

STOCKMAN REAL ESTATE SALES CENTER TRAILER

STEAMBOAT SPRINGS, CO 80487

City of Steamboat Springs
Planning Department
Approved Plan Set
02/05/2025 kdouglas

VOLUME 1

SALES CENTER CUP - 12/09/2024

GENERAL
G001 ENTITLEMENTS SALES CENTER COVER SHEET

EXISTING CONDITIONS PLAN
C.003 OVERALL EXISTING CONDITIONS PLAN
C.004 DETAILED EXISTING CONDITIONS PLAN

SITE PLAN
C.100 SITE PLAN

ARCHITECTURAL DRAWINGS
A100 SALES CENTER - PLANS & EXTERIOR ELEVATIONS
A101 SALES CENTER - PLANS & INTERIOR ELEVATIONS
A103 SALES CENTER - RENDERINGS

PROJECT TEAM

OWNER
ALTERRA MOUNTAIN COMPANY
3501 WAZEE ST #400
DENVER, CO 80216
PHONE: 773.846.2387

CIVIL
Landmark Consultants, Inc.
141 9th Street
Steamboat Springs, CO 80477
PHONE: 970.671.9494

ARCHITECT
OZ ARCHITECTURE
3003 LARIMER STREET
DENVER, CO, 80205
PHONE: 303.861.5704

INTERIORS
NUNZIO MARCO DESANTIS ARCHITECTS
1617 H LINE DR, SUITE 190
DALLAS, TX 75207
PHONE: 214.628.7406

STRUCTURAL
MARTINMARTIN
12499 W. COLFAX AVE.
LAKEWOOD, CO 80215
PHONE: 303.431.8100

VICINITY MAP



IMAGE IS REPRESENTATIVE ONLY



STOCKMAN REAL ESTATE SALES CENTER TRAILER

STEAMBOAT SPRINGS, CO 80487

VOLUME 1

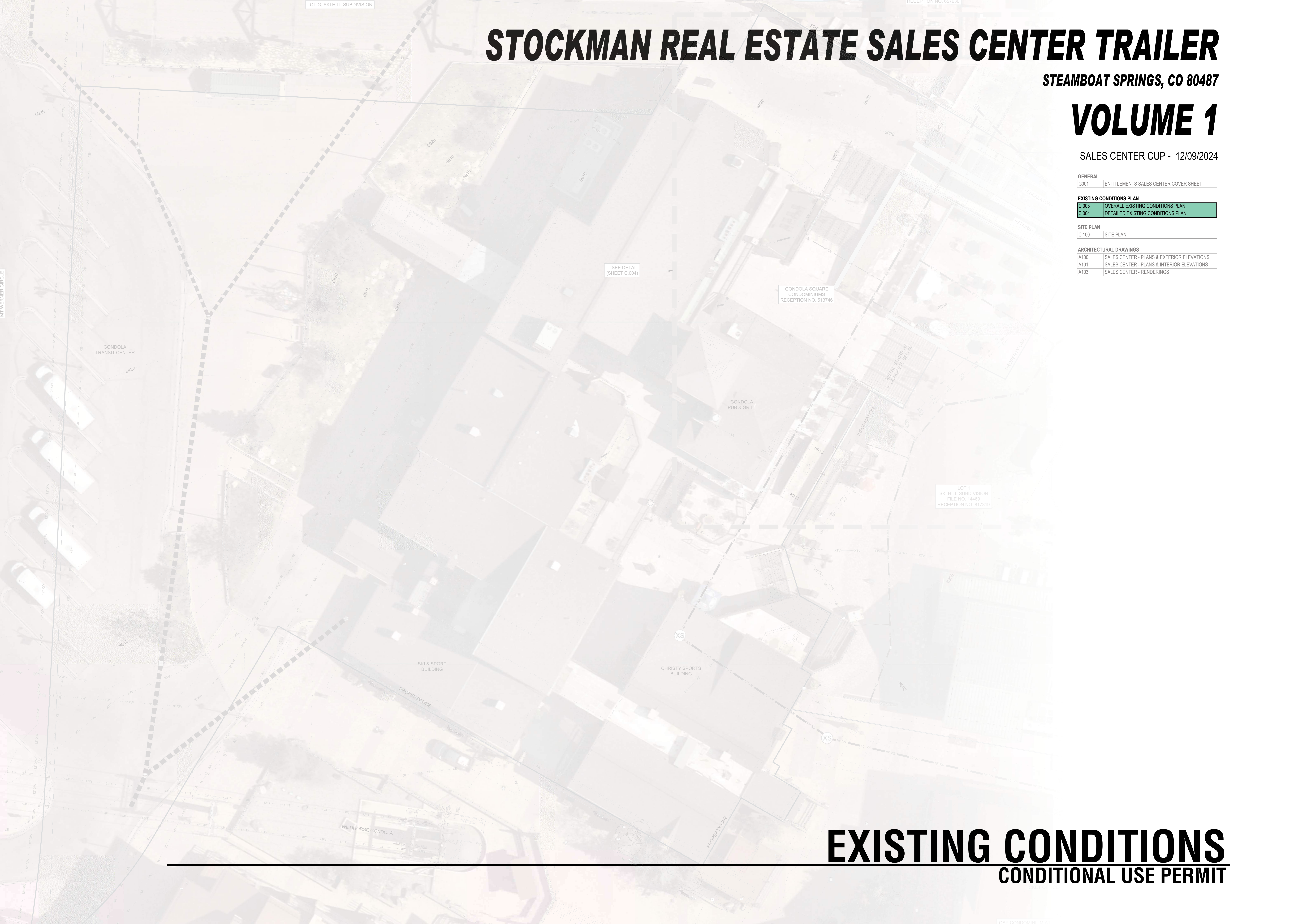
SALES CENTER CUP - 12/09/2024

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ARCHITECTURAL DRAWINGS	
A100	SALES CENTER - PLANS & EXTERIOR ELEVATIONS
A101	SALES CENTER - PLANS & INTERIOR ELEVATIONS
A103	SALES CENTER - RENDERINGS



