

PRELIMINARY PLAT

FOR

LOT 1 AND LOT 2 THUNDERHEAD SUBDIVISION

LOCATED IN THE SECTION 22, T6N, R84W, 6TH P.M.;
CITY OF STEAMBOAT SPRINGS, COUNTY OF ROUTT, STATE OF COLORADO

D. Plan Set

City of Steamboat Springs
Planning Department
Approved Plan Set
01/08/2025 kdouglas

PROJECT TEAM:



OWNER
MAJESTIC REALTY CO
C/O LANDMARK CONSULTANTS, INC
141 9TH STREET
STEAMBOAT SPRINGS, CO 80487
(970) 870-9494
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ATTN: LORNE BOURDO

CIVIL ENGINEER
LANDMARK CONSULTANTS, INC.
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ATTN: ERIK GRIEPENTROG, P.E.

BASE MAPPING SURVEYOR
LANDMARK CONSULTANTS, INC.
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STEAMBOAT SPRINGS, CO 80487
(970) 871-9494
ATTN: JEFF GUSTAFSON, P.L.S.

UTILITY CONTACT LIST:

UTILITY COMPANY	CONTACT	PHONE NUMBER
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MT. WERNER WATER	FRANK ALFONE	(970) 879.2424
YAMPA VALLEY ELECTRIC ASSOC.	LARRY BALL	(970) 871.2282
ATMOS ENERGY	NATHAN CAMPBELL	(970) 819.0988
CENTURY LINK	JASON SHARPE	(970) 328.8290
COMCAST	ANDY NEWBY	(303) 547.4584
UTILITY NOTIFICATION CTR. OF CO	N/A	(800) 922.1987

THIS LIST IS PROVIDED AS A COURTESY REFERENCE ONLY. LANDMARK CONSULTANTS, INC. ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THIS LIST. IN NO WAY SHALL THIS LIST RELINQUISH THE CONTRACTOR'S RESPONSIBILITY FOR LOCATING ALL UTILITIES PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITY. PLEASE CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) AT 811 FOR ADDITIONAL INFORMATION.

SHEET INDEX

- C.001 - COVER SHEET
C.003 - DETAILED EXISTING CONDITIONS EXHIBIT
C.004 - OVERALL EXISTING CONDITIONS AND SLOPE EXHIBIT
C.010 - ANTICIPATED EXISTING CONDITIONS EXHIBIT
C.100 - OVERALL SITE PLAN
C.110 - DETAILED SITE PLAN
C.200 - UTILITY PLAN
C.210 - SANITARY SEWER PLAN & PROFILE
C.310 - STORM SEWER RE-ALIGNMENT
C.410 - WEST PROMENADE PLAN & PROFILE
C.710 - EXISTING EASEMENT EXHIBIT
C.711 - PROPOSED EASEMENT EXHIBIT

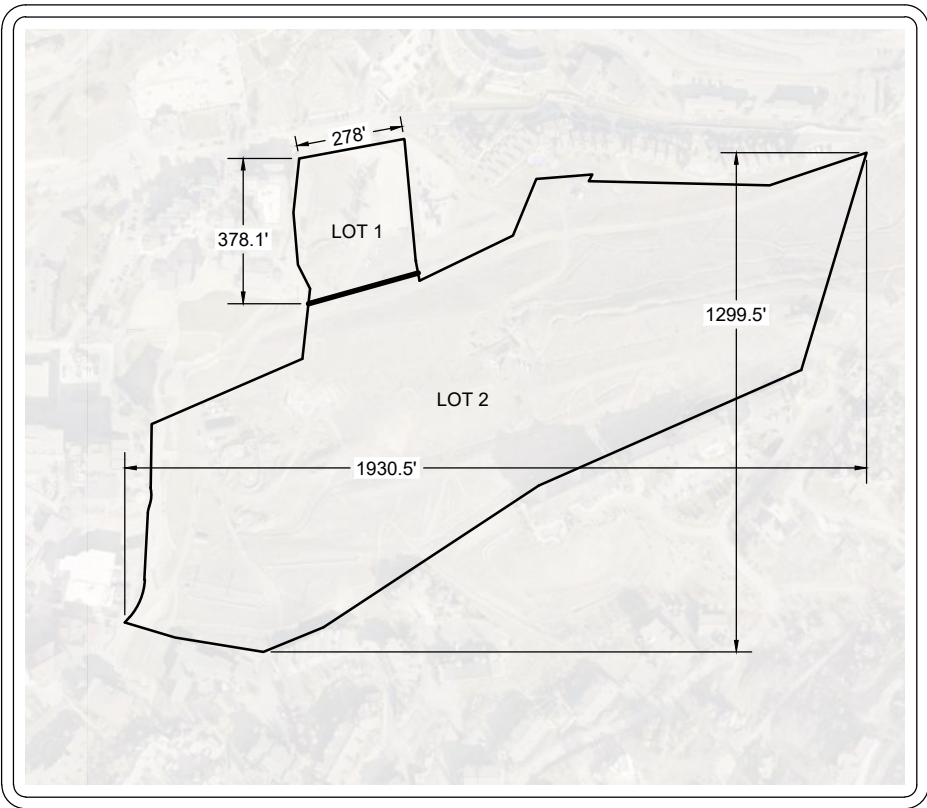
- 1 - DRAFT FINAL PLAT - COVER
2 - DRAFT FINAL PLAT

REFERENCE DRAWINGS*

- L.100.1 SITE ILLUSTRATIVE PLAN - SUMMER
L.101 SITE PLAN
L.201 GRADING PLAN
L.202 SITE PROFILES
LI.100 SITE LIGHTING PHOTOMETRIC
LI.300 BUILDING LIGHTING - CUTSHEETS-1
LI.301 BUILDING LIGHTING - CUTSHEETS-2
LI.302 BUILDING LIGHTING - CUTSHEETS-3

* THESE REFERENCE DRAWINGS ARE INTENDED TO PROVIDE ADDITIONAL CONTEXT INFORMATION FOR THE BURGESS CREEK PROMENADE. THESE SHEETS REFLECT PROPOSED IMPROVEMENTS FROM DEVELOPMENT PLAN (APPLICATION #PL20240125) TO AID IN REVIEW SPECIFIC TO THE BURGESS CREEK PROMENADE.

SUBDIVISION PROJECT SUMMARY TABLE				
PROJECT SUMMARY TABLE				
GROSS SITE AREA		30.4 ACRES		
% OF SITE AREA IN ROW		0%		
NUMBER OF LOTS		2		
STANDARDS	ZONE DISTRICT REQUIREMENTS	PROPOSED	VARIANCE? (YES/NO)	
AVERAGE LOT SIZE (LOT 1, G-2)	NO MIN./NO MAX.	2.5 ACRES	NO	
AVERAGE LOT SIZE (LOT 2, OR)	2,500 SF MIN./NO MAX.	27.9 ACRES	NO	
LOT WIDTH (LOT 1, G-2)	25' MIN./NO MAX.	324.9'	NO	
LOT WIDTH (LOT 2, OR)	25' MIN./NO MAX.	1,930.5'	NO	
LOT LENGTH (LOT 1, G-2)	NO MIN.	427.1	NO	
LOT LENGTH (LOT 2, OR)	NO MIN.	1,299.5	NO	
LOT COVERAGE (LOT 1, G-2)	65% MAX.	N/A	NO	
LOT COVERAGE (LOT 2, OR)	NO MAX.	N/A	NO	
USEABLE LOT AREA (LOT 1, G-2) (SEE SHEET C-110)	1.61 ACRE MIN. (80% G.L.A.)	2.10 ACRE	NO	
USEABLE LOT AREA (LOT 2, OR)	N/A	N/A	NO	
AVERAGE SLOPE (LOT 1, G-2)	N/A	5.00%	NO	
AVERAGE SLOPE (LOT 2, OR)	N/A	N/A	NO	
BLOCK LENGTHS (LOT 1, G-2)	N/A	N/A	NO	
BLOCK LENGTHS (LOT 2, OR)	N/A	N/A	NO	
INDIVIDUAL LOT FRONTAGE (LOT 1, G-2)		278.0	NO	
PROJECT FRONTAGE (LOT 1, G-2)		510.2	NO	



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G-2

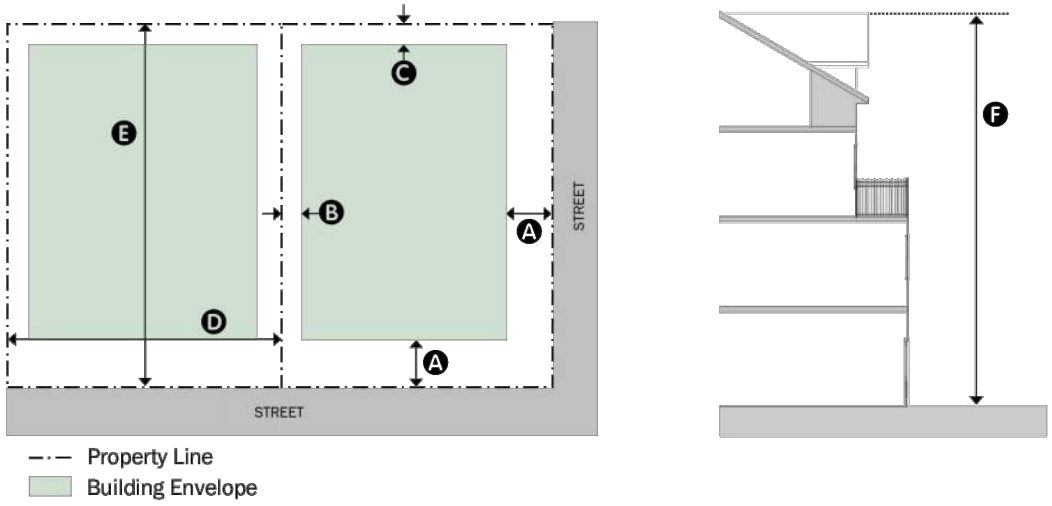
Gondola - Two

§ 216

216 ZONE DISTRICT: GONDOLA - TWO

216.A Purpose
The Gondola zone districts are mixed-use districts intended to provide areas for resort-oriented, high-intensity commercial uses and high-density residential and lodging uses that are complementary to and supportive of the Base Area. These zone districts allow for design flexibility and creativity and emphasize pedestrian-oriented, interconnected development that creates active public spaces with density and intensity increasing closer to the Base Area.

216.B Dimensional Standards (See below.)



Building Placement

Lot Line Setbacks

Front **A**
Per the Mountain Town Sub-Area Plan requirements to provide public gathering spaces and pedestrian corridors.

Side **B**
Per the Mountain Town Sub-Area Plan requirements to provide public gathering spaces and pedestrian corridors.

Rear **C**
Per the Mountain Town Sub-Area Plan requirements to provide public gathering spaces and pedestrian corridors.

Lot Size

Width ¹ 25' min. **D**

Depth ¹ no min. **E**

Area no min. **F**

no max.

Building Form

Building Height ¹

Overall Height ² 105' max. **F**

Other Standards

Building Intensity

Lot Coverage 65% max.

Floor Area Ratio no max.

Density

Dwelling Units per Lot no max.

¹ The above graphics are not intended to illustrate how building height, lot width, or lot depth is measured. Refer to Section 801 for rules of measurement.

² Significant variation in building height, including differences of multiple stories, is required. Refer to Section 440 for Base Area design standards.

OR

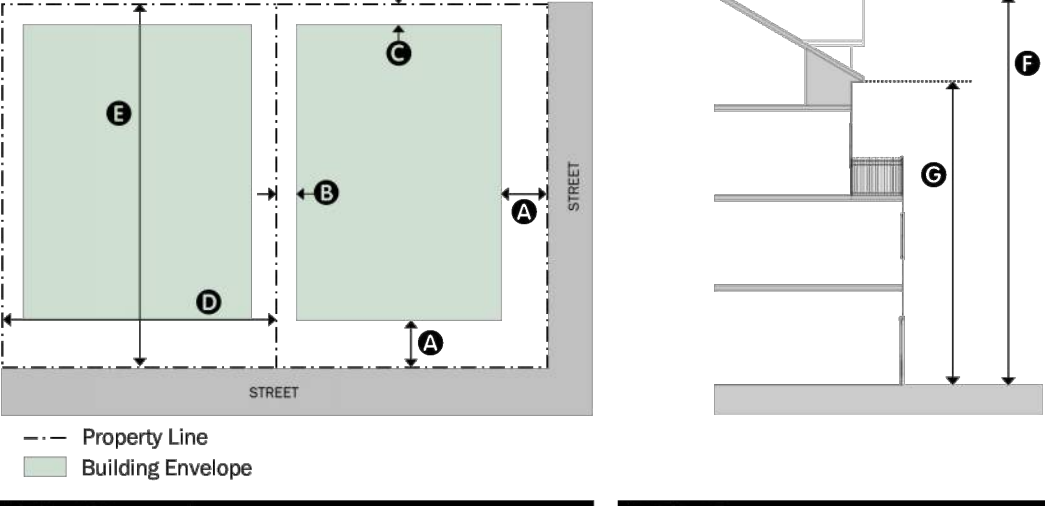
Open Space and Recreation

§ 201

201 ZONE DISTRICT: OPEN SPACE AND RECREATION

201.A Purpose
The Open Space and Recreation zone district is intended to provide areas for public or private recreational uses, open space preservation, and other similar uses. This zone district accommodates recreation uses, such as parks, athletic fields, ski areas, and community gathering spaces, and may also provide for development buffers and protection of environmentally sensitive areas.

201.B Dimensional Standards (See below.)



Building Placement

Lot Line Setbacks

Front **A**
Principal Building 25' min.
Accessory Building 25' min.

Side **B**
Principal Building 25' min.
Accessory Building 15' min.

Rear **C**
Principal Building 20' min.
Accessory Building 15' min.

Lot Size

Width ¹ 25' min. **D**

no max.

Depth ¹ no min. **E**

Area 2,500 sf min. **F**

no max.

Parking Lot Placement

Lot Line Setbacks

Front **A**

<12 Parking Spaces 10' min.

≥12 Parking Spaces 20' min.

Building Form

Building Height ¹

Institutional Uses

Overall Height 44' max. **F**

Average Plate Height 32' max. **G**

Outdoor Recreational Uses

Overall Height 34' max. **F**

Average Plate Height 22' max. **G**

Amenity Structure

Overall Height 20' max. **F**

Average Plate Height 10' max. **G**

Other Standards

Building Intensity

Lot Coverage no max.

Floor Area Ratio no max.

Density

Dwelling Units per Lot no max.

¹ The above graphics are not intended to illustrate how building height, lot width, or lot depth is measured. Refer to Section 801 for rules of measurement.

Preliminary Plat - Thunderhead Beach

Cover Sheet

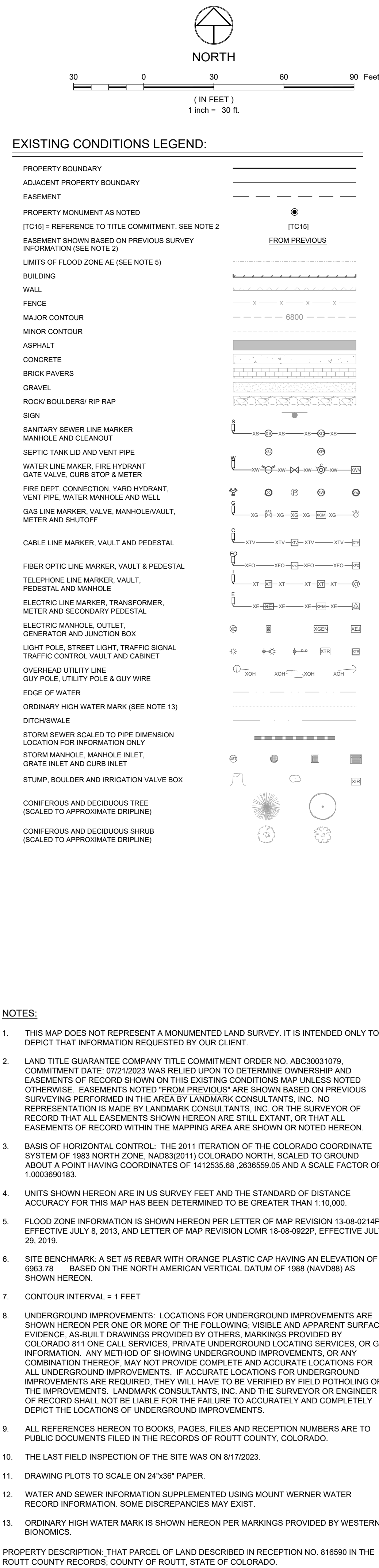
SHEET

C.001

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LANDMARK CONSULTANTS, INC.
CIVIL ENGINEERS | SURVEYORS
141 9th Street - P.O. Box 774943, Steamboat Springs, CO 80477
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[illegible]



*ANTICIPATED EXISTING CONDITIONS EXHIBIT REFLECTS THE FUTURE EXISTING CONDITIONS AS A RESULT OF THE ONGOING SKI TIME SQUARE DRIVE TURNAROUND & COMPLETE STREET IMPROVEMENTS (BY OTHERS). FINAL CONDITIONS MAY DIFFER AND ARE SUBJECT TO CHANGE

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU
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UNDERGROUND MEMBER UTILITIES.

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NO.	DATE:	BY:	DESCRIPTION:
1	7-24-24	EG	DRT Responses and Plan Updates
2	10-4-24	MG	DRT #2 Responses and Plan Updates
3	11-5-24	EG	DRT #3 Minor Edits

Preliminary Plat - Thunderhead Beach

ANTICIPATED EXISTING CONDITIONS EXHIBIT

SHEET

C.010

TRACT H (ABEL PARCEL)
RECEPTION NO. 783986

LOT 2
STATION SUBDIVISION
FILE NO. 14561
RECEPTION NO. 837586

LOT 1
STATION SUBDIVISION
FILE NO. 14561
RECEPTION NO. 837586

KUTUK CONDOMINIUMS
RECEPTION NO. 319118
FILE NO. 9172

STORM MEADOWS DRIVE

ANTILERS AT CHRISTIE BASE
RECEPTION NO. 55687

CHRISTIE CONDOMINIUMS, PHASE II
RECEPTION NO. 573862

CHRISTIE CONDOMINIUM
REC. NO. 48781
FILE NO. 12519

TORIAN PLUM
CONDOMINIUMS PHASE II
REC. NO. 522146
FILE NO. 12026

LOT 1, THUNDERHEAD SUBDIVISION
108,167 SQ. FT.
2.48 ACRES±

PARCEL B
SKI HILL SUBDIVISION
REC. NO. 307130
FILE NO. 8823

TORIAN PLUM
CONDOMINIUMS PHASE I
REC. NO. 333249
FILE NO. 9561

C.110

GREEN HORN
RANCH
REC. NO. 1332258
FILE NO. 14524

CHRISTIE PEAK EXPRESS
(MID-STATION)

SECTION 22, T6N, R64W, 6TH P.M.
SECTION 27, T6N, R64W, 6TH P.M.

WILD BLUE GONDOLA

CHRISTIE PEAK EXPRESS

LOT 2, THUNDERHEAD SUBDIVISION
1,217,373 SQ. FT.
27.95 ACRES±

BEAR CLAW CONDOMINIUM
REC. NO. 237313
FILE NO. 724

BEAR CLAW II CONDOMINIUMS
RECEPTION NO. 802210

EDGEMONT CONDOMINIUM
BUILDING A
REC. NO. 614300

BEAR CLAW III SUBDIVISION
RECEPTION NO. 675272

ELKHORN AT STEAMBOAT
CONDOMINIUMS
REC. NO. 610075

CHATEAU CHAMONIX
CONDOMINIUMS
(BUILDING A)
RECEPTION NO. 348966

PTARMIGAN INN
CONDOMINIUMS
RECEPTION NO. 330605



80 0 80 160 240 Feet
(IN FEET)
1 inch = 80 ft.

