



WALTON CREEK TOWNHOMES										
UNIT	TYPE	BR	PARKING	BASEMENT GSF	GARAGE GSF	GROUND GSF	SECOND GSF	GROSS AREA	SELLABLE AREA	FAR AREA
1A	1C	3	2	1,042	554	902	792	2,736	2,182	1,694
1B	1B	3	2	924	554	784	792	2,500	1,946	1,576
1C	1B	3	2	924	554	784	792	2,500	1,946	1,576
1D	1B	3	2	924	554	784	792	2,500	1,946	1,576
1E	1A	3	2	828	519	628	633	2,089	1,570	1,261
2A - WFH	2B	2	1	162	162	551	551	1,264	1,102	1,102
2B - Visitable	2A	3	2	918	529	785	789	2,492	1,963	1,574
2C - Visitable	2A	3	2	918	529	785	789	2,492	1,963	1,574
TOTAL		23	15	6,640	3,955	6,003	5,930	18,573	14,618	11,933

+ 1 Visitor

Property Area	28,998
Effective Site Area	22,865
Allowable FAR	50%
Allowable Area	11,433
WFH Bonus	500
Total Allowable	11,933

LEGEND



APPROVAL STAMPS:

No.	Date	Description
3	12/3/2024	Development Plan Re-Submittal
2	8/22/2024	Development Plan Re-Submittal
1	4/8/2024	Development Plan Submittal

SUBMISSIONS & REVISIONS

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 Steamboat Springs, CO 80488

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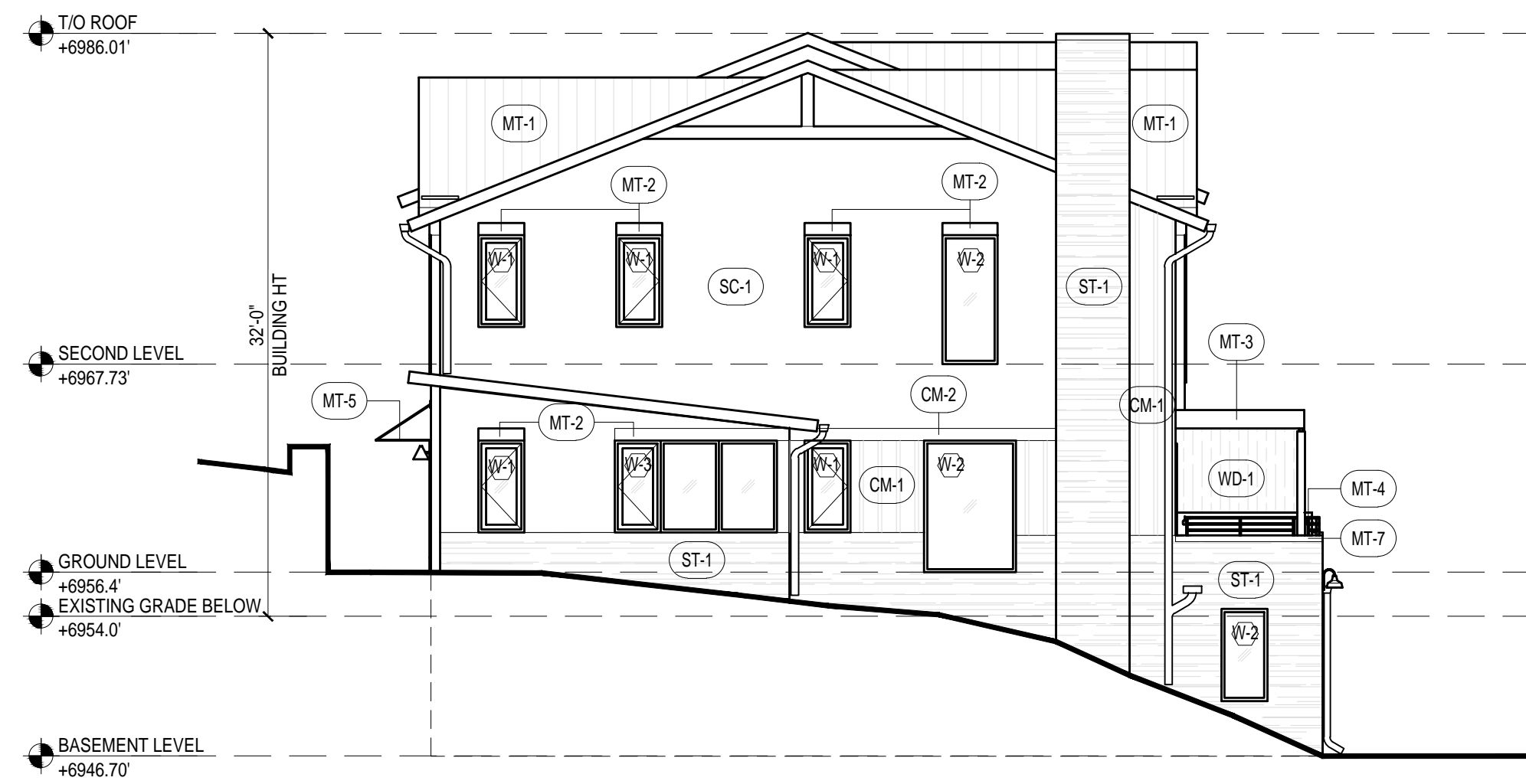
GENERAL CONTRACTOR

PROJECT LOCATION
Walton Creek Townhomes
 2075 Walton Creek Rd
 Steamboat Springs, CO

DRAWING TITLE
SITE PLAN

SEAL: _____ DATE: 03/27/20
 DRAWN BY: _____
 CHECKED BY: _____
 PROJECT NO: _____

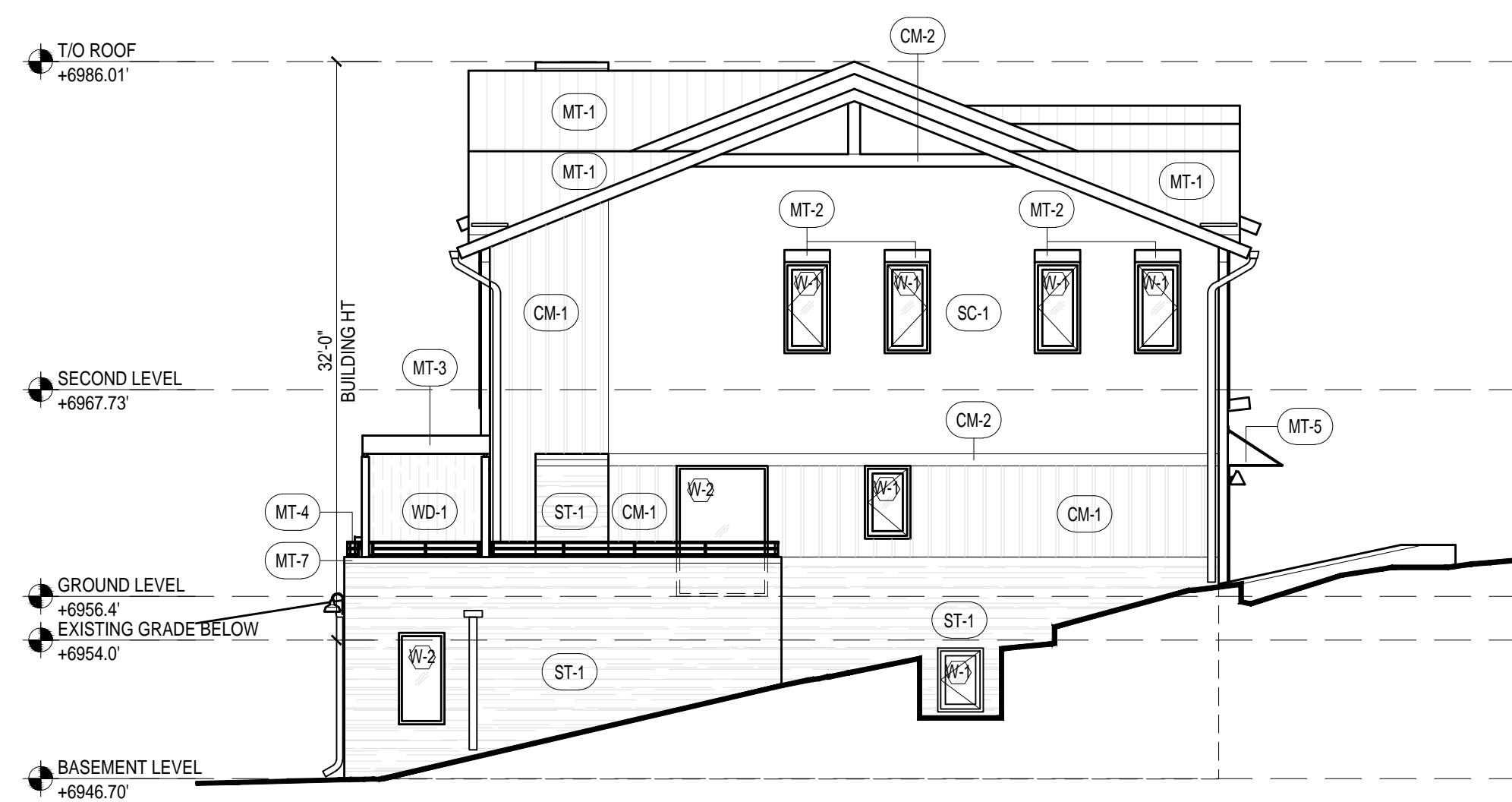
DRAWING NO:
A100



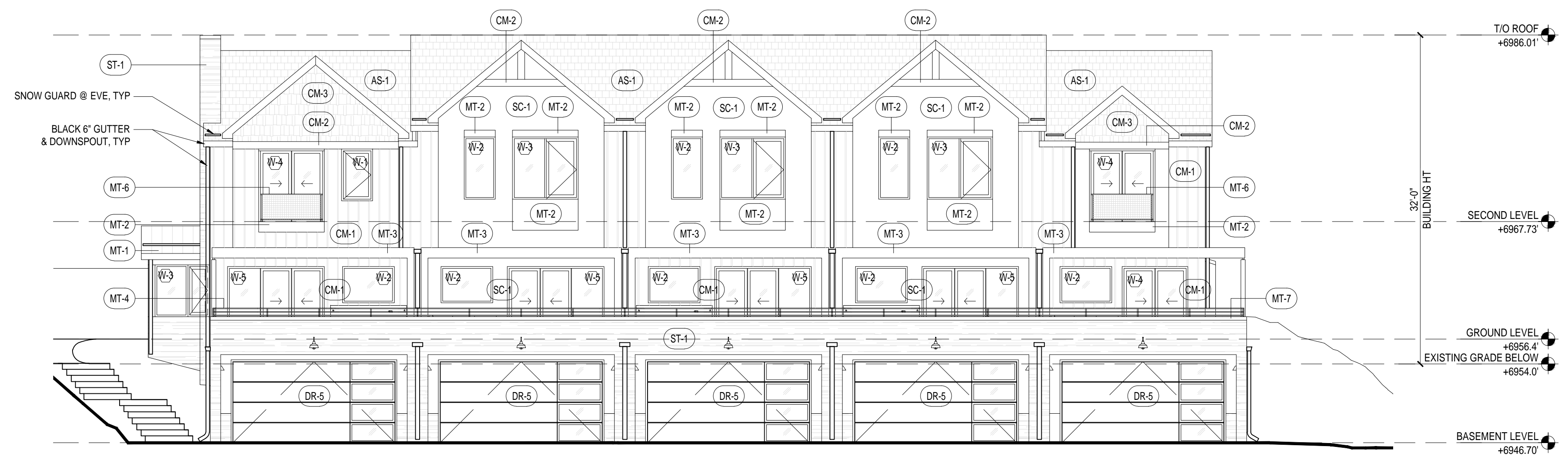
1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



4 WEST ELEVATION
SCALE: 1/8" = 1'-0"

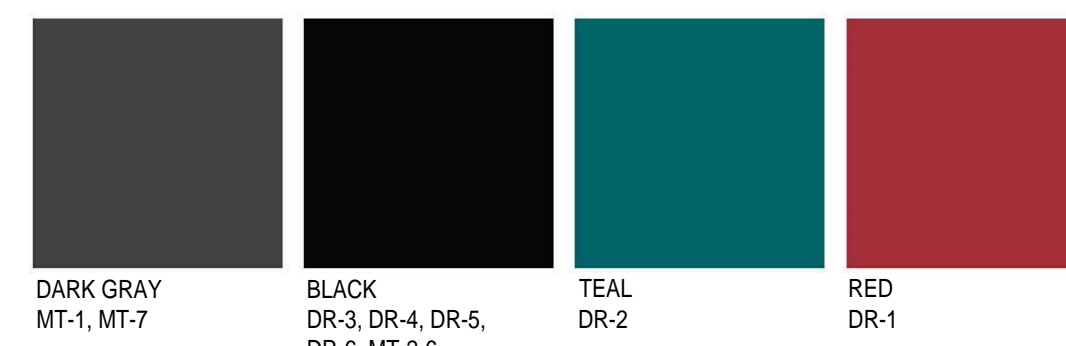
EXTERIOR MATERIAL LEGEND		
TAG	DESCRIPTION	COLOR
AS-1	ASPHALT SHINGLE	DARK GRAY
CM-1	CEMENTITIOUS SIDING	DARK WOOD-TONE
CM-2	CEMENTITIOUS TRIM	DARK WOOD-TONE
DR-1	PTD FULL GLASS WOOD ENTRY DOOR W/ SIDELIGHT	RED
DR-2	PTD FULL GLASS WOOD ENTRY DOOR W/ SIDELIGHT	TEAL
DR-3	PTD FULL GLASS WOOD ENTRY DOOR W/ SIDELIGHT	BLACK
DR-4	PTD FLAT PANEL WOOD EXTERIOR DOOR	BLACK
DR-5	GARAGE DOOR W/ PARTIAL GLASS	BLACK
MT-1	MTL ROOFING	DARK GRAY
MT-2	PTD METAL TRIM	BLACK
MT-3	PTD METAL CANOPY W/ WOOD INTERIOR	BLACK
MT-4	PTD METAL RAILING	BLACK
MT-5	PTD METAL CANOPY W/ TIE BACKS	BLACK
MT-6	PTD METAL RAILING W/ MTL MESH	BLACK
MT-7	METAL ROOFING	GRAY
SC-1	3-PART STUCCO	GREIGE
ST-1	CULTURED STONE VENEER	GRAY
WD-1	STAINED WOOD PANEL	LIGHT WOOD-TONE

WINDOW LEGEND		
TAG	DESCRIPTION	COLOR
W-1	CASEMENT WINDOW	BLACK
W-2	FIXED WINDOW	BLACK
W-3	CASEMENT/FIXED WINDOW	BLACK
W-4	SLIDING DOORS	BLACK
W-5	SLIDING DOORS W/ SIDELIGHT	BLACK

MATERIAL TEXTURES



ACCENT COLORS



5 LEGENDS
SCALE: NTS

APPROVAL STAMPS:

No.	Date	Description
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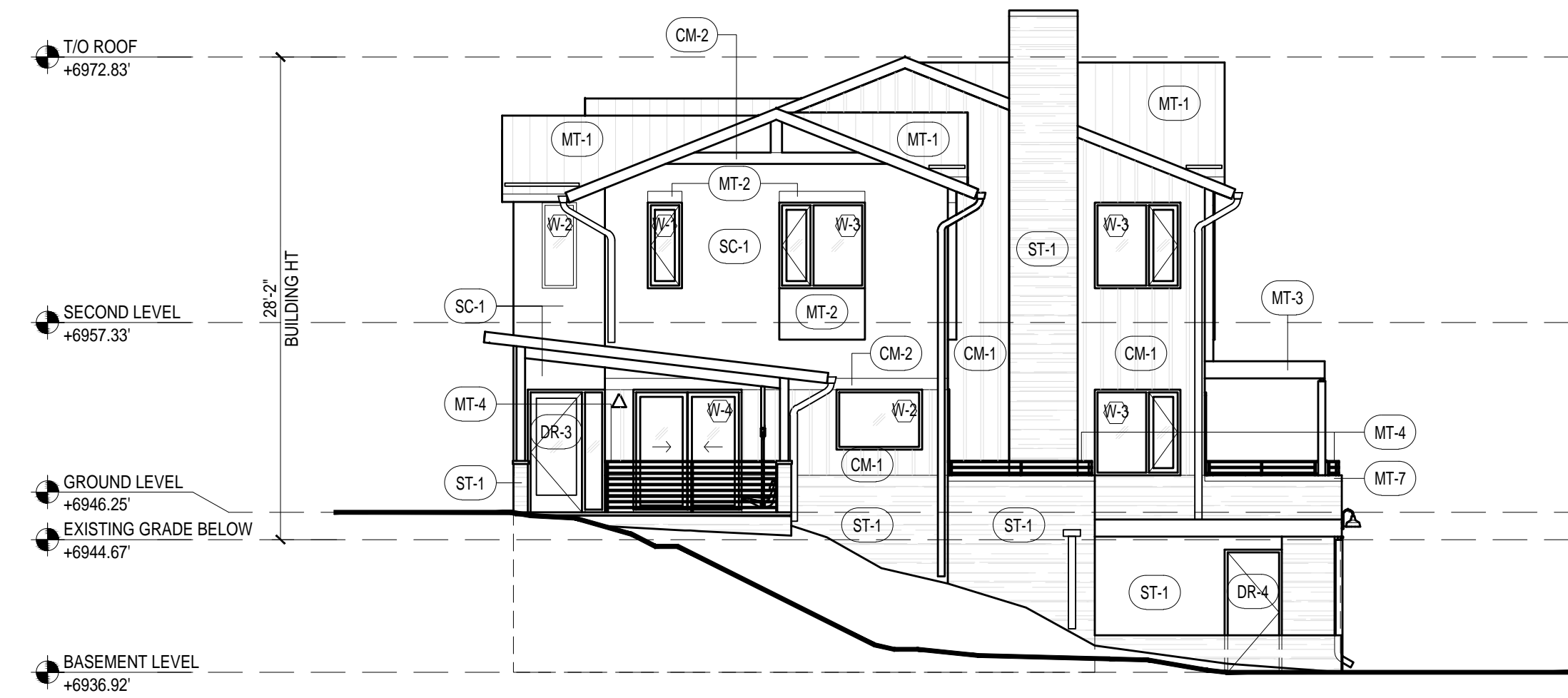
GENERAL CONTRACTOR