EXISTING CONDITIONS

CONDITIONAL USE PERMIT

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EXISTING CONDITIONS PLAN

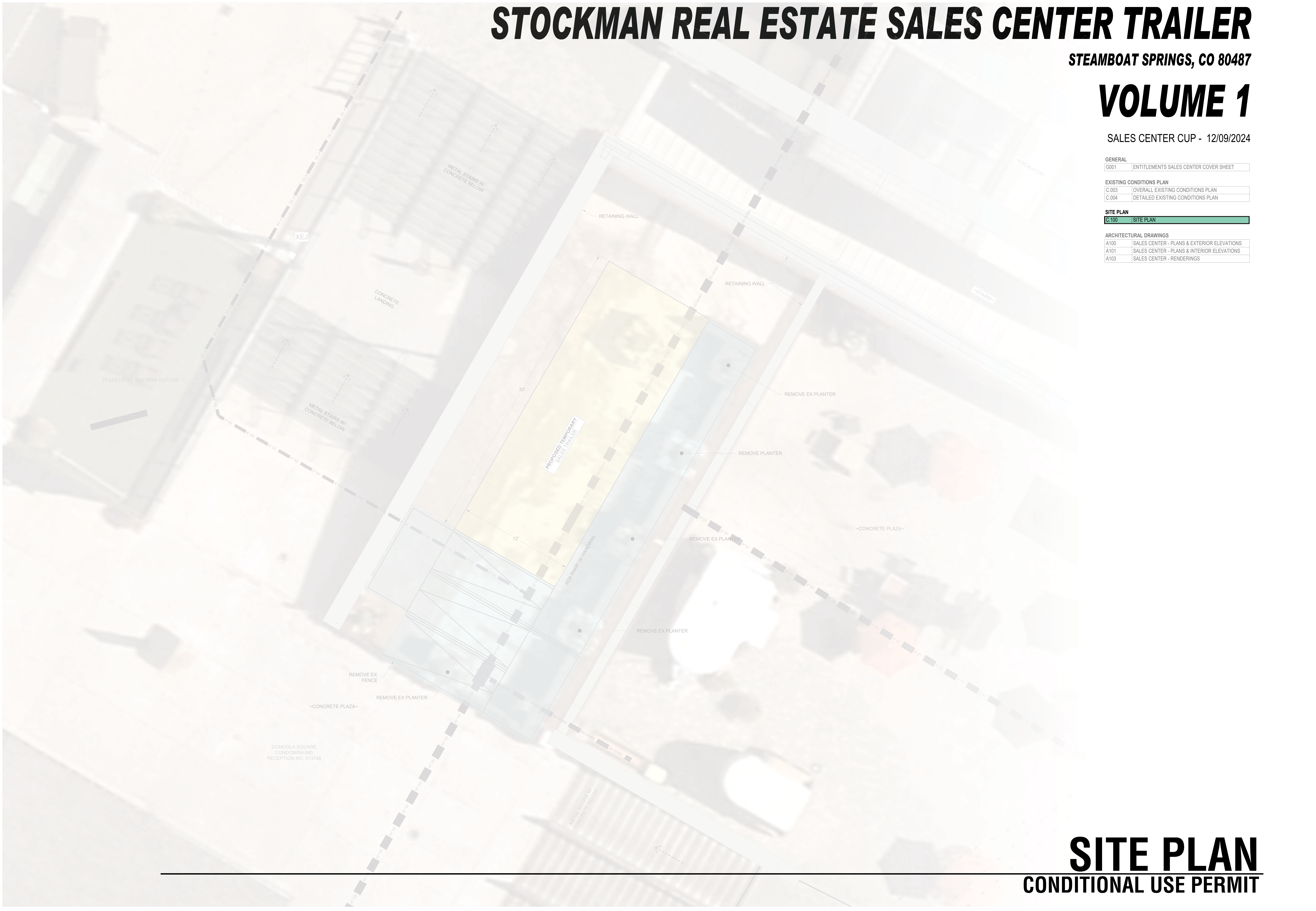
C.003	OVERALL EXISTING CONDITIONS PLAN
C.004	DETAILED EXISTING CONDITIONS PLAN

SITE PLAN

C.100	SITE PLAN
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ARCHITECTURAL DRAWINGS

A100	SALES CENTER - PLANS & EXTERIOR ELEVATIONS
A101	SALES CENTER - PLANS & INTERIOR ELEVATIONS
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SITE PLAN

CONDITIONAL USE PERMIT

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GENERAL
G001 ENTITLEMENTS SALES CENTER COVER SHEET

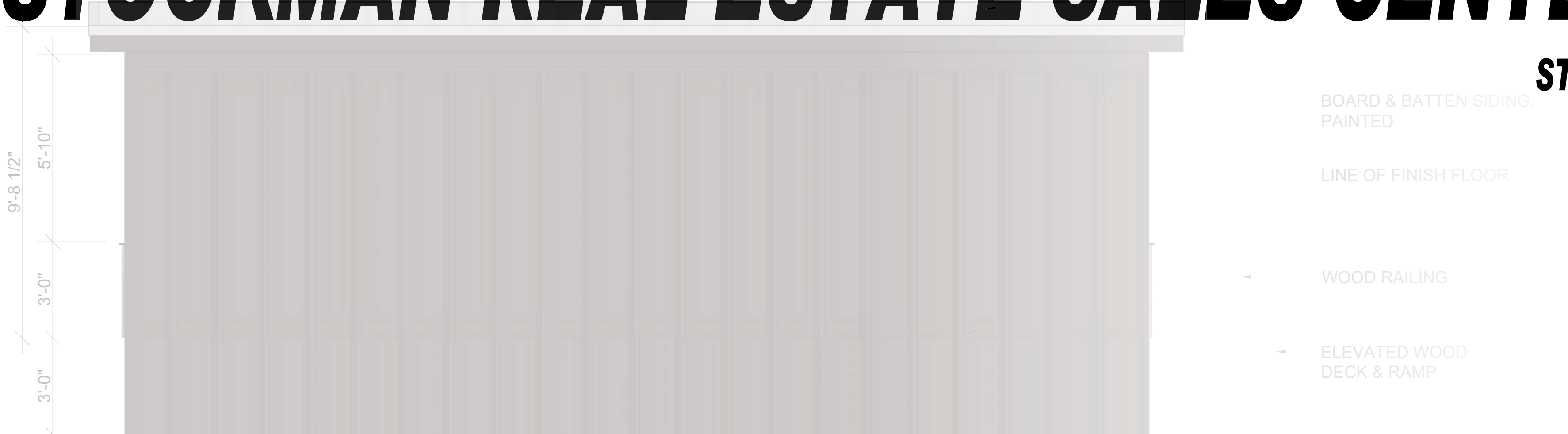
EXISTING CONDITIONS PLAN
C.003 OVERALL EXISTING CONDITIONS PLAN
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ARCHITECTURAL DRAWINGS
A100 SALES CENTER - PLANS & EXTERIOR ELEVATIONS
A101 SALES CENTER - PLANS & INTERIOR ELEVATIONS
A103 SALES CENTER - RENDERINGS



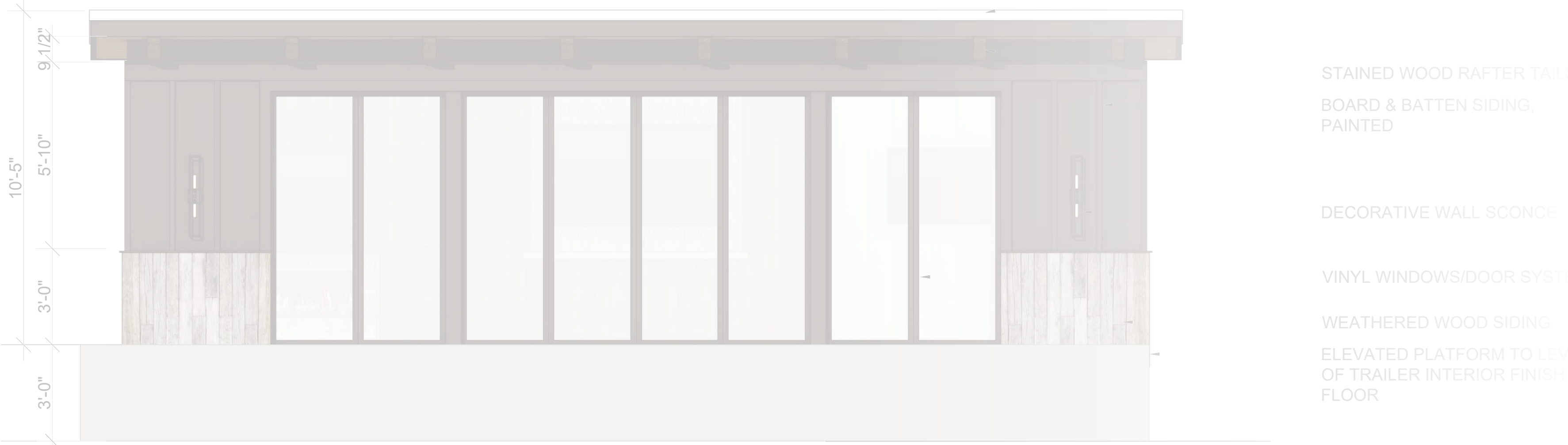
7 ELEVATION - WEST
1/4" = 1'-0"