SITE PLAN LEGEND:

MAJOR CONTOUR 6800
MINOR CONTOUR
ASPHALT
CONCRETE
GRAVEL
SIGN

CULVERT W/ END SECTIONS
STORM MANHOLE, MANHOLE INLET,
GRATE INLET AND CURB INLET

PROMENADE EASEMENT
OPEN SPACE EASEMENT (*SEE NOTE 6)

NOTES:

- THE MEASURED DISTANCES SHOWN HEREON ARE IN U.S. SURVEY FEET.
- UNDERGROUND IMPROVEMENTS: LOCATIONS FOR UNDERGROUND IMPROVEMENTS ARE SHOWN HEREON PER ONE OR MORE OF THE FOLLOWING: VISIBLE AND APPARENT SURFACE EVIDENCE, AS-BUILT DRAWINGS PROVIDED BY OTHERS, MARKINGS PROVIDED BY COLORADO 811 ONE CALL SERVICES, PRIVATE UNDERGROUND LOCATING SERVICES, OR GIS INFORMATION. ANY METHOD OF SHOWING UNDERGROUND IMPROVEMENTS, OR ANY COMBINATION THEREOF, MAY NOT PROVIDE COMPLETE AND ACCURATE LOCATIONS FOR ALL UNDERGROUND IMPROVEMENTS. IF ACCURATE LOCATIONS FOR UNDERGROUND IMPROVEMENTS ARE REQUIRED, THEY WILL HAVE TO BE VERIFIED BY FIELD POT-HOLING OF THE IMPROVEMENTS. LANDMARK CONSULTANTS, INC. AND THE SURVEYOR OR ENGINEER OF RECORD SHALL NOT BE LIABLE FOR THE FAILURE TO ACCURATELY AND COMPLETELY DEPICT THE LOCATIONS OF UNDERGROUND IMPROVEMENTS.
- ALL REFERENCES HEREON TO BOOKS, PAGES, FILES, PARCEL ID NUMBERS AND RECEPTION NUMBERS ARE TO PUBLIC DOCUMENTS FILED IN THE RECORDS OF ROUTT COUNTY, COLORADO.
- PROJECT BENCHMARK: A SET NO. 5 REBAR W/ ORANGE PLASTIC CAP STAMPED "LANDMARK REF MARK", HAVING AN ELEVATION OF 6963.78' BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AS SHOWN HEREON.
- CONTOUR INTERVAL = 2 FOOT
- THE AREA DESIGNATED OPEN SPACE HEREON IS SUBJECT TO THE USES AND RESTRICTIONS AS DEFINED IN SECTION 602 L OPEN SPACE, PARKS AND AMENITY SPACE IN THE STEAMBOAT SPRINGS COMMUNITY DEVELOPMENT CODE EFFECTIVE JANUARY 1, 2018 (VERSION 6).

ADJACENT AND OFF-SITE IMPROVEMENTS NOTE:
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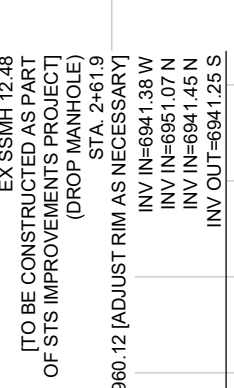
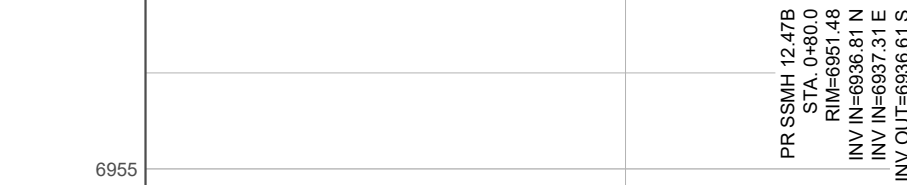
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NO.	DATE	BY	DESCRIPTION
1	7-24-24	EG	DRT Responses and Plan Updates
2	10-4-24	MG	DRT #2 Responses and Plan Updates
3	11-5-24	EG	DRT #3 Minor Edits
PROJECT:	2833-003		
DATE:	3-15-24		
CONTACT:	Erin Gasperding		
EMAIL:	enag@landmark-co.com		

Preliminary Plat - Thunderhead Beach
OVERALL SITE PLAN

SHEET

C.100



PROPOSED SANITARY SEWER W/ MH

EXISTING SANITARY SEWER TO BE REPLACED W/ MH

1. THE TYPE, SIZE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL KNOWN UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE OF ALL UNKNOWN UNDERGROUND UTILITIES IN THE AREA OF THE WORK. BEFORE COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL KNOWN UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UNKNOWN UNDERGROUND UTILITIES.
2. EXISTING UNDERGROUND AND OVERHEAD PUBLIC AND PRIVATE UTILITIES AS SHOWN ARE INDICATED ACCORDING TO THE BEST INFORMATION MADE AVAILABLE TO THE ENGINEER. THE ENGINEER DOES NOT GUARANTEE NOR IS RESPONSIBLE FOR THE ACCURACY OF SUCH INFORMATION. EXISTING UTILITY MAINS AND SERVICES MAY NOT BE STRAIGHT LINES OR AS INDICATED ON THESE DRAWINGS. CONTRACTOR TO VERIFY EXISTING HORIZONTAL AND VERTICAL LOCATIONS PRIOR TO CONSTRUCTION.
3. ALL SEWER CONSTRUCTION SHALL BE PER MOUNT WERNER WATER STANDARD SPECIFICATIONS LATEST EDITION.
4. MAINTAIN 1' HORIZONTAL AND 18" VERTICAL MINIMUM SEPARATION BETWEEN ALL SANITARY SEWER MAINS, WATER MAINS & SERVICES.
5. MANHOLES LOCATED OUTSIDE OF THE ROADWAY SHALL PROTRUDE 1' ABOVE EXISTING GRADE TO REDUCE INFILTRATION. GRADE SURFACE TO DRAIN AROUND/ABOUT FROM MANHOLE RISER.
6. ALL MANHOLES LOCATED IN THE ROADWAY SHALL HAVE RIM ELEVATIONS ADJUSTED TO BE BELOW FINISHED GRADE. IF NECESSARY, CONE SECTIONS SHALL BE ROTATED TO PREVENT LIDS BEING LOCATED WITHIN VEHICLE OR BICYCLE WHEEL PATHS.
7. SEWER SERVICE SHALL HAVE A MINIMUM OF 4'-FT OF COVER.
8. WATER SERVICE SHALL HAVE A MINIMUM OF 7'-FT OF COVER.
9. ALL WATER PIPE SHALL BE INSTALLED WITH A #10 SOLID COPPER WIRE COATED WITH 45 MIL POLYETHYLENE FOR LOCATING PURPOSES. "GLENN TEST FIRES" BY VALVICO INC TRACER WIRE TEST STATIONS SHALL BE INSTALLED ADJACENT TO ALL FIRE HYDRANTS. ADDITIONAL LOCATIONS MAY BE REQUIRED.
10. ALL MATERIALS USED FOR BACKFILL SHALL BE FREE FROM REFUSE ORGANIC MATERIAL, COBBLES, BOULDERS, LARGE ROCKS OR STONES OR FROZEN SOLIDS GREATER THAN 6-INCHES IN DIAMETER.
11. BEDDING AND SHOULDER MATERIALS SHALL ONLY BE 3/4-INCH WASHED OR SCREENED ROCK, 3/4" MINUS, SQUEEZE OR REJECT SAND, OR CLASS 4 AGGREGATE BASE COURSE IS NOT ALLOWED.
12. EXISTING DRY UTILITY RELOCATIONS, ABANDONMENTS AND INSTALLATION TO BE COORDINATED DIRECTLY WITH THE UTILITY PROVIDER.

ADJACENT AND OFF-SITE IMPROVEMENTS NOTE:

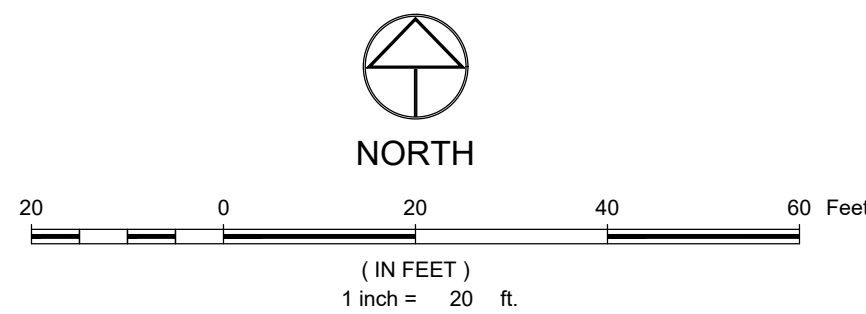
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PROJECT:	2633-003	NO.	DATE:	BY:	DESCRIPTION:
DATE:	3-15-24	1	7-24-24	EG	DRT Responses and Plan Updates
CONTACT:	Erik Gierling eng@lindmarkco.com	2	10-4-24	MG	DRT #2 Responses and Plan Updates
EMAIL:		3	11-5-24	EG	DRT #3 Minor Edits

Preliminary Plat - Thunderhead Beach SANITARY SEWER REPLACEMENT PLAN & PROFILE

SHEET

C.210



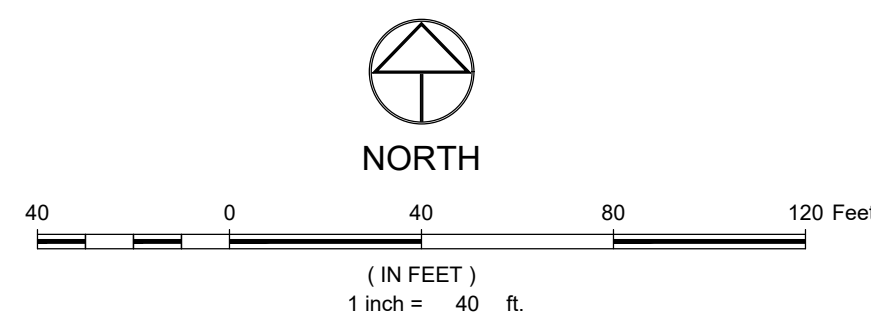
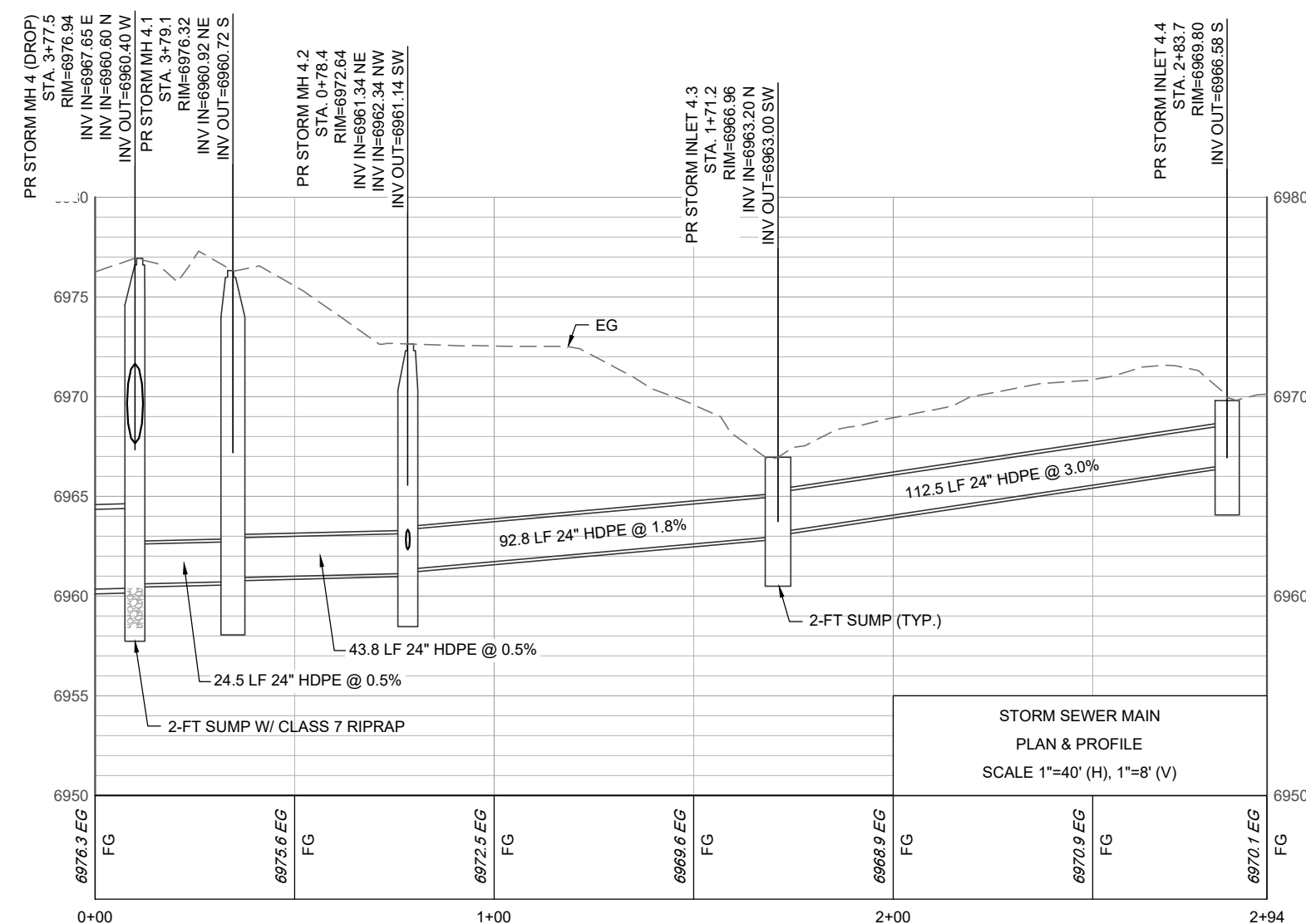
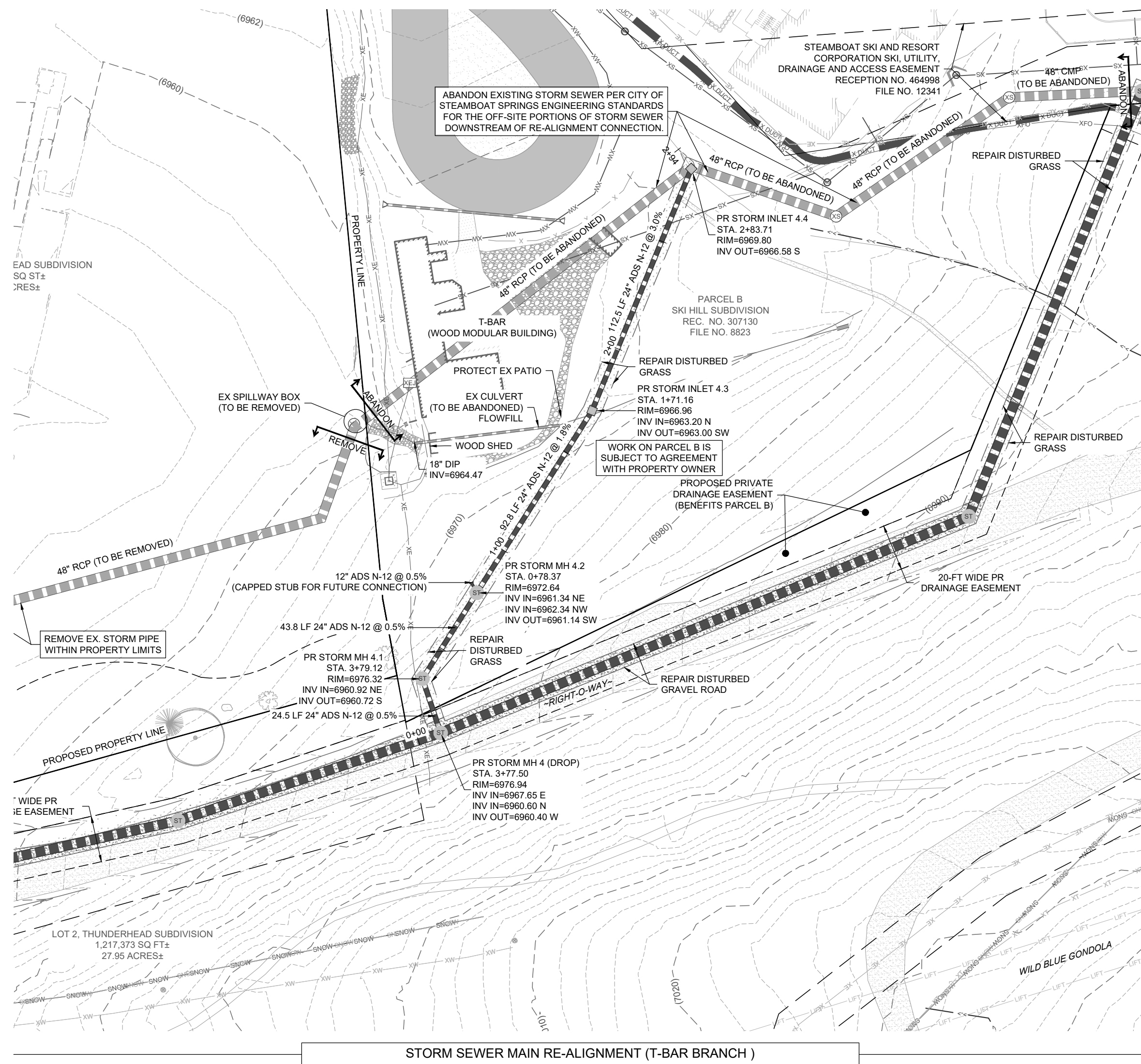
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DRAWING FILENAME: Y:\2603-003\DWG\Production Drawings\PE2603-003-C-210-Summary Server Profile.dwg LAYOUT NAME: C-210 DATE: Nov 05, 2004 - 5:44pm CAD OPERATOR: ent
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GRADING PLAN LEGEND:

PROPERTY BOUNDARY

HIGHWATER MARK

FEMA FLOODWAY

EDGE OF WATER

WATER BODY SETBACK

PROPOSED STORM SEWER W/ FLARED END SECTION

PROPOSED STORM INLET (CURB & AREA)

PROPOSED STORM MANHOLE & CLEANOUT

EXISTING MAJOR CONTOUR

EXISTING MINOR CONTOUR

PROPOSED MAJOR CONTOUR

PROPOSED MINOR CONTOUR

PROPOSED SWALE

FLOOD HAZARD LIMITS

SPOT ELEVATION

PROPOSED OVERLAND FLOW DIRECTION W/ SLOPE

FLOW CONVEYANCE DIRECTION

2.0%

ADJACENT AND OFF-SITE IMPROVEMENTS NOTE

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THE IMPROVEMENTS SHOWN WITHIN THE SKI TIME SQUARE DRIVE RIGHT-OF-WAY REFLECT THE PROPOSED WORK DESCRIBED IN THE SKI TIME SQUARE DRIVE TURNAROUND & COMPLETE STREET IMPROVEMENTS (BY OTHERS). FINAL CONDITIONS MAY DIFFER AND ARE SUBJECT TO CHANGE.

NOTES:

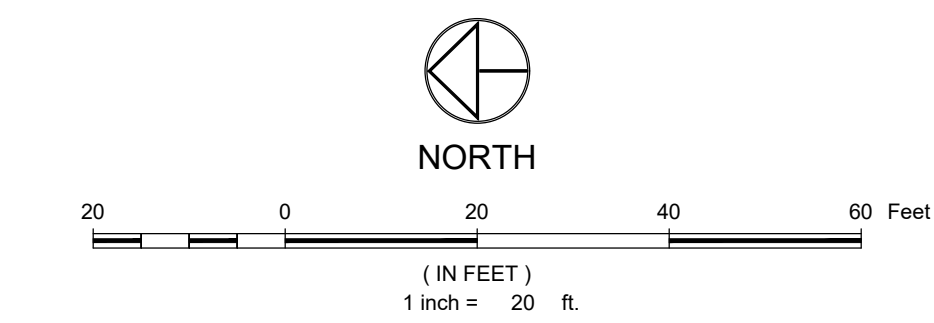
1. THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO OBTAIN POSITIVE EVIDENCE OF THE LOCATION AND DEPTH OF ALL UTILITIES IN THE AREA OF THE PROJECT COMMENCING NEW CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL KNOWN UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UNKNOWN UNDERGROUND UTILITIES.
2. PROJECT BENCHMARK: RECOVERED NO.5 REBAR W/ YELLOW PLASTIC CAP STAMPED "13 3221" 1" BELOW GRADE, NAVD83 ELEV = 6784.29
3. ELEVATIONS FOR IMPROVEMENTS THAT ARE CONTROLLED BY ADJACENT EXISTING FACILITIES (SUCH AS PROPOSED UTILITY STRUCTURES, EXISTING ASPHALT) MAY REQUIRE ADJUSTMENT BASED ON LOCAL CONDITIONS TO MAINTAIN ADEQUATE SLOPES TO ENSURE A CONSISTENT SLOPE WITH SMOOTH TRANSITIONS WHERE NECESSARY.
4. SEE SOIL REPORT FOR PAVEMENT, SUBGRADE AND MATERIAL PREPARATION, DESIGN AND RECOMMENDATIONS.
5. ALL CURB SLOPS SHOWN ARE FLOWING ELEVATIONS, UNLESS NOTED OTHERWISE. ALL OTHER SLOPS ARE FINISHED GRADE ELEVATIONS.