PROJECT LOCATION
Walton Creek Townhomes
2075 Walton Creek Rd
Steamboat Springs, CO

DRAWING TITLE
BUILDING 1 - ELEVATIONS

SEAL: DATE: 03/27/20
DRAWN BY:
CHECKED BY:
PROJECT NO.:

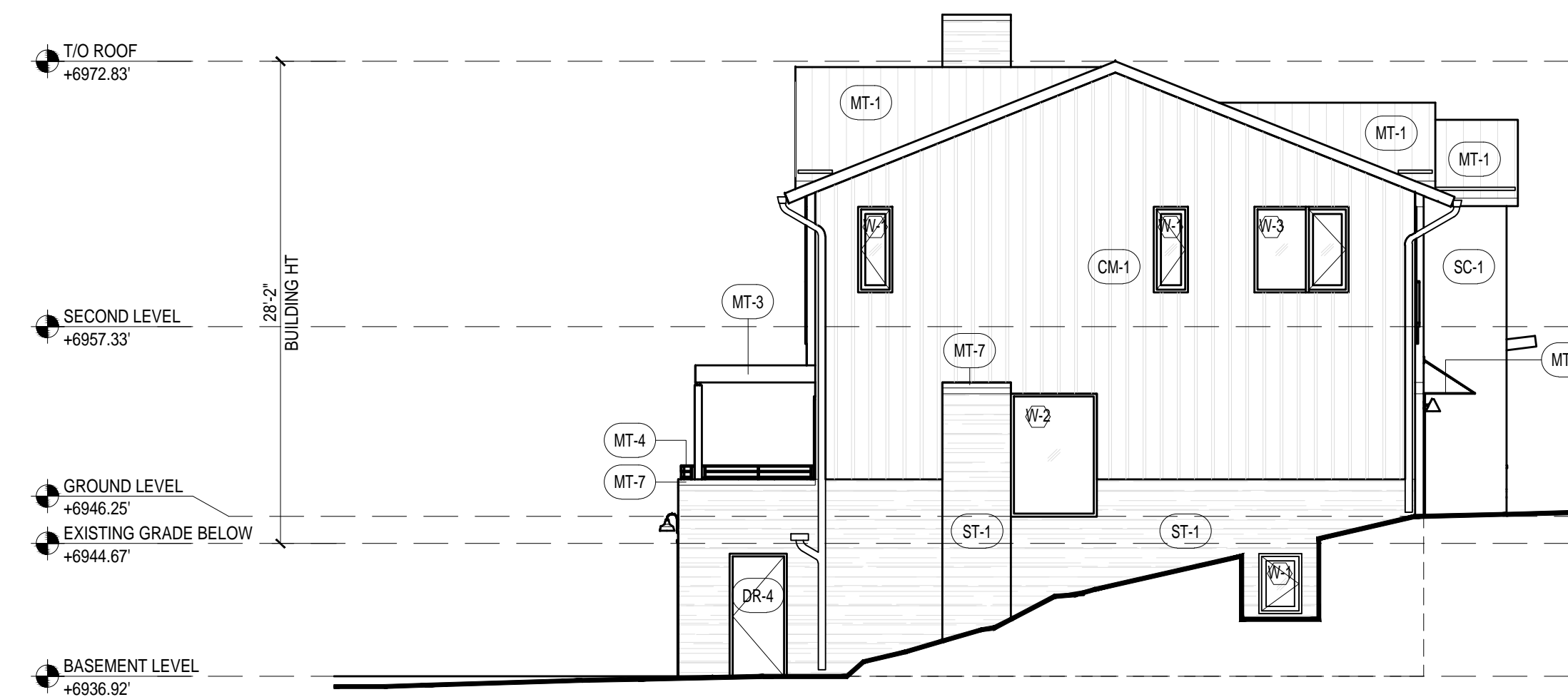
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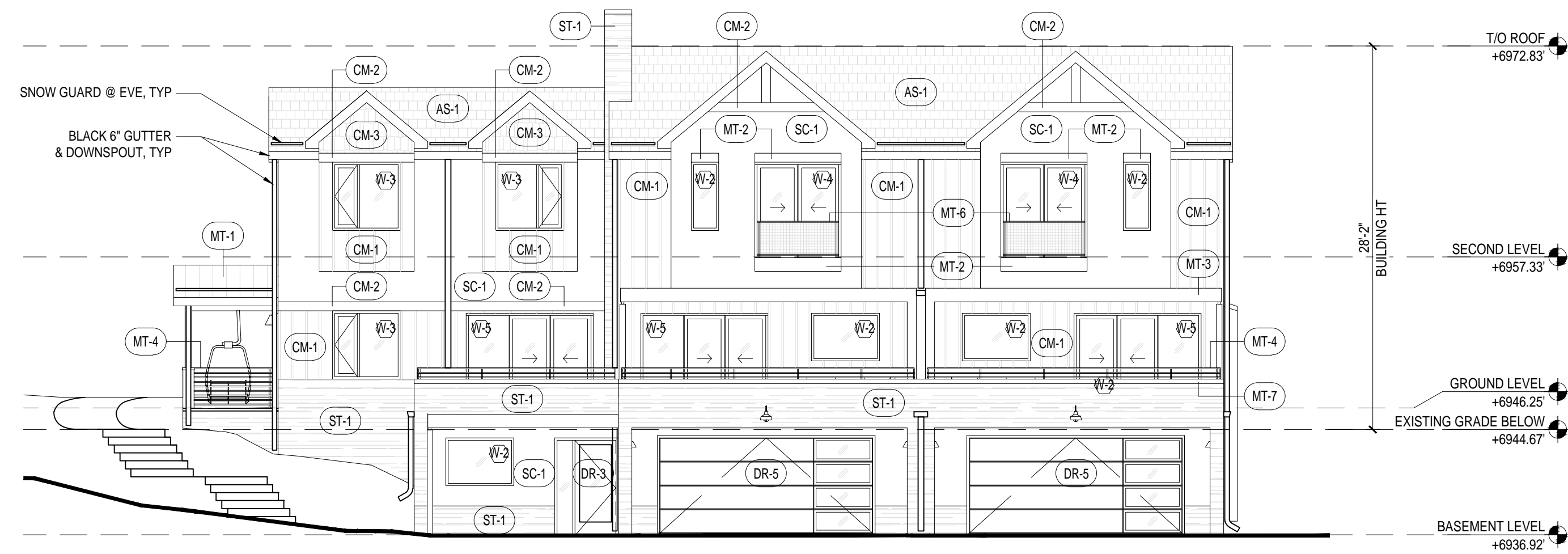
1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

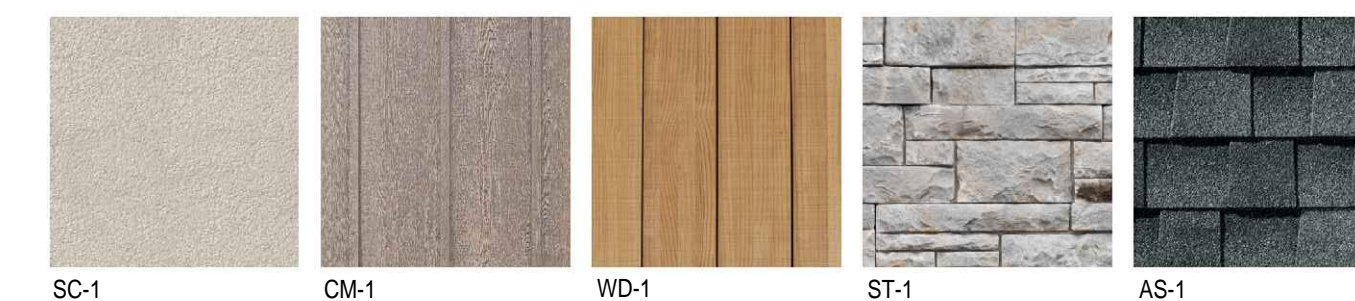


4 WEST ELEVATION
SCALE: 1/8" = 1'-0"

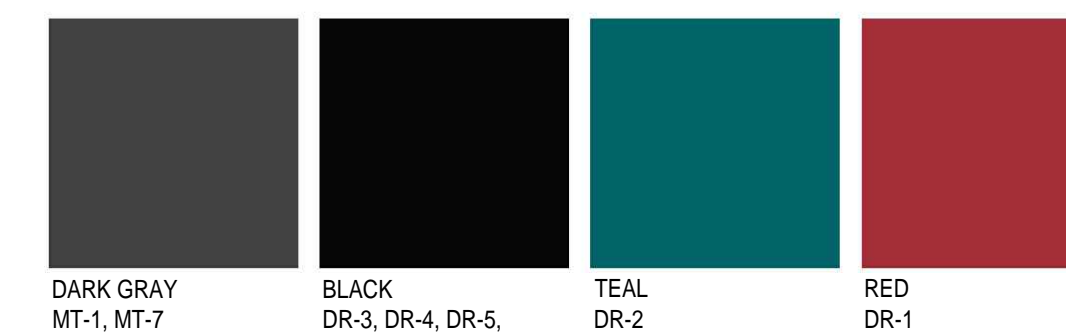
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MT-5	PTD METAL CANOPY W TIE BACKS	BLACK
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W-4	SLIDING DOORS	BLACK
W-5	SLIDING DOORS W SIDELIGHT	BLACK

MATERIAL TEXTURES



ACCENT COLORS



5 LEGENDS
SCALE: NTS

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GENERAL CONTRACTOR

PROJECT LOCATION
Walton Creek Townhomes
2075 Walton Creek Rd
Steamboat Springs, CO

DRAWING TITLE
BUILDING 2 - ELEVATIONS

SEAL: DATE: 03/27/20
DRAWN BY:
CHECKED BY:
PROJECT NO.:

DRAWING NO.: **A301**



1 BASEMENT DIAGRAM - SITE PLAN
SCALE: 1" = 10'

DASHED LINE DESIGNATES AREA AT PERIMETER WHERE
BASEMENT STORY IS EXPOSED 3 FEET OR LESS,
MEASURED AS DESCRIBED IN CDC SECTION 801.P.

BASEMENT LEVEL EXPOSURE CALCULATIONS

BUILDING 1

FACADE	3' OR LESS	PERIMETER	%
EAST	102'	102'	100%
SOUTH	5.2'	48'	10.8%
WEST	43.9'	102'	38%
NORTH	48'	48'	100%
TOTAL	199.1'	300'	66.4%

BUILDING 2

FACADE	3' OR LESS	PERIMETER	%
EAST	69.25'	69.25'	100%
SOUTH	2.6'	43'	6.0%
WEST	46.5'	69.25'	67.1%
NORTH	43'	43'	100%
TOTAL	161.35'	224.5'	71.9%

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GENERAL CONTRACTOR

PROJECT LOCATION
**Walton Creek
Townhomes**
2075 Walton Creek Rd
Steamboat Springs, CO

DRAWING TITLE
**BASEMENT EXHIBIT
SITE PLAN**

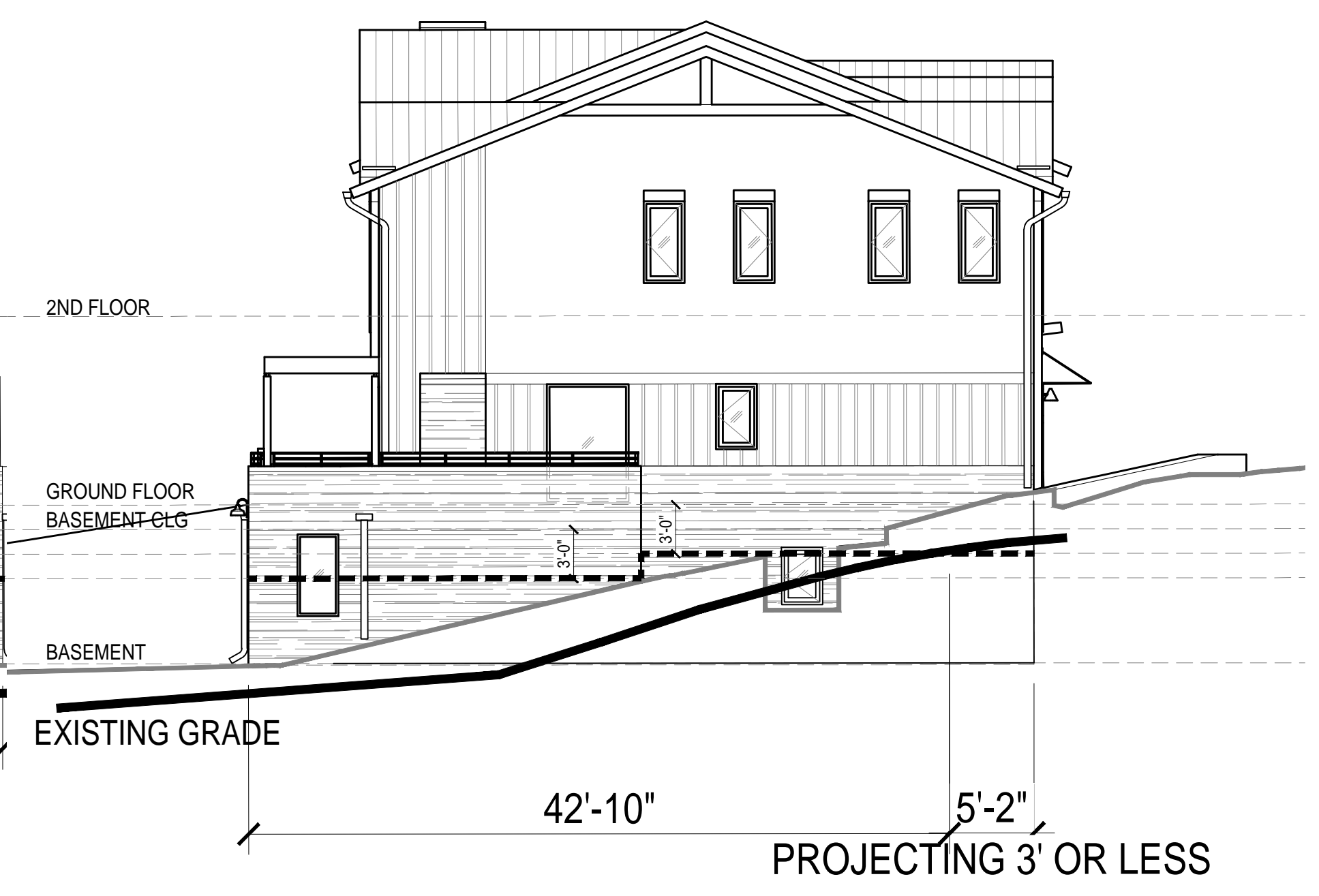
SEAL: _____ DATE: 03/27/20
DRAWN BY: _____
CHECKED BY: _____
PROJECT NO: _____

DRAWING NO:
A302

TO ROOF
 +6986.01'
 SECOND LEVEL
 +6967.73'
 GROUND LEVEL
 +6956.4'
 3' EXPOSED
 +6953.4'
 BASEMENT LEVEL
 +6946.70'