5 ELEVATION - NORTH
1/4" = 1'-0"



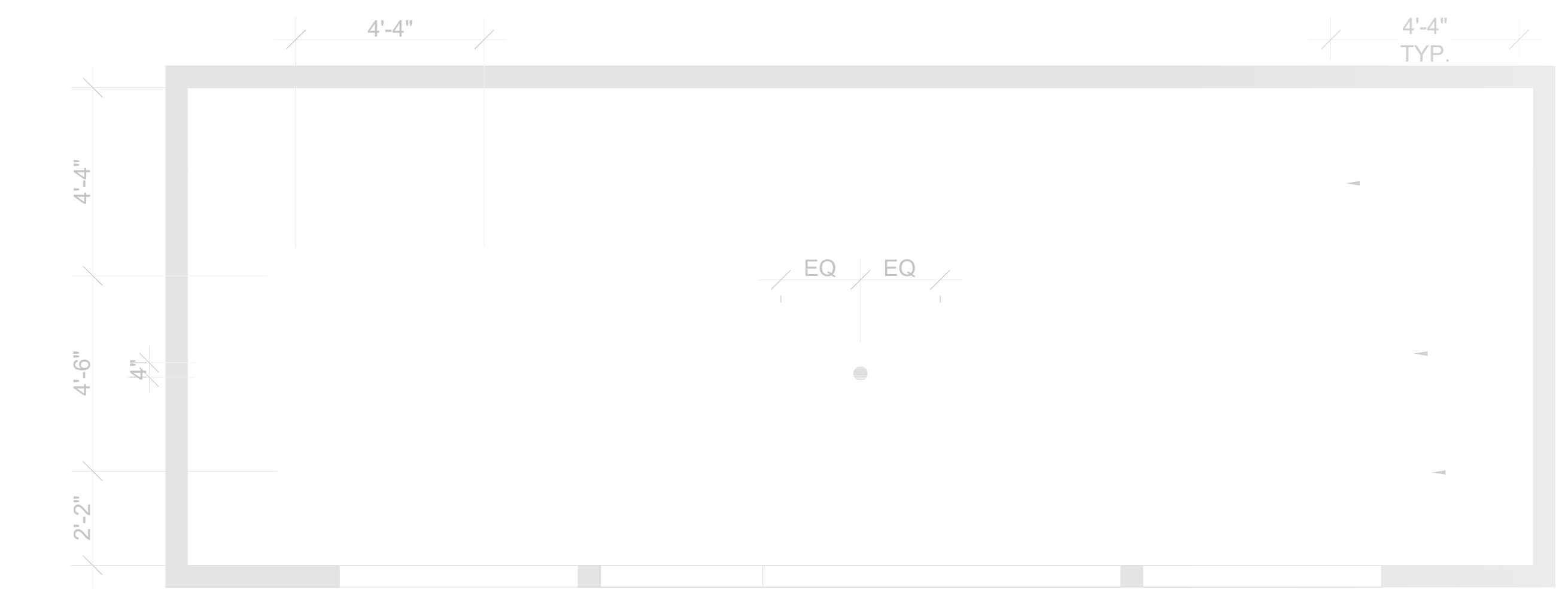
6 ELEVATION - EAST
1/4" = 1'-0"



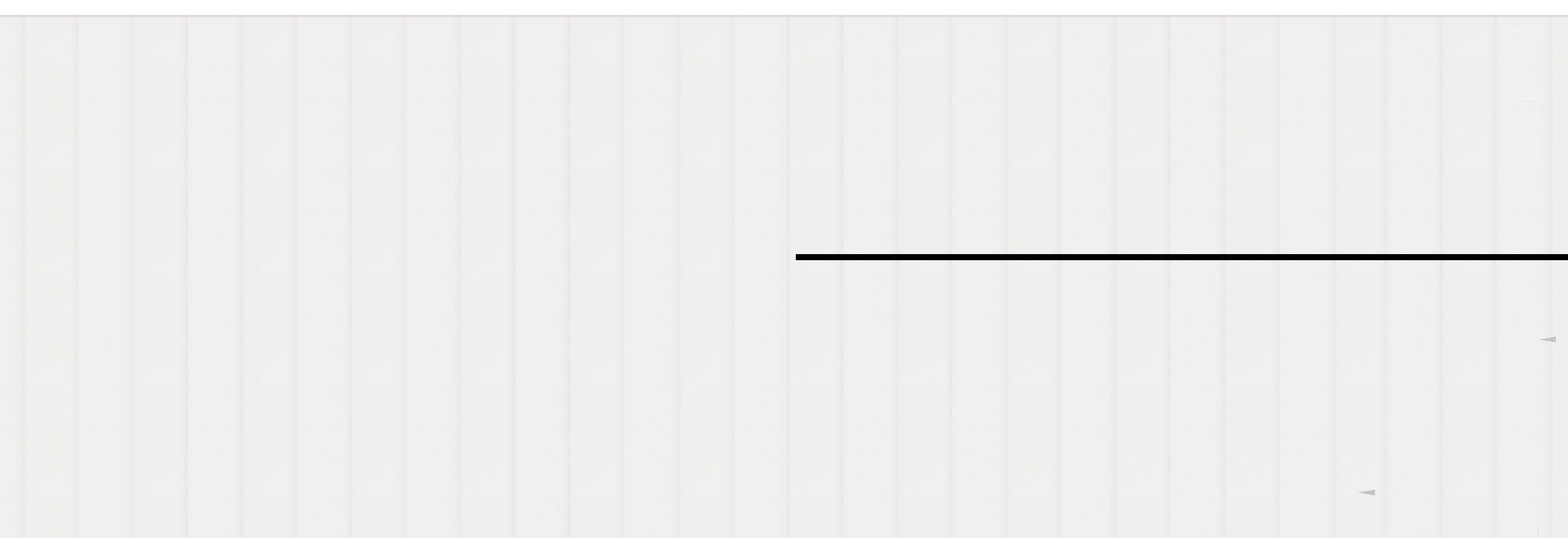
4 ELEVATION - SOUTH
1/4" = 1'-0"