**REVIEW
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PROJECT:	2633-003
DATE:	3-15-24
CONTACT:	Erik Griepentrog
EMAIL:	erikg@landmark-co.com



PROPERTY BOUNDARY

PR. PROMENADE EAESMENTS

FEMA FLOODWAY

EDGE OF WATER

WATER BODY SETBACK

PROPOSED SANITARY SEWER W/ MH

PROPOSED STORM SEWER W/ FLARED END SECTION

PROPOSED STORM INLETS AND MH

EXISTING MAJOR CONTOUR

EXISTING MINOR CONTOUR

PROPOSED MAJOR CONTOUR

PROPOSED MINOR CONTOUR

SPOT ELEVATION

PROPOSED OVERLAND FLOW DIRECTION W/ SLOPE

FLOW CONVEYANCE DIRECTION

PROMENADE PAVERS (PED ZONE <- -> TRAFFIC ZONE)

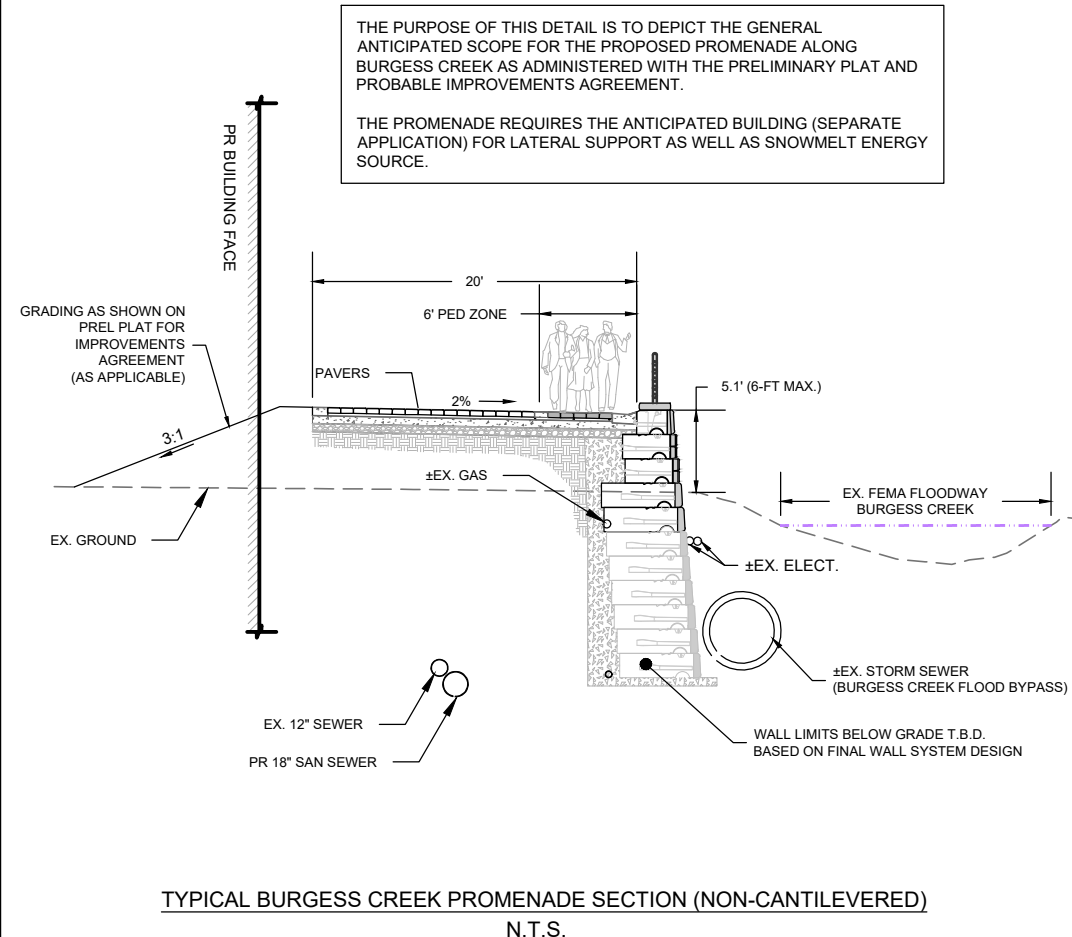
ASPHALT PAVEMENT

CONCRETE PAVEMENT

The diagram illustrates a proposed sanitary sewer system layout. It includes a property boundary, promenade easements, FEMA floodway, edge of water, and water body setback. The proposed sanitary sewer with manhole (MH) is shown, along with the proposed storm sewer with a flared end section and storm inlets and manholes. Existing major and minor contours are indicated, as are the proposed major and minor contours. A spot elevation of 6790.50 is shown. The proposed overland flow direction with a 2.0% slope and the flow conveyance direction are also indicated. The promenade pavers (ped zone <- -> traffic zone) are shown, along with the asphalt pavement and concrete pavement areas.

1. THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. IF THE DEVELOPER IS UNABLE TO LOCATE ANY UTILITIES COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL KNOWN UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR FILLING ANY UNKNOWN UNDERGROUND UTILITIES.
2. PROJECT BENCHMARK: RECOVERED NO. 5 REBAR W/ YELLOW PLASTIC CAP STAMPED "LS 13221" ± 0.1' BELOW GRAD, NAVD83 ELEV. = 6794.29
3. ELEVATIONS FOR IMPROVEMENTS THAT ARE CONTROLLED BY ADJACENT EXISTING SECTIONS SHALL BE USED. IF THE EXISTING SECTIONS ARE UNRELIABLE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY DATA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL ELEVATIONS ON ACTUAL CONDITIONS. COORDINATE WITH ENGINEER TO ENSURE A CONSISTENT SECTION WITH SMOOTH TRANSITIONS WHERE NECESSARY.
4. SEE SOIL SPOOTS FOR PAVEMENT, SUBGRADE AND MATERIAL PREPARATION, DESIGN AND CONSTRUCTION METHODS.
5. ALL CURB SPOTS SHOWN ARE FLOWLINE ELEVATIONS, UNLESS NOTED OTHERWISE. ALL OTHER SPOTS ARE FINISHED GRADE ELEVATIONS.

THERE ARE IMPROVEMENTS SHOWN THAT EXTEND BEYOND THE PROPERTY LIMITS OF THIS APPLICATION. EASEMENTS AND/OR AGREEMENTS WILL BE REQUIRED TO CONSTRUCT, OPERATE AND MAINTAIN SUCH IMPROVEMENTS. CHANGES MAY BE REQUIRED BASED ON THE FINAL TERMS AND CONDITIONS. NOTIFY LANDMARK OF ANY AND ALL REQUIREMENTS NECESSARY FOR DESIGN AND CONSTRUCTION OF THE SCOPE OF WORK.



Know what's below.
Call before you dig.
2 BUSINESS DAYS IN ADVANCE BEFORE
GRADE, OR EXCAVATE FOR THE MAR
UNDERGROUND MEMBER UTILITIES

PROJECT:	NO.	DATE:	BY:	DESCRIPTION:
2033-009	1	7-25-24	EG	DRT Response and Plan Updates
3-16-24	2	10-2-24	MG	DRT R2 Response and Plan Updates
	3	11-2-24	EG	DRT R3 Minor Edits
CONTACT:				
EMAIL:				

DRAWING FILENAME: Y:\2633-003\DWG\CAProduction Drawings\PI\2633-003-CA-10-Roadway Plan & Profile.dwg LAYOUT NAME: C-10 DATE: Nov 06, 2024 - 5:45pm CAD OPERATOR: erik

THUNDERHEAD SUBDIVISION

LOCATED IN THE SW1/4 SECTION 22 AND IN THE NW1/4 SECTION 27,
TOWNSHIP 6 NORTH, RANGE 84 WEST, 6TH P.M.;
CITY OF STEAMBOAT SPRINGS, COUNTY OF ROUTT, STATE OF COLORADO
CONTAINING A CALCULATED AREA OF 30.43 ACRES

CERTIFICATE OF OWNERSHIP AND DEDICATION

KNOW ALL MEN BY THESE PRESENTS: THAT ALTERRA MTN CO REAL ESTATE DEVELOPMENT INC., A DELAWARE CORPORATION, BEING THE OWNER OF THAT PARCEL OF LAND LOCATED IN THE SW1/4 SECTION 22, TOWNSHIP 6 NORTH, RANGE 84 WEST OF THE 6TH PRINCIPAL MERIDIAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SECTION 22, TOWNSHIP 6 NORTH, RANGE 84 WEST OF THE 6TH PRINCIPAL MERIDIAN, WHENCE THE NORTHWEST CORNER OF SECTION 22 BEARS N01°00'10"E, 5159.25 FEET WITH ALL BEARINGS CONTAINED HEREIN BEING RELATIVE THERE TO;
THENCE N68°29'22"E, 1172.73 FEET TO THE NORTHEAST CORNER OF TORIAN PLUM CONDOMINIUMS, PHASE I BEING RECORDED FEBRUARY 16, 1984 AT FILE NO. 9561 AND AT RECEPTION NO. 333249 AND PHASE II BEING RECORDED JANUARY 12, 2000 AT RECEPTION NO. 522146 OF ROUTT COUNTY RECORDS, ALSO BEING A POINT ON THE NORTHERLY BOUNDARY OF THAT PORTION OF MT. WERNER ROAD BEING VACATED BY ORDINANCE NO. 730, AND BEING ON THE SOUTHERLY RIGHT OF WAY OF SKI TIME SQUARE DRIVE, FORMERLY KNOWN AS MT. WERNER ROAD, SAID POINT BEING THE POINT OF BEGINNING;
THENCE ALONG SAID SOUTHERLY RIGHT OF WAY, ALSO BEING SAID NORTHERLY BOUNDARY OF THAT PORTION OF VACATED MT. WERNER ROAD N79°37'35"E, 278.11 FEET TO THE NORTHWEST CORNER OF PARCEL B, SKI HILL SUBDIVISION AS RECORDED APRIL 24, 1981 AT FILE NO. 8823 AND AT RECEPTION NO. 307130 OF ROUTT COUNTY RECORDS; THENCE ALONG THE WESTERLY BOUNDARY OF SAID PARCEL B S10°45'35"E, 1.43 FEET TO A POINT ON THE SOUTHERLY BOUNDARY OF THAT PORTION OF SAID VACATED MT. WERNER ROAD; THENCE CONTINUING ALONG SAID WESTERLY BOUNDARY S05°17'37"E, 316.11 FEET TO A POINT ON THE NORTHERLY BOUNDARY OF PARCEL D OF SAID SKI HILL SUBDIVISION; THENCE ALONG SAID NORTHERLY BOUNDARY S75°06'56"W, 284.89 FEET TO A POINT ON THE EASTERLY BOUNDARY OF SAID TORIAN PLUM CONDOMINIUMS; THENCE ALONG SAID EASTERLY BOUNDARY THE FOLLOWING FOUR (4) COURSES:
1) N26°37'57"W, 69.43 FEET;
2) THENCE N05°01'24"W, 136.73 FEET;
3) THENCE N06°21'03"E, 140.33 FEET TO A POINT ON THE SOUTHERLY BOUNDARY OF THAT PORTION OF SAID VACATED MT. WERNER ROAD;
4) THENCE N10°39'54"W, 1.52 FEET TO THE POINT OF BEGINNING, COUNTY OF ROUTT, STATE OF COLORADO.

FORMERLY KNOWN AS:

TRACT D (THUNDERHEAD PARKING LOT)

A TRACT OF LAND IN THE SW1/4 OF SECTION 22, TOWNSHIP 6 NORTH, RANGE 84 WEST OF THE 6TH P.M., BOUNDED BY A LINE DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT FROM WHICH THE SW CORNER OF SECTION 22 BEARS S 60°56'22" W, 1282.94 FEET;
THENCE N80°07'00"E, 160.00 FEET;
THENCE S04°52'00"E, 316.11 FEET;
THENCE N27°42'00"W, 75.00 FEET;
THENCE S75°29'39"W, 85.00 FEET;
THENCE N01°51'25"E, 169.21 FEET;
THENCE N44°41'55"W, 103.10 FEET TO THE POINT OF BEGINNING.

AND

TRACT D-1 (VACATED MT. WERNER ROAD TO THUNDERHEAD PARKING LOT)

A TRACT OF LAND LOCATED IN THAT PORTION OF VACATED MT. WERNER ROAD VACATED BY ORDINANCE NO. 730, RECORDED APRIL 23, 1981 IN BOOK 532 AT PAGE 636 UNDER RECEPTION NO. 307080, AND RE-RECORDED APRIL 24, 1981 IN BOOK 532 AT PAGE 670 UNDER RECEPTION NO. 307100 IN THE RECORDS OF ROUTT COUNTY, COLORADO, LOCATED IN THE SW1/4 OF THE SW1/4 OF SECTION 22, TOWNSHIP 6 NORTH, RANGE 84 WEST OF THE 6TH PRINCIPAL MERIDIAN IN THE CITY OF STEAMBOAT SPRINGS, COUNTY OF ROUTT, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BASIS OF BEARINGS: THE WEST LINE OF THE NW1/4 OF SECTION 27, TOWNSHIP 6 NORTH, RANGE 84 WEST OF THE 6TH P.M., BEING MONUMENTED ON THE SOUTH END BY A 3 1/4" BRASS CAP SET AT A 40 FEET OFFSET TO THE NORTH, STAMPED "LS 13221" AN ON THE NORTH END BY A 2" IRON POST WITH A 3" BRASS CAP STAMPED "LS 12093", AND BEING ASSUMED TO BEAR S01°47'53"W.

COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 22, THENCE N60°26'57"E, 1282.94 FEET TO THE NORTHWESTERLY CORNER OF THAT TRACT OF LAND DESCRIBED IN DEED RECORDED IN BOOK 427 AT PAGE 3 OF THE RECORDS OF ROUTT COUNTY, COLORADO, SAID CORNER BEING A POINT ON THE SOUTHERLY BOUNDARY OF THAT PORTION OF MT. WERNER ROAD VACATED BY SAID ORDINANCE NO. 730, SAID POINT BEING THE TRUE POINT OF BEGINNING;
THENCE N10°22'25"W, 1.42 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF SKI TIME SQUARE DRIVE, FORMERLY KNOWN AS MT. WERNER ROAD, SAID POINT BEING ON THE NORTHERLY BOUNDARY OF THAT PORTION OF MT. WERNER ROAD VACATED BY SAID ORDINANCE NO. 730; THENCE N79°37'35"E, 160.00 FEET ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE OF SKI TIME SQUARE DRIVE, FORMERLY KNOWN AS MT. WERNER ROAD, AND ALONG THE NORTHERLY BOUNDARY OF THAT PORTION OF MT. WERNER ROAD VACATED BY SAID ORDINANCE NO. 730 TO THE NORTHWESTERLY CORNER OF PARCEL B SKI HILL SUBDIVISION AS RECORDED IN FILE NO. 8823 IN THE RECORDS OF ROUTT COUNTY, COLORADO, THENCE S10°22'25"E, 1.42 FEET ALONG THE WESTERLY BOUNDARY OF SAID PARCEL B, SKI HILL SUBDIVISION TO A POINT ON THE SOUTHERLY BOUNDARY OF THAT PORTION OF MT. WERNER ROAD VACATED BY SAID ORDINANCE NO. 730, SAID POINT BEING THE NORTHEASTERLY CORNER OF THAT TRACT OF LAND DESCRIBED IN SAID BOOK 427 AT PAGE 3; THENCE S79°37'35"W, 160.00 FEET ALONG THE SOUTHERLY BOUNDARY OF THAT PORTION MT. WERNER ROAD VACATED BY SAID ORDINANCE NO. 730, AND ALONG THE NORTHERLY BOUNDARY OF THAT TRACT OF LAND DESCRIBED IN INSTRUMENT RECORDED DECEMBER 14, 1976 IN BOOK 427 AT PAGE 3 TO THE TRUE POINT OF BEGINNING.

AND

TRACT E (THUNDERHEAD CONDOMINIUMS)

CONDOMINIUM UNIT NOS. 1 THROUGH AND INCLUDING 75, INN AT THUNDERHEAD CONDOMINIUMS, ACCORDING TO THE RECORDED LOCATING MAPS RECORDED FEBRUARY 14, 1974 AT FILE NO. 7652, AND AS DESCRIBED IN THE CONDOMINIUM DECLARATION THEREOF RECORDED DECEMBER 31, 1975 IN BOOK 412 AT PAGE 387, AS AMENDED BY INSTRUMENT RECORDED MAY 30, 1978 IN BOOK 452 AT PAGE 410, AND ASSIGNMENT RECORDED MAY 30, 1978 IN BOOK 452 AT PAGE 408, AND THE INSTRUMENT RECORDED FEBRUARY 13, 1991 IN BOOK 661 AT PAGE 343, SUBJECT TO THE TERMS, PROVISIONS AND OBLIGATIONS OF SAID CONDOMINIUM DECLARATION

AND

TRACT F (THUNDERHEAD LODGE)

A TRACT OF LAND IN THE SW1/4SW1/4 OF SECTION 22, TOWNSHIP 6 NORTH, RANGE 84 WEST OF THE 6TH P.M., BOUNDED BY A LINE DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTH ROW LINE OF MT. WERNER ROAD, FROM WHICH POINT THE SW CORNER OF SAID SECTION 22 BEARS S60°56'22"W, 1282.94 FEET;
THENCE S44°41'55"E, 103.10 FEET;
THENCE S01°51'25"W, 99.99 FEET;
THENCE S29°51'09"W, 92.90 FEET;
THENCE S75°29'39"W, 84.89 FEET;
THENCE N04°32'12"W, 132.26 FEET;
THENCE N06°54'56"E, 140.41 FEET TO THE SAID SOUTH ROW LINE OF MT. WERNER ROAD;
THENCE N80°07'00"E ALONG SAID SOUTH ROW LINE 118.00 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.

AND

TRACT F-1 (VACATED MT. WERNER TO THUNDERHEAD LODGE)

A TRACT OF LAND LOCATED IN THAT PORTION OF VACATED MT. WERNER ROAD VACATED BY ORDINANCE NO. 730, RECORDED APRIL 23, 1981 IN BOOK 532 AT PAGE 636, UNDER RECEPTION NO. 307080 AND RE-RECORDED APRIL 24, 1981 IN BOOK 532 AT PAGE 670 UNDER RECEPTION NO. 307100 IN THE RECORDS OF ROUTT COUNTY, COLORADO, LOCATED IN THE SW1/4 OF THE SW1/4 OF SECTION 22, TOWNSHIP 6 NORTH, RANGE 84 WEST OF THE 6TH PRINCIPAL MERIDIAN IN THE CITY OF STEAMBOAT SPRINGS, COUNTY OF ROUTT, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BASIS OF BEARINGS: THE WEST LINE OF THE NW1/4 OF SECTION 27, TOWNSHIP 6 NORTH, RANGE 84 WEST OF THE 6TH P.M., BEING MONUMENTED ON THE SOUTH END BY A 3 1/4" BRASS CAP SET AT A 40 FOOT OFFSET TO THE NORTH, STAMPED "LS 13221" AND ON THE NORTH END BY A 2" IRON POST WITH A 3" BRASS CAP STAMPED "LS 12093", AND BEING ASSUMED TO BEAR S 01°47'53" W.

