City of Steamboat Springs

Planning Department

Approved Plan Set

01/08/2025 kdouglas

PRELIMINARY PLAT FOR

LOT 1 AND LOT 2 THUNDERHEAD SUBDIVISION

LOCATED IN THE SECTION 22, T6N, R84W, 6TH P.M.; CITY OF STEAMBOAT SPRINGS, COUNTY OF ROUTT, STATE OF COLORADO

PROJECT TEAM:

MAJESTIC







OWNER MAJESTIC REALTY CO C/O LANDMARK CONSULTANTS, INC

141 9TH STREET STEAMBOAT SPRINGS, CO 80487 (970) 870-9494 ATTN: ERIK GRIEPENTROG, P.E.

ARCHITECT OZ ARCHITECTURE 3003 LARIMER ST **DENVER, CO 80205** (303) 861-5704 ATTN: LORNE BOURDO

CIVIL ENGINEER LANDMARK CONSULTANTS, INC. 141 9TH STREET STEAMBOAT SPRINGS, CO 80487 (970) 871-9494 ATTN: ERIK GRIEPENTROG, P.E.

BASE MAPPING SURVEYOR LANDMARK CONSULTANTS, INC. 141 9TH STREET STEAMBOAT SPRINGS, CO 80487 (970) 871-9494 ATTN: JEFF GUSTAFSON, P.L.S.

UTILITY CONTACT LIST:

UTILITY COMPANY	CONTACT	PHONE NUMBER
CITY OF STEAMBOAT SPRINGS MT. WERNER WATER YAMPA VALLEY ELECTRIC ASSOC. ATMOS ENERGY CENTURY LINK	EMRICK SOLTIS, P.E., CFM FRANK ALFONE LARRY BALL NATHAN CAMPBELL JASON SHARPE	(970) 871.8271 (970) 879.2424 (970) 871.2282 (970) 819.0988 (970) 328.8290
COMCAST UTILITY NOTIFICATION CTR. OF CO	ANDY NEWBY N/A	(303) 547.4584 (800) 922.1987

THIS LIST IS PROVIDED AS A COURTESY REFERENCE ONLY. LANDMARK CONSULTANTS, INC. ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THIS LIST. IN NO WAY SHALL THIS LIST RELINQUISH THE CONTRACTOR'S RESPONSIBILITY FOR LOCATING ALL UTILITIES PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITY. PLEASE CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) AT 811 FOR ADDITIONAL INFORMATION

SHEET INDEX

C.001 - COVER SHEET C.003 - DETAILED EXISTING CONDITIONS EXHIBIT

C.004 - OVERALL EXISTING CONDITIONS AND SLOPE EXHIBIT

C.010 - ANTICIPATED EXISTING CONDITIONS EXHIBIT C.100 - OVERALL SITE PLAN

C.110 - DETAILED SITE PLAN

C.200 - UTILITY PLAN

C.210 - SANITARY SEWER PLAN & PROFILE C.310 - STORM SEWER RE-ALIGNMENT

C.410 - WEST PROMENADE PLAN & PROFILE C.710 - EXISTING EASEMENT EXHIBIT C.711 - PROPOSED EASEMENT EXHIBIT

- DRAFT FINAL PLAT - COVER

- DRAFT FINAL PLAT

REFERENCE DRAWINGS*

L.100.1 SITE ILLUSTRATIVE PLAN - SUMMER

SITE PLAN **GRADING PLAN**

INDIVIDUAL LOT FRONTAGE (LOT 1, G-2)