3 RAMP PLAN
1/4" = 1'-0"



2 RCP
1/4" = 1'-0"



BUILDING OUTLINE BELOW

TONGUE & GROOVE WOOD CEILING

A100 07



SALES CENTER
384 SF

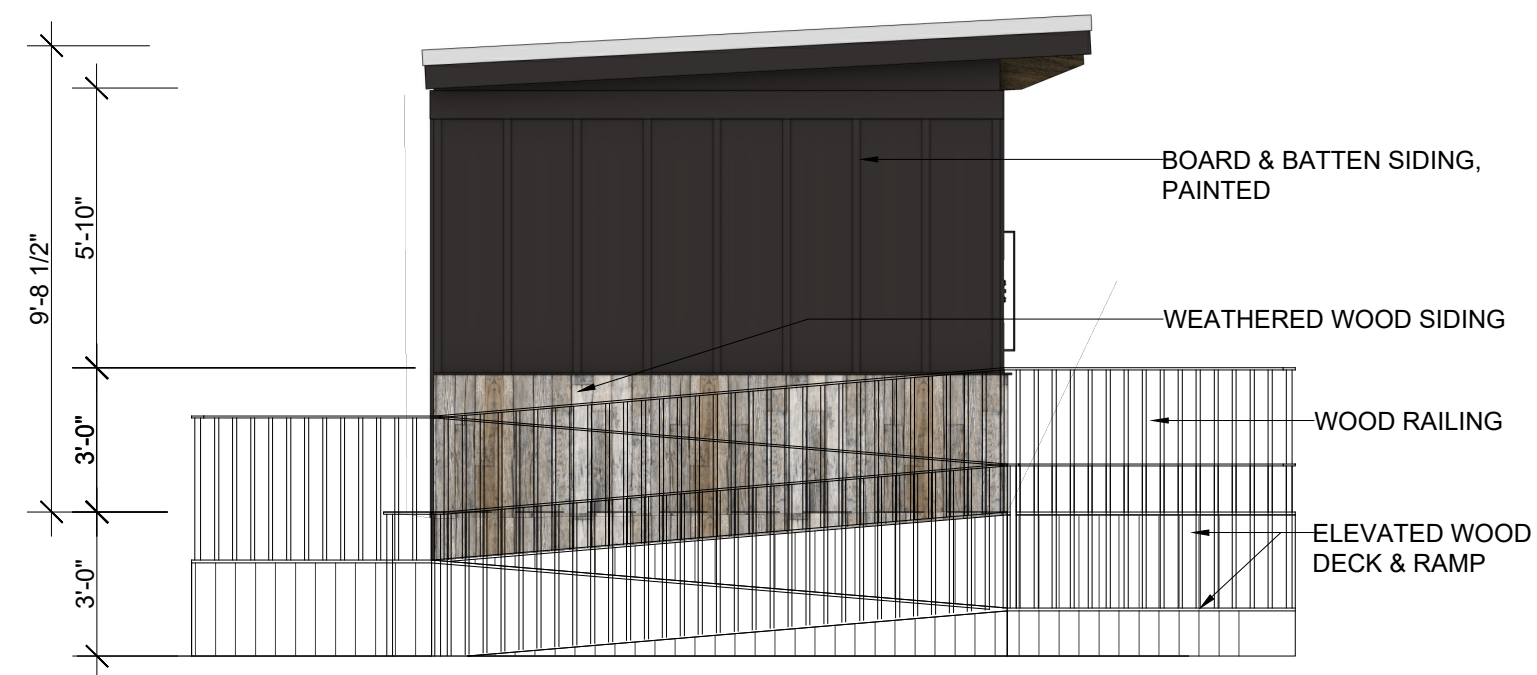
BUILT-IN ELECTRIC CABINETS

06 A100

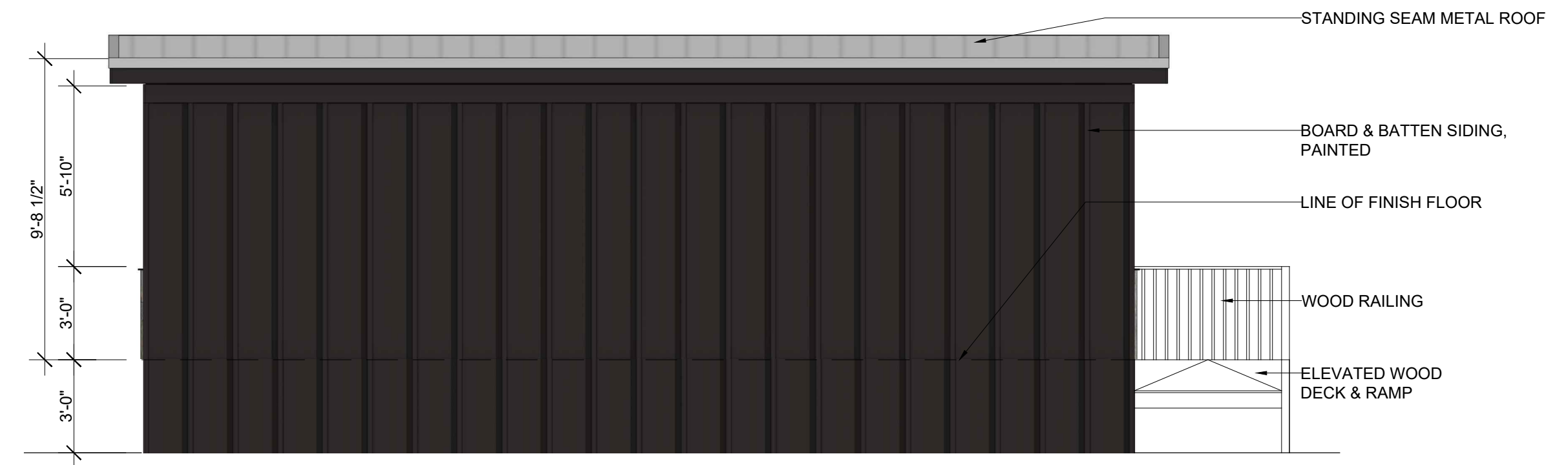
ARCHITECTURAL DRAWINGS

CONDITIONAL USE PERMIT

NOT FOR CONSTRUCTION



7 ELEVATION - WEST
1/4" = 1'-0"



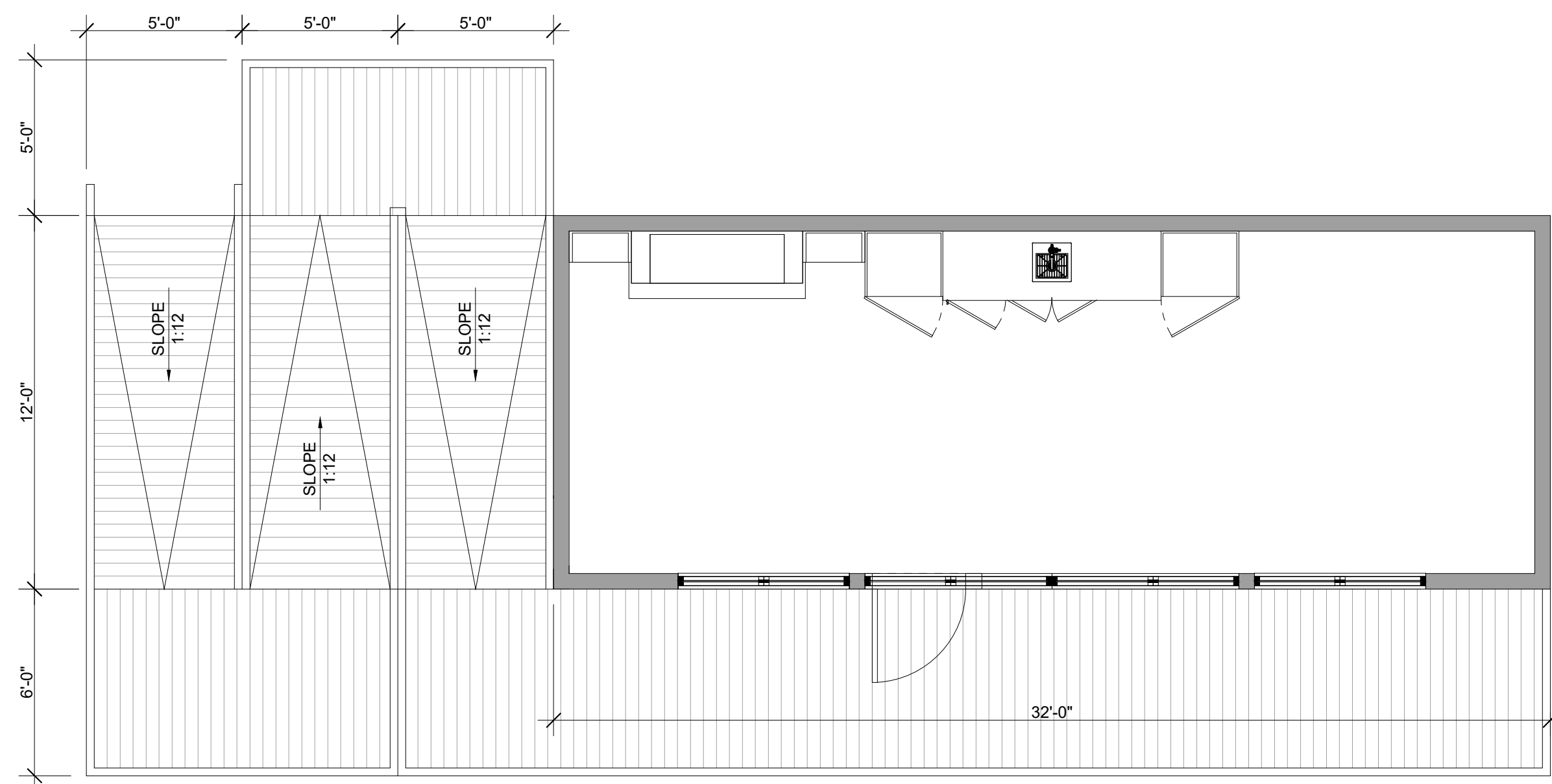
5 ELEVATION - NORTH
1/4" = 1'-0"



