

1 MASTER PLAN NOTES

1. Prior to the start of any excavation for the project both on and off the site, the contractor shall notify the utility notification center of Colorado at: 1-800-922-1987 and verify that all existing utilities have been located and marked.
2. Contractor(s) shall thoroughly familiarize themselves with all construction documents, specifications, and site conditions prior to bidding and prior to construction. Any discrepancies between drawings, specifications, and site conditions shall be reported immediately to the Landscape Designer for clarification and resolution prior to bidding or construction.
3. All trees to be located outside of the water and sewer utility easements.
4. All dimensions are taken to face of building except where otherwise noted.
5. For layout and dimensioning of lots, see engineering drawings.
6. Screened images show existing conditions. Where existing conditions lie under or are impinged upon by proposed buildings and/or site elements, the existing condition will be removed, abandoned and/or capped or demolished as required.
7. Contractor shall begin maintenance immediately after planting and will continue until final acceptance. The landscape contractor shall guarantee all plant materials for one (1) full year from date of acceptance.
8. The landscape contractor shall supply all plant materials in quantities sufficient to complete all plantings shown on this drawing. All plant materials are subject to the approval of the Landscape Designer, at the nursery, and at the site.
9. All plant materials shall conform to the guidelines established by the American Association of Nurserymen. All plants to be balled in burlap or containerized, and shall bear the same relationship to finish grade as to original grades before digging.
10. Mulch for planted areas to be aged cedar bark; partially decomposed, dark brown in color and free of wood chips thicker than 1/4 inch. Stone mulch for planted areas to be a mixture of native stone, pea gravel, and other varied sizes of indigenous material to be placed in such a way to be random and visually (natural) in appearance.
11. Planting soil mix: excavated soil to be thoroughly incorporated with black gold soil conditioner (or equivalent) to be added per manufacturer's recommended rates.
12. All areas of the site which have been disturbed and not otherwise developed shall be loamed and seeded with a minimum depth of 6" depth topsoil.
13. All plant material shown will be controlled by an automatic irrigation system to be designed. The irrigation system shall be designed using common industry practices and principals. The system shall be installed in such a manner as to maintain efficiency and performance. The existing conditions of the site will determine the ultimate design and layout of the irrigation system.
14. At the request of the owner, an as-built plan will be required for submission at the conclusion of the project. All field changes will be recorded, and updated as necessary.
15. Valve box locations are not to be installed in sod areas whenever possible. Take advantage of planting beds, and native turf areas outside the fence for potential valve box locations.
16. Provide mainline isolation wherever possible through the use of schedule 40 PVC ball valves (to be sized as necessary).
17. Multiple Points-of-Connection to be provided for providing irrigation water for the system. Locations have not been determined at this time. Locations to be designated prior to construction. Site plumber to provide 1-1/2" copper (minimum) extending 12" from the foundation wall, a minimum of 18" below grade. A fitting should be provided for conversion to PVC. When not located in building mechanical rooms, remote locations may be provided.
18. Controller locations have not been determined at this time. A 110v dedicated circuit will be required as a power source for the controllers. Locations to be specified prior to installation. Mounting and connection of 110v power to controller will be required.