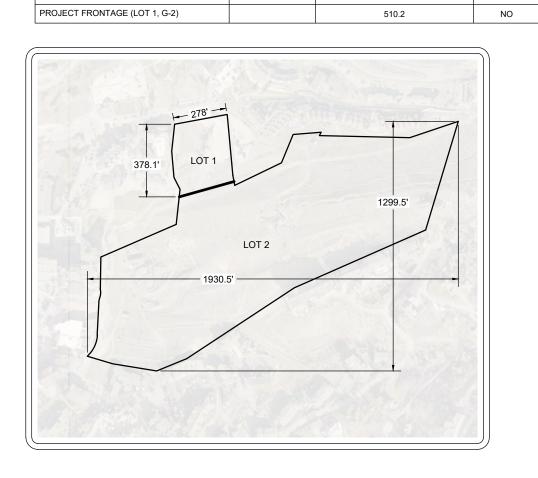
SITE PROFILES SITE LIGHTING PHOTOMETRIC

BUILDING LIGHTING - CUTSHEETS-1 BUILDING LIGHTING - CUTSHEETS-2 BUILDING LIGHTING - CUTSHEETS-3

CREEK PROMENADE. THESE SHEETS REFLECT PROPOSED IMPROVEMENTS FROM DEVELOPMENT PLAN (APPLICATION #PL20240125) TO AID IN REVIEW SPECIFIC TO THE BURGESS CREEK PROMENADE.

SUBDIVISIO	ON PROJECT SU	JMMARY TABLE	
PROJECT SUMMARY TABLE			
GROSS SITE AREA			30.4 ACRES
% OF SITE AREA IN ROW			0%
NUMBER OF LOTS			2
STANDARDS	ZONE DISTRICT REQUIREMENTS	PROPOSED	VARIANCE? (YES/NO)
AVERAGE LOT SIZE (LOT 1, G-2)	NO MIN./NO MAX.	2.5 ACRES	NO
AVERAGE LOT SIZE (LOT 2, OR)	2,500 SF MIN./NO MAX.	27.9 ACRES	NO
LOT WIDTH (LOT 1, G-2)	25' MIN./NO MAX.	324.9'	NO
LOT WIDTH (LOT 2, OR)	25' MIN./NO MAX.	1,930.5'	NO
LOT LENGTH (LOT 1, G-2)	NO MIN.	427.1	NO
LOT LENGTH (LOT 2, OR)	NO MIN.	1299.5	NO
LOT COVERAGE (LOT 1, G-2)	65% MAX.	N/A	NO
LOT COVERAGE (LOT 2, OR)	NO MAX.	N/A	NO
USEABLE LOT AREA (LOT 1, G-2) (SEE SHEET C.110)	1.61 ACRE MIN. (65% G.L.A.)	2.10 ACRE	NO
USEABLE LOT AREA (LOT 2, OR)	N/A	N/A	NO
AVERAGE SLOPE (LOT 1, G-2)	N/A	5.00%	NO
AVERAGE SLOPE (LOT 2, OR)	N/A	N/A	NO
BLOCK LENGTHS (LOT 1, G-2)	N/A	N/A	NO
BLOCK LENGTHS (LOT 2, OR)	N/A	N/A	NO