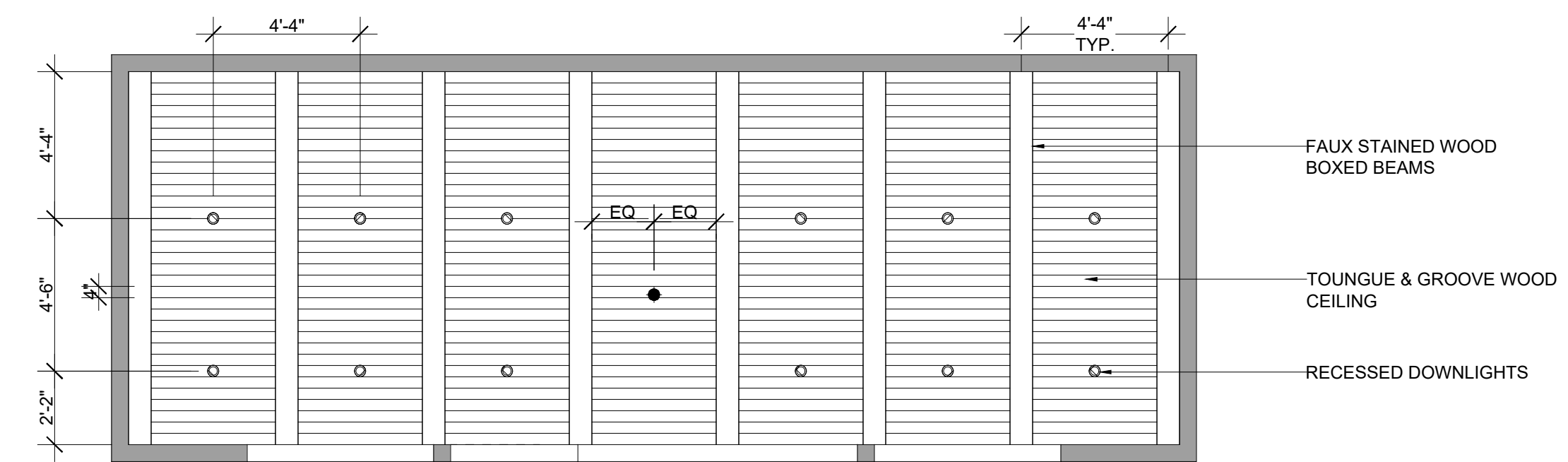
6 ELEVATION - EAST
1/4" = 1'-0"



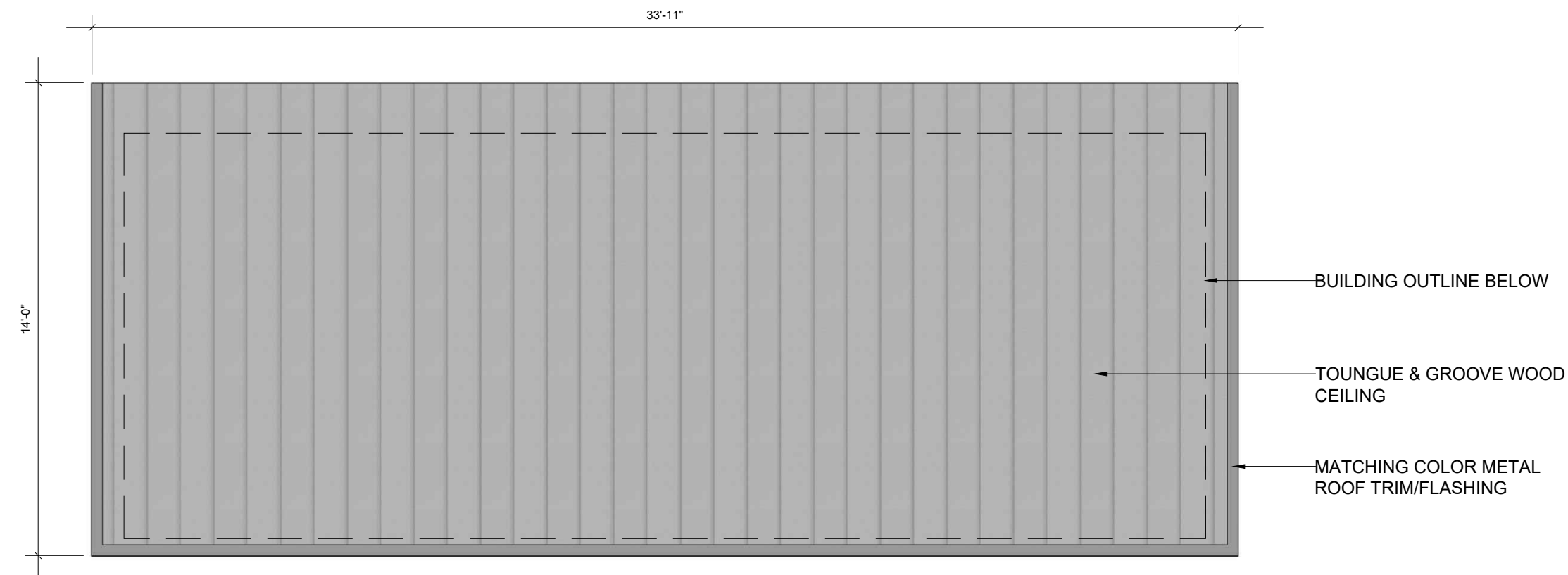
4 ELEVATION - SOUTH
1/4" = 1'-0"



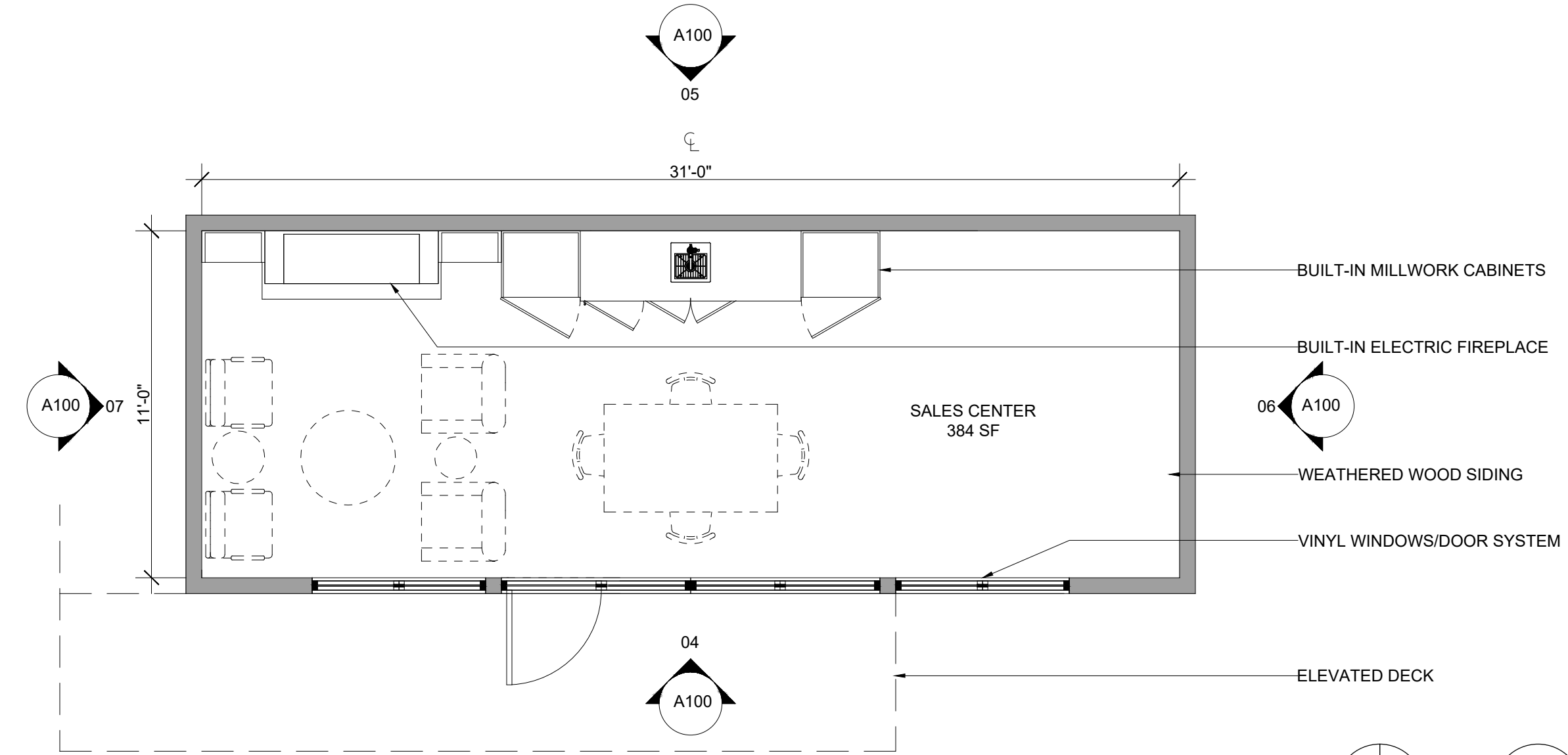
3 RAMP PLAN
1/4" = 1'-0"



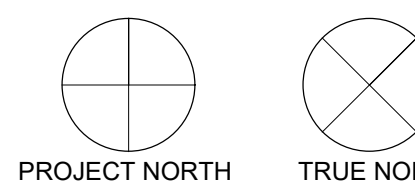
2 RCP
1/4" = 1'-0"



3 ROOF PLAN
1/4" = 1'-0"



1 FLOOR PLAN
1/4" = 1'-0"



**THE STOCKMAN:
SALES CENTER**

STEAMBOAT SPRINGS, CO
NMDA PROJECT NO. A10127

Disclaimer 1: CUP drawings are NOT intended to be used for construction. NMDA's Contract Drawings are intended to illustrate the overall project design intentions and functional layout, and as such, NMDA's drawings DOES NOT represent the local Methods, Techniques and Means of Construction. Contractor shall issue their own shop drawings and only use NMDA's Contract Drawings as reference to meet the design intent.