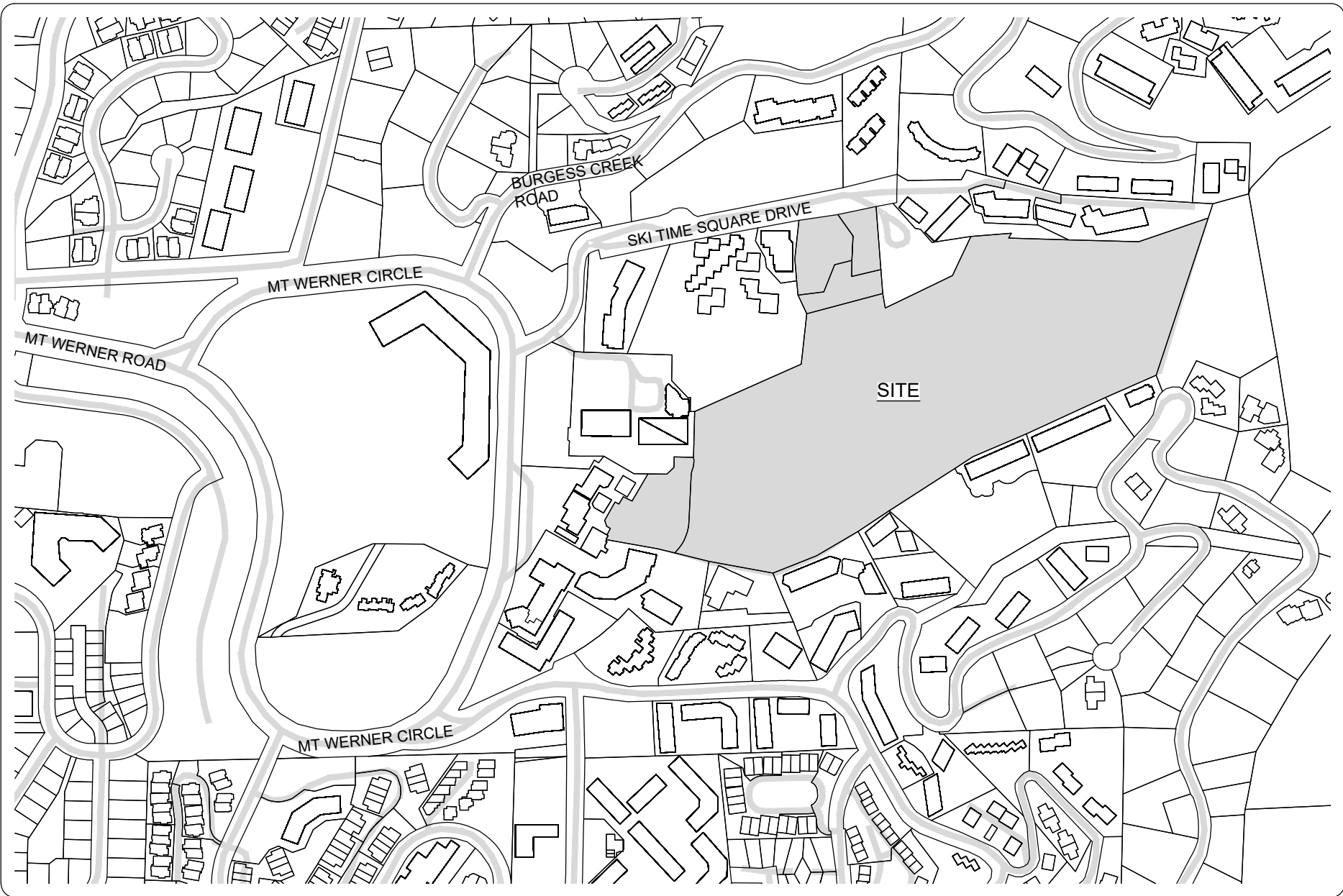
COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 22;
THENCE N68°33'15"E, 1172.12 FEET TO THE NORTHWESTERLY CORNER OF THAT TRACT OF LAND DESCRIBED IN DEED RECORDED JULY 31, 1975 IN BOOK 407 AT PAGE 420, OF THE RECORDS OF ROUTT COUNTY, COLORADO, SAID CORNER BEING A CORNER ON THE EASTERLY BOUNDARY OF TORIAN PLUM CONDOMINIUMS, PHASE II AS RECORDED IN FILE NO. 12826 IN THE RECORDS OF ROUTT COUNTY, COLORADO, SAID CORNER BEING A POINT ON THE SOUTHERLY BOUNDARY OF THAT PORTION OF MT. WERNER ROAD VACATED BY SAID ORDINANCE NO. 730, SAID POINT BEING THE TRUE POINT OF BEGINNING;
THENCE N10°22'25"W, 1.42 FEET ALONG THE EASTERLY BOUNDARY OF SAID TORIAN PLUM CONDOMINIUMS, PHASE II, TO THE NORTHEASTERLY CORNER OF SAID TORIAN PLUM CONDOMINIUMS, PHASE II, SAID CORNER BEING A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF SKI TIME SQUARE DRIVE, FORMERLY KNOWN AS MT. WERNER ROAD, SAID POINT BEING ON THE NORTHERLY BOUNDARY OF THAT PORTION OF MT. WERNER ROAD VACATED BY SAID ORDINANCE NO. 730; THENCE N79°37'35"E, 118.00 FEET ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF SAID SKI TIME SQUARE DRIVE, FORMERLY KNOWN AS MT. WERNER ROAD, AND ALONG THE NORTHERLY BOUNDARY OF THAT PORTION OF MT. WERNER ROAD VACATED BY SAID ORDINANCE NO. 730; THENCE S10°22'25"E, 1.42 FEET TO A POINT ON THE SOUTHERLY BOUNDARY OF THAT PORTION OF MT. WERNER ROAD VACATED BY SAID ORDINANCE NO. 730, SAID POINT BEING THE NORTHEASTERLY CORNER OF THAT TRACT OF LAND DESCRIBED IN SAID BOOK 407 AT PAGE 420; THENCE S79°37'35"W, 118.00 FEET ALONG THE SOUTHERLY BOUNDARY OF THAT PORTION OF MT. WERNER ROAD VACATED BY SAID ORDINANCE NO. 730, AND ALONG THE NORTHERLY BOUNDARY OF THAT TRACT OF LAND DESCRIBED IN SAID BOOK 407 AT PAGE 420 TO THE TRUE POINT OF BEGINNING.

AND STEAMBOAT SKI & RESORT CORPORATION, A DELAWARE CORPORATION, BEING THE OWNER OF THAT PARCEL OF LAND LOCATED IN THE SW1/4 SECTION 22 AND IN THE NW1/4 SECTION 27, TOWNSHIP 6 NORTH, RANGE 84 WEST OF THE 6TH PRINCIPAL MERIDIAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

LOT 2, SKI HILL SUBDIVISION, REPLAT OF PARCEL D, AS RECORDED UNDER RECEPTION NO. 817319 AND IN FILE NO. 14469 OF THE RECORDS OF ROUTT COUNTY, COLORADO.

COUNTY OF ROUTT, STATE OF COLORADO

CONTAINING A CALCULATED AREA OF 30.43 ACRES; IN THE CITY OF STEAMBOAT SPRINGS, COUNTY OF ROUTT, STATE OF COLORADO, UNDER THE NAME AND STYLE OF THUNDERHEAD SUBDIVISION HAVE LAID OUT, PLATTED AND SUBDIVIDED SAME AS SHOWN ON THIS PLAT. FURTHER, ALTERRA MTN CO REAL ESTATE DEVELOPMENT INC DOES HEREBY DEDICATE TO THE MOUNT WERNER WATER AND SANITATION DISTRICT, A COLORADO SPECIAL DISTRICT, THE PERPETUAL AND NON-EXCLUSIVE SANITARY SEWER EASEMENT FOR THE INSTALLATION, MAINTENANCE, REPAIR, AND REPLACEMENT OF SEWAGE COLLECTION LINES AND APPURTENANCES, AND FOR ACCESS OF PERSONS, VEHICLES, AND EQUIPMENT THERE TO FOR SUCH PURPOSES



VICINITY MAP

SCALE = 1" = 500'

CERTIFICATE OF OWNERSHIP AND DEDICATION (CONTINUED)

IN WITNESS WHEREOF, SAID ALTERRA MTN CO REAL ESTATE DEVELOPMENT INC., A DELAWARE CORPORATION HAS CAUSED ITS NAME TO BE HEREUNTO SUBSCRIBED THIS ____ DAY OF _____, A.D. 2024.

BY _____ AS _____ OF ALTERRA MTN CO REAL ESTATE DEVELOPMENT INC., A DELAWARE CORPORATION
STATE OF COLORADO))
COUNTY OF ROUTT) SS.

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS ____ DAY OF _____, A.D. 2024 BY _____ AS _____ OF ALTERRA MTN CO REAL ESTATE DEVELOPMENT INC., A DELAWARE CORPORATION

MY COMMISSION EXPIRES _____

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC

IN WITNESS WHEREOF, SAID STEAMBOAT SKI & RESORT CORPORATION, A DELAWARE CORPORATION HAS CAUSED ITS NAME TO BE HEREUNTO SUBSCRIBED THIS ____ DAY OF _____, A.D. 2024.

BY _____ AS _____ OF STEAMBOAT SKI & RESORT CORPORATION, A DELAWARE CORPORATION
STATE OF COLORADO))
COUNTY OF ROUTT) SS.

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS ____ DAY OF _____, A.D. 2024 BY _____ AS _____ OF STEAMBOAT SKI & RESORT CORPORATION, A DELAWARE CORPORATION

MY COMMISSION EXPIRES _____

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC

NOTES:

- BASIS OF BEARINGS: THE WEST LINE OF THE NW1/4 SECTION 27, T6N, R84W, 6TH P.M., BEING MONUMENTED AS SHOWN HEREON AND BEING ASSUMED TO BEAR S01°46'00"W.
- THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY LANDMARK CONSULTANTS, INC. TO DETERMINE TITLE OR EASEMENTS OF RECORD. TITLE COMMITMENT NO. _____, EFFECTIVE DATE: _____, 2023, AT ____ M. PREPARED BY _____ TITLE COMPANY WAS RELIED UPON FOR ALL INFORMATION REGARDING EASEMENTS OF RECORD, RIGHTS-OF-WAY AND TITLE OF RECORD.
- ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND MONUMENT OR ACCESSORY, COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO C.R.S. 18-4-508.
- ALL REFERENCES HEREON TO BOOKS, PAGES, FILES AND RECEPTION NUMBERS ARE TO PUBLIC DOCUMENTS FILED IN THE RECORDS OF ROUTT COUNTY, COLORADO.
- THUNDERHEAD SUBDIVISION IS SUBJECT TO ALL UNDERLYING GOVERNING DOCUMENTS AND EASEMENTS FOR SKI HILL SUBDIVISION, REPLAT OF PARCEL D AS RECORDED UNDER RECEPTION NO. 817319 AND IN FILE NO. 14469 IN THE ROUTT COUNTY RECORDS.
- THE MEASURED DISTANCES SHOWN HEREON ARE IN U.S. SURVEY FEET.
- THE AREA DESIGNATED OPEN SPACE HEREON IS SUBJECT TO THE USES AND RESTRICTIONS AS DEFINED IN SECTION 602.L OPEN SPACE, PARKS AND AMENITY SPACE IN THE STEAMBOAT SPRINGS COMMUNITY DEVELOPMENT CODE EFFECTIVE JANUARY 1, 2018 (VERSION 6).
- LOT 2, THUNDERHEAD SUBDIVISION, HAS ACCESS TO PUBLIC RIGHT-OF-WAY VIA THAT EASEMENT DESCRIBED IN BOOK 583 AT PAGE 238.

SURVEYOR'S CERTIFICATE

I, JEFFERY A. GUSTAFSON, BEING A DULY LICENSED LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS FINAL PLAT OF THUNDERHEAD SUBDIVISION WAS MADE BY ME OR UNDER MY DIRECT RESPONSIBILITY, SUPERVISION AND CHECKING IN ACCORDANCE WITH C.R.S. 38-51-101 ET SEQ. AND IS ACCURATE TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.

DATED THIS ____ DAY OF _____, A.D., 2024

JEFFERY A. GUSTAFSON, LICENSED LAND SURVEYOR
COLORADO L.S. NO. 29039
FOR AND ON BEHALF OF LANDMARK CONSULTANTS, INC.

ATTORNEY'S CERTIFICATE

I, _____, BEING AN ATTORNEY AT LAW DULY LICENSED TO PRACTICE IN THE STATE OF COLORADO, HEREBY CERTIFY THAT I HAVE REVIEWED _____ COMPANY COMMITMENT NO. _____, EFFECTIVE _____, 2024 AND BASED EXCLUSIVELY UPON SAID TITLE COMMITMENT, FREE AND CLEAR OF ALL LIENS AND ENCUMBRANCES EXCEPT FOR THE LIEN OF GENERAL REAL PROPERTY TAXES AND EXCEPT FOR PATENT RESERVATIONS, EASEMENTS, ENCROACHMENTS, RESTRICTIONS, RESERVATIONS, AGREEMENTS, COVENANTS OF RECORD OR APPARENT AND THE EASEMENTS AND OTHER MATTERS SHOWN OR NOTED ON THIS PLAT.

_____, ATTORNEY AT LAW
EFFECTIVE THE ____ DAY OF _____, 2024.

MOUNT WERNER WATER AND SANITATION DISTRICT ACCEPTANCE OF DEDICATION

THE MOUNT WERNER WATER AND SANITATION DISTRICT DOES HEREBY ACCEPT THE DEDICATION OF THE SANITARY SEWER EASEMENT AS GRANTED BY THE OWNER OF THE PROPERTY SUBDIVIDED HEREBY, FOR THE PURPOSES MADE, PROVIDED THAT THE DISTRICT SHALL HAVE NO OBLIGATION OR LIABILITY TO CONSTRUCT, REPAIR, MAINTAIN, IMPROVE, OR RECONSTRUCT ANY SEWER LINE OR APPURTENANCE WITHIN ANY SUCH EASEMENT UNTIL AND UNLESS SUCH LINE OR APPURTENANCE HAS FIRST BEEN CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS AND RULES OF THE DISTRICT, AND FINAL ACCEPTANCE HAS BEEN GRANTED IN WRITING BY THE DISTRICT.

MOUNT WERNER WATER AND SANITATION DISTRICT

BY: _____ DATE: _____, 2024
FRANK ALFONE, GENERAL MANAGER

STEAMBOAT SPRINGS DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

THE DIRECTOR OF PLANNING AND COMMUNITY DEVELOPMENT OF THE CITY OF STEAMBOAT SPRINGS, COLORADO DOES HEREBY AUTHORIZE AND APPROVE THIS PLAT OF THE ABOVE SUBDIVISION THIS ____ DAY OF _____, A.D. 2024.

REBECCA D. BESSEY, AICP, DIRECTOR OF PLANNING AND COMMUNITY DEVELOPMENT

STEAMBOAT SPRINGS CITY COUNCIL APPROVAL

THE WITHIN FINAL PLAT OF THUNDERHEAD SUBDIVISION IS APPROVED FOR FILING THIS ____ DAY OF _____, A.D. 2024 AND THE DEDICATION OF THE _____ EASEMENTS TO THE CITY OF STEAMBOAT SPRINGS AS SHOWN OR NOTED HEREON IS HEREBY ACCEPTED FOR THE PURPOSES NOTED.

BY _____
ROBIN CROSSAN, CITY COUNCIL PRESIDENT
ATTEST
JULIE FRANKLIN, CITY CLERK

CLERK AND RECORDER'S ACCEPTANCE

THIS PLAT WAS ACCEPTED FOR FILING IN THE OFFICE OF THE CLERK AND RECORDER OF ROUTT COUNTY, COLORADO, ON THIS ____ DAY OF _____, A.D. 2024.

RECEPTION NUMBER _____ TIME _____

JENNY L. THOMAS - ROUTT COUNTY CLERK AND RECORDER

CIVIL ENGINEERS | SURVEYORS

141 9th Street - P.O. Box 774943
Steamboat Springs, Colorado 80477
(970) 876-8449
www.LANDMARK-CO.com



LANDMARK CONSULTANTS, INC. AND SURVEYORS AT LAW, COVENANT TO ANY LAND SURVEYOR BROUGHT TO RECOVER DAMAGES SHALL BE THE FROM ANY THEREIN AND AFTER THE PERSON BRINGING THE ACTION EITHER DISCOVERED OR IN THE USE OF REASONABLE DILIGENCE AND CONSCIENTIOUS DUTY, AND NOT THEREAFTER, BUT IN NO CASE SHALL SUCH AN ACTION BE BROUGHT, AND SUCH ACTION IS BASED. NOTICE: ACCORDING TO COLORADO LAW YOU MUST THREE YEARS AFTER YOU FIRST DISCOVER EACH DEFECT, IN NO EVENT MORE THAN 10 YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.

PROJECT:	DESCRIPTION:	BY:
2633-003	THUNDERHEAD SUBDIVISION	Grip
DATE:	7/24/2024	
DRAWN BY:	BC	
CHECKED BY:	JAG	

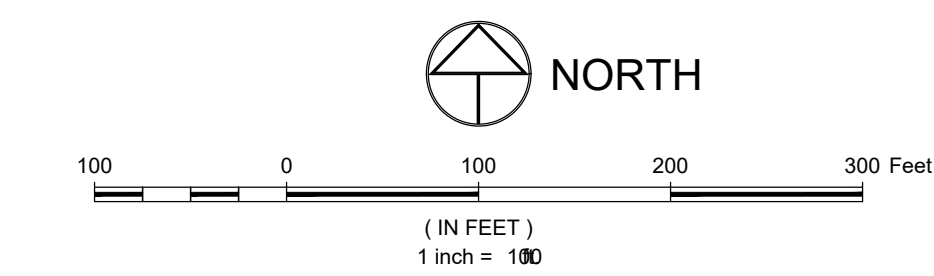
FINAL PLAT THUNDERHEAD SUBDIVISION LOCATED IN THE SW1/4 SECTION 22 AND IN THE NW1/4 SECTION 27, T6N, R84W, 6TH P.M.; CITY OF STEAMBOAT SPRINGS, COUNTY OF ROUTT, STATE OF COLORADO

SHEET

1

Of 2 Sheets

LOCATED IN THE SW1/4 SECTION 22 AND IN THE NW1/4 SECTION 27,
TOWNSHIP 6 NORTH, RANGE 84 WEST, 6TH P.M.;
CITY OF STEAMBOAT SPRINGS, COUNTY OF ROUTT, STATE OF COLORADO
CONTAINING A CALCULATED AREA OF 30.43 ACRES



1	RECEPTION NO. 693016:	20' ACCESS EASEMENT EAST HOTEL ACROSS OSP
2	BOOK 729, PAGE 339, RECEPTION NO. 746875:	BUDDY'S RUN DECK ENCROACHMENT EASEMENT
3	RECEPTION NO. 693287:	INTERFACE EASEMENT
4	RECEPTION NO. 693287:	INTERFACE EASEMENT, REVOCABLE PORTION
5	BOOK 532, PAGE 820:	10' SANITARY SEWER EASEMENT
6	RECEPTION NO. 693286:	PARKING, ACCESS & MAINTENANCE EASEMENT
7	BOOK 729, PAGE 338, RECEPTION NO. 687255, RECEPTION NO. 705974:	EAST HOTEL ACCESS EASEMENT AS AMENDED BY RECEPTION NO. 817318
8	BOOK 634, PAGE 49:	10' PEDESTRIAN AND BICYCLE PATH EASEMENT
9	RECEPTION NO. 307130, FILE NO 8823:	12' PEDESTRIAN EASEMENT
10	BOOK 374, PAGE 345, BOOK 376, PAGE 318, RECEPTION NO. 770696:	20' WATER LINE EASEMENT
11	BOOK 337, PAGE 337:	PERPETUAL VISUAL EASEMENT
12	BOOK 393, PAGE 509 & BOOK 395, PAGE 376:	ROAD EASEMENT
13	BOOK 580, PAGE 70, RECEPTION NO. 727257, RECEPTION NO. 727903:	LANDSCAPING AND ACCESS EASEMENT (BEAR CLAW II)
16	BOOK 745, PAGE 286:	20' SEWER EASEMENT
17	RECEPTION NO. 673610, RECEPTION NO. 705975, RECEPTION NO. 789275:	SEWER EASEMENT
18	RECEPTION NO.s 673610 & 705975:	SEWER EASEMENT RELOCATION AREA
19	RECEPTION NO. 789275:	SEWER ENCROACHMENT AREA
20	RECEPTION NO. 678035:	FIRE SEPARATION EASEMENT
21	RECEPTION NO. 692162:	SKI EASEMENT
22	RECEPTION NO. 693153:	WATER MAINS EASEMENT
23	RECEPTION NO. 699297, RECEPTION NO. 749729, RECEPTION NO. 702319, RECEPTION NO. 713742:	PUBLIC IMPROVEMENTS EASEMENT
24	RECEPTION NO. 699297, RECEPTION NO. 713742:	PUBLIC IMPROVEMENTS EASEMENT (BOILER HOUSE)
29	RECEPTION NO. 699720:	SEWER MAINS EASEMENT
26	RECEPTION NO. 699721:	WATER MAINS EASEMENT
27	RECEPTION NO. 718939, RECEPTION NO. 733617:	PUBLIC IMPROVEMENTS EASEMENT (LITTLE P EASEMENT)
28	RECEPTION NO. 728342:	ACCESS AND LANDSCAPE EASEMENT
29	BOOK 583, PAGE 238 & RECEPTION NO. 693278:	ACCESS EASEMENT (1ST AMENDMENT EAST HOTEL ACCESS)
30	RECEPTION NO. 699296:	STORM SEWER & ACCESS AND MAINTENANCE EASEMENT
31	RECEPTION NO. 693152:	SANITARY SEWER EASEMENT
32	RECEPTION NO. 817314:	ELECTRIC EASEMENT
33	RECEPTION NO. 817316:	GAS EASEMENT
34	BOOK 532, PAGE 756:	TELEPHONE EASEMENT
35	BOOK 601, PAGE 648:	10' BICYCLE AND PEDESTRIAN EASEMENT