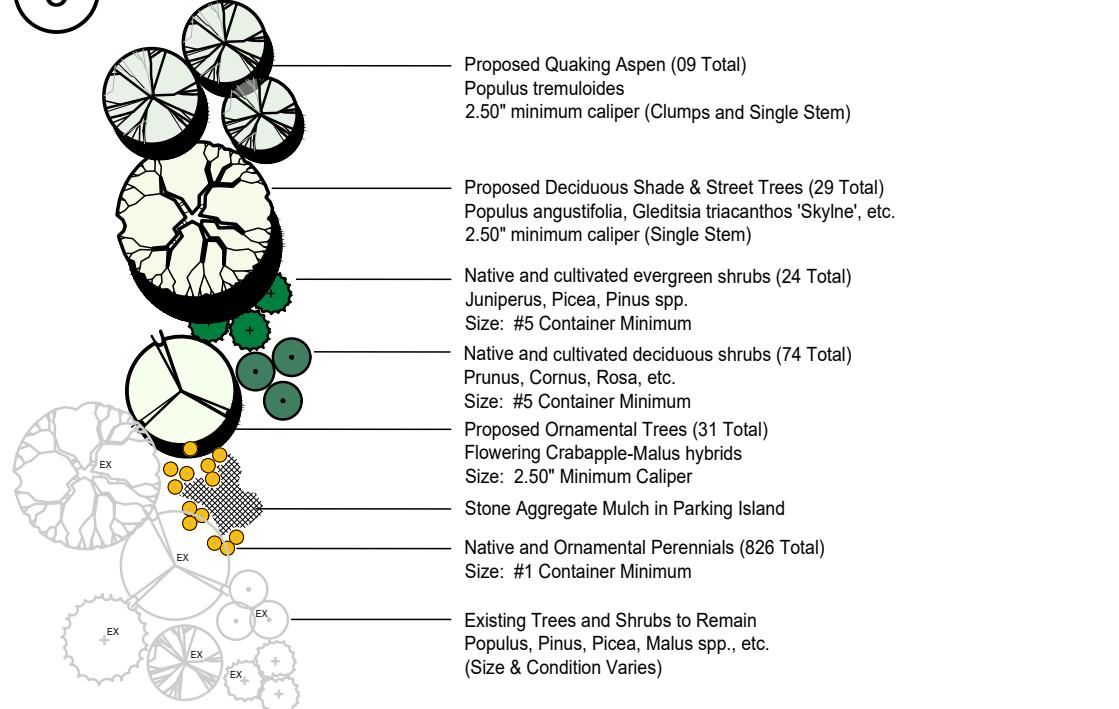
3 SITE PLAN LEGEND

PROPERTY BOUNDARY	XT	EXISTING TELEPHONE
ADJACENT PROPERTY BOUNDARY	E	UTILITY PEDESTALS
EXISTING EASEMENT	IV	POWER POLE
EXISTING SETBACK	XG	GAS
EXISTING EDGE OF ASPHALT	■	STORM INLET
PROPOSED EDGE OF ASPHALT	—	PR CULVERT WI/ FLARED END SECTIONS
EXISTING 2 FT CONTOUR	—	EX CULVERT W/ FLARED END SECTIONS
PROPOSED 2 FT CONTOUR	—	EXISTING FENCE
PROPOSED 10 FT CONTOUR	—	PROPOSED EDGE OF CONCRETE
EXISTING EDGE OF GRAVEL	—	DECK
CENTER LINE OF DITCH	—	PROPOSED BUILDING
XW	—	OVERHANG
EXISTING WATER LINE	—	SIDEWALK/BOARDWALK
EX CURB STOP, GATE VALVE, FIRE HYDRANT	—	PHASE LINE
PROPOSED WATER SERVICE LINE	—	AREA OF PHASE ONE CONSTRUCTION
PR CURB STOP, GATE VALVE, FIRE HYDRANT	—	VEGETATION OUTLINE
THRUST BLOCK	—	ASPHALT
EXISTING SEWER LINE	—	CONCRETE
EXISTING MANHOLE AND CLEANOUTS	—	GRAVEL
PROPOSED SEWER LINE	—	ROCK/RIP RAP
PROPOSED MANHOLE AND CLEANOUTS	—	