278.0



CALL UTILITY NOTIFICATION CENTER OF

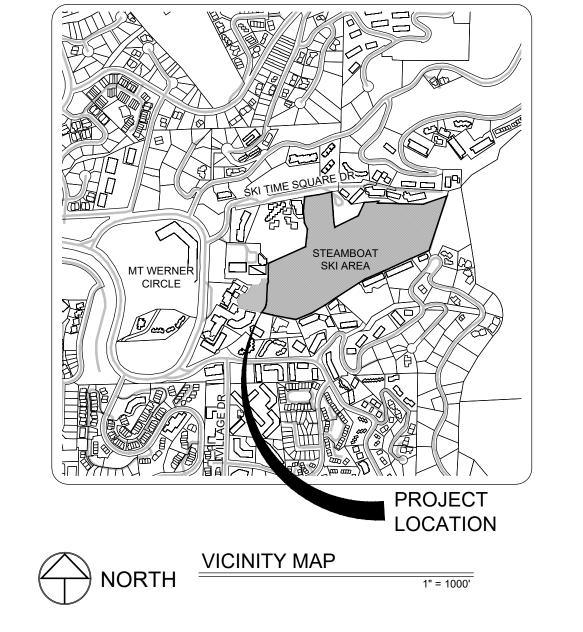


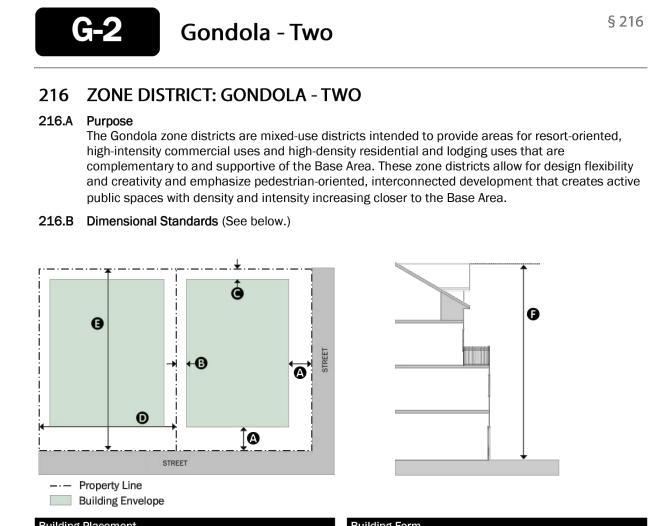
Consultants, Inc. and are not to be used for any type of construction or

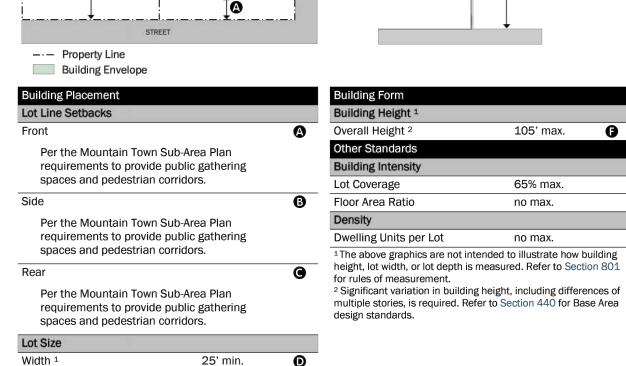
in the employ of Landmark Consultants, Inc. REVIEW SET