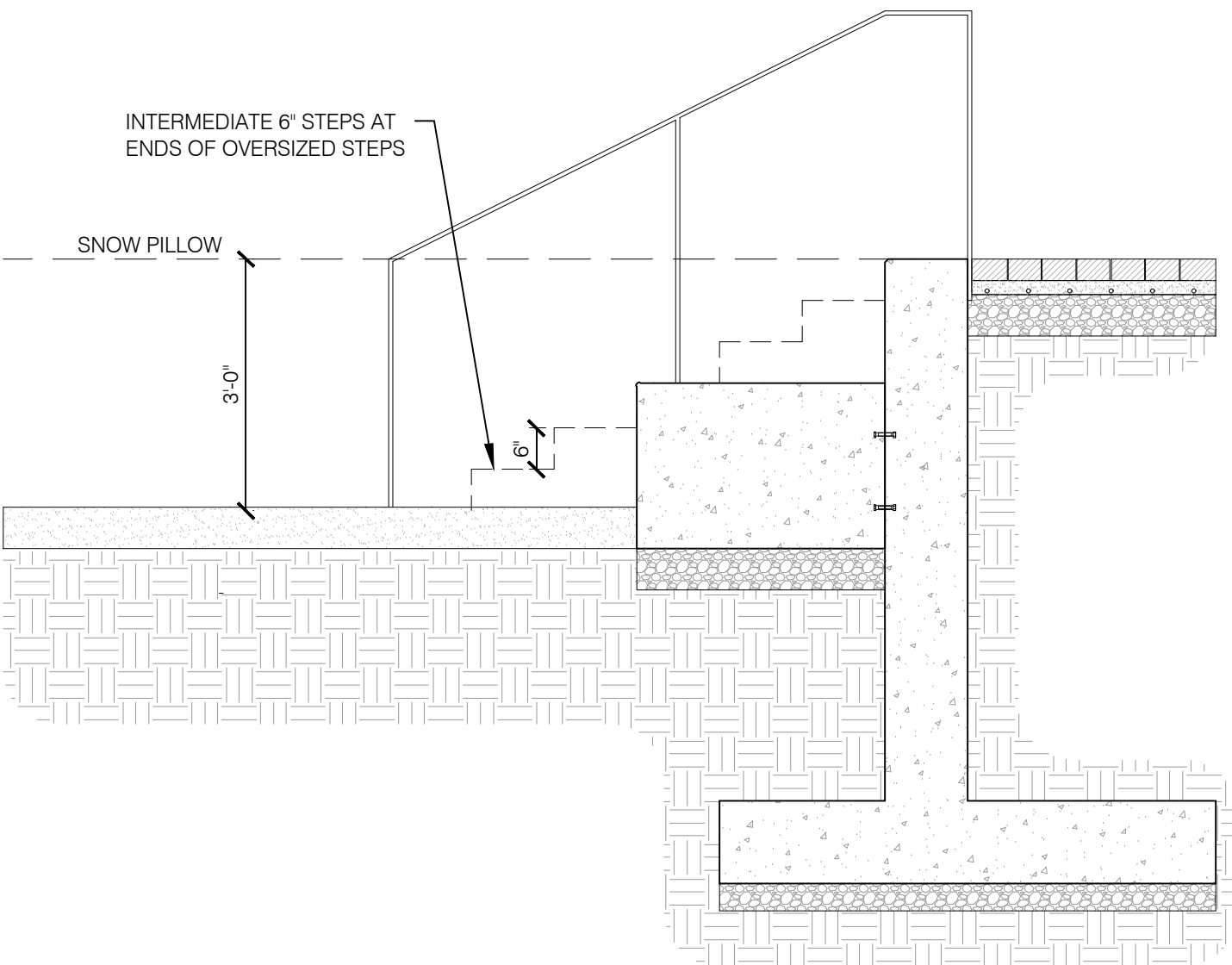


1 OVERALL - SUMMER SITE ILLUSTRATIVE PLAN
1" = 20'-0"



SITE MATERIALS LEGEND

- A CONCRETE CURB AT PAVERS
- B PROMENADE / SIDEWALK PAVER
- C PROMENADE VEHICULAR RATED HARDSCAPE
- D PLANK PAVER
- E EXTERIOR PATIO PAVER
- F TYPICAL BOARDFORM CONCRETE WALL
- G TYPICAL STAIR ADJACENT TO BOARDFORM WALL
- H OVERSIZED CONCRETE STEPS AT SKI EDGE
- I COLORED CONCRETE PAVING
- J GRAY CONCRETE PAVING



2 TYPICAL SNOW EDGE CONDITION
1/2" = 1'-0"



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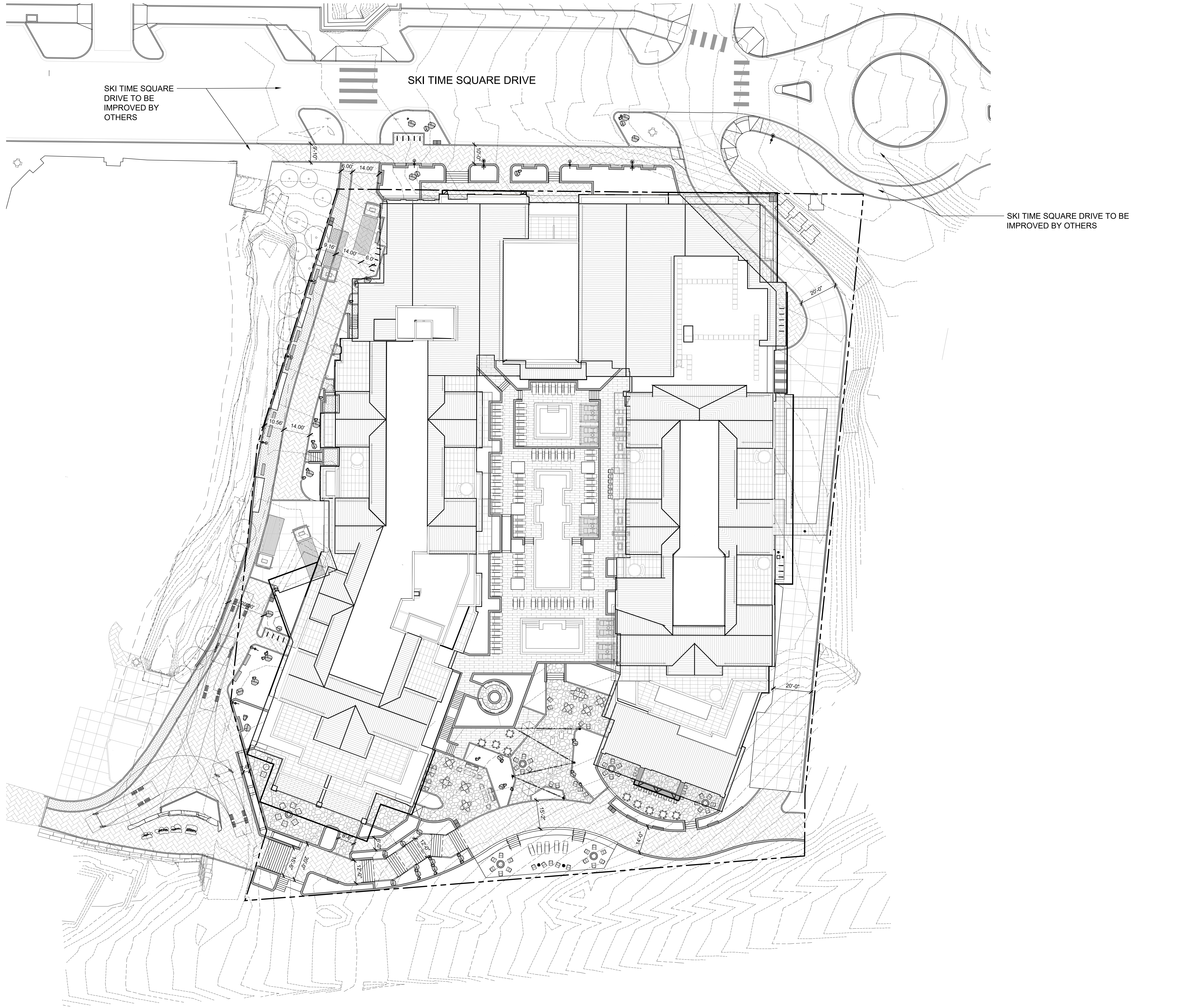
NOT FOR
CONSTRUCTION

THUNDERHEAD BEACH
1965 SKI TIME SQUARE
STEAMBOAT SPRINGS, CO 80487

REVISIONS:		
NO	DATE	DESCRIPTION

PROJECT NUMBER:
123134.00
DATE:
11/05/2024
ISSUED FOR:
DEVELOPMENT PLAN - REV 3
SHEET TITLE:
SITE ILLUSTRATIVE
PLAN - SUMMER

SHEET NUMBER
L.100.1



1 OVERALL - SITE PLAN
1" = 20'-0"



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1965 SKI TIME SQUARE

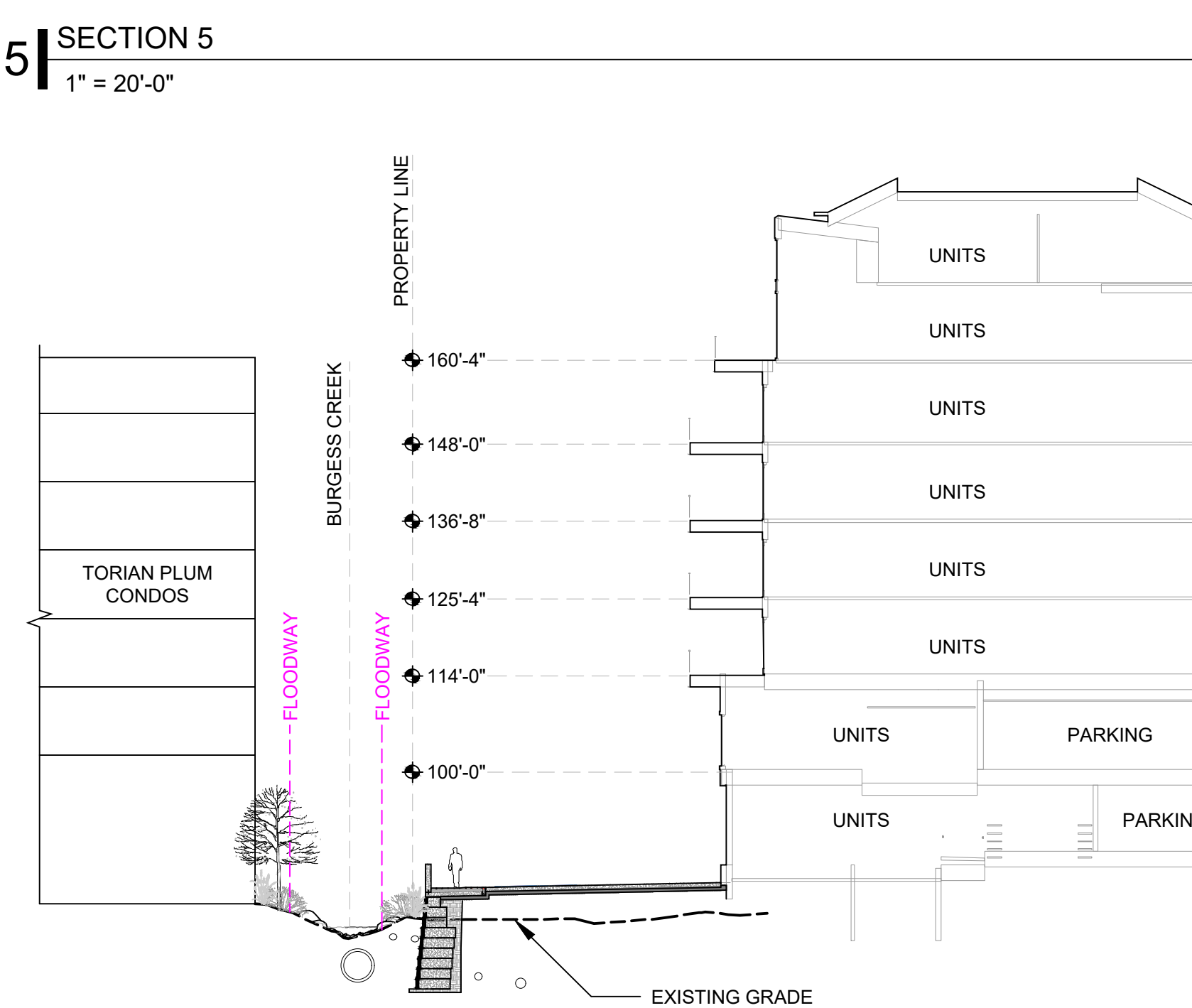
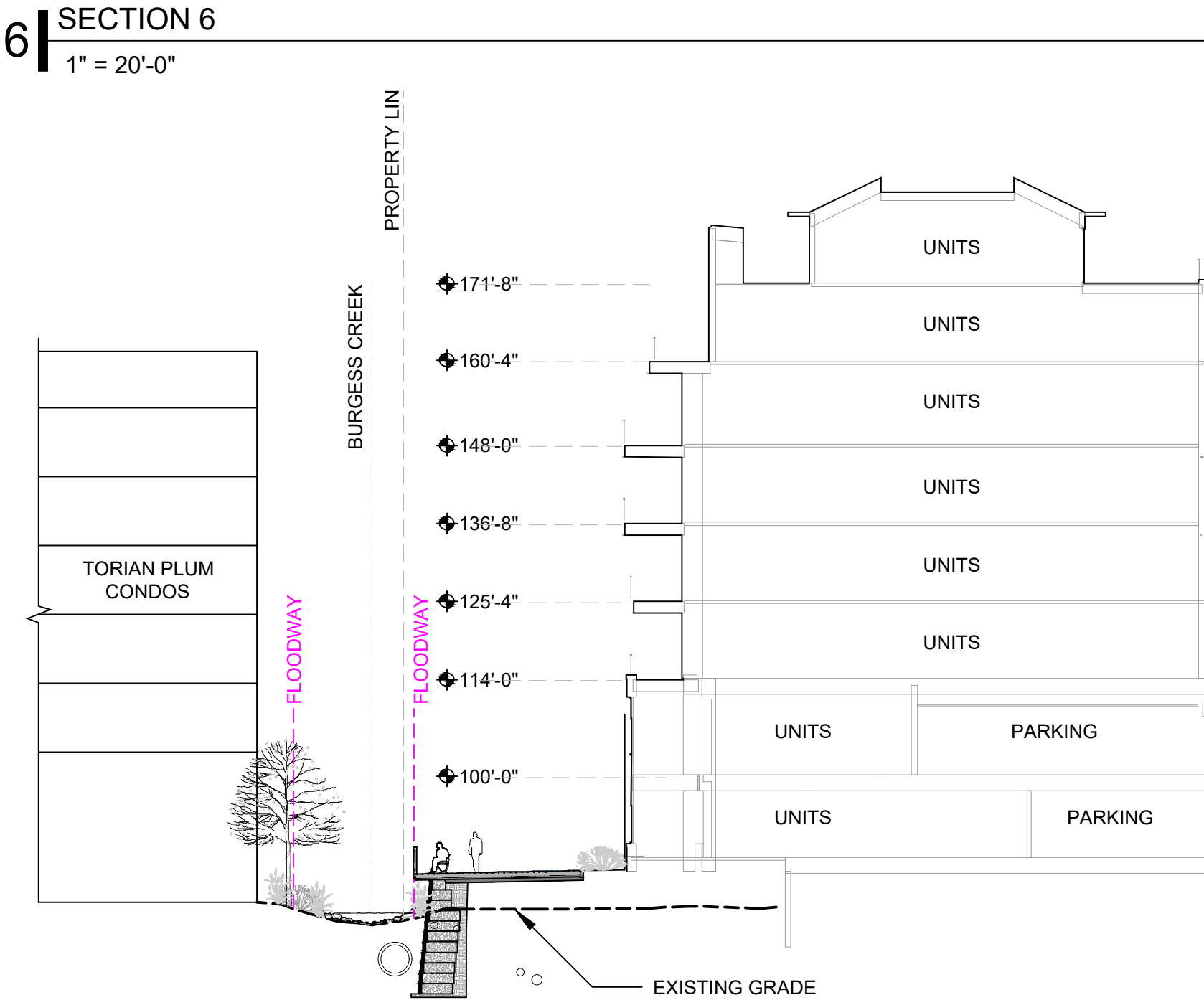
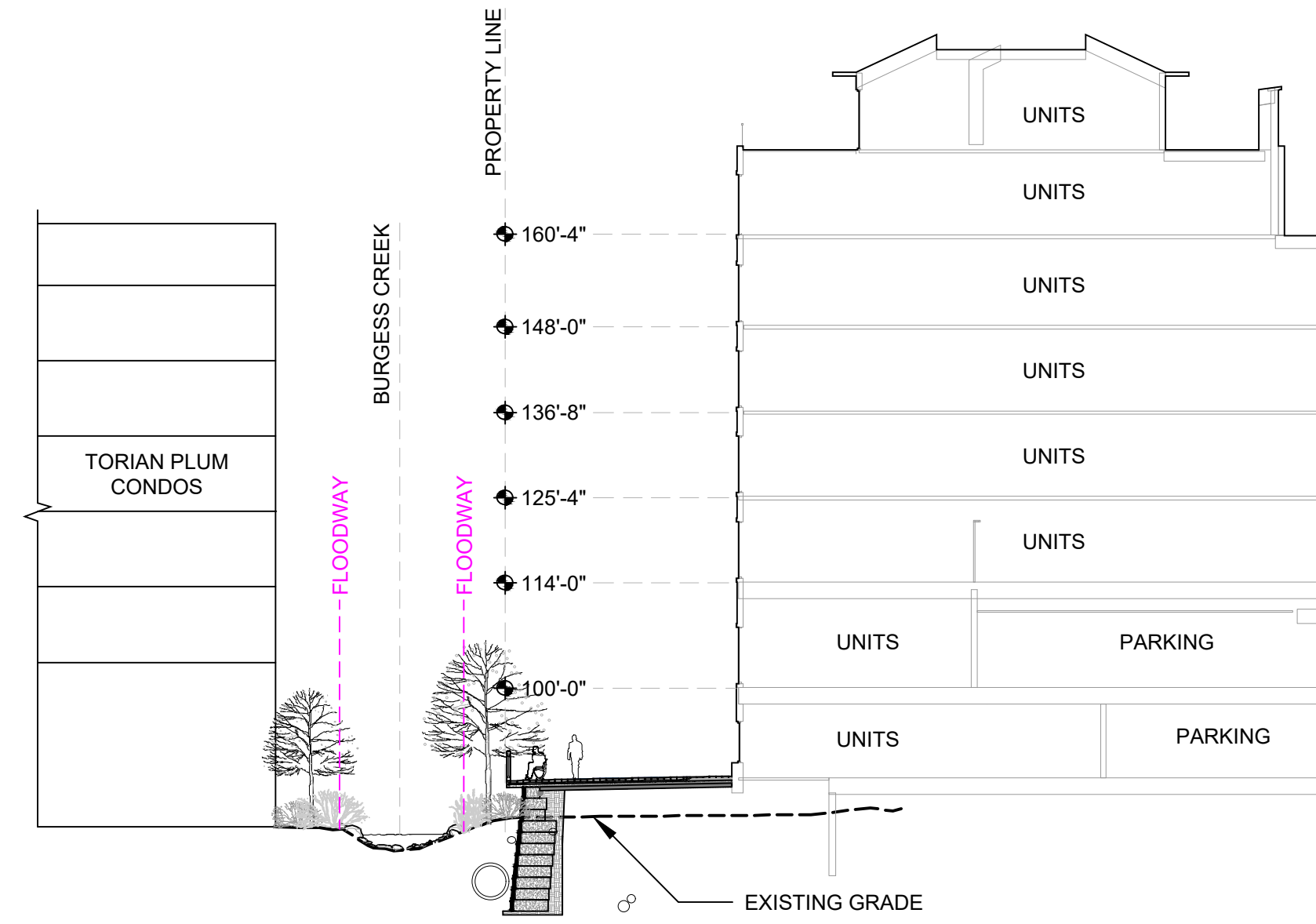
STEAMBOAT SPRINGS, CO 80487