1 WEST BASEMENT DIAGRAM
 SCALE: 1/8" = 1'-0"

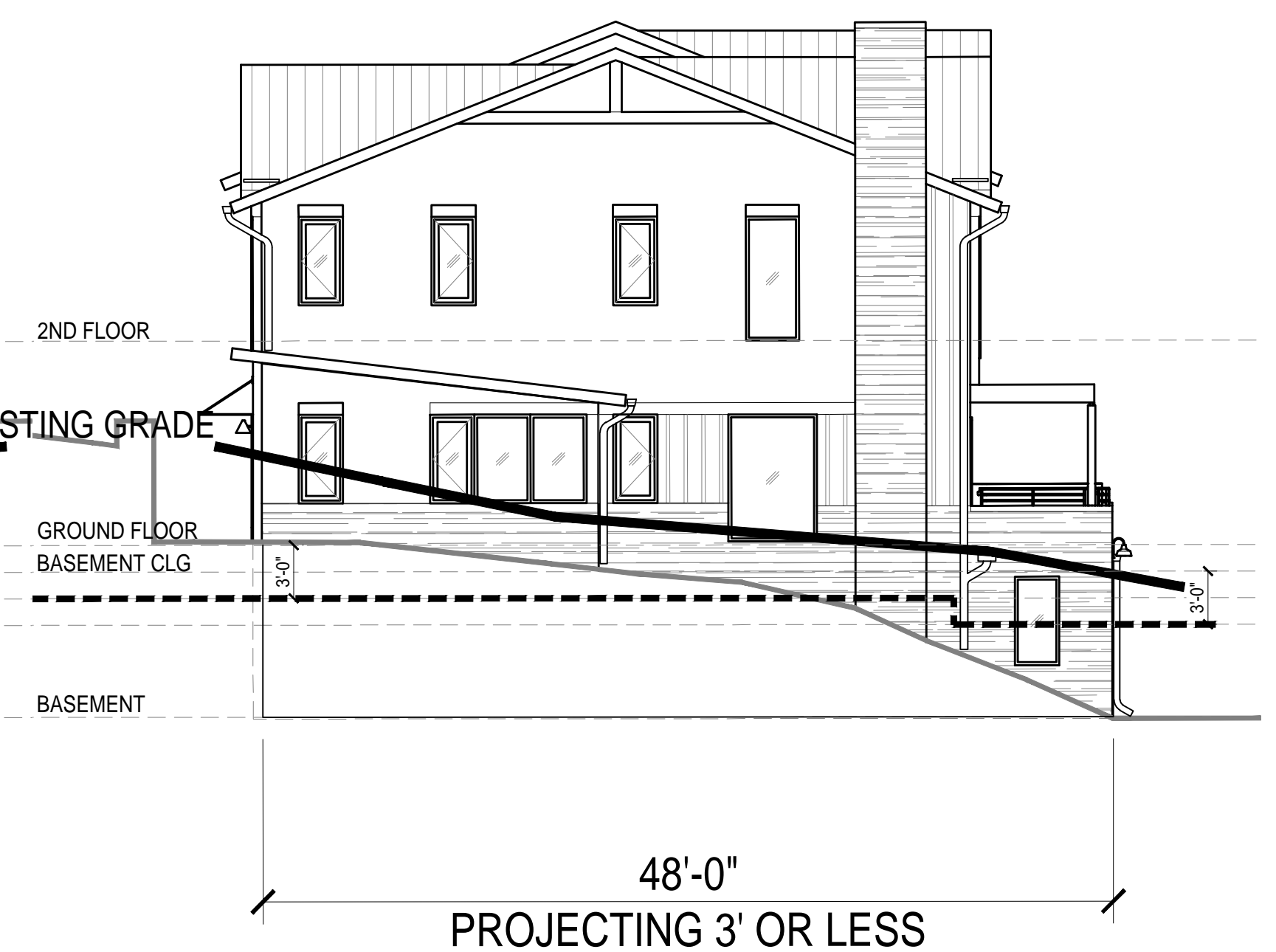


2 SOUTH BASEMENT DIAGRAM
 SCALE: 1/8" = 1'-0"

TO ROOF
 +6986.01'
 SECOND LEVEL
 +6967.73'
 GROUND LEVEL
 +6956.4'
 3' EXPOSED
 +6953.4'
 BASEMENT LEVEL
 +6946.70'



3 EAST BASEMENT DIAGRAM
 SCALE: 1/8" = 1'-0"



4 NORTH BASEMENT DIAGRAM
 SCALE: 1/8" = 1'-0"

**BASEMENT LEVEL EXPOSURE CALCULATIONS
 BUILDING 1**

FACADE	3' OR LESS	PERIMETER	%
EAST	102'	102'	100%
SOUTH	5.2'	48'	10.8%
WEST	43.9'	102'	38%
NORTH	48'	48'	100%
TOTAL	199.1'	300'	66.4%

DASHED LINE DESIGNATES 3 FEET BELOW EITHER
 FINISHED FLOOR STORY ABOVE OR FINISHED CEILING
 OF BASEMENT (IF NO STORY ABOVE), TO BE COMPARED
 TO LINE OF EXISTING GRADE.

APPROVAL STAMPS:

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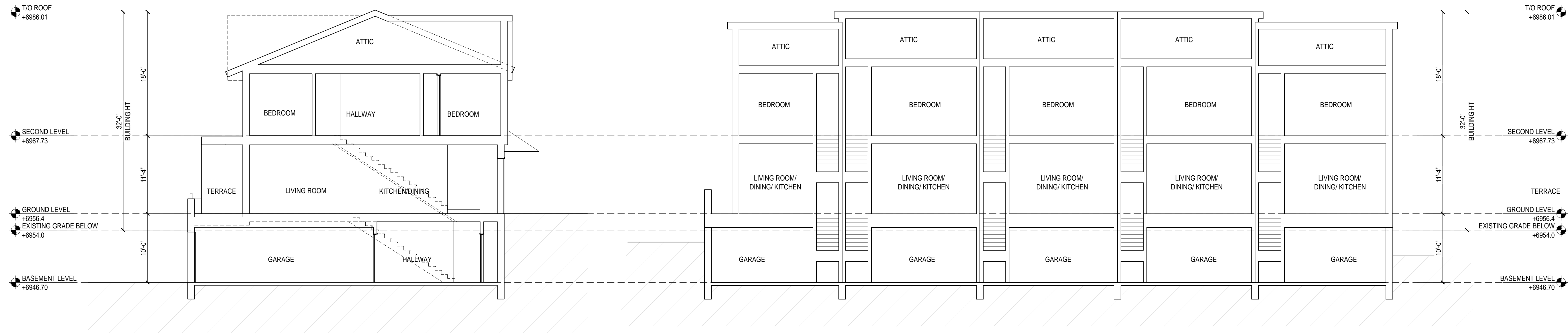
GENERAL CONTRACTOR

PROJECT LOCATION
**Walton Creek
 Townhomes**
 2075 Walton Creek Rd
 Steamboat Springs, CO

DRAWING TITLE
**BUILDING 1
 BASEMENT EXHIBIT**

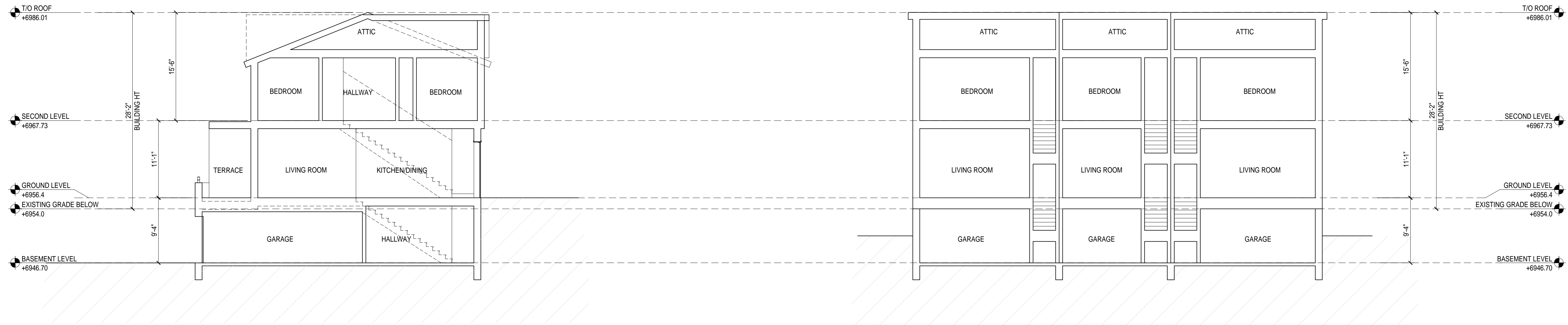
SEAL: _____ DATE: 03/27/20
 DRAWN BY: _____
 CHECKED BY: _____
 PROJECT NO: _____

DRAWING NO:
A303



1 BUILDING 1 TRANSVERSE SECTION
SCALE: 1/8" = 1'-0"

2 BUILDING 1 LONGITUDINAL SECTION
SCALE: 1/8" = 1'-0"



3 BUILDING 2 TRANSVERSE SECTION
SCALE: 1/8" = 1'-0"

4 BUILDING 2 LONGITUDINAL SECTION
SCALE: 1/8" = 1'-0"

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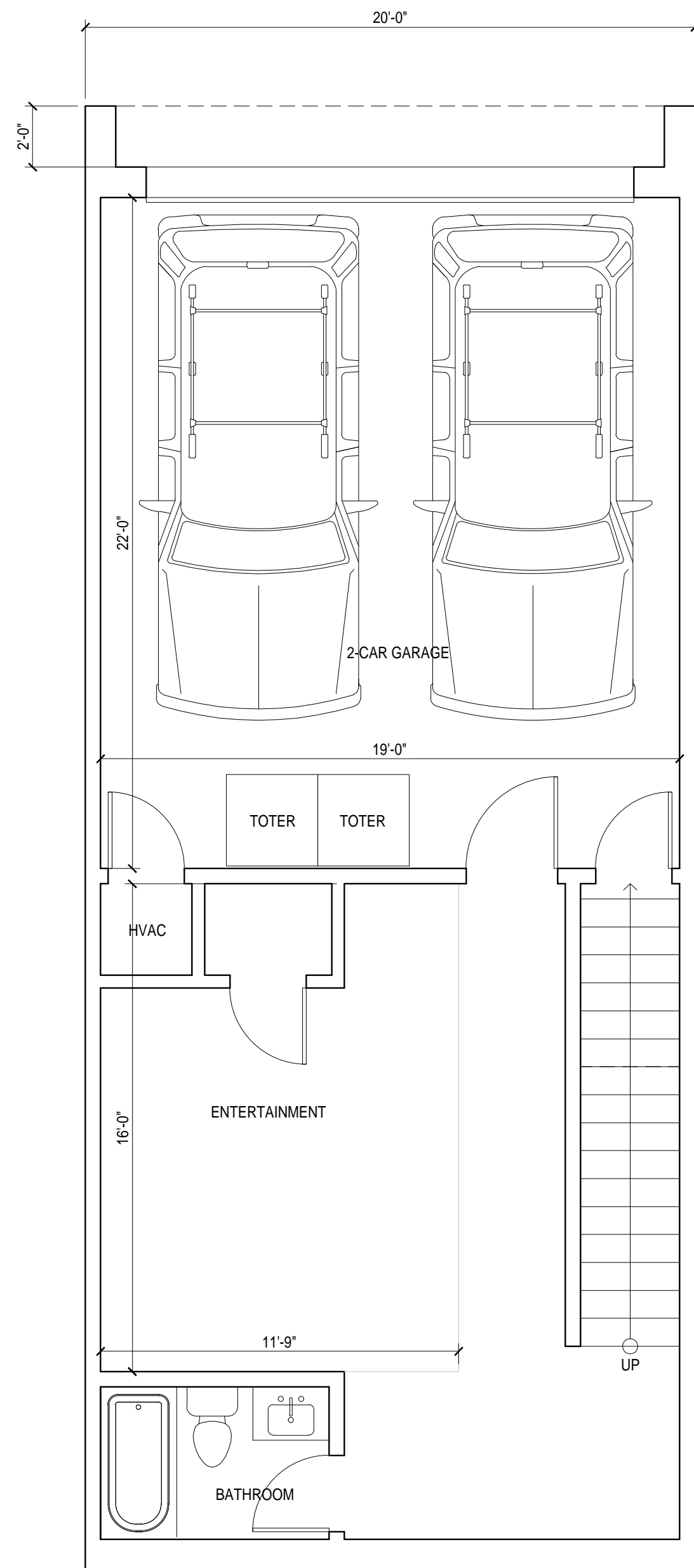
GENERAL CONTRACTOR

PROJECT LOCATION
Walton Creek Townhomes
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 Steamboat Springs, CO

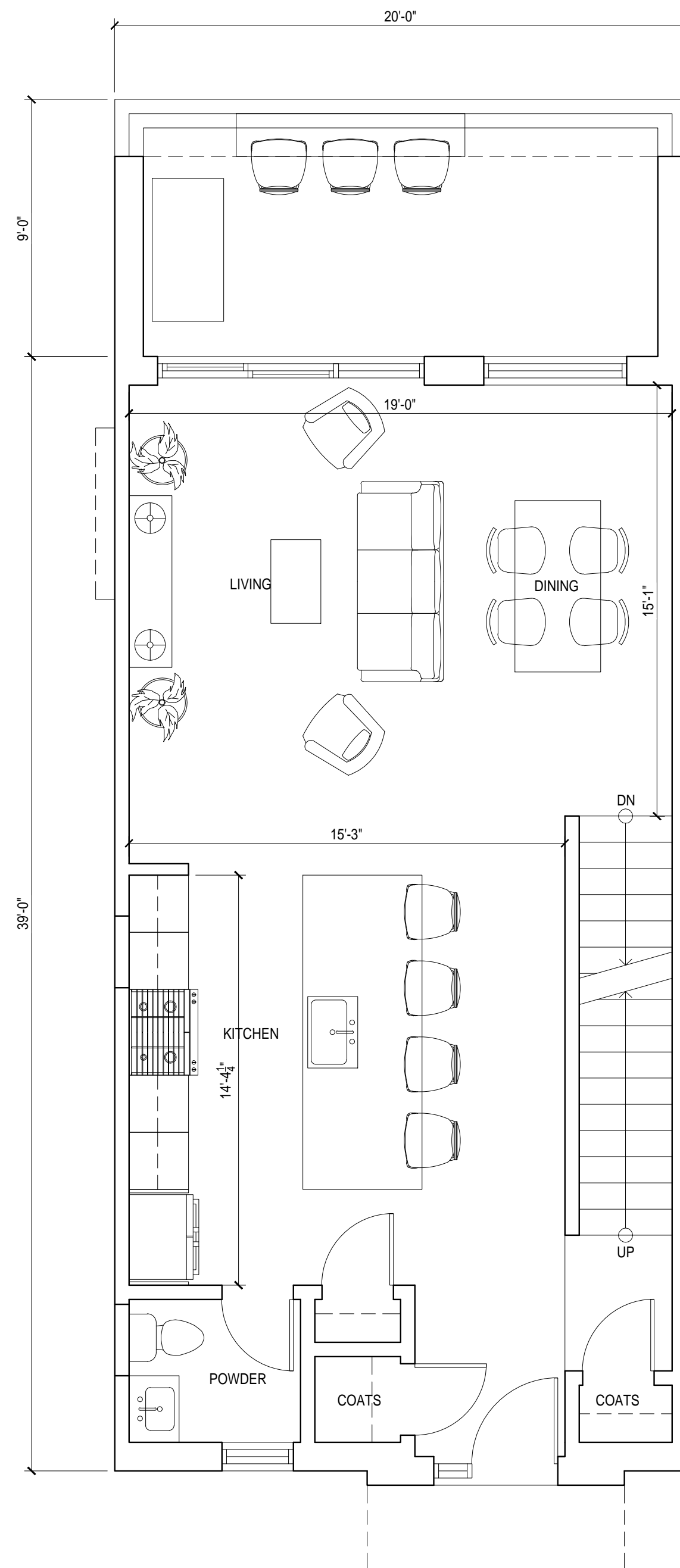
DRAWING TITLE
BUILDING SECTIONS

SEAL	DATE: 03/27/20
	DRAWN BY:
	CHECKED BY:
	PROJECT NO:

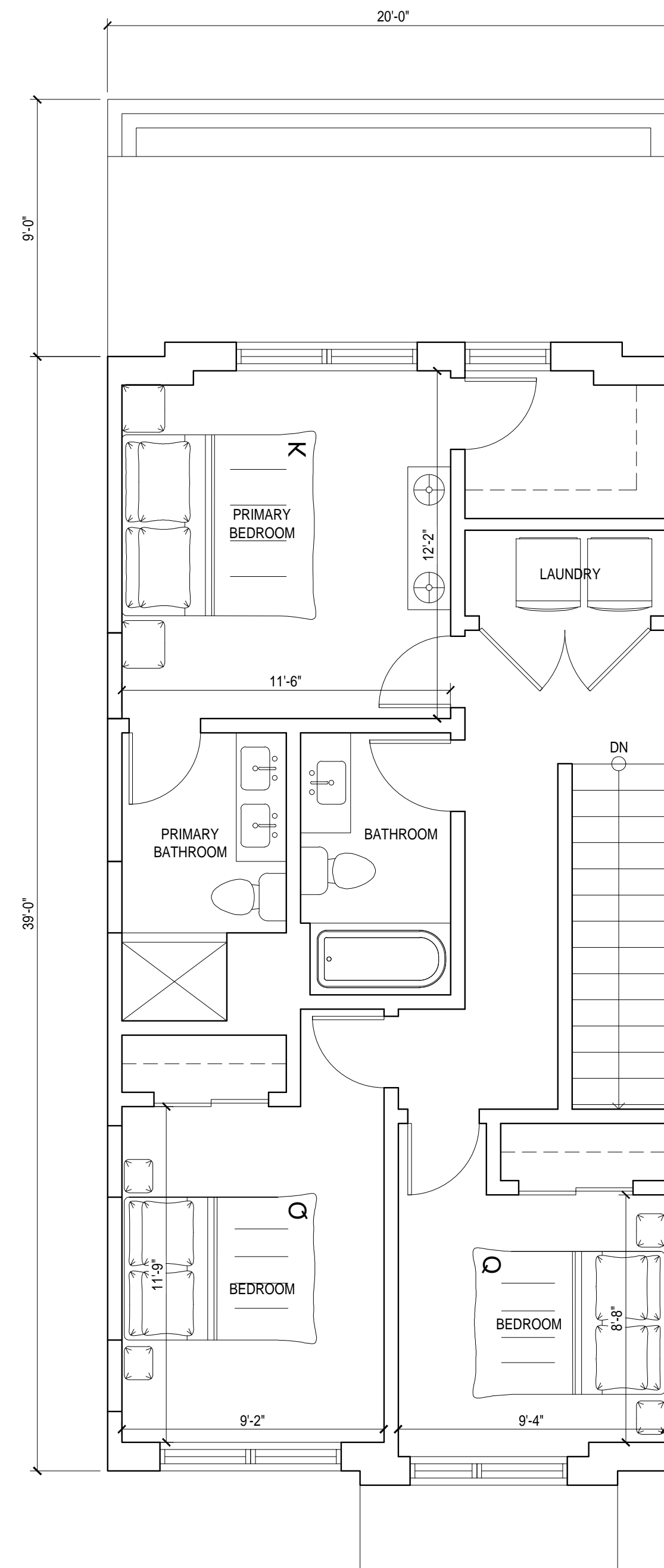
DRAWING NO:
A320



1 BASEMENT LEVEL PLAN
SCALE: 1:10



2 GROUND LEVEL PLAN
SCALE: 1:10



3 SECOND LEVEL PLAN
SCALE: 1:10

APPROVAL STAMPS:

No.	Date	Description
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1	4/8/2024	Development Plan Submittal

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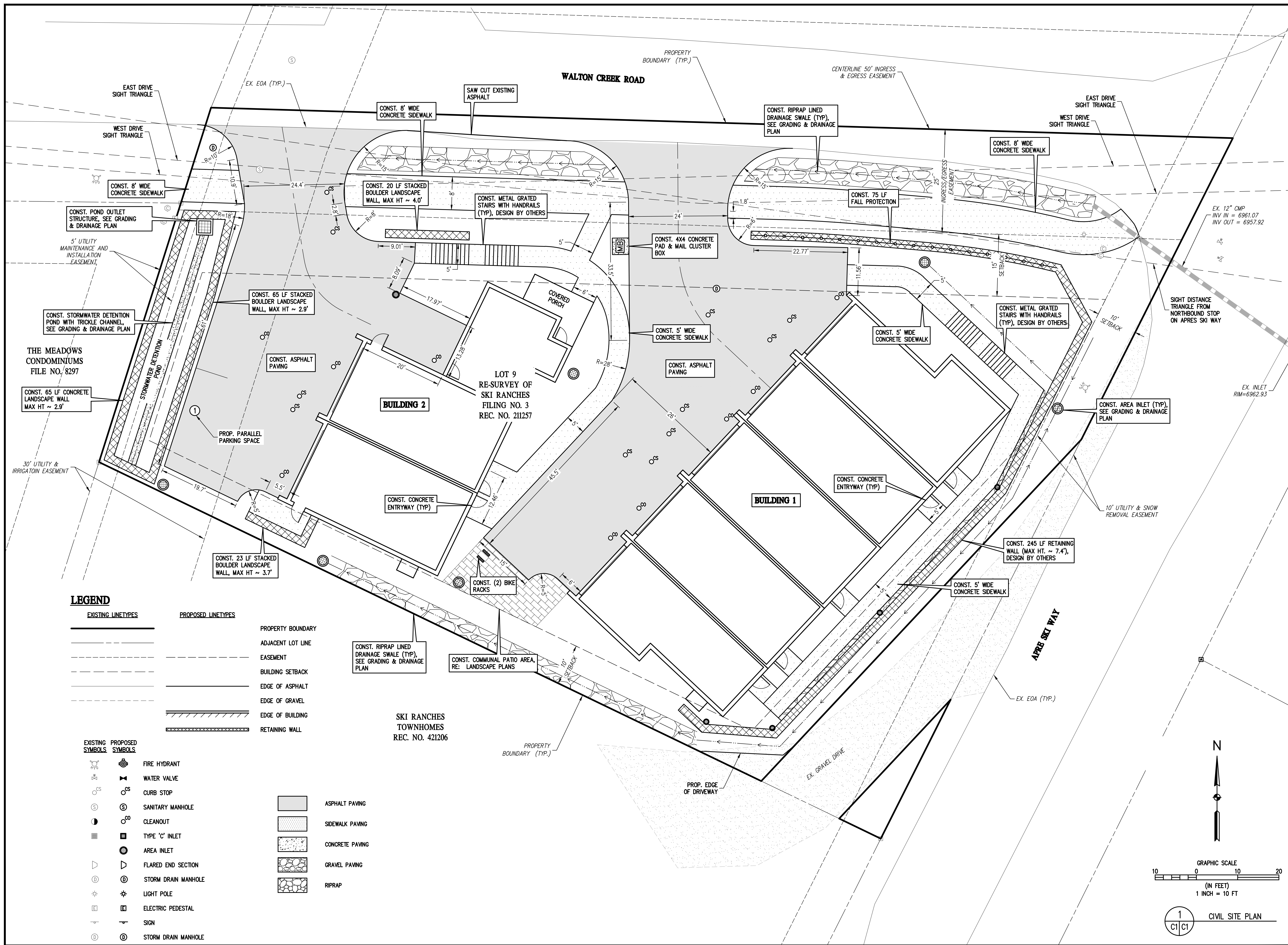
DRAWING TITLE
UNITS 1B, 1C, 1D ENLARGED PLANS

SEAL	DATE: 03/27/20
	DRAWN BY:
	CHECKED BY:
	PROJECT NO:

DRAWING NO:
A402

DESIGNED BY	TJM
DATE	8/22/2024
PREPARED BY	TJM
REVISION DESCRIPTION	ADDRESS DRT COMMENTS
DEVELOPMENT PLAN RESUBMITTAL	
DRAWN BY	TJM
CHECKED BY	CSR

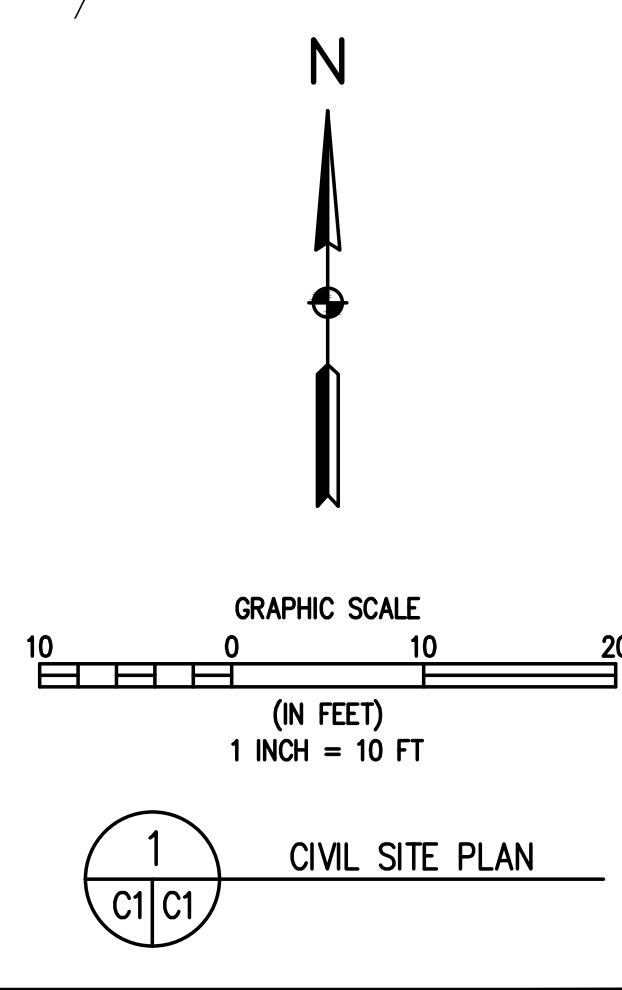
MAY RIEGLER PROPERTIES	ROUTT COUNTY
CITY OF STEAMBOAT SPRINGS	
WALTON CREEK TOWNHOMES	
2075 WALTON CREEK ROAD	
CIVIL SITE PLAN	
FOR AND ON BEHALF OF BASELINE CORPORATION	
PRELIMINARY NOT FOR CONSTRUCTION	
INITIAL SUBMITTAL	4/05/2024
DRAWING SIZE	24" X 36"
SURVEY FIRM	LANDMARK, INC
SURVEY DATE	5/29/2024
JOB NO.	C020261
DRAWING NAME	20261 SITE PLAN.dwg
SHEET	1 OF 10



LEGEND

	EXISTING LINETYPES		PROPOSED LINETYPES
	PROPERTY BOUNDARY		ADJACENT LOT LINE
	EASEMENT		BUILDING SETBACK
	EDGE OF ASPHALT		EDGE OF GRAVEL
	EDGE OF BUILDING		EDGE OF BUILDING
	RETAINING WALL		ASPHALT PAVING
	SIDWALK PAVING		CONCRETE PAVING
	GRAVEL PAVING		RIPRAP

	EXISTING SYMBOLS		PROPOSED SYMBOLS
	FIRE HYDRANT		FIRE HYDRANT
	WATER VALVE		WATER VALVE
	CURB STOP		CURB STOP
	SANITARY MANHOLE		SANITARY MANHOLE
	CLEANOUT		CLEANOUT
	TYPE 'C' INLET		TYPE 'C' INLET
	AREA INLET		AREA INLET
	FLARED END SECTION		FLARED END SECTION
	STORM DRAIN MANHOLE		STORM DRAIN MANHOLE
	LIGHT POLE		LIGHT POLE
	ELECTRIC PEDESTAL		ELECTRIC PEDESTAL
	SIGN		SIGN
	STORM DRAIN MANHOLE		STORM DRAIN MANHOLE



C:\020261 2075 Walton Creek Rd Townhomes\Drawings\Preliminary Drawings\20261 SITE PLAN.dwg, 12/5/2024, 1:58:57 PM, Tim Maxwell

C:\020261 2075 Walton Creek Rd Townhomes\Drawings\Preliminary Drawings\20261 SNOW STORAGE PLAN.dwg, 12/5/2024 1:59:24 PM, Tim Maxwell

WALTON CREEK ROAD

EX. EOA (TYP.)

BLDG 2 SNOW STORAGE TABLE

PAVED AREA (SQ FT)	= 4244
MIN. REQ SNOW STORAGE AREA (SQ FT)	= 2122
DOWNSLOPING REDUCTIONS (SQ FT)	= 0
UPSLOPING ADDITIONS (SQ FT)	= 0
TOTAL REQ'D SNOW STORAGE AREA (SQ FT)	= 2122
PROPOSED SNOW STORAGE AREA (SQ FT)	= 2143

OPEN SPACE

GROSS LAND USE AREA OF DEVELOPMENT (SQ FT)	= 22,835
OPEN SPACE AREA PROVIDED (SQ FT)	= 5453
% OPEN SPACE PROVIDED	= 24%

(*PER TABLE 421-1 OF THE CDC, 15% MIN OPEN SPACE IS REQUIRED)

BLDG 1 SNOW STORAGE TABLE

PAVED AREA (SQ FT)	= 6042
MIN. REQ SNOW STORAGE AREA (SQ FT)	= 3021
DOWNSLOPING REDUCTIONS (SQ FT)	= 289
UPSLOPING ADDITIONS (SQ FT)	= 0
EVERGREEN TREES (+30 SQ FT/TREE)	= 180
TOTAL REQ'D SNOW STORAGE AREA (SQ FT)	= 2912
PROPOSED SNOW STORAGE AREA (SQ FT)	= 3005

5' UTILITY MAINTENANCE AND INSTALLATION EASEMENT

30' UTILITY & IRRIGATION EASEMENT

THE MEADOWS CONDOMINIUMS
FILE NO. 8297

BUILDING 2

LOT 9
RE-SURVEY OF
SKI RANCHES
FILING NO. 3
REC. NO. 211257

BUILDING 1

SKI RANCHES TOWNHOMES
REC. NO. 421206

PROPOSED EVERGREEN TREES (TYP.)

PROPERTY BOUNDARY (TYP.)

25' INGRESS/EGRESS EASEMENT

10' UTILITY & SNOW REMOVAL EASEMENT

EX. EOA (TYP.)

APRIL SET WAY

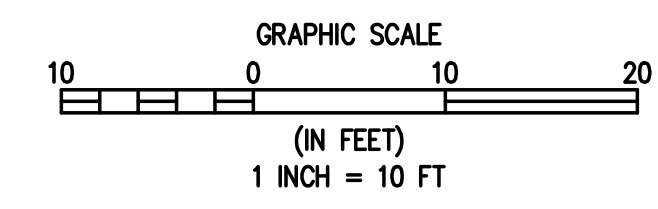
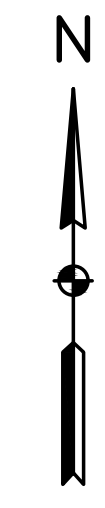
EX. GRAVEL DRIVE

LEGEND

EXISTING LINETYPES	PROPOSED LINETYPES	EXISTING SYMBOLS	PROPOSED SYMBOLS

PROPERTY BOUNDARY
ADJACENT LOT LINE
EASEMENT
BUILDING SETBACK
EDGE OF ASPHALT
EDGE OF GRAVEL
EDGE OF BUILDING
RETAINING WALL
GROSS LAND USE AREA FOR OPEN SPACE
OPEN SPACE AREA

FIRE HYDRANT
WATER VALVE
SANITARY MANHOLE
CURB STOP
LIGHT POLE
SIGN
ASPHALT PAVING
SIDEWALK PAVING
SNOW STORAGE AREA



1 SNOW STORAGE & OPEN SPACE PLAN
C2 C2

Engineering - Planning - Surveying

169 HILLTOP PKWY, SUITE 204 • STEAMBOAT SPRINGS, CO 80477
P. 970.781825 • F. 303.840869 • www.baselinecorp.com

DESIGNED BY	TJM	DATE	8/22/2024
DRAWN BY	TJM	PREPARED BY	TJM
CHECKED BY	CSR	REVISION DESCRIPTION	ADDRESS DIRT COMMENTS
			DEVELOPMENT PLAN RESUBMITTAL

MAY RIEGLER PROPERTIES

CITY OF STEAMBOAT SPRINGS

WALTON CREEK TOWNHOMES

2075 WALTON CREEK ROAD

SNOW STORAGE & OPEN SPACE PLAN

ROUTT COUNTY

FOR AND ON BEHALF OF
BASELINE CORPORATION

INITIAL SUBMITTAL 4/05/2024

DRAWING SIZE 24" X 36"