sealed by a Professional Engineer

SHEET





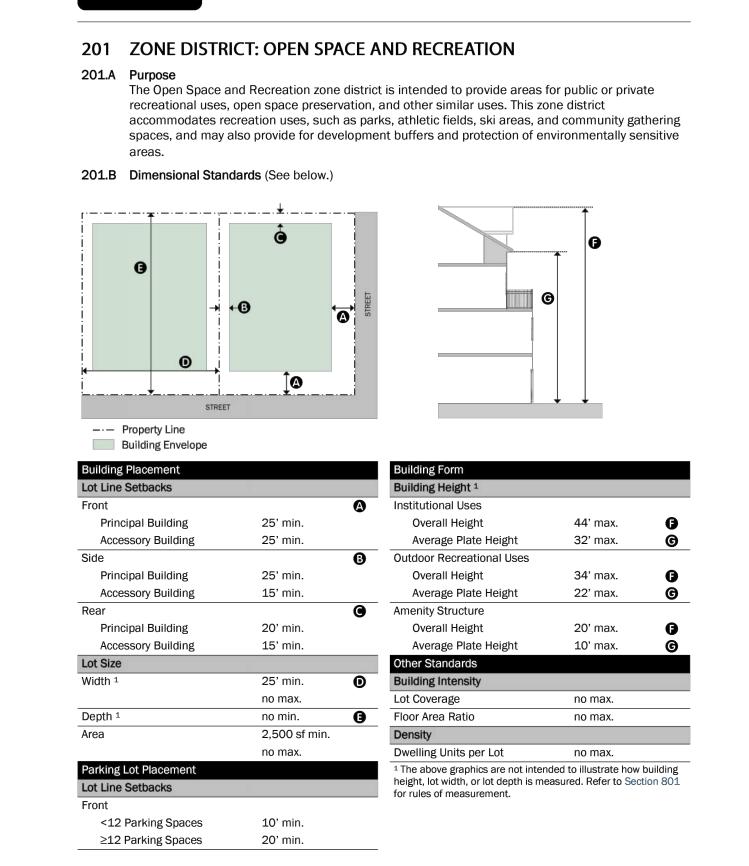


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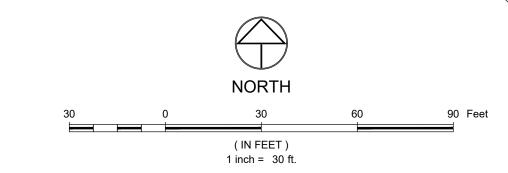
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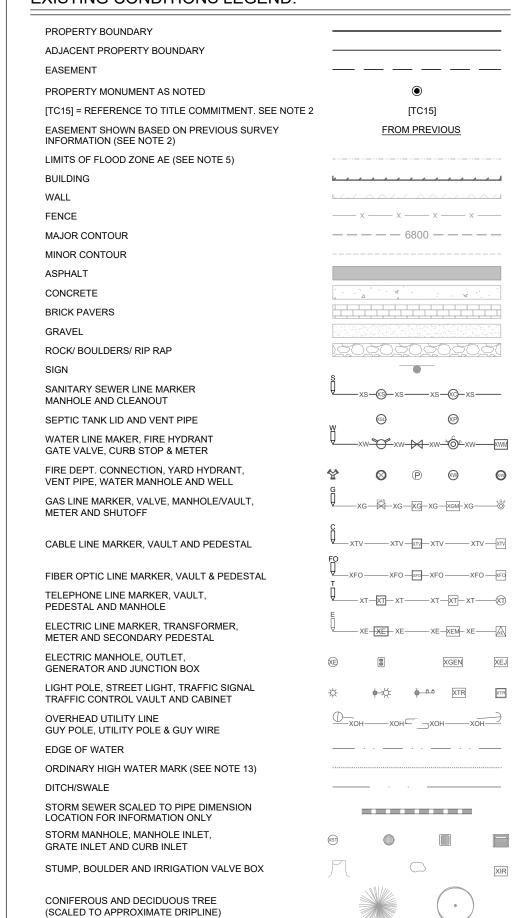
no max.



Open Space and Recreation



EXISTING CONDITIONS LEGEND:



NO

- 1. THIS MAP DOES NOT REPRESENT A MONUMENTED LAND SURVEY. IT IS INTENDED ONLY TO DEPICT THAT INFORMATION REQUESTED BY OUR CLIENT.
- LAND TITLE GUARANTEE COMPANY TITLE COMMITMENT ORDER NO. ABC30031079, COMMITMENT DATE: 07/21/2023 WAS RELIED UPON TO DETERMINE OWNERSHIP AND EASEMENTS OF RECORD SHOWN ON THIS EXISTING CONDITIONS MAP UNLESS NOTED OTHERWISE. EASEMENTS NOTED "FROM PREVIOUS" ARE SHOWN BASED ON PREVIOUS SURVEYING PERFORMED IN THE AREA BY LANDMARK CONSULTANTS, INC. NO REPRESENTATION IS MADE BY LANDMARK CONSULTANTS, INC. OR THE SURVEYOR OF RECORD THAT ALL EASEMENTS SHOWN HEREON ARE STILL EXTANT, OR THAT ALL EASEMENTS OF RECORD WITHIN THE MAPPING AREA ARE SHOWN OR NOTED HEREON.
- BASIS OF HORIZONTAL CONTROL: THE 2011 ITERATION OF THE COLORADO COORDINATE SYSTEM OF 1983 NORTH ZONE, NAD83(2011) COLORADO NORTH, SCALED TO GROUND ABOUT A POINT HAVING COORDINATES OF 1412535.68, 2636559.05 AND A SCALE FACTOR OF 1,003600183
- UNITS SHOWN HEREON ARE IN US SURVEY FEET AND THE STANDARD OF DISTANCE ACCURACY FOR THIS MAP HAS BEEN DETERMINED TO BE GREATER THAN 1:10,000.