REVISIONS:
NO DATE DESCRIPTION

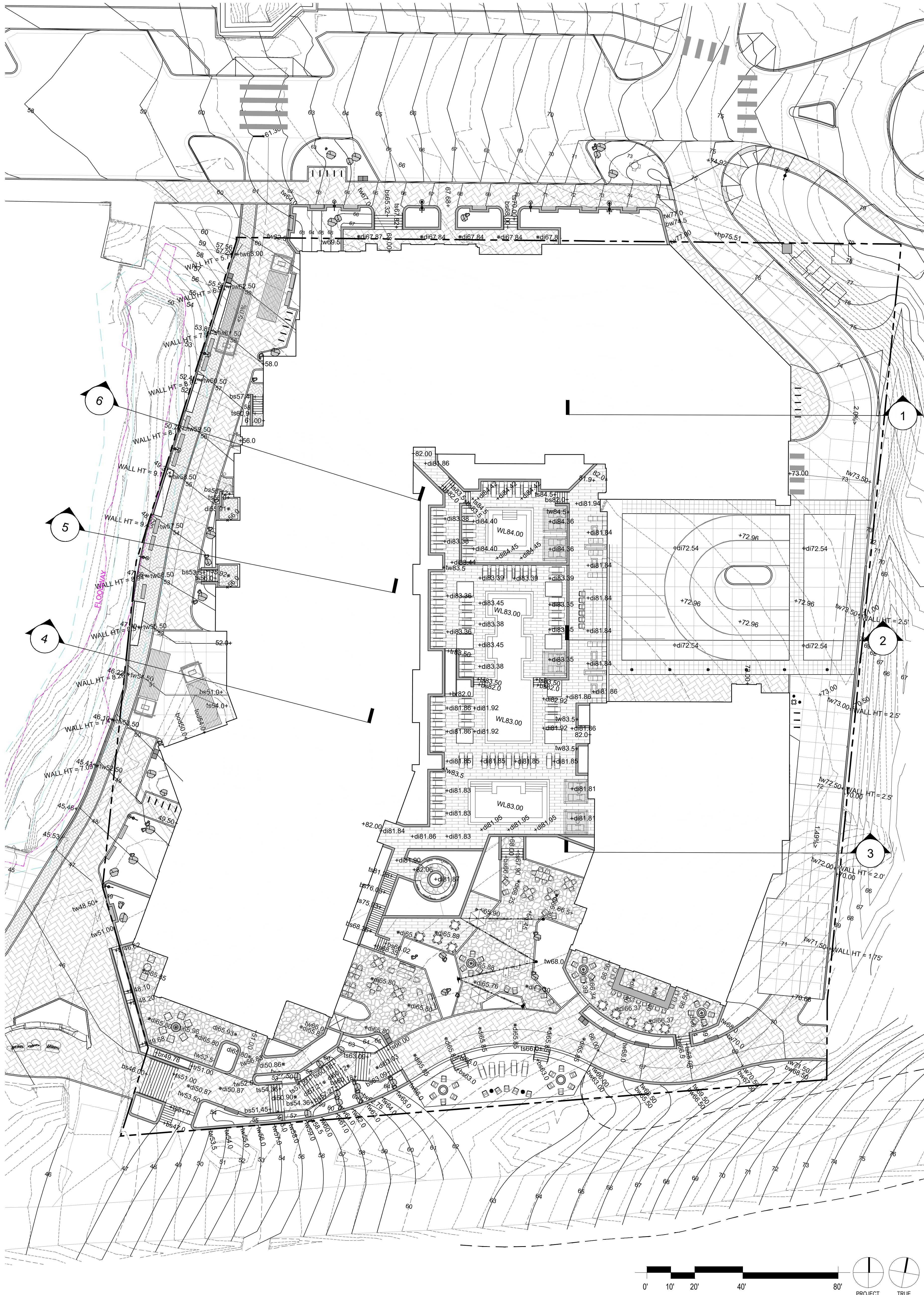
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123134.00
DATE:
11/05/2024
ISSUED FOR:
DEVELOPMENT PLAN - REV 3
SHEET TITLE:
SITE PLAN

SHEET NUMBER

L.101

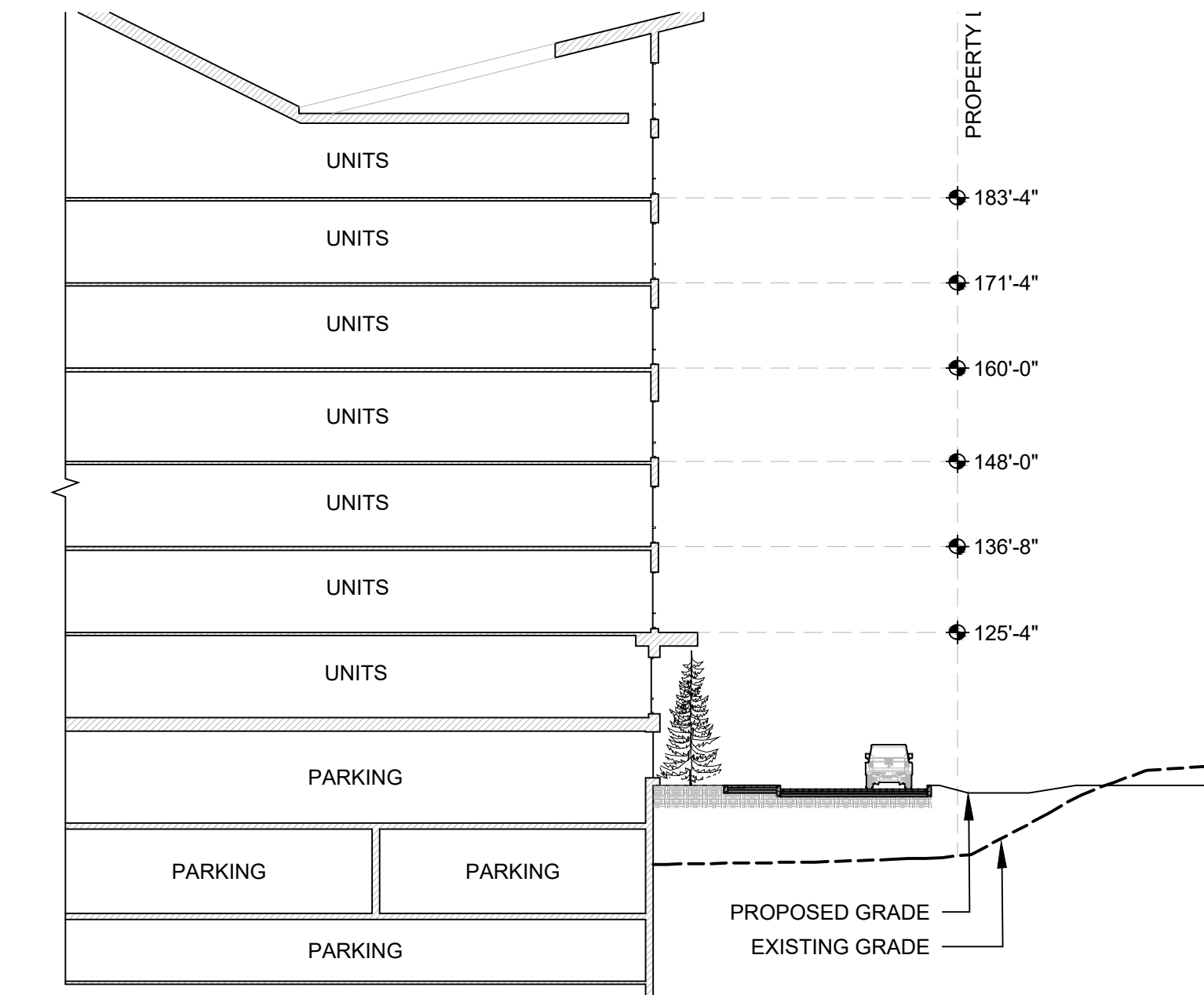


4 | SECTION 4
1" = 20'-0"

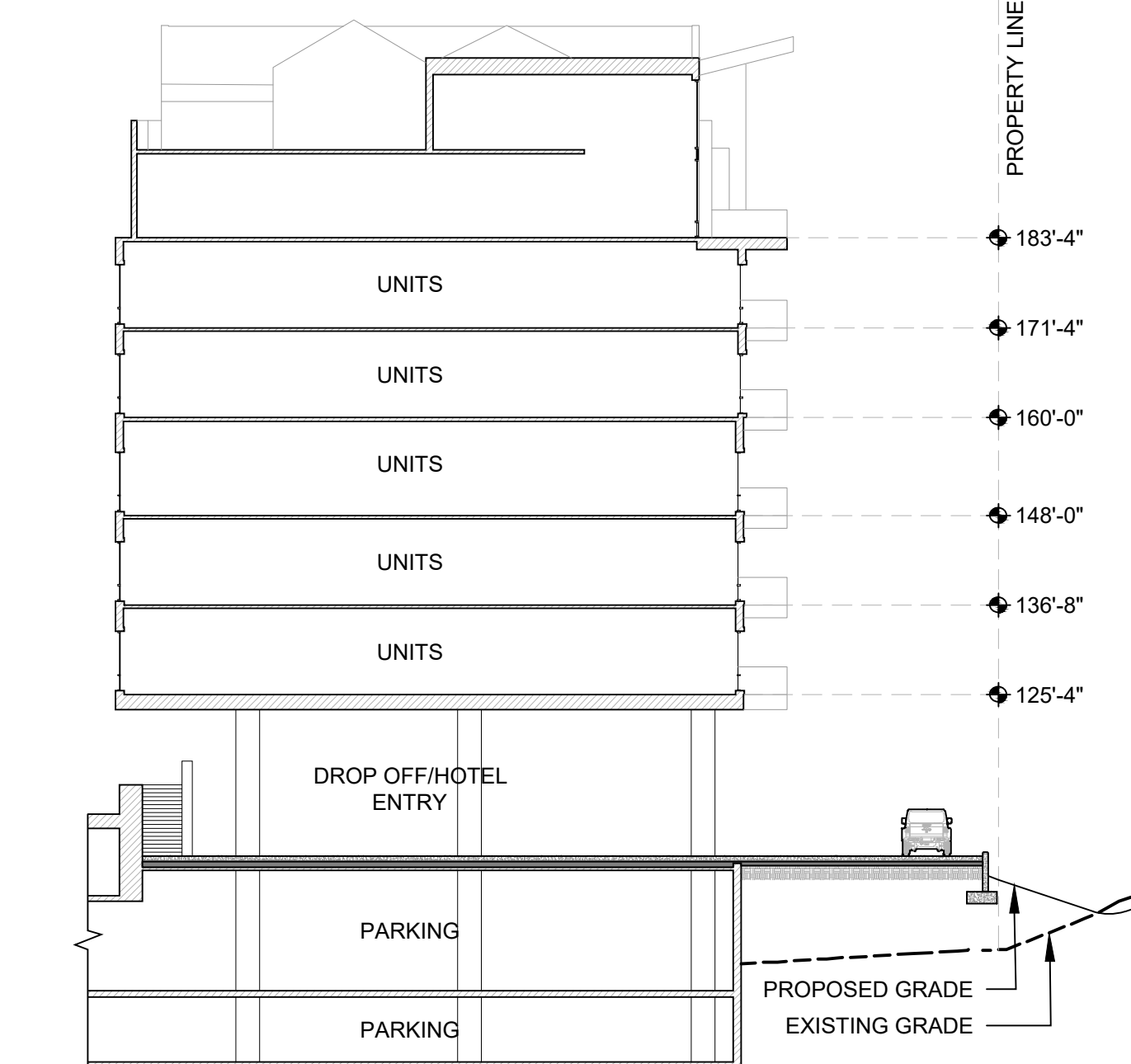


1 | GRADING PLAN
1" = 20'-0"

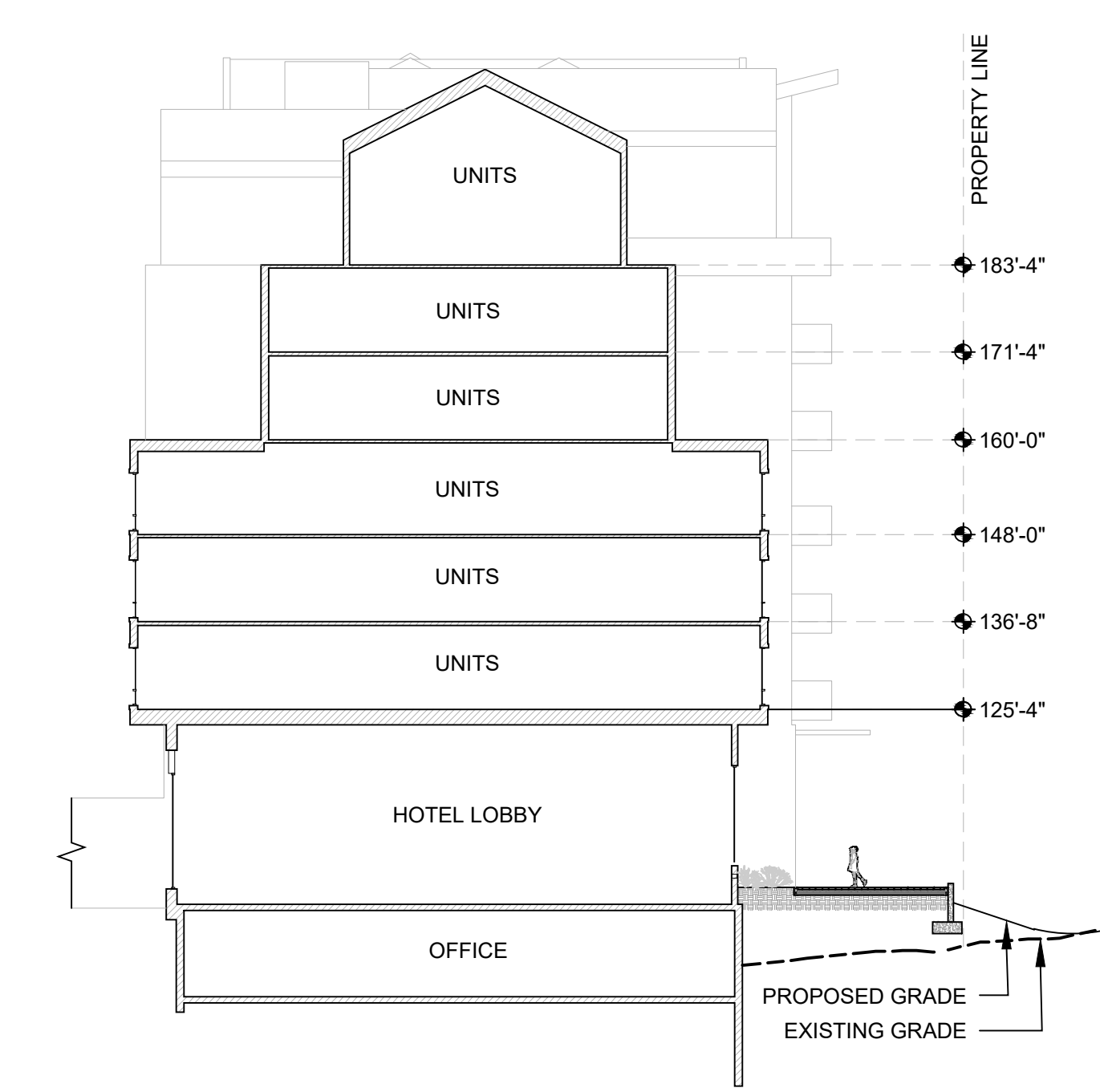
LEGEND		GRADING NOTES	
DI	DRAIN INLET	1.	MAXIMUM SLOPE 3:1, MINIMUM SLOPE 2% IN LANDSCAPE AREAS UNLESS OTHERWISE NOTED.
HP	HIGH POINT	2.	FINAL GRADING TO BE FIELD REVIEWED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLACING TOPSOIL, SEEDING OR PLANTING.
TS	TOP OF STAIR	3.	PROVIDE SMOOTH, CONTINUOUS TRANSITIONS BETWEEN SLOPES UNLESS OTHERWISE NOTED OR INDICATED IN THE DRAWINGS.
BS	BOTTOM OF STAIR	4.	PROVIDE 2% CROSS SLOPE ON ALL WALKS UNLESS OTHERWISE NOTED.
TW	TOP OF WALL	5.	ALL FINISHED GRADES ARE TO MEET AND BLEND SMOOTHLY WITH EXISTING GRADES AT THE PROJECT LIMIT OF WORK.
BW	BOTTOM OF WALL		
TR	TOP OF RAMP		
BR	BOTTOM OF RAMP		
- - -	EXISTING CONTOUR		
—	PROPOSED CONTOUR		



1 | SECTION 1
1" = 20'-0"



2 | SECTION 2
1" = 20'-0"



3 | SECTION 3
1" = 20'-0"



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THUNDERHEAD BEACH

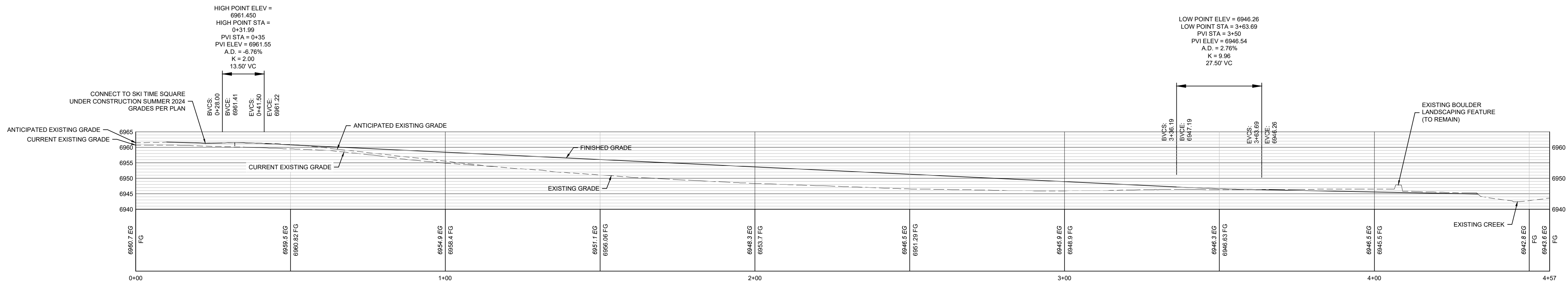
1965 SKI TIME SQUARE

STEAMBOAT SPRINGS, CO 80487

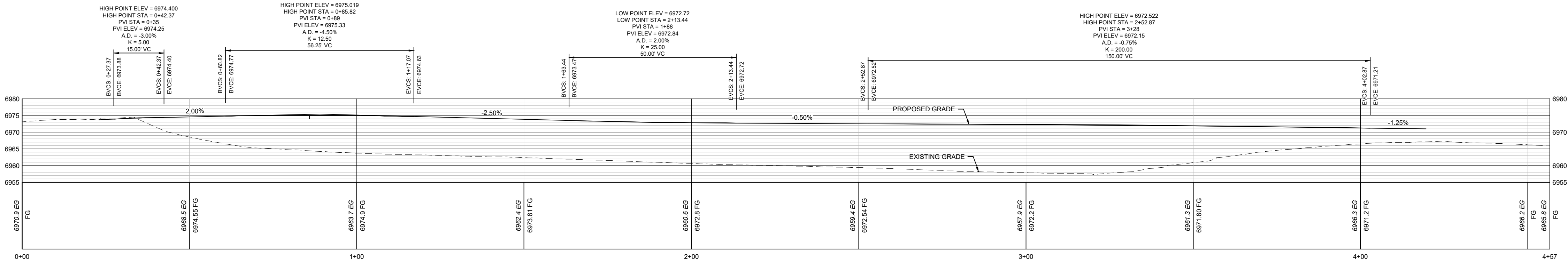
REVISIONS:		
NO	DATE	DESCRIPTION

PROJECT NUMBER:
123134.00
DATE:
11/05/2024
ISSUED FOR:
DEVELOPMENT PLAN - REV 3
SHEET TITLE:
GRADING PLAN

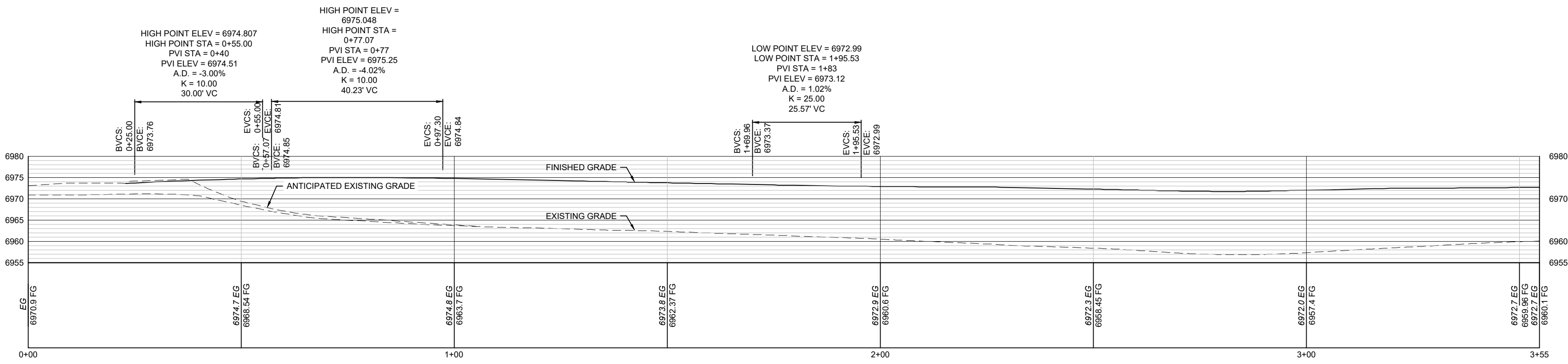
SHEET NUMBER
L.201



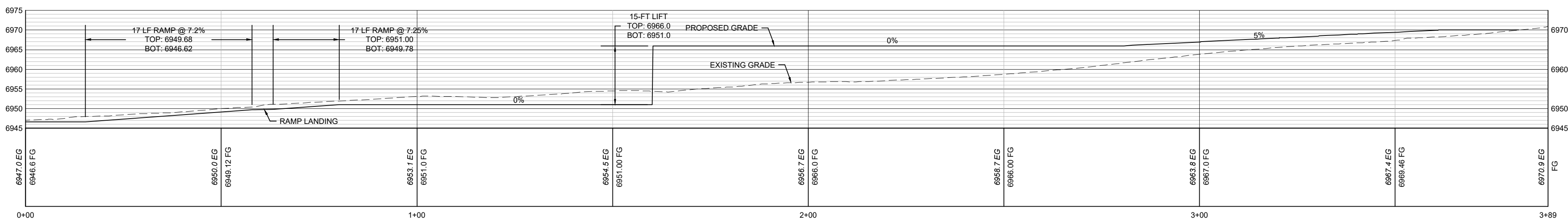
1 WEST PROMENADE PROFILE
1" = 20'-0"