4 SEED MIX FOR WATER QUALITY SWALE

COMMON NAME	SCIENTIFIC NAME	VARIETY	PLS ² LBS PER ACRE	OUNCES PER ACRE
Sand Bluestem	<i>Andropogon halii</i>	Garden	3.5	
Sideoats grama	<i>Bouteloua curtipendula</i>	Butte	3	
Prairie Sandreed	<i>Calamovilfa longifolia</i>	Goshen	3	
Indian Ricegrass	<i>Oryzopsis hymenoides</i>	Paloma	3	
Switchgrass	<i>Panicum virgatum</i>	Blackwell	3	
Western Wheatgrass	<i>Pascopyrum smithii</i>	Ariba	3	
Little Bluestem	<i>Schizachyrium scoparium</i>	Patura	3	
Alkali sacaton	<i>Sporobolus airoides</i>		3	
Sand Dropseed	<i>Sporobolus cryptandrus</i>		3	
Sub-Totals:			27.5	00.0
Total lbs per acre:				27.5

5 PLANT LEGEND



6 FINAL PLANT LIST

DECIDUOUS & EVERGREEN TREES				
COMMON NAME	SCIENTIFIC NAME:	AMT:	ABBREVIATION:	SIZE
Spring Snow Crabapple	<i>Malus 'Spring Snow'</i>	31	SSC	2.0" - 2.5" cal.
Narrowleaf Cottonwood	<i>Populus angustifolia</i>	09	CTW	2.0" - 2.5" cal.
Quaking Aspen	<i>Populus tremuloides</i>	29	ASP	2.0" - 2.5" cal.
EVERGREEN SHRUBS				
COMMON NAME	SCIENTIFIC NAME:			SIZE
Blue Chip Juniper	<i>Juniperus horizontalis 'Blue Chip'</i>	24	BCJ	#5 Pot
DECIDUOUS SHRUBS				
COMMON NAME	SCIENTIFIC NAME:			SIZE
Thinleaf (Mountain) Alder*	<i>Alnus tenuifolia</i>	06	ALN	#5 Pot
Redtwig Dogwood*	<i>Cornus stolonifera</i>	05	COR	#5 Pot
Native Pink Shrub Rose	<i>Rosa Woodsii</i>	15	ROS	#5 Pot
Black Willow*	<i>Salix nigra</i>	09	SAL	#5 Pot
Goldflame	<i>Ribes aureum</i>	15	SPI	#5 Pot
Yellow Potentilla	<i>Potentilla fruticosa</i>	24	POT	#5 Pot
PERENNIALS				
COMMON NAME	SCIENTIFIC NAME:			SIZE
Rocky Mountain Columbine	<i>Aquilegia caerulea</i>	93	COL	#1 Pot
Showy Daisy	<i>Aster alpinus 'goliath'</i>	232	AST	#1 Pot
Lance-leaf Coreopsis	<i>Coreopsis lanceolata</i>	129	COR	#1 Pot
Joe Pye Weed*	<i>Eupatorium maculatum</i>	82	EUP	#1 Pot
Marsh Sunflower*	<i>Helianthus nuttallii</i>	38	HEL	#1 Pot
Rocky Mountain Iris*	<i>Iris missouriensis</i>	29	IRI	#1 Pot
Arrowweed*	<i>Triglochin maritimum</i>	23	TRI	#1 Pot
Blue Vervain*	<i>Verbena hastata</i>	50	VER	#1 Pot
Golden Rod*	<i>Solidago Canadensis</i>	83	SOL	#1 Pot
GROUNDCOVERS				
COMMON NAME	SCIENTIFIC NAME:			SIZE
White Creeping Phlox	<i>Phlox subulata</i>	36	PHL	Flat - F15
Vinca	<i>Vinca major</i>	31	VIN	Flat - F15

NOTE: WETLAND SPECIFIC PERENNIALS AND SHRUBS TO BE USED IN THE WATER QUALITY SWALE PLANTINGS ARE DESIGNATED BY AN * IN THE ABOVE SAMPLE PLANT LIST

This detailed landscape architectural plan illustrates the proposed landscape design for a hotel property. The plan includes the following key features and labels:

- EXISTING CONDITIONS:** DELINEATED WETLAND, EXISTING EVERGREEN TREE (TYPICAL), EXISTING DECIDUOUS SHRUB (TYPICAL), EXISTING TREE (TYPICAL), EASEMENT (TYPICAL), DELINEATED WETLAND, WALK, PARALLEL PARKING, EXISTING ACCESS ROAD, PERENNIAL GROUNDCOVERS, PERENNIAL PLANTINGS.
- PROPOSED FEATURES:** PROPOSED STREET TREES, PROPOSED COTTONWOOD TREES (TYPICAL), EXISTING COTTONWOOD TREES (TYPICAL), PROPERTY LINE, CONCRETE WALK, EXISTING LIGHTS TO REMAIN, PROPOSED ORNAMENTAL TREE (TYPICAL), STONE AGGREGATE FOR MULCH IN ALL AREAS WITH PLANTINGS, DUMPSTER, PROPOSED DECIDUOUS SHRUBS, PERENNIAL GROUNDCOVERS, PROPOSED ASPEN, CONCRETE WALK, PROPERTY LINE, ADJACENT PROPERTY.
- Building Labels:** HOLIDAY INN EXPRESS, HOTEL B.
- Plants and Landscaping:** WATER QUALITY RAIN GARDENS WITH DROUGHT TOLERANT SPECIES AND GROWING MEDIUM PER SPECS. NO SPRAY IR; DRIP ONLY. (SEE L2), EXISTING ASPEN TO REMAIN (TYPICAL), IRRIGATED GRASS (TYPICAL), EXISTING CONCRETE WALK TO REMAIN, PROPERTY LINE (TYPICAL), DUMPSTER, PLANTINGS OF PERENNIALS AND ORNAMENTAL GRASSES (TYPICAL), PROPOSED DECIDUOUS SHRUBS (TYPICAL), PROPOSED CONCRETE WALK, PHASE ONE LANDSCAPE PLANTINGS IF APPROVED, PHASE ONE PLANTINGS (IF APPROVED), PROPOSED DECIDUOUS SHRUBS (TYPICAL), EASEMENT, PROPERTY LINE, DELINEATED WETLAND, PROPOSED COTTONWOOD TREES.
- Notes:** NOTE: ADDITIONAL RIPARIAN PLANTINGS TO BE FIELD LOCATED AND APPROVED.
- General Notes:** 1. EXISTING CONDITIONS AND TOPOGRAPHY WERE SURVEYED AND DRAWN BY FOUR POINTS SURVEYING AND ENGINEERING. 2. EXISTING UTILITIES SHOWN ARE REPRESENTATIVE OF AS-BUILT DATA AND SURVEYED FIELD LOCATES. BURIED UTILITIES HAVE NOT BEEN VERIFIED WITH POT-HOLE.
- City of Steamboat Springs Planning Department Approved Plan Set 12/22/2025 Stauffer**

HOLIDAY INN EXPRESS & HOTEL B
LOT 1, INDIAN MEADOWS FILING NO. 3
STEAMBOAT SPRINGS CO 80487

HORIZONTAL SCALE		
0	20'	40'
		
SCALE: 1" = 20'		
CONTOUR INTERVAL = 1 FT		
DATE: 04/01/2022		
JOB #: 1448-005		
DRAWN BY: AAB		
DESIGN BY: AAB		
REVIEW BY: RL		
IF THIS DRAWING IS PRESENTED IN A FORMAT OTHER THAN 24" X 36", THE GRAPHIC SCALE SHOULD BE WITH IT.		

PHASE TWO SCAPE MASTER PLAN

DRAFT AWIN INC.

1

L1



GENERAL NOTES:

1. EXISTING CONDITIONS AND TOPOGRAPHY WAS SURVEYED AND DRAWN BY FOUR POINTS SURVEYING AND ENGINEERING.
2. EXISTING UTILITIES SHOWN ARE REPRESENTATIVE OF AS-BUILT DATA AND SURVEYED FIELD LOCATES. BURIED UTILITIES HAVE NOT BEEN VERIFIED WITH POT-HOLING.