SURVEY FIRM LANDMARK, INC

LANDMARK, INC SURVEY DATE 5/29/2024

JOB NO. C020261

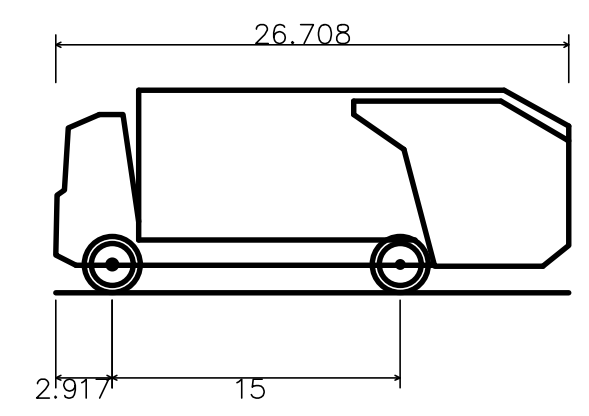
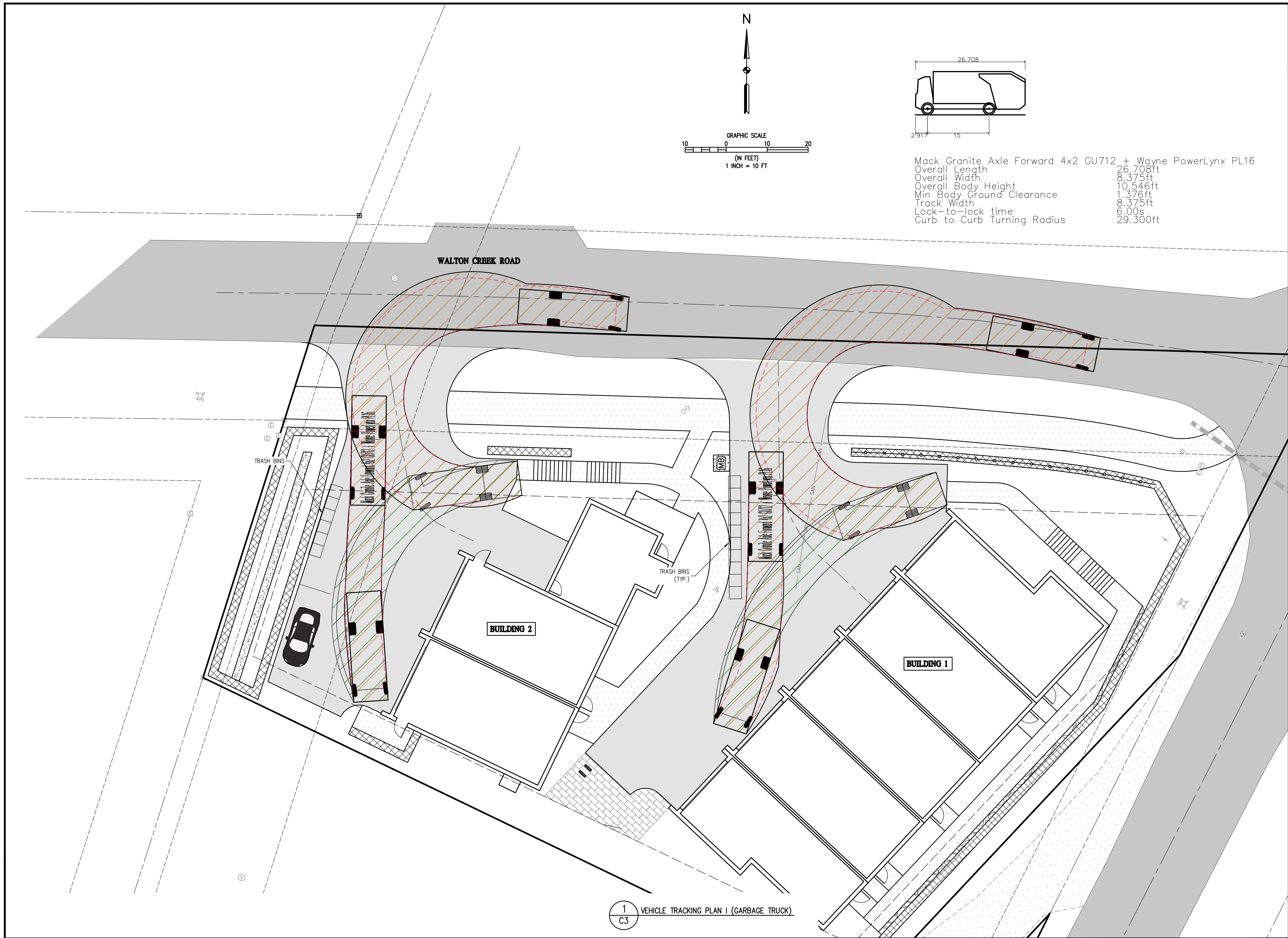
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SHEET 2 OF 10

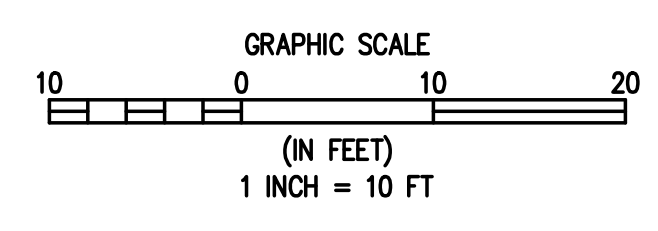
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C:\020261 2075 Walton Creek Rd Townhomes\Drawings\20261 TURN ANALYSIS.dwg, 12/5/2024 1:59:41 PM, Tim Maxwell



Mack Granite Axle Forward 4x2 GU712 + Wayne PowerLynx PL16
 Overall Length 26.708ft
 Overall Width 8.375ft
 Overall Body Height 10.546ft
 Min Body Ground Clearance 1.376ft
 Track Width 8.375ft
 Lock-to-lock time 6.00s
 Curb to Curb Turning Radius 29.300ft



DESIGNED BY	DATE	CHECKED BY
TJM	8/22/2024	CSR
DRAWN BY	DATE	DATE
TJM	12/4/2024	

REVISION DESCRIPTION	DATE
ADDRESS DRT COMMENTS	8/22/2024
DEVELOPMENT PLAN RESUBMITTAL	12/4/2024

MAY RIEGLER PROPERTIES
 CITY OF STEAMBOAT SPRINGS
 WALTON CREEK TOWNHOMES
 2075 WALTON CREEK ROAD
 VEHICLE TRACKING PLAN I (GARBAGE TRUCK)

ROUTT COUNTY

FOR AND ON BEHALF OF
 BASELINE CORPORATION

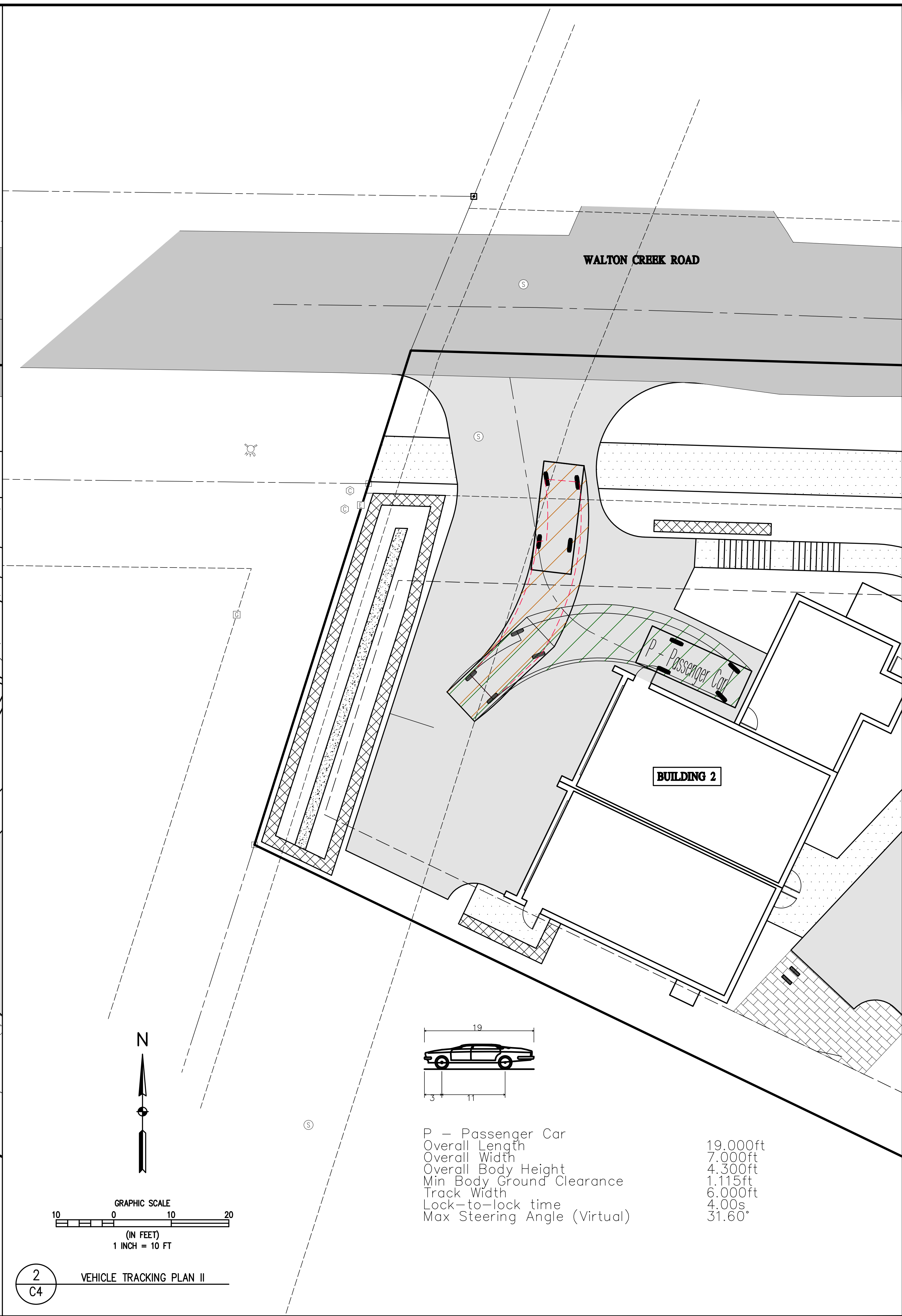
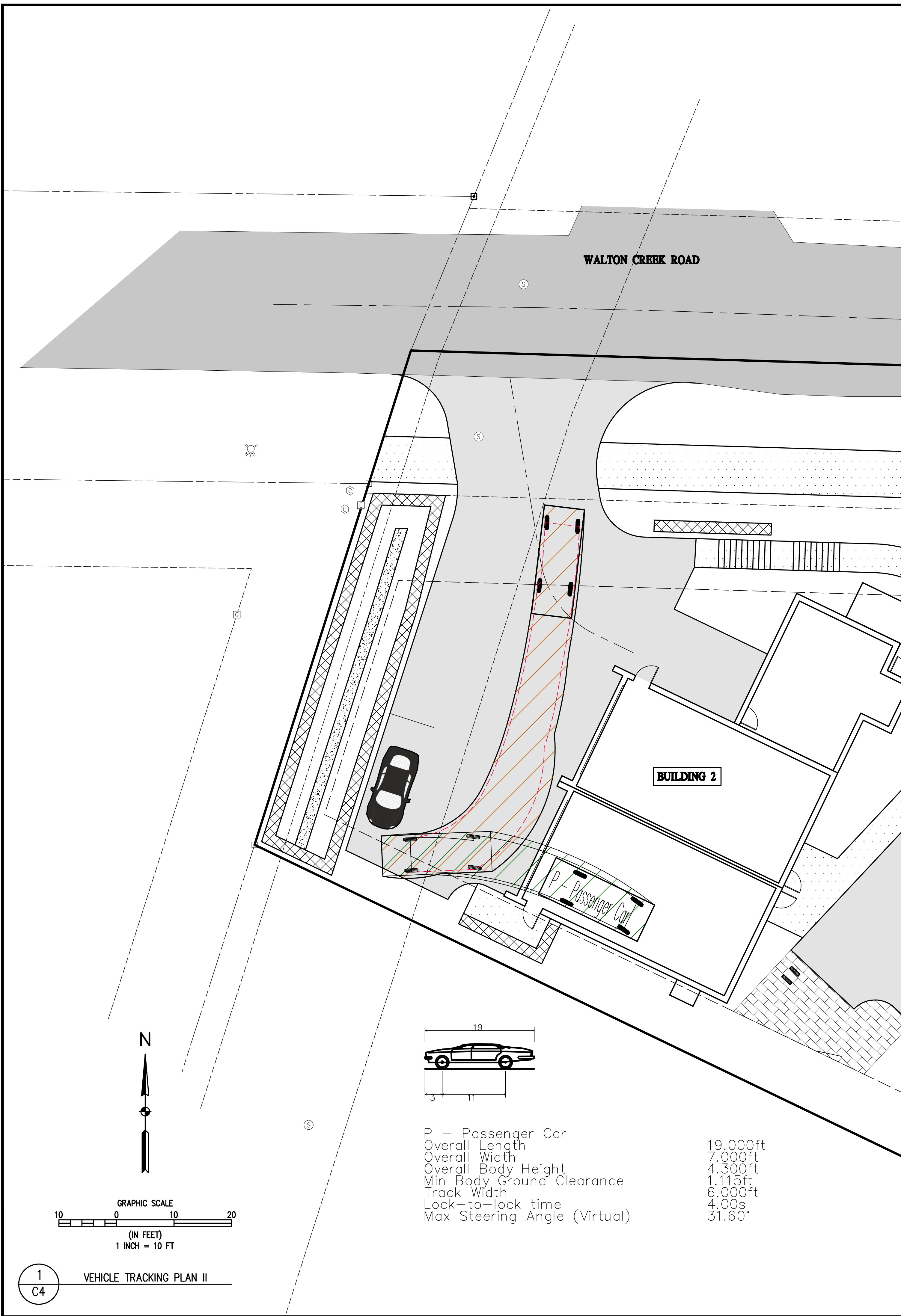
**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

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SURVEY FIRM	SURVEY DATE
LANDMARK, INC	5/29/2024
JOB NO.	C020261
DRAWING NAME	20261 TURN ANALYSIS.dwg
SHEET	3 OF 10

C3

1
 C3 VEHICLE TRACKING PLAN I (GARBAGE TRUCK)

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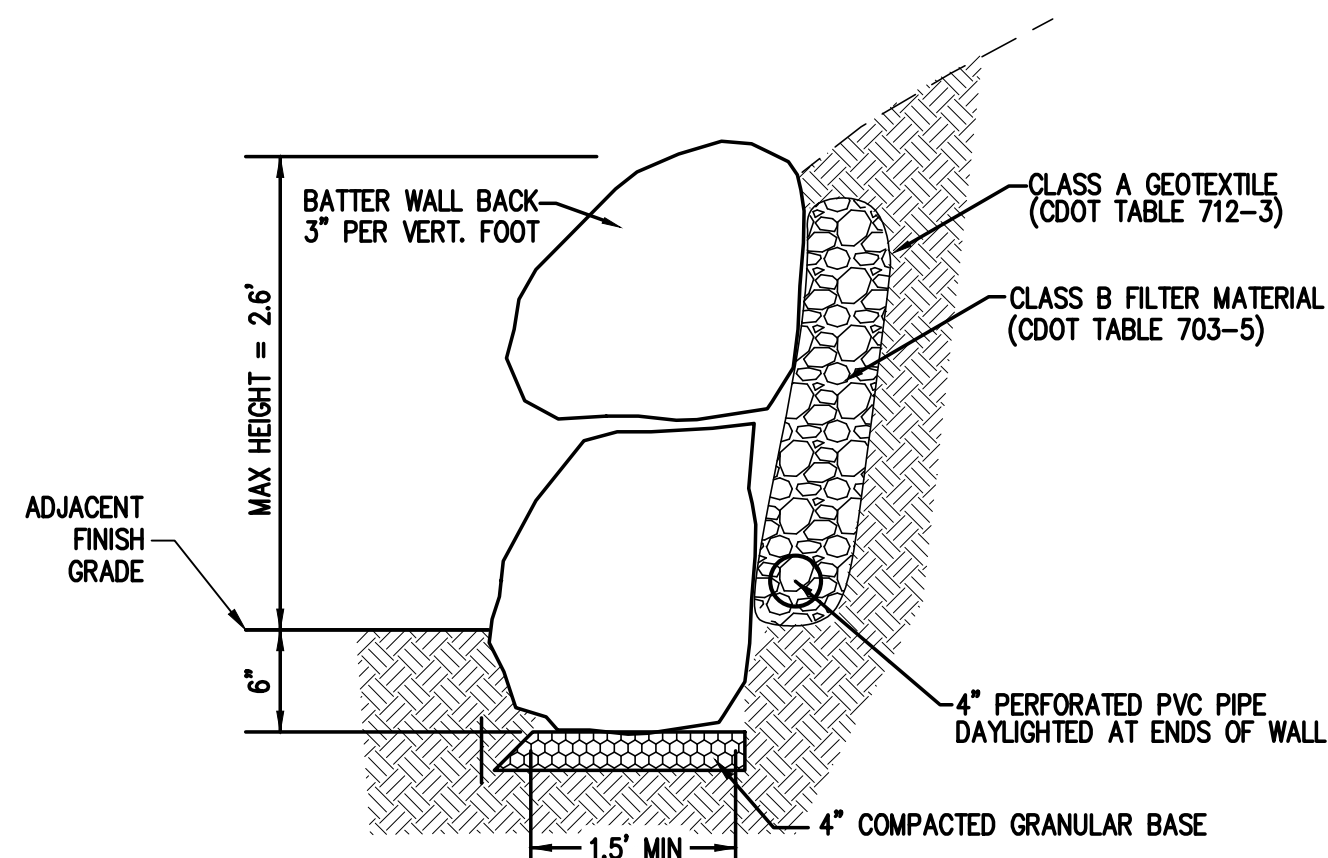
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DRAWN BY	TJM	PREPARED BY	TJM
CHECKED BY	CSR	REVISION DESCRIPTION	ADDRESS DRT COMMENTS
			DEVELOPMENT PLAN RESUBMITTAL