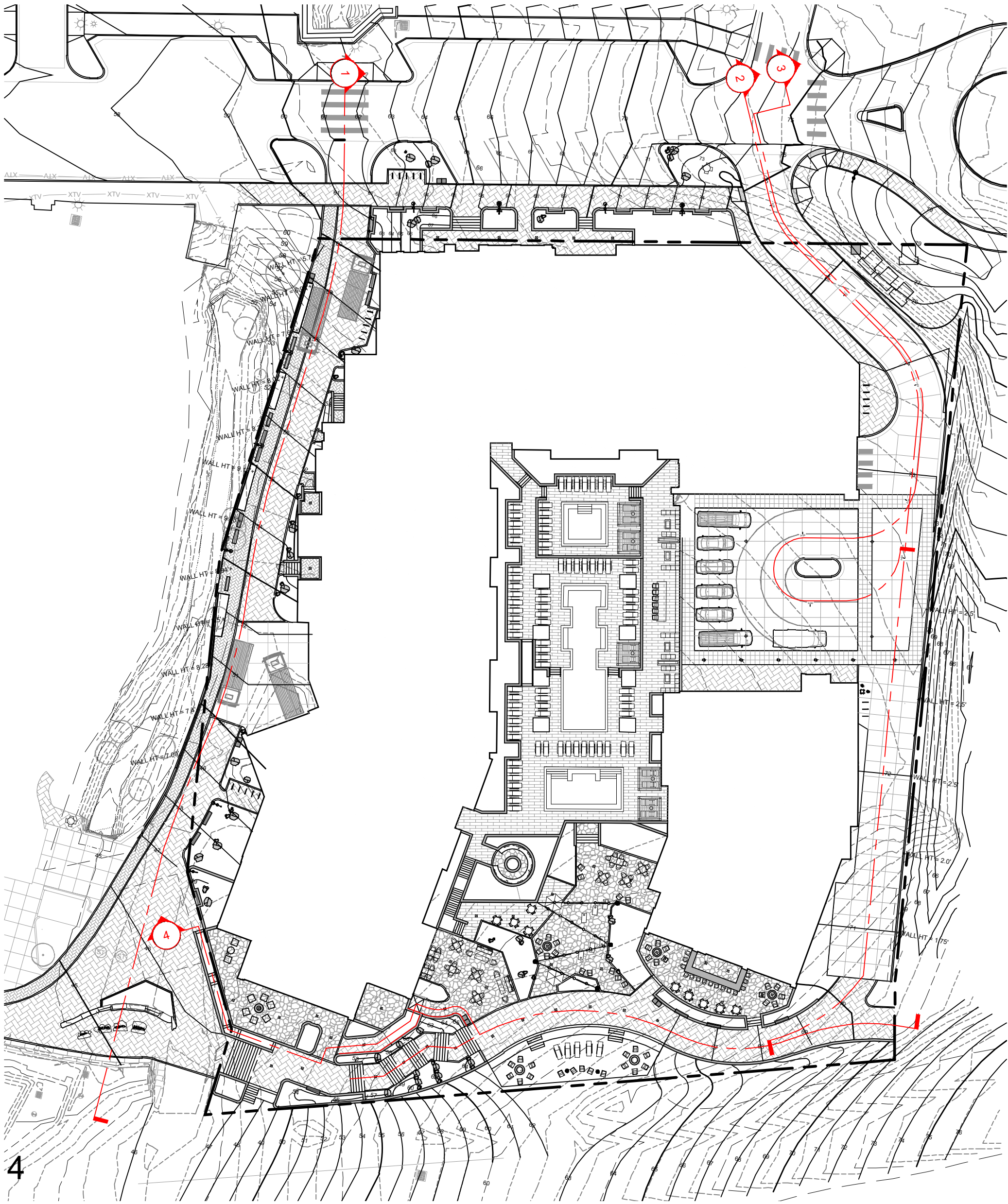
2 EAST PROMENADE PROFILE
1" = 20'-0"



3 INTERNAL PRIVATE ACCESS PROFILE
1" = 20'-0"



4 SOUTH PROMENADE PROFILE
1" = 20'-0"



4 SITE PLAN
1" = 40'-0"



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STEAMBOAT SPRINGS, CO 80487

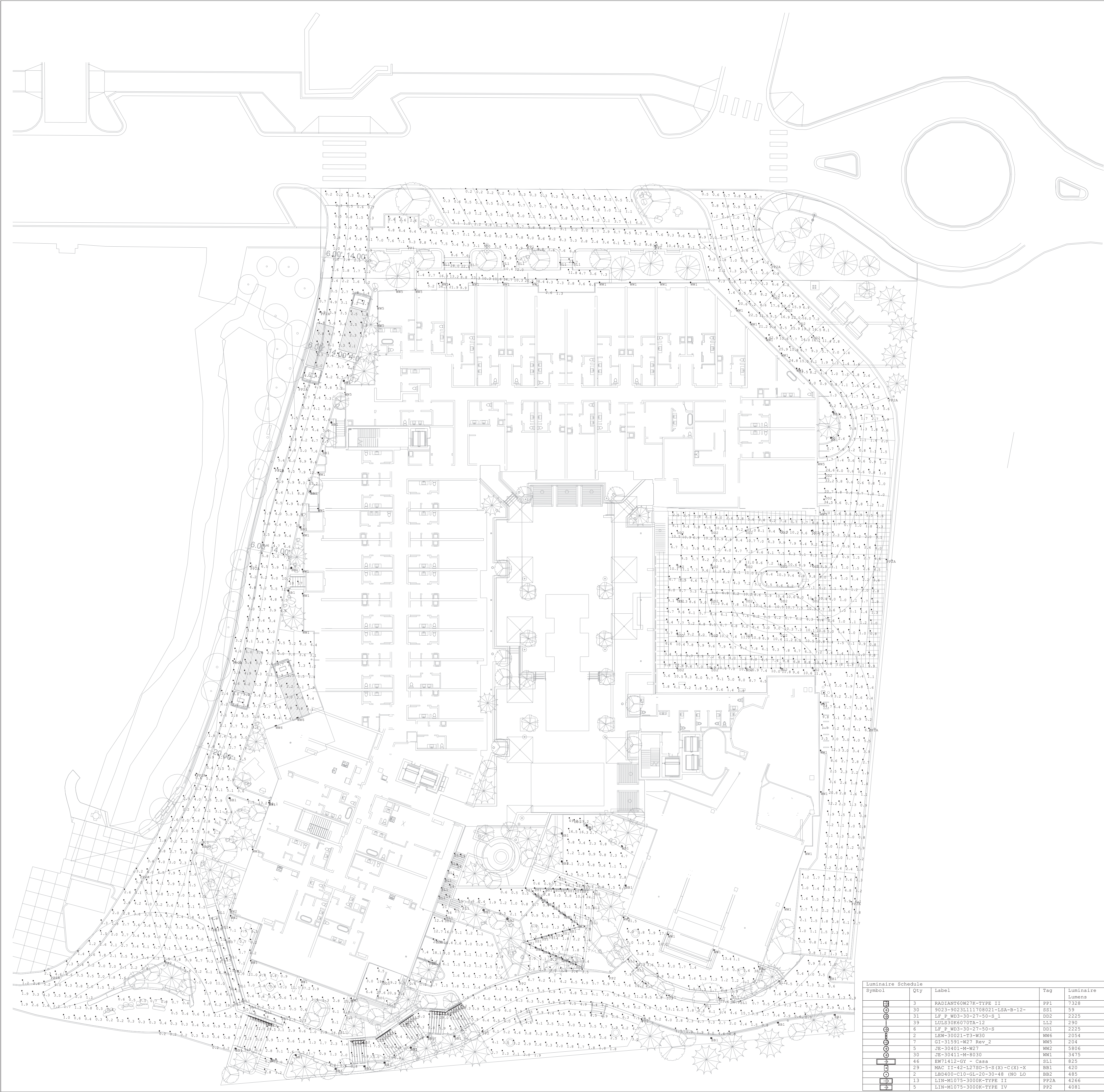
REVISIONS:
NO DATE DESCRIPTION

PROJECT NUMBER:
123134.00
DATE:
11/05/2024
ISSUED FOR:
DEVELOPMENT PLAN - REV 3
SHEET TITLE:
SITE PROFILES

SHEET NUMBER

L.202

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NOT FOR
CONSTRUCTION

1965 SKI TIME SQUARE DRIVE

STEAMBOAT SPRINGS, CO 80487

REVISIONS:		
NO	DATE	DESCRIPTION

PROJECT NUMBER:
123134.00

DATE:
11/06/2024

ISSUED FOR:
DP Submittal #3

SHEET TITLE:
SITE LIGHTING
PHOTOMETRIC

SHEET NUMBER

L1.100

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SL1

12V | Litesphere™ ADAPT 2.0

Project: _____

Type: _____

WW2

UJE-30401
Jet 38 Square Surface Up/Downlight

Construction

Material: Less than 0.1% copper content - Marine Grade 6061 anodized AL6063 Aluminum High Pressure Die casting provides excellent mechanical strength - clear detailed product lines and excellent heat dissipation.

Paint: A zinc phosphate and phosphate process that includes electrocoat and epoxy primer and a zinc and color pigments process before product painting.

Finish: Powder coating process that includes electrocoat and epoxy primer and a zinc and color pigments process before product painting.

Thermal Management: LED luminaire is rated for its excellent mechanical strength and thermal dissipation properties. The square thermal sink design is optimized for the square thermal sink design to ensure maximum heat transfer and maintain the LED junction temperature below its critical temperature range to ensure maximum lifetime. As well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

Beam Spread: Standard 10 degree spread provided with all fixtures.

Beam Angle: 10° - 120°

Finish: Frosted lens or clear lens. The clear lens is available in a wide range of colors. The clear lens is available in a wide range of colors. The clear lens is available in a wide range of colors.

Mounting Detail: The mounting detail shows the fixture being installed into a hole in the ceiling. The mounting detail shows the fixture being installed into a hole in the ceiling. The mounting detail shows the fixture being installed into a hole in the ceiling.

Additional Options (Consult Factory For Pricing)

SCBT - Surface Conduit Box Trim

RP4 - Round Pole Adapter

More Custom Finishes Available Upon Request

Consult factory for pricing and lead times

Oak	Cherry	Beech	Carbon
Walnut	Chestnut	Bamboo	Galvanized
Pine	Mahogany	Birch	Steel

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LIGMAN LIGHTING USA

WW6

ULEE-30021
Leeds 6 Large Surface Downlight

Construction

Material: Less than 0.1% copper content - Marine Grade 6061 anodized AL6063 Aluminum High Pressure Die casting provides excellent mechanical strength - clear detailed product lines and excellent heat dissipation.

Paint: A zinc phosphate and phosphate process that includes electrocoat and epoxy primer and a zinc and color pigments process before product painting.

Finish: Powder coating process that includes electrocoat and epoxy primer and a zinc and color pigments process before product painting.

Thermal Management: LED luminaire is rated for its excellent mechanical strength and thermal dissipation properties. The square thermal sink design is optimized for the square thermal sink design to ensure maximum heat transfer and maintain the LED junction temperature below its critical temperature range to ensure maximum lifetime. As well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

Beam Spread: Standard 10 degree spread provided with all fixtures.

Beam Angle: 10° - 120°

Finish: Frosted lens or clear lens. The clear lens is available in a wide range of colors. The clear lens is available in a wide range of colors. The clear lens is available in a wide range of colors.

Mounting Detail: The mounting detail shows the fixture being installed into a hole in the ceiling. The mounting detail shows the fixture being installed into a hole in the ceiling. The mounting detail shows the fixture being installed into a hole in the ceiling.

Additional Options (Consult Factory For Pricing)

SCBT - Surface Conduit Box Trim

RP4 - Round Pole Adapter

More Custom Finishes Available Upon Request

Consult factory for pricing and lead times

Oak	Cherry	Beech	Carbon
Walnut	Chestnut	Bamboo	Galvanized
Pine	Mahogany	Birch	Steel

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LIGMAN LIGHTING USA

PROJECT

QUANTITY

TYPE

NOTE

DATE

ORDERING EXAMPLE || UJE - 30401 - 2x35w - M - W - W30 - 02 - 120/277v - Options

LAMP	BEAM UP	BEAM DOWN	LED COLOR	FINISH COLOR	VOLTAGE
2x35w CDB	N - Narrow 15°	N - Narrow 15°	W27 - 2700K	01 - BLACK RAL 9011	120/277v
2x35w CDB	M - Medium 30°	M - Medium 30°	W30 - 3000K	02 - DARK GREY RAL 7043	Other - Specify
2x35w CDB	W - Wide 60°	W - Wide 60°	W35 - 3500K	03 - WHITE RAL 9003	
	VW - Very Wide 85°	VW - Very Wide 85°	W40 - 4000K	04 - METALLIC SILVER RAL 9006	
				05 - MATTE SILVER RAL 9008	
				06 - LIGMAN BRONZE	
				07 - CUSTOM RAL	

INSPIRED BY NATURE FINISHES

SW01 - OAK FINISH

SW02 - WALNUT FINISH

SW03 - PINE FINISH

DP - DOUGLAS FIR FINISH

CW - CHERRY WOOD FINISH

NW - NATIONAL WALNUT FINISH

CON - CONCRETE FINISH

SO - SOFTSCAPE FINISH

ST - STONE FINISH

CORT - CORTEN FINISH

Additional Options

NAT - Natulorium Rated

SCBT - Surface Conduit Box Trim

DIM - 0-10v Dimming

REM - Remote Emergency Battery Pack

CT - Custom Height

AMP - 4" Junction Box Mounting Plate

F - Frosted Lens

RA - Round Pole Adapter

More Custom Finishes Available Upon Request

Consult factory for pricing and lead times

Oak	Cherry	Beech	Carbon
Walnut	Chestnut	Bamboo	Galvanized
Pine	Mahogany	Birch	Steel

Ligman Lighting USA reserves the right to change specifications without prior notice. Please contact factory for best information. Due to technical improvements in LED technology and components may change without notice.

WW5

UGI-31641
Gino 4 Type I, II, III, IV & V Downlight

Construction

Material: Less than 0.1% copper content - Marine Grade 6061 anodized AL6063 Aluminum High Pressure Die casting provides excellent mechanical strength - clear detailed product lines and excellent heat dissipation.

Paint: A zinc phosphate and phosphate process that includes electrocoat and epoxy primer and a zinc and color pigments process before product painting.

Finish: Powder coating process that includes electrocoat and epoxy primer and a zinc and color pigments process before product painting.

Thermal Management: LED luminaire is rated for its excellent mechanical strength and thermal dissipation properties. The square thermal sink design is optimized for the square thermal sink design to ensure maximum heat transfer and maintain the LED junction temperature below its critical temperature range to ensure maximum lifetime. As well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

Beam Spread: Standard 10 degree spread provided with all fixtures.

Beam Angle: 10° - 120°

Finish: Frosted lens or clear lens. The clear lens is available in a wide range of colors. The clear lens is available in a wide range of colors. The clear lens is available in a wide range of colors.

Mounting Detail: The mounting detail shows the fixture being installed into a hole in the ceiling. The mounting detail shows the fixture being installed into a hole in the ceiling. The mounting detail shows the fixture being installed into a hole in the ceiling.

Additional Options (Consult Factory For Pricing)

SCBT - Surface Conduit Box Trim

RP4 - Round Pole Adapter

More Custom Finishes Available Upon Request

Consult factory for pricing and lead times

Oak	Cherry	Beech	Carbon
Walnut	Chestnut	Bamboo	Galvanized
Pine	Mahogany	Birch	Steel

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LIGMAN LIGHTING USA

UGI-31641
Gino 4 Type I, II, III, IV & V Downlight

PROJECT

QUANTITY

TYPE

NOTE

DATE

ORDERING EXAMPLE || UGI - 31641 - 10w - T2 - W30 - 02 - 120/277v - Options

LAMP	BEAM	LED COLOR	FINISH COLOR	VOLTAGE
10w LED	T1 - Type I Distribution - 780mm	W27 - 2700K	01 - BLACK RAL 9011	120/277v
	T2 - Type II Distribution - 790mm	W30 - 3000K	02 - DARK GREY RAL 7043	
	T3 - Type III Distribution - 820mm	W35 - 3500K	03 - WHITE RAL 9003	
	T4 - Type IV Distribution - 820mm	W40 - 4000K	04 - METALLIC SILVER RAL 9006	
	M - Medium 30° - 862mm		05 - MATTE SILVER RAL 9008	
	W - Wide 57° - 850mm		06 - LIGMAN BRONZE	
	VW - Very Wide 65° - 950mm		07 - CUSTOM RAL	
	EW - Extra Wide 98° 18" - 866mm			

INSPIRED BY NATURE FINISHES

SW01 - OAK FINISH

SW02 - WALNUT FINISH

SW03 - PINE FINISH

DP - DOUGLAS FIR FINISH

CW - CHERRY WOOD FINISH

NW - NATIONAL WALNUT FINISH

CON - CONCRETE FINISH

SO - SOFTSCAPE FINISH

ST - STONE FINISH

CORT - CORTEN FINISH

Additional Options

NAT - Natulorium Rated

SCBT - Surface Conduit Box Trim

AMP - 4" Junction Box Mounting Plate

DIM - 0-10v Dimming

CT - Custom Height

AMP - 4" Junction Box Mounting Plate

F - Frosted Lens

RA - Round Pole Adapter

More Custom Finishes Available Upon Request

Consult factory for pricing and lead times

Oak	Cherry	Beech	Carbon
Walnut	Chestnut	Bamboo	Galvanized
Pine	Mahogany	Birch	Steel

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LIGMAN LIGHTING USA

BB1

MAC II Wood Body LED Bollard

FEATURES:

- High power, low wattage LED light module
- Solid glulam wood construction
- Concealed anchor bolt base and mounting hardware

SPECIFICATIONS:

HOUSING: Solid wood bollard is assembled through glulam construction and precision machined using CNC technology. Adhesive complies with ASTM D-2559 glulam construction specifications for extreme exposed weather conditions and is waterproof and rated for wet or dry use exposure.

DRIVER COMPONENT AND BASEPATE: Concealed within metal base portion with tamper-resistant hardware. Anchor bolt kit includes (4) hot dip galvanized anchor bolts and fasteners and a rigid concrete pour template.

ELECTRICAL: Powered by a Class P 120-277VAC primary integral power supply. Standard output is 120V. Fixture is internally protected to the electrical splice box located in the fixture base. The fixture is 0-10V dimmable. Minimum -40°C operating temperature.

OPTICAL SYSTEM: LED boards have solderless connections for field upgradability. Available in 2700K, 3000K, 3500K and 4000K color temperatures with >90 CRI. Optics are UV resistant molded PMMA in Type III, IV, and V distributions. Consult factory for additional lumen output, CCT, and optical distribution.

FINISHES AND MATERIALS: Woods are finished with a low VOC waterborne matte exterior finish containing UV and mildew inhibitors. All exterior aluminum parts are polyester powder coat painted. [Care and Maintenance](#)

LISTINGS & RATINGS: Luminaire CSA listed according to CSA C22.2 No. 250.0-18/AL Standard 1598. Suitable for wet locations. LM-80 test reported L70 > 60,500 hours and calculated L70 > 154,000 hours.

ORDERING GUIDE: EXAMPLE: MAC II-42-LP750-S-55-C7-UNV-STD

MAC II	1	2	3	4	5	6	7	8	9

REVISIONS:

NO	DATE	DESCRIPTION

PROJECT NUMBER: 123134.00

DATE: 11/06/2024

ISSUED FOR: DP Submittal #3

SHEET TITLE: BUILDING LIGHTING - CUTSHEETS - 2

SHEET NUMBER

Ligman Lighting USA reserves the right to change specifications without prior notice. Please contact factory for best information. Due to technical improvements in LED technology and components may change without notice.