1 LANDSCAPE AREA DELINEATION PLAN LEGEND

PROPERTY BOUNDARY	EXISTING FENCE
ADJACENT PROPERTY BOUNDARY	PROPOSED EDGE OF CONCRETE DECK
EXISTING EASEMENT	PROPOSED BUILDING OVERHANG
EXISTING SETBACK	PROPOSED DETENTION BASIN
EXISTING EDGE OF ASPHALT	SIDEWALK/BOARDWALK
PROPOSED EDGE OF ASPHALT	PERIMETER DRAIN
EXISTING 10 FT CONTOUR	WALL
PROPOSED 2 FT CONTOUR	VEGETATION OUTLINE
EXISTING 10 FT CONTOUR	ASPHALT
PROPOSED 2 FT CONTOUR	CONCRETE
EXISTING EDGE OF GRAVEL	GRAVEL
CENTER LINE OF DITCH	GRASS
EXISTING WATER LINE	HIGHWAY 40 LANDSCAPE FRONTE
EX CURE STOP, GATE VALVE, FIRE HYDRANT	INTERIOR LANDSCAPE AREA
PROPOSED WATER SERVICE LINE	INTERIOR LANDSCAPE AREA
EXISTING MANHOLE AND CLEANOUTS	INTERIOR PARKING LANDSCAPE AREA
PROPOSED SEWER LINE	EASTERN RIPARIAN CORRIDOR
EXISTING MANHOLE AND CLEANOUTS	
EXISTING ELECTRICAL	
EXISTING TELEPHONE	
UTILITY PEDESTALS	
POWER POLE	
GAS	
STORM INLET	
PR CULVERT W/ FLARED END SECTIONS	
EX CULVERT W/ FLARED END SECTIONS	

2 LANDSCAPE PLAN PREPARATION WORKSHEET

Project Name: Lot 1 - Indian Meadows (Building 'A')
US Highway 40 E
Steamboat Springs, CO 80487

Submission Date: 04-01-2022

Applicant: Gray Stone LLC
83 E 120th Ave
Thornton, CO 80233

Project Zoning: CC (Community Commercial) - EC

Project Land Use: Commercial

Landscape Requirements: INTERIOR PARKING LOT LANDSCAPING AREA: 200 sf per 9 Parking Spaces
FRONTAGE LANDSCAPE AREA (30' DEPTH): 1 tree per 200 Square Feet
INTERIOR LANDSCAPE AREA: 1 tree per 500 Square Feet

Entry Corridor Overlay Zone: Yes No

INTERIOR PARKING LOT LANDSCAPE AREA CALCULATIONS: 200 sf per 9 Parking Spaces Required

PLANT DISTRIBUTION CALCULATIONS:

NEW PARKING SPACES (required per current building and development codes)

(144 / 9) = 16.0 (x 200) = 3,200 sf of Interior Parking Landscape Area Required (8,368 sf provided)

DISTRIBUTION OF PLANT MATERIAL:

Deciduous Trees Required: 1 per 200 sf (minimum) = 17 each (2.60' Caliper) - 17 TOTAL PROVIDED

Shrubs Required: 4 per 200 sf (minimum) = 68 each (#5 Pot) - 11 EXISTING (PHASE 1) = 57 TOTAL PROVIDED

US HIGHWAY 40 LANDSCAPE FRONTEAGE AREA CALCULATIONS: 1 Planting per 200 sf of Landscape Frontage Area Required