MAY RIEGLER PROPERTIES
CITY OF STEAMBOAT SPRINGS
ROUTT COUNTY
WALTON CREEK TOWNHOMES
2075 WALTON CREEK ROAD
VEHICLE TRACKING PLAN II

FOR AND ON BEHALF OF
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CONSTRUCTION

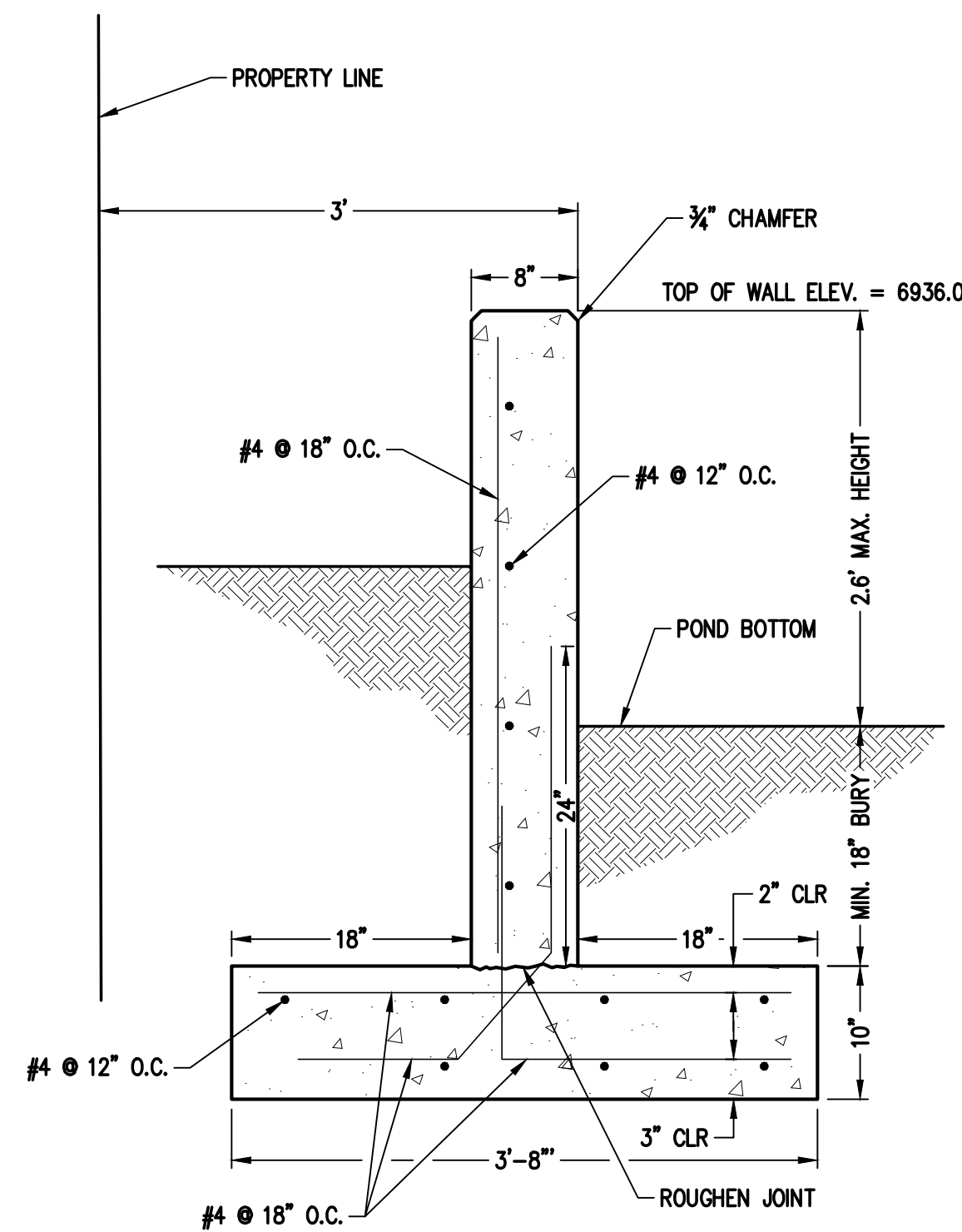
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SURVEY FIRM	SURVEY DATE
LANDMARK, INC	5/29/2024
JOB NO.	C020261
DRAWING NAME	20261 TURN ANALYSIS.dwg
SHEET	4 OF 10

C4

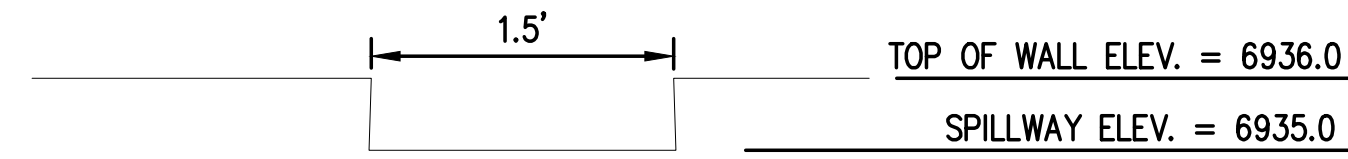


- NOTES:
- LANDSCAPE BOULDERS TO BE FREE OF SURFACE BLEMISHES & CRACKS. BOULDERS TO GENERALLY MATCH APPEARANCE OF EXISTING ADJACENT BOULDER WALLS AT KUTUK. CONTRACTOR TO COORDINATE WITH OWNER ON BOULDER SELECTION.
 - BOULDERS ALONG BOTTOM COURSE TO BE LARGER FOR FOUNDATION OF STACKED WALL WITH APPROXIMATE DIMENSIONS OF 18"-24". CONTRACTOR TO CAREFULLY PLACE AND FIT BOULDERS FOR SECURE AND STABLE STACKED CONDITION.

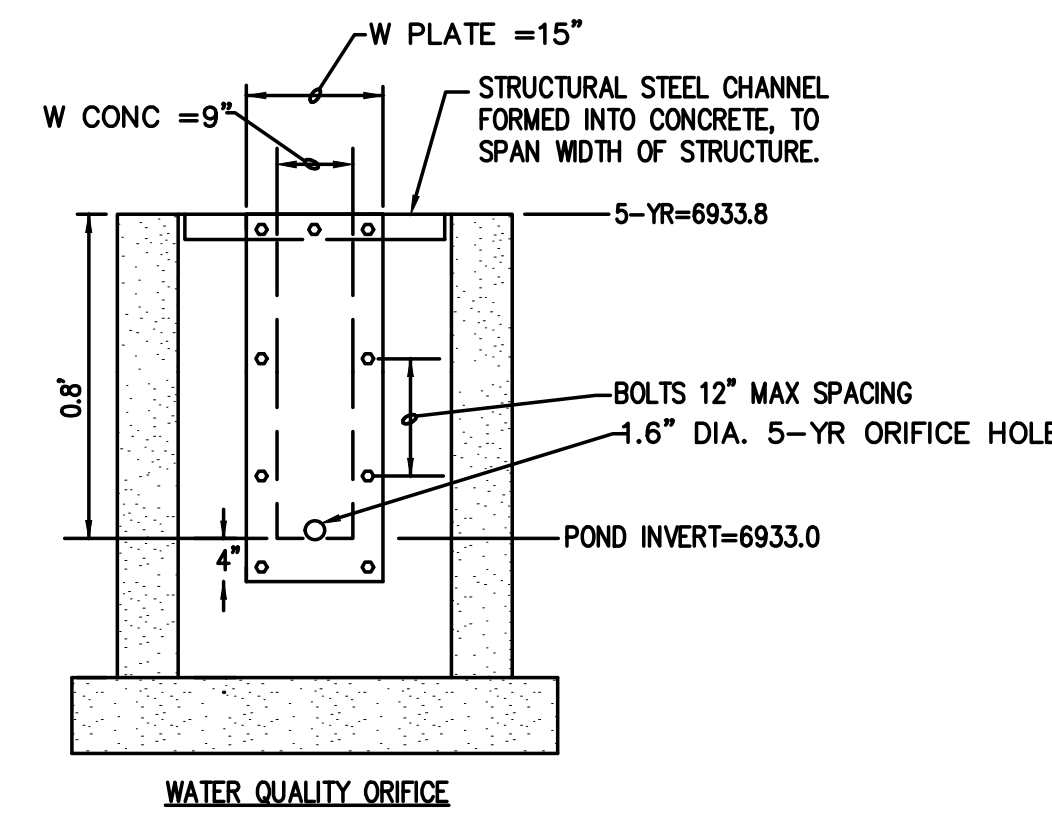
1 LANDSCAPE BOULDER RETAINING WALL
NOT TO SCALE



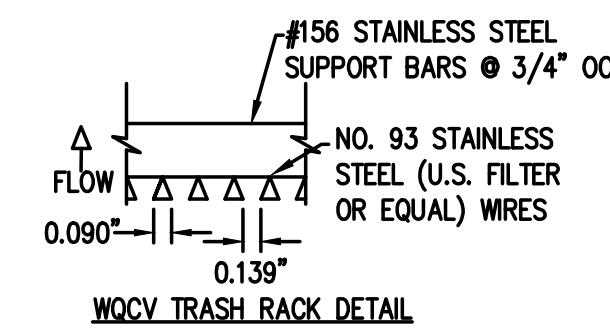
2 LANDSCAPE CONCRETE RETAINING WALL
NOT TO SCALE



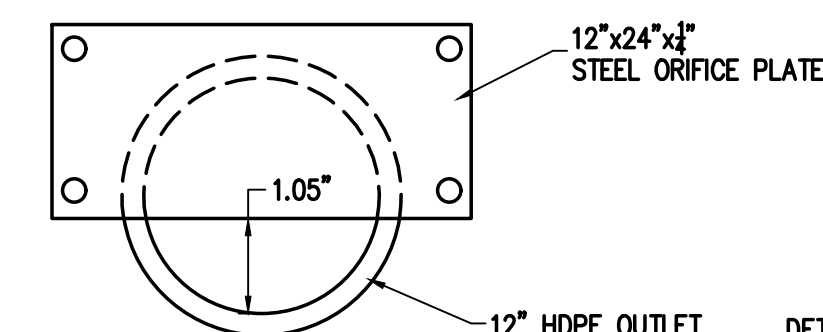
3 EMERGENCY SPILLWAY DETAIL
NOT TO SCALE



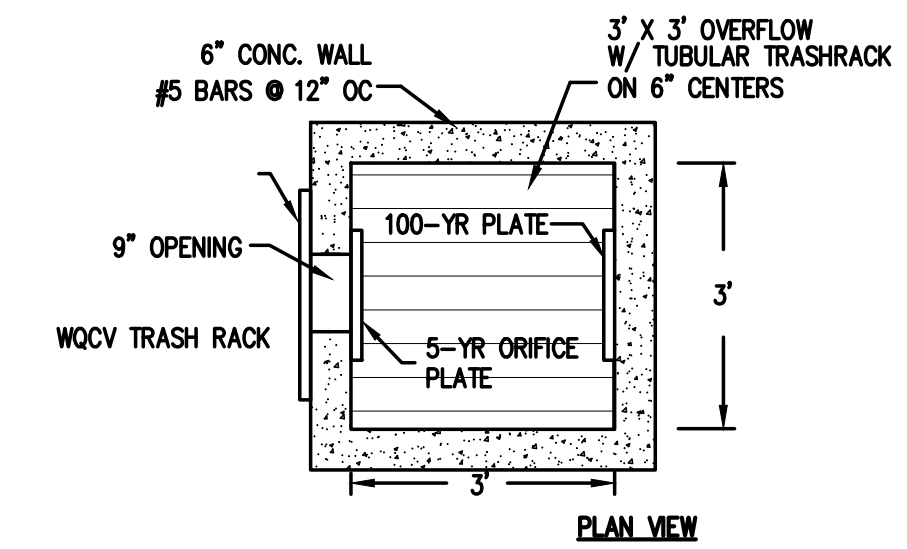
WATER QUALITY ORIFICE



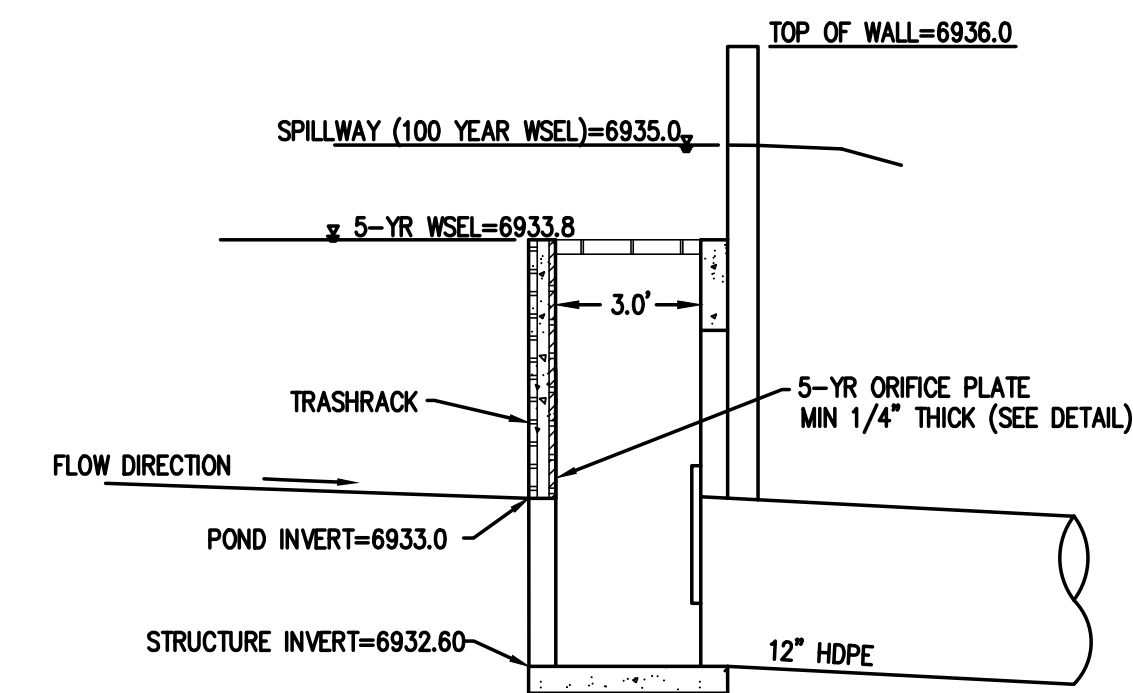
WQCV TRASH RACK DETAIL



4 100-YEAR ORIFICE PLATE
NOT TO SCALE



PLAN VIEW



5 WATER QUALITY POND OUTLET STRUCTURE
NOT TO SCALE

- DETAIL NOTES:
- OVERFLOW TRASH RACKS SHALL BE MOUNTED USING STAINLESS STEEL HARDWARE AND PROVIDED WITH HINGED AND LOCKABLE OR BOLTABLE ACCESS PANELS.
 - OVERFLOW TRASH RACKS SHALL BE STAINLESS STEEL, ALUMINUM, OR STEEL. STEEL TRASH RACKS SHALL BE DIP GALVANIZED AND MAY BE HOT POWDER COATED AFTER GALVANIZING.
 - WATER QUALITY CAPTURE VOLUME WELL-SCREEN TRASH RACKS SHALL BE STAINLESS STEEL AND SHALL BE ATTACHED BY INTERMITTENT WELDS ALONG THE EDGE OF THE MOUNTING FRAME.