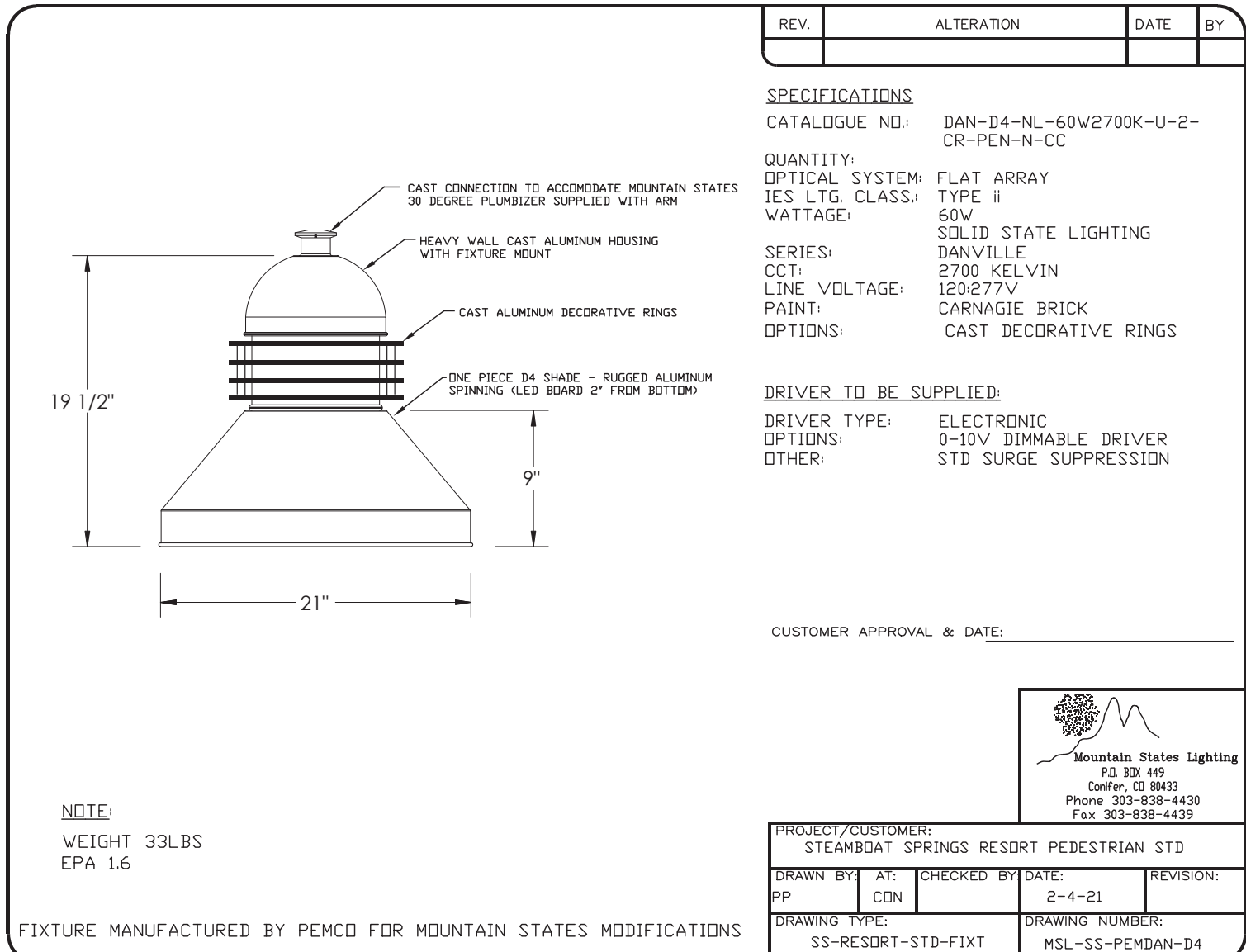
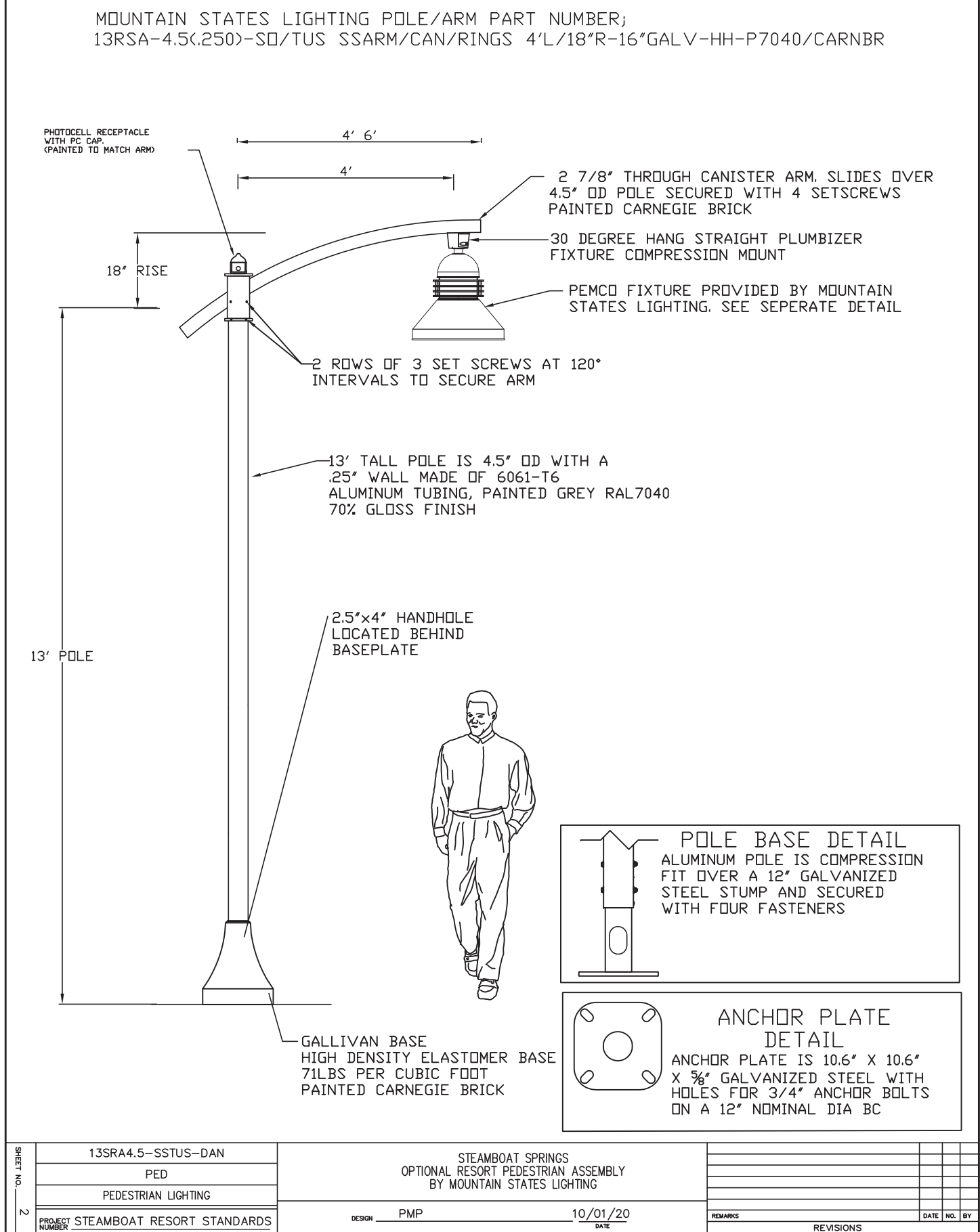
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1965 SKI TIME SQUARE DRIVE
STEAMBOAT SPRINGS, CO 80487

LI.301

PP1

FINISH: POLE TO BE GREY RAL7040, ARM AND GALLIVAN BASE TO BE CARNEGIE BRICK



PP2 AND PP2A

Lineal LED Luminaire

structura

structura

FIXTURE TYPE

PROJECT NAME



SPECIFICATIONS:

CONSTRUCTION: Seamless aluminum housing comprised of 6005A-T61 extrusion and 6061-T6 end plates. Gasketed aluminum electrical access cover attached with captive stainless steel hardware and safety cable.

ELECTRICAL: Integral Class P, 120-277V or 347-480V, dimmable constant current driver. Luminaire is pre-wired with watertight 5 conductor 18 gauge SJ-EODW whip. 10kA surge suppression is standard with optional external 20kA surge suppression. Operating temperature of -40°C to 50°C.

OPTICAL SYSTEM: LED boards have solderless connections for field upgradability. Available in CCT of 2700, 3000, 3500, and 4000K. >80 CRI. Optics are UV resistant molded PMMA in Type II and IV distributions. Consult factory for additional lumen output, CCT, and optical distribution options.

CONTROLS: Dimming through 0-10V input is standard. Available with integral motion sensor with photocell providing on/off and full light to dim control. Also available with wireless smart city control. See [SmartCity](#) control documentation for more information.

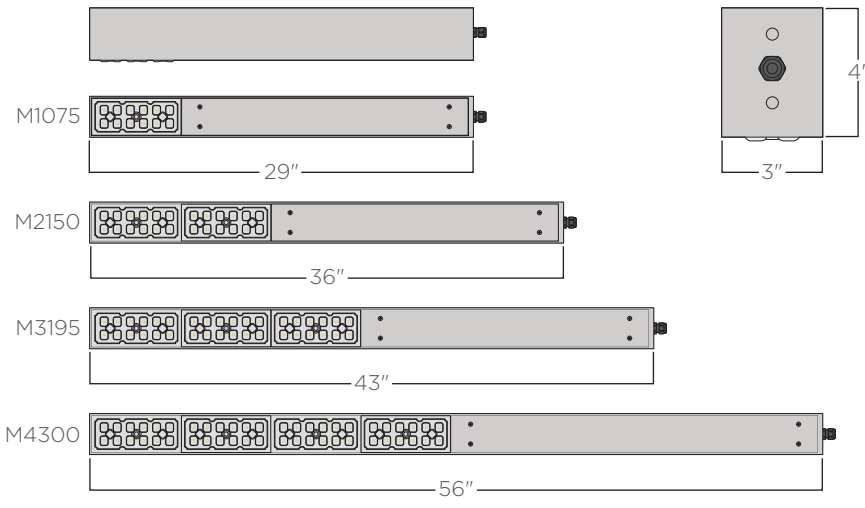
FINISHES: All exterior aluminum parts are polyester powder coat painted to meet AAMA 2604 standards. See Structura's finish options for available colors. [Care and Maintenance](#)

LISTINGS & RATINGS: Luminaire CSA listed according to CSA C22.2 No. 250.0-18/UL Standard 1598. Suitable for wet locations. ULH-80 test reported L70 > 90,000 hours and calculated L70 > 110,000 hours. Bug rating: BF-UO-GI, IP65 rated.

WARRANTY: 5-year warranty on LED and drivers.



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			2700K		3000K		3500K		4000K			
mA	Wattage	CRI	Lumen ⁽¹⁾	Efficacy ⁽²⁾	Lumen ⁽¹⁾	Efficacy ⁽²⁾	Lumen ⁽¹⁾	Efficacy ⁽²⁾	Lumen ⁽¹⁾	Efficacy ⁽²⁾	EPA	Weight
750	40	>80	4164	103.3	4266	105.9	4437	110.1	4620	114.6	0.81H ⁽³⁾	12.3lbs.
1500	76	>80	8327	109.6	8532	112.3	8837	116.8	9240	121.6	1.00H ⁽³⁾	14.2lbs.
1950	104	>80	10825	104.0	11091	106.6	11535	110.9	12012	115.5	1.19H ⁽³⁾	16.2lbs.
3000	152	>80	16653	109.6	17063	112.3	17745	116.7	18479	121.6	1.55H ⁽³⁾	20.7lbs.

ORDERING GUIDE: EXAMPLE: LIN-M2150-LNV-L30-4-CL-5H-WC-M5/L3-STD

LIN	1	2	3	4	5	6	7	8	9
1	Series	4	Color Temperature ⁽²⁾	7	Mounting				
LIN	L27	L30	2700K ⁽¹⁾	SP	Structura Pole ⁽⁴⁾				
2	Output ⁽²⁾	L35	3000K ⁽¹⁾	ST	Square steel pole by Structura ⁽⁵⁾				
M1075	750mA	L40	3500K	NA	Pole by Others				
M2150	1500mA	L40	4000K	8	Options				
M3195	1950mA	5	Amber	HSS	House-Size Shield				
M4300	3000mA	2	Wireless	SP	5-Pin Receptacle				
3	Voltage	4	Distribution ⁽²⁾	MX	Motor Sensor/PhotoCell ⁽⁶⁾				
UNV	120-277V	4	Type I	WC	Hubbell NX controls				
HIGH	347-480V	5	Type IV	Special	Wireless Control ⁽⁷⁾				
		C*	See color options on	9	Special				
		CSM	Finish technical sheet	STD	Standard				

1. Lumen output based upon Type I distribution.
2. Contact factory for alternative output, CCT and distribution options.
3. CCT of 2700K or 3000K color temperature required for DarkSky Approved.
4. Structure pole specification sheet must be completed showing mounting locations and quantities as a separate item.
5. Specify steel pole on page 108 as a separate item.
6. Specify coverage pattern (see page 107 for details). Requires wireless handheld configuration tool.
7. Synapse Wireless site gateway controller must be ordered separately. Please contact factory for design assistance.

Product specification sheets subject to change.

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PP3

UOD-5017

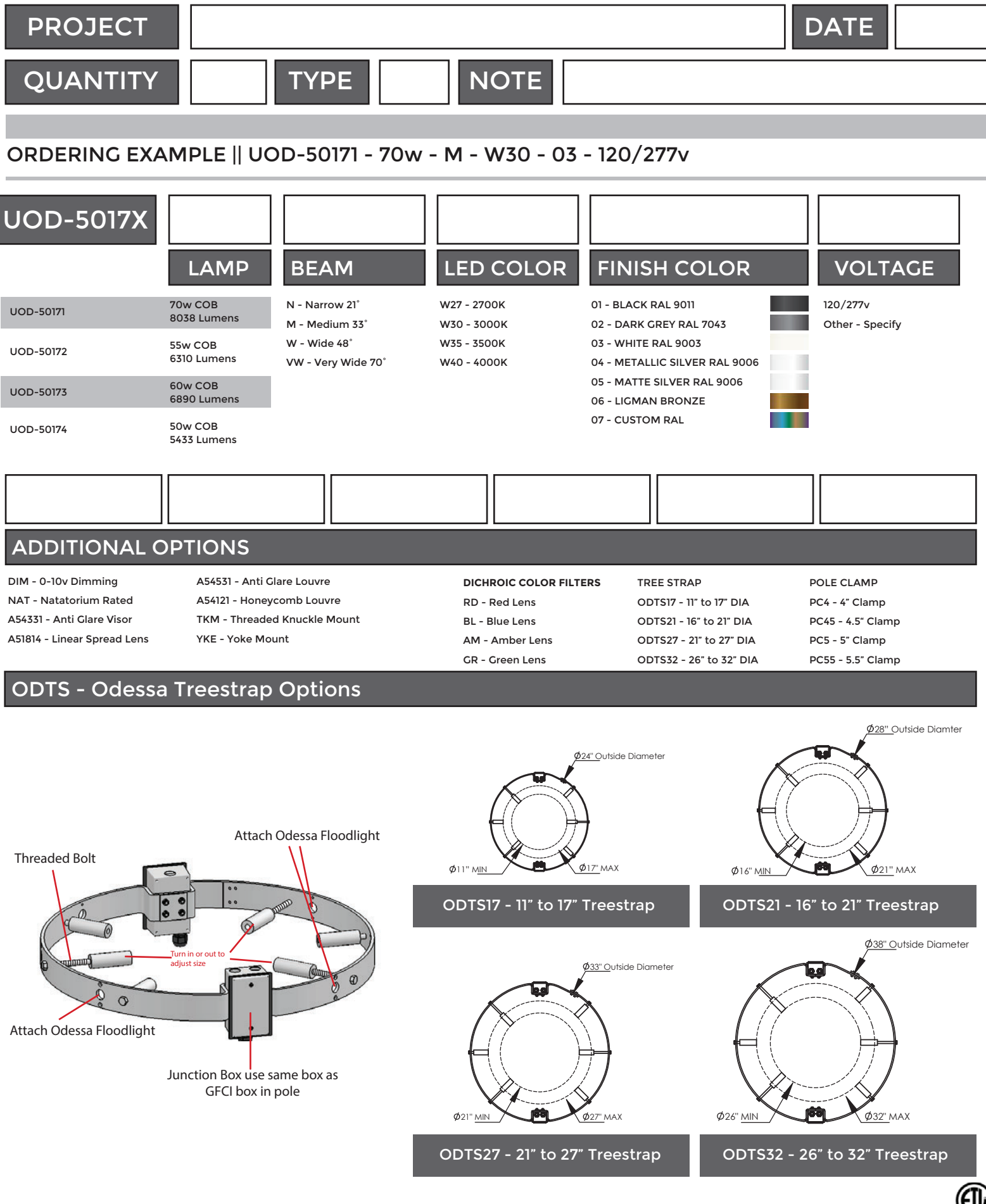
Odessa 15 Large Floodlight Threaded Knuckle Mount

LIGMAN
LIGHTING USA

UOD-5017

Odessa 15 Large Floodlight Threaded Knuckle Mount

LIGMAN
LIGHTING USA



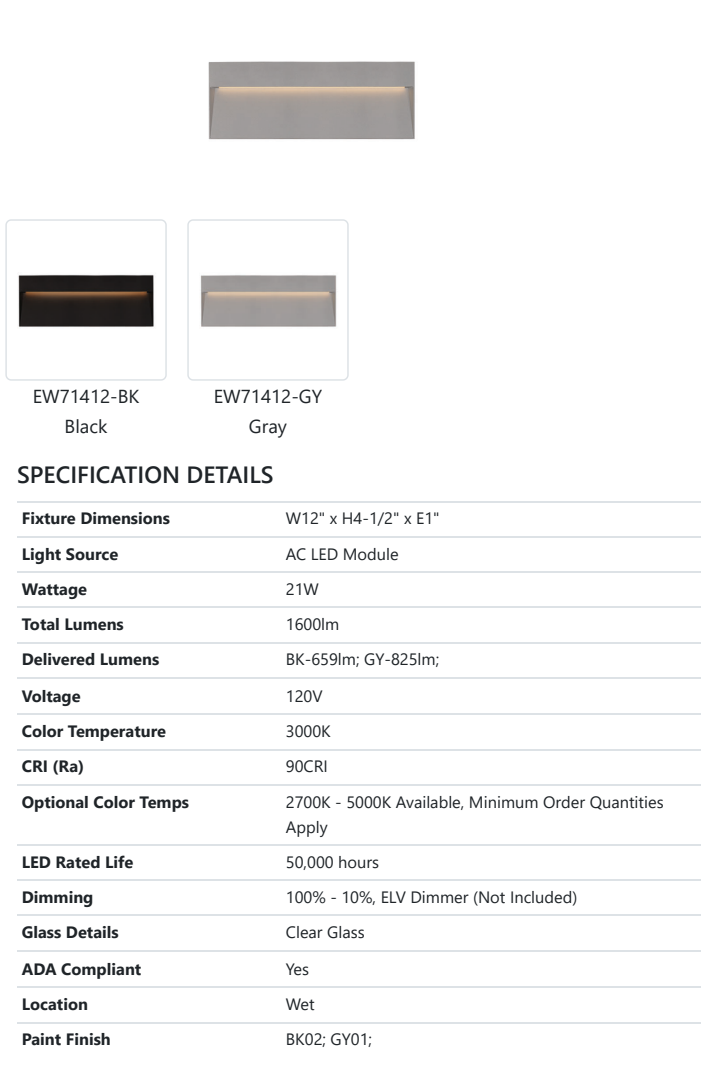
SL1

CASA

EW71412

WALL

PROJECT

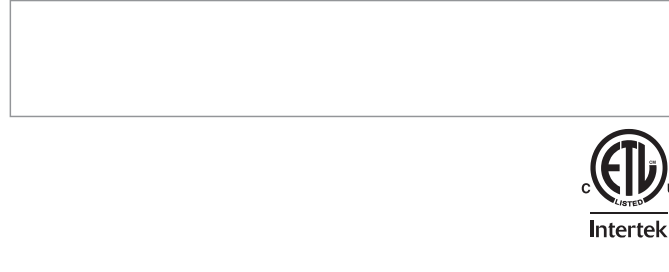


* For custom options, consult factory for details.
* For warranty information, please visit [www.kuzco Lighting.com/warranty](#)

KUZCO

CANADA: 18054 28TH AVENUE - SURREY, BC V3Z 6M3
USA: 3033 E. LONE MOUNTAIN ROAD - LAS VEGAS, NV 89081
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COMMENT



NOT FOR
CONSTRUCTION

1965 SKI TIME SQUARE DRIVE
STEAMBOAT SPRINGS, CO 80487

REVISIONS:

NO DATE DESCRIPTION

PROJECT NUMBER:
123134.00

DATE:
11/06/2024

ISSUED FOR:
DP Submittal #3

SHEET TITLE:
BUILDING LIGHTING -
CUTSHEETS - 3

SHEET NUMBER

LI.302