Disclaimer 2: All Structural, Mechanical, Electrical and Plumbing Layout and Requirements are to be completed, verified and approved by the local Registered Structural, Mechanical, Electrical and Plumbing Engineers for compliance with the Local Building Safety, Codes and Regulations having jurisdiction over the Project's site.

Disclaimer 3: All Fire Analysis Studies and Building Codes are to be verified and approved by the Registered Local Architect of Record for compliance with Local Building Safety, Codes and Regulations having jurisdiction over the Project's site.

ISSUE DRAWING LOG

NO.	DESCRIPTION	DATE
01	CUP SUBMISSION	12.09.2024

DESIGN DRAWINGS

SHEET TITLE | NAME

SALES CENTER - PLANS & EXTERIOR ELEVATIONS

SHEET NO.

A100

NOT FOR CONSTRUCTION

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SALES CENTER**

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SHEET TITLE | NAME

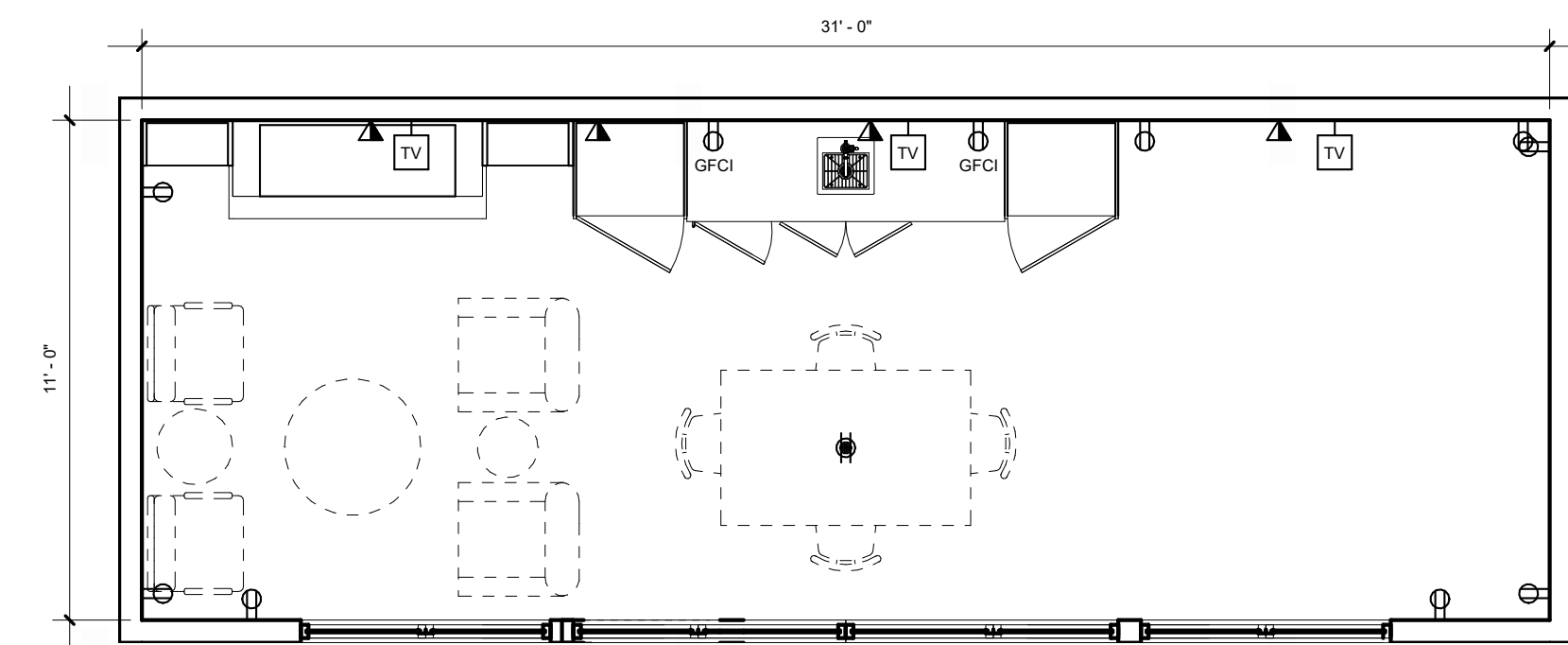
**SALES CENTER - PLANS &
INTERIOR ELEVATIONS**

SHEET NO.