12,372	=	62 Plantings
Square Feet Calculated		
PLANT DISTRIBUTION CALCULATIONS: 62 Total Plantings Required as Calculated Above		
Existing Planting Credits = 21 (10 Trees and 33 Shrubs)		
Distribution of 41 Total Plantings Required per the City of Steamboat Springs Community Development Code		
Evergreen Trees (10') =	PROHIBITED	
Evergreen Trees (6'-9') =	PROHIBITED	
Evergreen Trees (6') =	PROHIBITED	
40% Deciduous Trees (2.50') =	17	
20% Ornamental Trees (2.50') =	09	
15% Shrubs (#5 Container) =	07 (x 3 Each) = 21	
	08 Additional Plantings Provided	
	08 Deciduous Trees	
	00 Ornamental Trees	
	00 Plantings (x0 Shrubs Each) = 00 Shrubs	
	= 41 Total Plantings Provided	

STONE LANE LANDSCAPE FRONTEAGE AREA CALCULATIONS: 1 Planting per 200 sf of Landscape Frontage Area Required

2,767	=	14 Plantings
Square Feet Calculated		
PLANT DISTRIBUTION CALCULATIONS: 14 Total Plantings Required as Calculated Above		
Existing Planting Credits = 00 (Existing Aspen)		
Distribution of 05 Total Plantings Required per the City of Steamboat Springs Community Development Code		
Evergreen Trees (10') =	PROHIBITED	
Evergreen Trees (6'-9') =	PROHIBITED	
Evergreen Trees (6') =	PROHIBITED	
40% Deciduous Trees (2.50') =	00	
20% Ornamental Trees (2.50') =	01	
15% Shrubs (#5 Container) =	01 (x 3 Each) = 03	
	04 Calculated Plantings per Minimum Percentages Required	
	- 01 Additional Plantings Provided	
	00 Deciduous Trees	
	00 Ornamental Trees	
	01 Plantings (x0 Shrubs Each) = 03 Shrubs	
	= 05 Total Plantings Provided	

INTERIOR LANDSCAPE AREA CALCULATIONS: 1 Planting per 500 sf of Interior Landscape Area Required

19,787	=	40 Plantings
Square Feet Calculated		
PLANT DISTRIBUTION CALCULATIONS: 40 Total Plantings Required as Calculated Above		
Existing Planting Credits = 00 (Existing Aspen)		
Distribution of 19 Total Plantings Required per the City of Steamboat Springs Community Development Code		
Evergreen Trees (10') =	PROHIBITED	
Evergreen Trees (6'-9') =	PROHIBITED	
Evergreen Trees (6') =	PROHIBITED	
40% Deciduous Trees (2.50') =	04	
20% Ornamental Trees (2.50') =	04	
15% Shrubs (#5 Container) =	03 (x 3 Each) = 09	
	14 Calculated Plantings per Minimum Percentages Required	
	- 02 Additional Plantings Provided	
	00 Deciduous Trees	
	00 Ornamental Trees	
	02 Plantings (x0 Shrubs Each) = 06 Shrubs	
	= 16 Total Plantings Provided	

EASTERN RIPARIAN CORRIDOR (Additional Planting)

Deciduous Trees (8'-4') =	12 (To be field located and approved before installation)
Shrubs (#5 Container) =	10 (To be field located and approved before installation)
	= 22 Total Additional Plantings Provided

BIORETENTION SOIL MEDIUM TABLE

Material	Specification	Submits	Testing	Notes
Biofiltration soil	Particle size distribution (minimum 60% 2mm diameter, maximum 100% 4mm diameter)			
	3:1 soil (80% 0.5-1.5mm diameter)			
	100% sand			
	Chemical analysis (minimum 150 ppm calcium, 150 ppm magnesium, 150 ppm potassium, 150 ppm sodium, 150 ppm calcium, 150 ppm magnesium, 150 ppm potassium, 150 ppm sodium)			
	Organic matter (15% peat, 15% pine bark, 15% leaf litter, 15% straw, 15% wood chips, 15% shredded wood)			
	Biodegradation analysis (minimum 100% organic matter)			
Biofiltration media	3:1 soil (medium weight by weight of growing media)			
Landscape mulch	Shredded wood			

FRONTAGE LANDSCAPE AREA: 12,372 SF (TOTAL)