LANDSCAPE NOTES:

- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL PLANT QUANTITIES. THE PLANT LIST IS INTENDED AS A REFERENCE ONLY.
- OWNER'S REPRESENTATIVE IS TO APPROVE ALL PLANT MATERIAL PRIOR TO INSTALLATION WITH PRIOR NOTICE OF 48 HOURS.
- PLANT MATERIAL IS TO HAVE IDENTIFICATION TAGS ON 10 OF EACH SPECIES SHOWING GENUS, SPECIES AND VARIETY, ETC. PLANT TAGS TO REMAIN ON TREES AND SHRUBS UNTIL TOWN INSPECTION.
- ALL PLANT MATERIALS SHALL BE IN ACCORDANCE WITH AAN SPECIFICATIONS FOR NUMBER ONE GRADE.
- ALL TREES TO BE BALLED AND BURLAPPED, ROOT CONTROL BAGS OR CONTAINERIZED.
- MINOR CHANGES IN SPECIES AND PLANT LOCATIONS MAY BE MADE DURING CONSTRUCTION, AS REQUIRED BY SITE CONDITIONS OR PLANT AVAILABILITY. OVERALL QUANTITY AND DESIGN CONCEPT TO BE CONSISTENT WITH APPROVED PLANS.
- PRIOR TO INSTALLATION OF PLANT MATERIALS AND SOD, AREAS THAT HAVE BEEN COMPACTED SHALL BE THOROUGHLY LOOSENED.
- ALL LANDSCAPE AREAS ARE TO RECEIVE ORGANIC SOIL PREPARATION AT THE RATE OF 4 CUBIC YARDS PER 1000 SF ROTO-TILLED TO A DEPTH OF 6". NO ORGANIC SOIL PREPARATION WITHIN THE FIRST 5 FEET ADJACENT TO BUILDINGS.
- ALL SHRUB AND ORNAMENTAL GRASS BEDS ARE TO BE MULCHED WITH MIN. 3" DEPTH ROCK MULCH OVER SPECIFIED GEO-TEXTILE WEED CONTROL FABRIC. ROCK MULCH SHALL BE 1-1/2" COLORADO ROSE CRUSHED ROCK OR APPROVED EQUAL. CONTRACTOR SHALL PROVIDE SAMPLES OF ROCK MULCH FOR LANDSCAPE ARCHITECT'S APPROVAL, PRIOR TO PURCHASE OR INSTALLATION. FINAL SELECTION SHALL BE MADE FROM SAMPLES. CUT WEED CONTROL FABRIC AROUND INDIVIDUAL PLANTS TO ALLOW FOR FULL GROWTH OF EACH PLANT. ALL PERENNIAL FLOWER BEDS SHALL BE MULCHED WITH 4" DEPTH SHREDDED CEDAR MULCH. NO WEED CONTROL FABRIC IS REQUIRED IN PERENNIAL AREAS.
- SHRUB BEDS ARE TO BE CONTAINED BY COYOTE PRODUCTS PERFEDGE 16 GA, PERFORATED, 4" DEPTH, GALVANIZED ROLLTOP EDGER WITH DRAIN HOLES. EDGER IS NOT REQUIRED WHEN ADJACENT TO CURBS, WALLS, OR WALKS. MATERIAL TO BE APPROVED BY OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, PRIOR TO CONTINUING WITH THAT PORTION OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
- LANDSCAPE TO BE INSTALLED PER CITY STANDARDS AND SPECIFICATIONS. IN CASES WHERE DISCREPANCIES EXIST BETWEEN PLANS AND CITY STANDARDS, CONTACT LANDSCAPE ARCHITECT FOR CLARIFICATION.
- ALL AREAS SHALL BE GRADED TO ACHIEVE POSITIVE DRAINAGE.
- ALL SODDED, TURF SEEDED AREAS SHALL BE WATERED BY AN UNDERGROUND, AUTOMATIC IRRIGATION SYSTEM, AND SHALL PROVIDE 100% COVERAGE TO ALL AREAS. ALL SHRUB BEDS TO BE IRRIGATED WITH AUTOMATIC DRIP IRRIGATION SYSTEM OR ACCEPTABLE ALTERNATIVE. THE IRRIGATION SYSTEM IS TO BE ADJUSTED TO MEET THE NEEDS OF THE INDIVIDUAL PLANT MATERIAL.
- KEEP ALL TREES MINIMUM 10 FEET BETWEEN TREES AND WATER OR SEWER MAINS, 6 FEET BETWEEN TREES AND WATER OR SEWER SERVICE LINES, 4 FEET BETWEEN TREES AND GAS LINES. STREET TREES PLANTED WITHIN THE UTILITY EASEMENT MAY CONFLICT WITH UTILITIES & ADDITIONAL CONDUIT MAY BE REQUIRED TO PROTECT UNDERGROUND ELECTRIC LINES.
- LANDSCAPES SHALL BE MAINTAINED TO ENSURE WATER EFFICIENCY. A REGULAR MAINTENANCE SCHEDULE SHALL INCLUDE BUT NOT BE LIMITED TO CHECKING, ADJUSTING, AND REPAIRING IRRIGATION EQUIPMENT; RESETTING THE AUTOMATIC CONTROLLER; AERATING AND DE-THATCHING TURF AREAS (ONLY IF NEEDED); REPLENISHING MULCH; FERTILIZING; PRUNING, AND WEEDING IN ALL LANDSCAPED AREAS.
- SINGLE TRUNK TREES WITHIN THE SIGHT TRIANGLE AREAS SHALL BE MAINTAINED & TRIMMED FROM THE GROUND TO A LINE AT LEAST SEVEN (7) FEET ABOVE THE LEVEL OF THE INTERSECTION.
- ALL EXISTING TREES & SHRUBS ON SITE SHALL BE REMOVED.
- A 5' WIDTH OF DRY BORDER IS REQUIRED AROUND THE FOUNDATION. REFER TO THE NORTHWEST COLORADO CONSULTANTS, INC. JANUARY 25, 2024 JOB NUMBER: 24-13239, SURFACE DRAINAGE: P.7, "5) LANDSCAPING, WHICH REQUIRES EXCESSIVE WATERING AND LAWN SPRINKLER HEADS, SHOULD BE LOCATED A MINIMUM OF 10 FEET FROM THE FOUNDATION WALLS OF THE STRUCTURES."
- TOE OF SLOPE ADJACENT TO SIDEWALKS SHALL HAVE A MINIMUM TWO FOOT (2') LANDING TO MITIGATE WATER RUNOFF AND SHALL NOT EXCEED 6:1.
- CONTRACTOR SHALL TILL OR REPLACE COMPACTED SOIL IN VEHICLE LOT PLANTING AREAS TO A DEPTH OF 30 INCHES.

SEED NOTES:

SEED SHALL BE INSTALLED WHEN AT LEAST 3 MONTHS REMAIN IN THE GROWING SEASON. IF LESS THAN 3 MONTHS REMAIN IN THE GROWING SEASON AT THE TIME OF SEEDING, THE LANDSCAPE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT AND OWNER. ALL SEED APPLICATIONS SHALL BE DRILL SEEDED, WITH HYDROMULCH APPLIED OVER THE SEED BED AFTER SEEDING.

HYDROMULCH MIX	
WOOD FIBER MULCH	46
15-15-15 ORGANIC FERTILIZER	9
ORGANIC BINDER/TACKIFIER	4

STREET FRONT PLANTING (MF-3)					
CATEGORY A					
NUMBER OF PLANTINGS	STREET FRONT AREA	CALCULATION	MIN. PLANTS REQ.	TOTAL PLANTS PROVIDE	
1 PLANT / 400 SF (MIN) 1 PLANT = 1 TREE OR 3 SHRUBS	2,367 SF	2,367 SF / 400 SF	6	15	
PLANTING TYPES	REQUIRED %	CALCULATION	TOTAL REQUIRED	TOTAL PROVIDED	SHRUBS PROVIDED SUBSTITUTION
EVERGREEN TREES (10'+)	10%	6 x .1 = .6	1	0*	3
EVERGREEN TREES (8'-9')	15%	6 x .15 = .9	1	0*	3
EVERGREEN TREES (6'-7')	10%	6 x .1 = .6	1	0*	3
DEC TREES (2.5" CAL)	20%	6 x .2 = .6	1	2	
ORNAMENTAL TREES	15%	6 x .15 = .9	1	0*	3
SHRUB (5 GAL)	15%	6 x .15 = .9 x 3 = 2.7	3	27	
GRASS SEED / SOD / TURF	60%	2,367 SF x .6	1,420 SF	817 SF*	

*DUE TO EXISTING UTILITIES AND EASEMENTS, TREE REQUIREMENTS WERE UNABLE TO BE MET - SUBSTITUTION SHRUBS PROVIDED
*DUE TO GEOTECH REPORT, REQUIREMENTS WERE UNABLE TO BE MET - TOTAL PLANTS PROVIDED EXCEEDS REQUIRED

INTERIOR LANDSCAPE (MF-3)					
CATEGORY B					
NUMBER OF PLANTINGS	LANDSCAPE AREA	CALCULATION	MIN. PLANTS REQ.	TOTAL PLANTS PROVIDE	
1 PLANT / 500 SF (MIN) 1 PLANT = 1 TREE OR 3 SHRUBS	6,334 SF	6,334 SF / 500 SF	13	19	
PLANTING TYPES	REQUIRED %	CALCULATION	TOTAL REQUIRED	TOTAL PROVIDED	SHRUBS PROVIDED SUBSTITUTION
EVERGREEN TREES (10'+)	10%	13 x .1 = 1.3	1	0*	3
EVERGREEN TREES (8'-9')	15%	13 x .15 = 1.95	2	0*	6
EVERGREEN TREES (6'-7')	10%	13 x .1 = 1.3	1	10	
DEC TREES (2.5" CAL)	20%	13 x .2 = 2.6	3	1*	6
ORNAMENTAL TREES	15%	13 x .15 = 1.95	2	0*	6
SHRUB (5 GAL)	15%	13 x .15 = 1.95 x 3 = 5.8	6	51	
GRASS SEED / SOD / TURF	60%	6,334 SF x .6	3,800 SF	2,791 SF*	

*DUE TO EXISTING UTILITIES AND EASEMENTS, TREE REQUIREMENTS WERE UNABLE TO BE MET - SUBSTITUTION SHRUBS PROVIDED
*DUE TO GEOTECH REPORT, REQUIREMENTS WERE UNABLE TO BE MET - TOTAL PLANTS PROVIDED EXCEEDS REQUIRED

DRY NATIVE MOUNTAIN GRASS MIX (MODIFIED)		
BOTANIC NAME	COMMON NAME	HEIGHT
ELYMUS ELYMOIDES	BOTTLEBRUSH SQUIRRELTAIL	2 ft
ELYMUS LANCEOLATUS PSAMMOPHILUS	STREAMBANK WHEATGRASS	3 ft
ELYMUS LANCEOLATUS	THICKSPIKE WHEATGRASS	3ft
ELYMUS TRACHYCAULUS	SLENDER WHEATGRASS	2'-6"
FESTUCA ARIZONICA	ARIZONA FESCUE	3 ft
KOELERIA MACRANTHA	PRAIRIE JUNEGRASS	2 ft



DESIGNED BY TJM
DRAWN BY TJM
CHECKED BY SRO

DATE 12/5/2024

PREPARED BY

REVISION DESCRIPTION

2ND SUBMITTAL

REVISION DESCRIPTION

2ND SUBMITTAL

MAY RIEGLER PROPERTIES

CITY OF STEAMBOAT SPRINGS

WALTON CREEK TOWNHOMES
2075 WALTON CREEK ROAD
LANDSCAPE NOTES

ROUIT COUNTY

FOR AND ON BEHALF OF
BASELINE CORPORATION

INITIAL SUBMITTAL 4/05/2024

DRAWING SIZE 24" X 36"

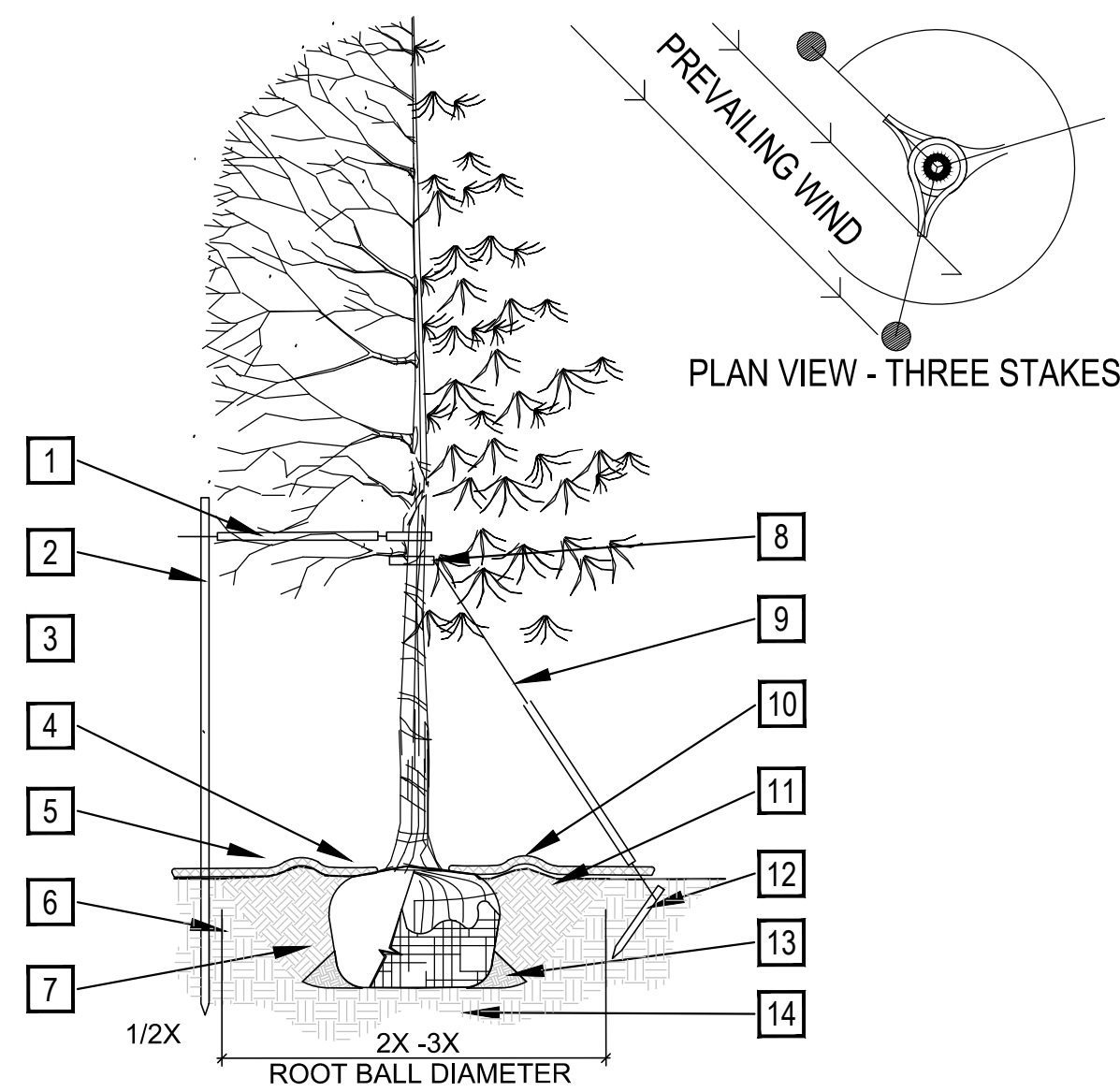
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FOUR POINTS, INC 10/24/2021

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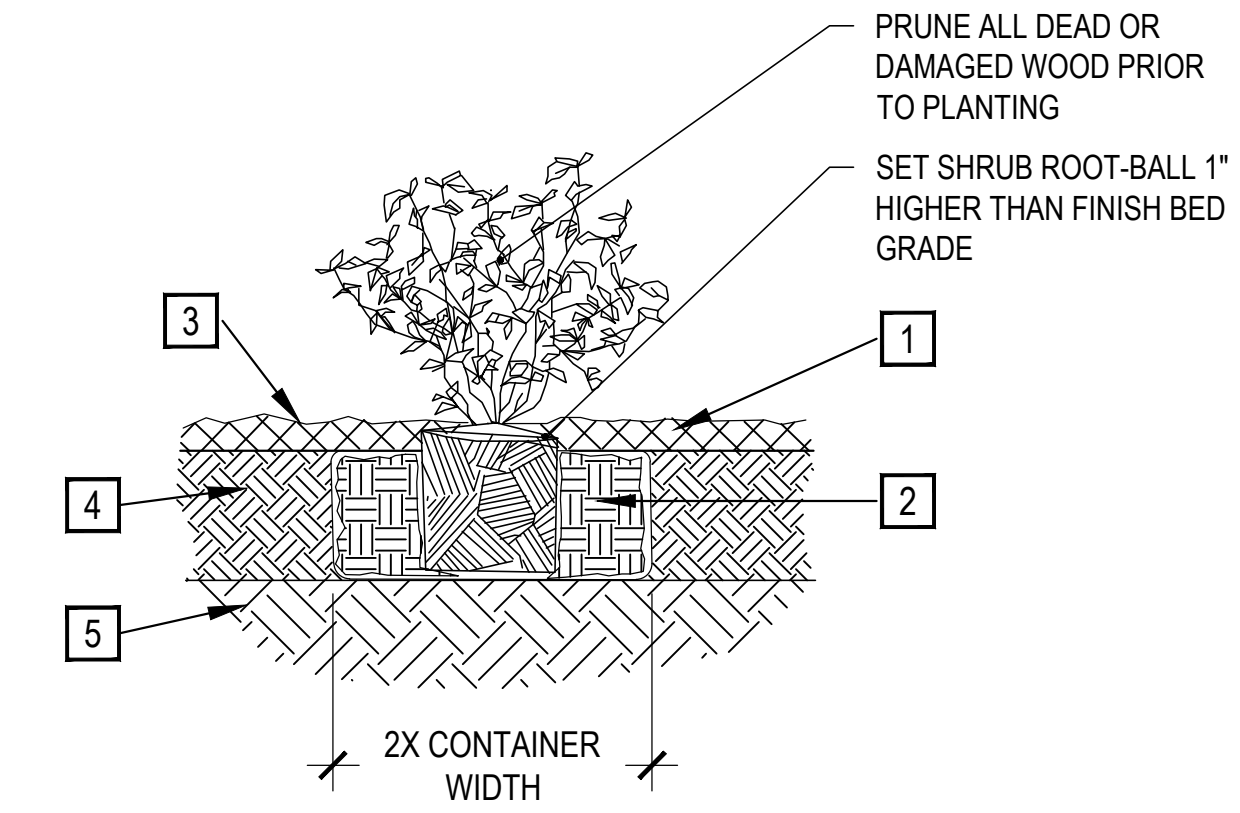
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- PRUNING NOTES:**
- ALL PRUNING SHALL COMPLY WITH ANSI A300 STANDARDS.
 - DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS AND BROKEN BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
- STAKING NOTES:**
- STAKE TREES PER FOLLOWING SCHEDULE, THEN REMOVE AT END OF FIRST GROWING SEASON.
 - 1.1 1-1/2" CALIPER SIZE - MIN. 1 STAKE ON SIDE OF PREVAILING WIND (GENERALLY N.W. SIDE)
 - 1.2 1-1/2" - 3" CALIPER SIZE - MIN. 2 STAKES - ONE ON N.W. SIDE, ONE ON S.W. SIDE (OR PREVAILING WIND SIDE AND 180° FROM THAT SIDE)
 - 1.3 3" CALIPER SIZE AND LARGER - 3 STAKES PER DIAGRAM
 - WIRE OR CABLE SHALL BE MIN. 12 GAUGE, TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. NYLON STRAPS SHALL BE LONG ENOUGH TO ACCOMMODATE 1-1/2" OF GROWTH AND BUFFER ALL BRANCHES FROM WIRE.

