB | UPDATED SITE PLAN FOR PHASE 2     | 01-30-23 |
| AAB | STREET TREES ALONG ACCESS ROAD    | 02-22-23 |
| AAB | STONE LN FRONTAGE PLANTINGS ADDED | 05-12-23 |
| AAB | RIPARIAN PLANTINGS ADDED          | 08-11-23 |
| AAB | BASE MAP UPDATE                   | 10-30-23 |
|     |                                   |          |

HOLIDAY INN EXPRESS &amp; HOTEL B

LOT 1, INDIAN MEADOWS FILING NO. 3  
STEAMBOAT SPRINGS, CO 80487

### HORIZONTAL SCALE



CONTOUR INTERVAL = 1 FT

|                  |
|------------------|
| DATE: 04/01/2022 |
| JOB #: 1448-005  |
| DRAWN BY: AAB    |
| DESIGN BY: AAB   |
| REVIEW BY: RL    |

IF THIS DRAWING IS PRESENTED IN A  
FORMAT OTHER THAN 24" X 36", THE  
GRAPHIC SCALE SHOULD BE UTILIZED.

## PHASE TWO PLANTING PLAN

**DRAWING:**

SHEET NO

# L3