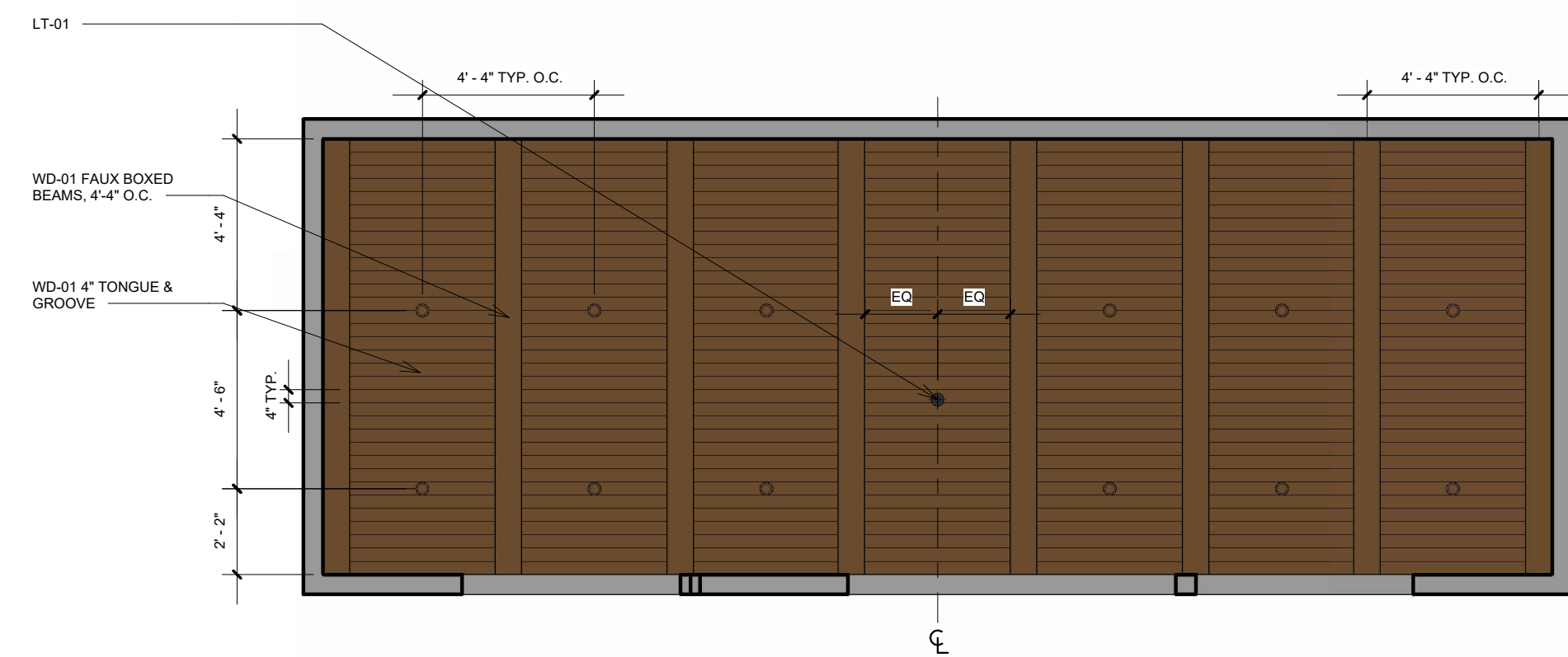
A101

SYMBOLS LEGEND

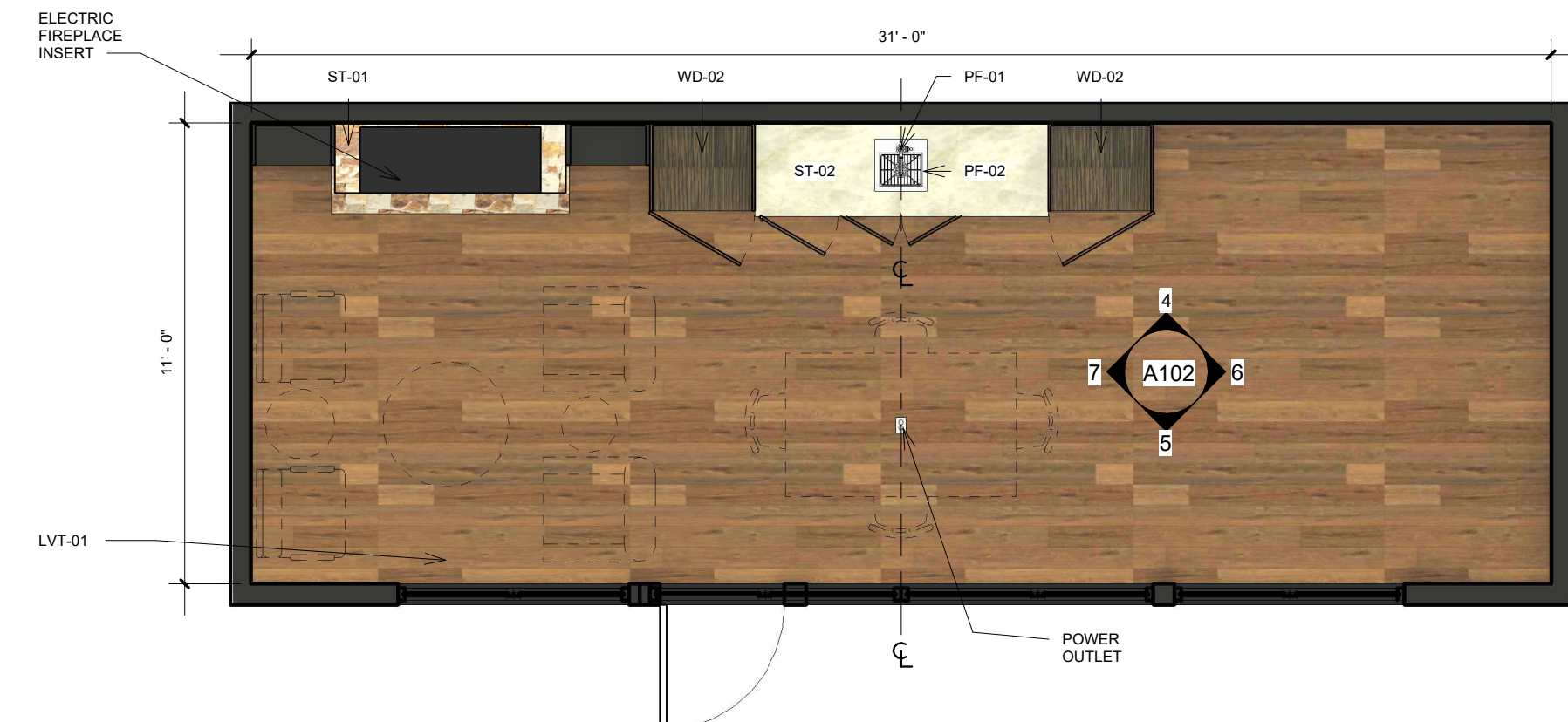
	DATA TELEPHONE
	TV OUTLET
	DUPLEX OUTLET GFCI INDICATES GROUND FAULT OUTLET
	FLOOR OUTLET



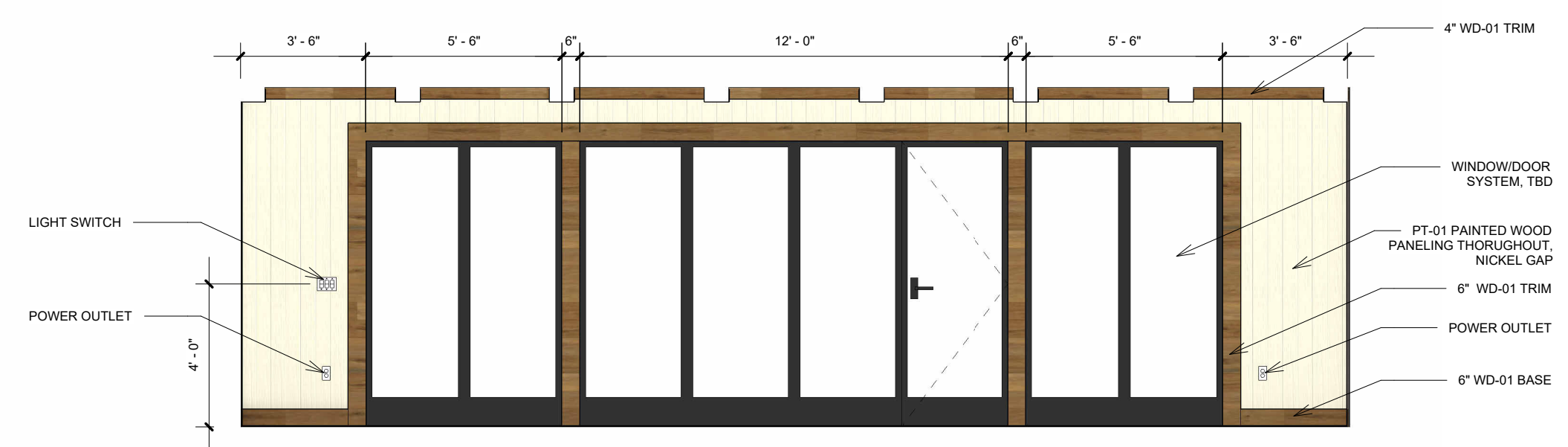
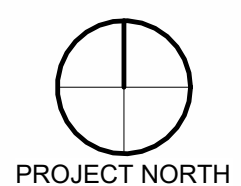
3 POWER PLAN
1/4" = 1'-0"