- PLACE MIN. 1/2" PVC PIPE AROUND EACH WIRE. EXPOSED WIRE SHALL BE MAX. 2" EACH SIDE
- 6 FT. UNTREATED WOOD POST (MIN. 1.5" DIAMETER). ALL SHALL BE DRIVEN OUTSIDE ROOTBALL AND IN UNDISTURBED SOIL.
- TREE WRAP TO BE INSTALLED ONLY FROM OCTOBER 1 THROUGH APRIL 30. (DECIDUOUS ONLY)
- PLANT TREE SO THAT FIRST ORDER MAJOR ROOT IS 1"-2" ABOVE FINAL GRADE.
- 3" DEEP WOOD MULCH RING PLACED A MINIMUM OF 4 FT. IN DIAMETER. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK (FINISHED GRADE REFERENCES TOP OF MULCH).
- 1:1 SLOPE ON SIDES OF PLANTING HOLE.
- REMOVE ALL TWINE, ROPE, BURLAP AND WIRE FROM ENTIRE ROOT BALL AND TRUNK
- GROMMETED NYLON STRAPS
- GALVANIZED WIRE, MIN. 12 GAUGE CABLE - TWIST WIRE ONLY TO KEEP FROM SLIPPING.
- 4-6" HIGH WATER SAUCER IN NON-TURF AREAS.
- BACKFILL WITH BLEND OF EXISTING SOIL AND A MAXIMUM 20% (BY VOLUME) ORGANIC MATERIAL. WATER THOROUGHLY WHEN BACKFILLING
- 2 FT. STEEL T-POST. ALL SHALL BE DRIVEN BELOW GRADE AND OUTSIDE ROOTBALL IN UNDISTURBED SOIL.
- PLACE SOIL AROUND ROOT BALL FIRMLY. DO NOT COMPACT OR TAMP. SETTLE SOIL WITH WATER TO FILL ALL AIR POCKETS.
- PLACE ROOT BALL ON UNDISTURBED SOIL TO PREVENT SETTLEMENT.



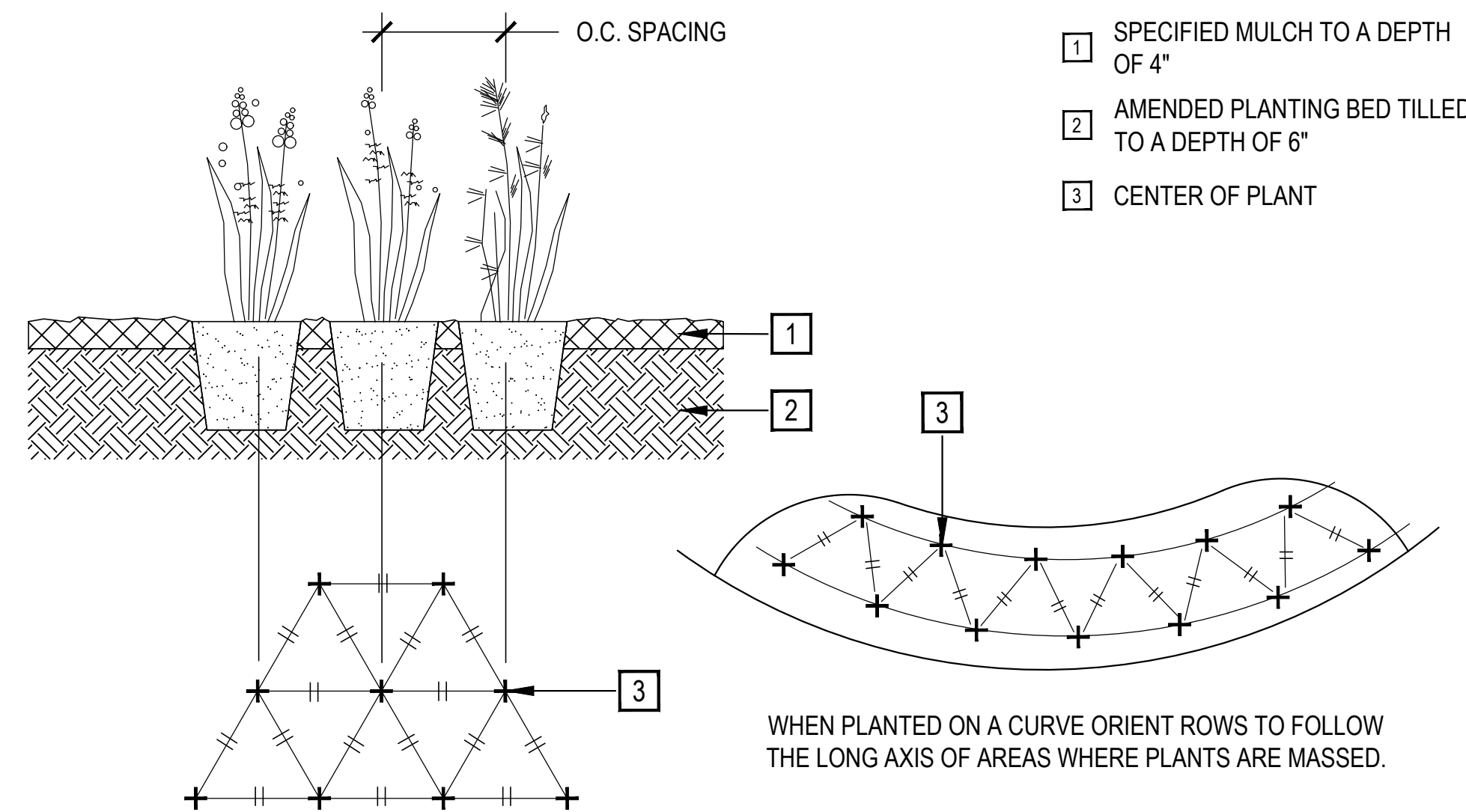
- SPECIFIED MULCH
 - AMENDED SOIL IN PLANTING BED PER SPECIFICATIONS. TILL SOIL TO A DEPTH OF EIGHT INCHES.
 - FINISH GRADE (TOP OF MULCH)
 - AMENDED TOPSOIL
 - EXISTING SUBGRADE
- NOTE:**
- BROKEN OR CRUMBLING ROOT-BALLS WILL BE REJECTED
 - CARE SHOULD BE TAKEN NOT TO DAMAGE THE SHRUB OR ROOT-BALL WHEN REMOVING IT FROM ITS CONTAINER
 - ALL JUNIPERS SHOULD BE PLANTED SO THE TOP OF THE ROOT-BALL OCCURS ABOVE THE FINISH GRADE OF THE MULCH LAYER
 - DIG PLANT PIT TWICE AS WIDE AND HIGH AS THE CONTAINER

A TREE PLANTING DETAIL

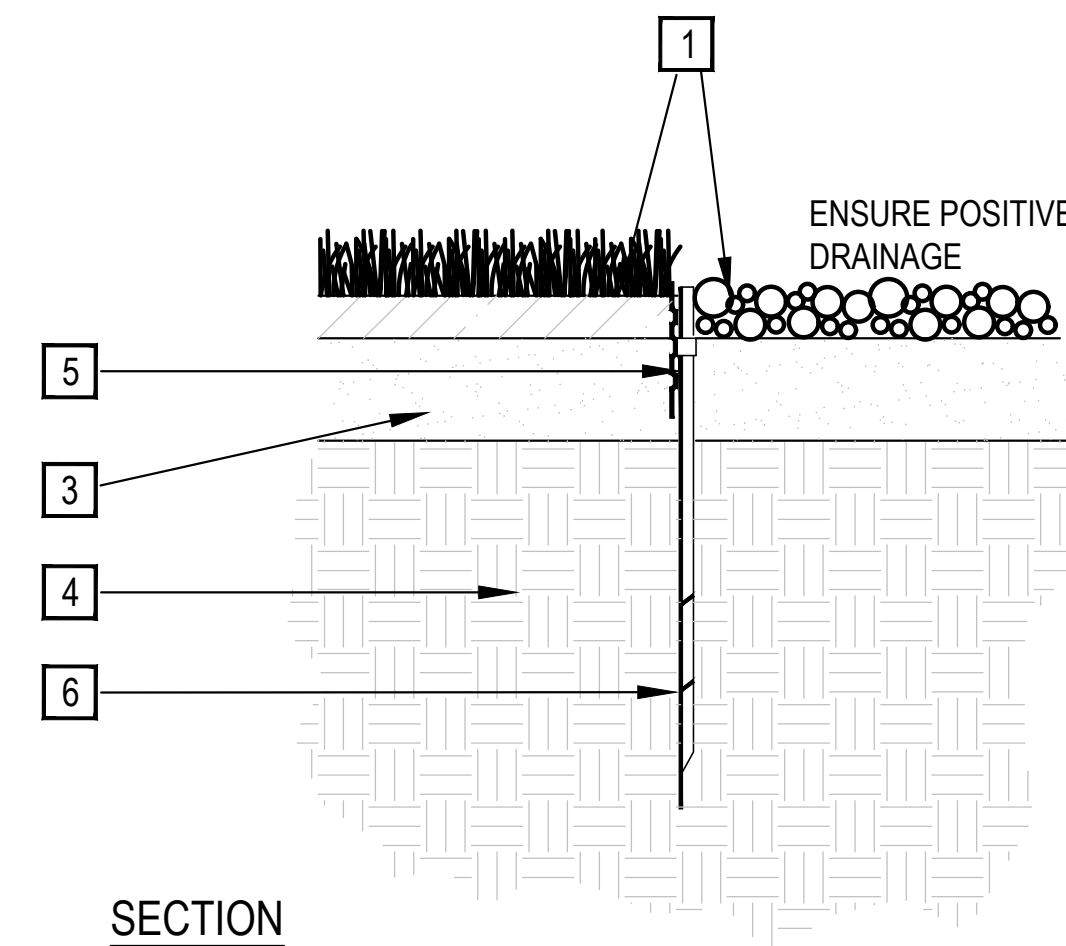
SCALE: NTS

B SHRUB PLANTING

SCALE: 1-1/2" = 1'-0"

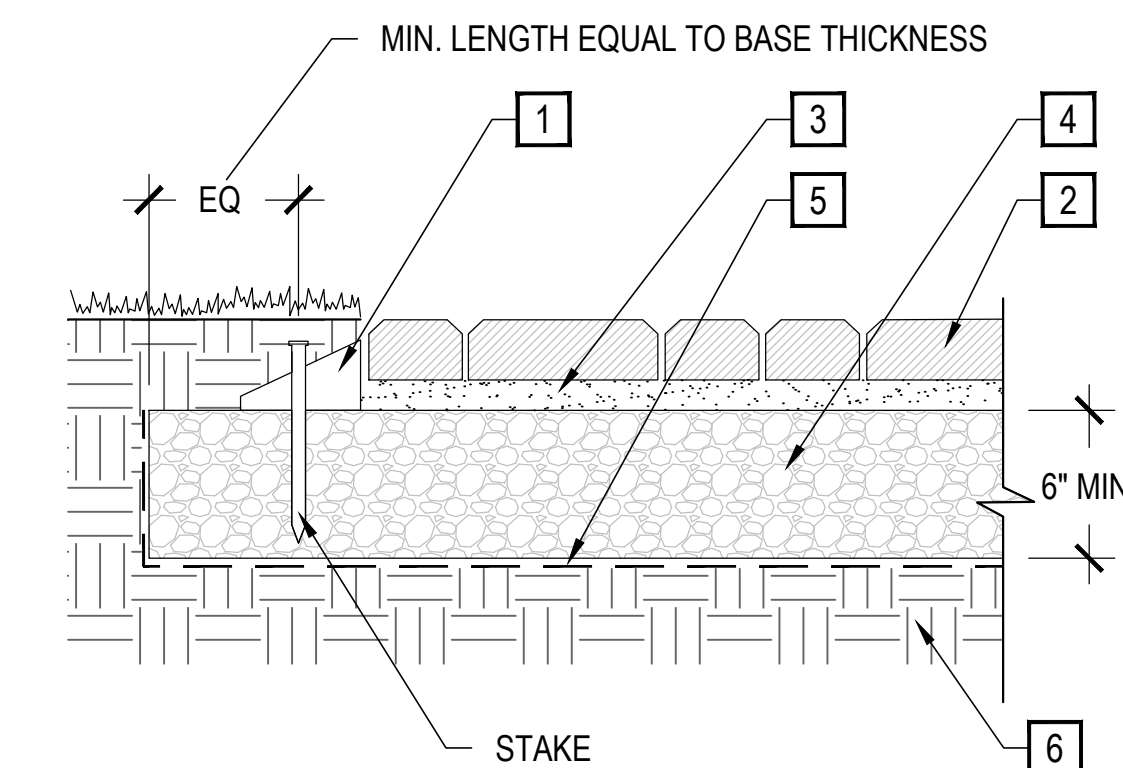


- SPECIFIED MULCH TO A DEPTH OF 4"
- AMENDED PLANTING BED TILLED TO A DEPTH OF 6"
- CENTER OF PLANT



- FINISHED GRADE - TOP OF SOD THATCH LAYER AND TOP OF MULCH OR CRUSHER FINES SHALL BE FLUSH WITH TOP OF EDGER
- TURF THATCH
 - AMENDED SOIL PER SPECIFICATIONS
 - SUBGRADE
- STEEL EDGER SHALL BE COYOTE PRODUCTS PERFEDGE 16 GA, PERFORATED, 4" DEPTH, GALVANIZED ROLLTOP EDGER WITH DRAIN HOLES
- EDGER STAKE - 12"

- NOTES:**
- THERE SHALL BE NO EXPOSED SHARP / JAGGED EDGES.
 - CONTRACTOR SHALL INSTALL STAKES AS REQUIRED BY THE MANUFACTURER.



- PLASTIC EDGE RESTRAINT
- PAVER 2 3/8" (60 MM) THICKNESS
- 1" - 1 1/2" (25 TO 40 MM) BEDDING SAND
- COMPACTED AGGREGATE BASE
- GEOTEXTILE AS REQUIRED, TURN UP AT SIDES OF BASE
- COMPACTED SOIL SUBGRADE

C PERENNIAL / ORNAMENTAL GRASS LAYOUT

SCALE: 1" = 1'-0"

D METAL EDGER

SCALE: 1" = 1'-0"

E PATIO PAVER

SCALE: NTS

REVISION	DESCRIPTION	DATE	PREPARED BY	CHECKED BY
2ND	SUBMITTAL	12/15/2024	TJM	SRO

MAY RIEGLER PROPERTIES
CITY OF STEAMBOAT SPRINGS
WALTON CREEK TOWNHOMES
2075 WALTON CREEK ROAD
LANDSCAPE DETAILS
ROUTT COUNTY

FOR AND ON BEHALF OF
BASELINE CORPORATION
SUPERVISION OF

**PRELIMINARY
NOT FOR
CONSTRUCTION**

INITIAL SUBMITTAL	4/05/2024
DRAWING SIZE	24" X 36"
SURVEY FIRM	FOUR POINTS, INC
SURVEY DATE	10/24/2021
JOB NO.	C020261
DRAWING NAME	20261 LANDSCAPE NOTES.dwg
SHEET	10 OF 4