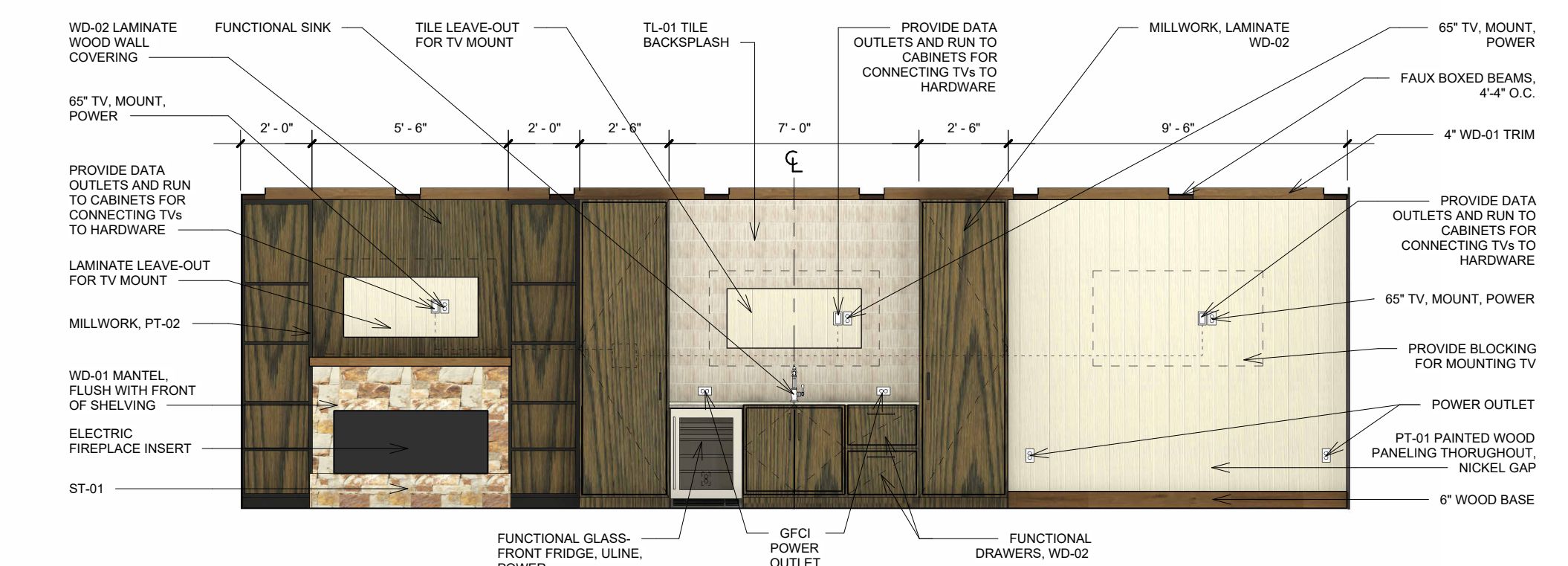
2 RCP
1/4" = 1'-0"



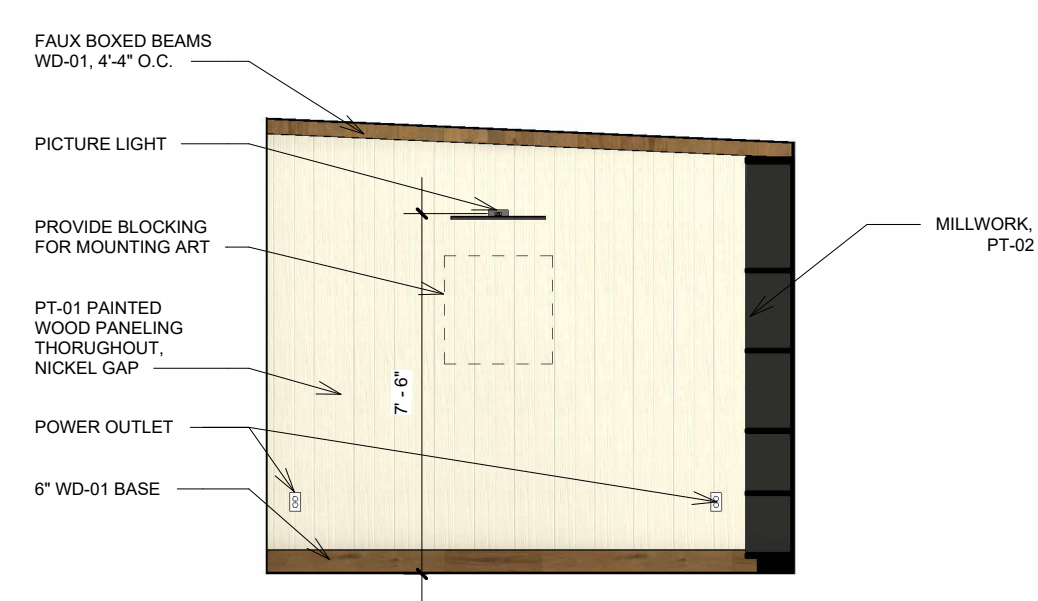
1 FLOOR PLAN
1/4" = 1'-0"



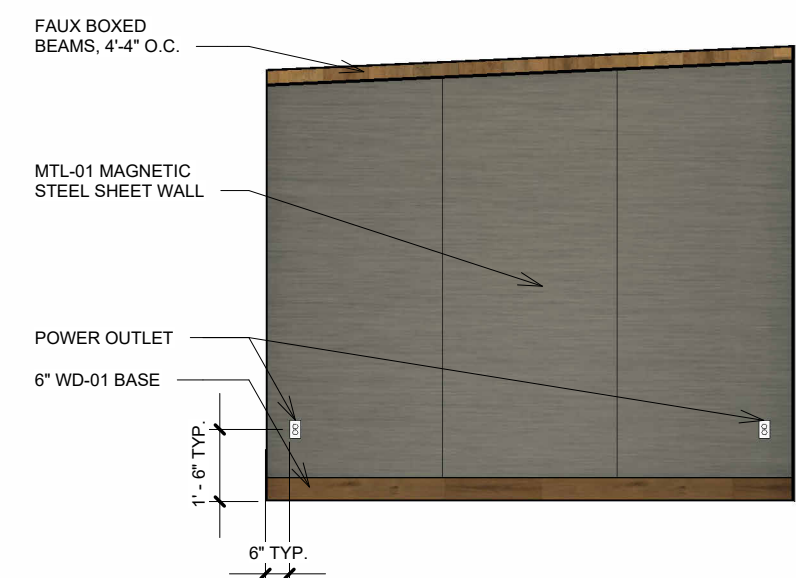
5 SOUTH ELEVATION
1/4" = 1'-0"



4 NORTH ELEVATION
1/4" = 1'-0"



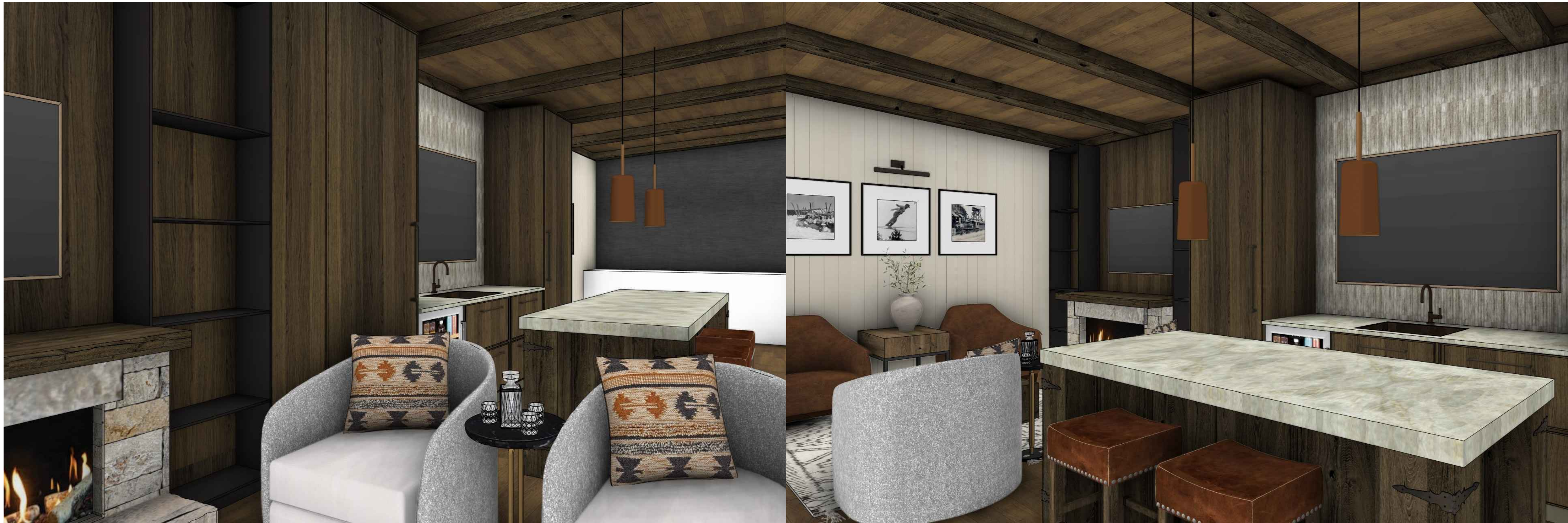
7 WEST ELEVATION
1/4" = 1'-0"



6 EAST ELEVATION
1/4" = 1'-0"



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SHEET TITLE | NAME

**SALES CENTER -
RENDERINGS**

SHEET NO.

A103