FLOOD ZONE INFORMATION IS SHOWN HEREON PER LETTER OF MAP REVISION 13-08-0214P,

EFFECTIVE JULY 8, 2013, AND LETTER OF MAP REVISION LOMR 18-08-0922P, EFFECTIVE JULY

- SITE BENCHMARK: A SET #5 REBAR WITH ORANGE PLASTIC CAP HAVING AN ELEVATION OF 6963.78 BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AS SHOWN HEREON.
- CONTOUR INTERVAL = 1 FEET

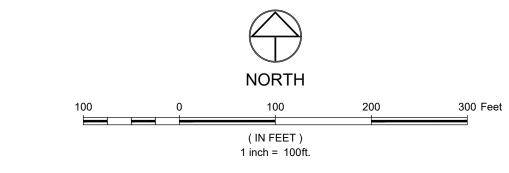
(SCALED TO APPROXIMATE DRIPLINE)

- 8. UNDERGROUND IMPROVEMENTS: LOCATIONS FOR UNDERGROUND IMPROVEMENTS ARE SHOWN HEREON PER ONE OR MORE OF THE FOLLOWING; VISIBLE AND APPARENT SURFACE EVIDENCE, AS-BUILT DRAWINGS PROVIDED BY OTHERS, MARKINGS PROVIDED BY COLORADO 811 ONE CALL SERVICES, PRIVATE UNDERGROUND LOCATING SERVICES, OR GIS INFORMATION. ANY METHOD OF SHOWING UNDERGROUND IMPROVEMENTS, OR ANY COMBINATION THEREOF, MAY NOT PROVIDE COMPLETE AND ACCURATE LOCATIONS FOR ALL UNDERGROUND IMPROVEMENTS. IF ACCURATE LOCATIONS FOR UNDERGROUND IMPROVEMENTS ARE REQUIRED, THEY WILL HAVE TO BE VERIFIED BY FIELD POTHOLING OF THE IMPROVEMENTS. LANDMARK CONSULTANTS, INC. AND THE SURVEYOR OR ENGINEER OF RECORD SHALL NOT BE LIABLE FOR THE FAILURE TO ACCURATELY AND COMPLETELY DEPICT THE LOCATIONS OF UNDERGROUND IMPROVEMENTS.
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- PUBLIC DOCUMENTS FILED IN THE RECORDS OF ROUTT COUNTY, COLORADO.
- 10. THE LAST FIELD INSPECTION OF THE SITE WAS ON 8/17/2023.
- 11. DRAWING PLOTS TO SCALE ON 24"x36" PAPER.
- 12. WATER AND SEWER INFORMATION SUPPLEMENTED USING MOUNT WERNER WATER RECORD INFORMATION. SOME DISCREPANCIES MAY EXIST.
- 13. ORDINARY HIGH WATER MARK IS SHOWN HEREON PER MARKINGS PROVIDED BY WESTERN

PROPERTY DESCRIPTION: THAT PARCEL OF LAND DESCRIBED IN RECEPTION NO. 816590 IN THE ROUTT COUNTY RECORDS; COUNTY OF ROUTT, STATE OF COLORADO.

DETAILED EXISTING CONDITIONS EXHIBITIONS EXHIBITIONS

C.003



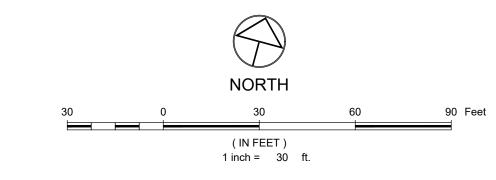
EXISTING CONDITIONS LEGEND:

PROPERTY BOUNDARY	
ADJACENT PROPERTY BOUNDARY	
EASEMENT	
PROPERTY MONUMENT AS NOTED	•
[TC15] = REFERENCE TO TITLE COMMITMENT. SEE NOTE 2 EASEMENT SHOWN BASED ON PREVIOUS SURVEY	[TC15] <u>FROM PREVIOUS</u>
INFORMATION (SEE NOTE 2)	
LIMITS OF FLOOD ZONE AE (SEE NOTE 5)	L
BUILDING WALL	
FENCE	
MAJOR CONTOUR	
MINOR CONTOUR	
ASPHALT	
CONCRETE CURR W/ PAN	
CONCRETE CURB W/ PAN	· · · · · · · · · · · · · · · · · · ·
BRICK PAVERS	
GRAVEL	
ROCK/ BOULDERS/ RIP RAP	
SIGN	S N
SANITARY SEWER LINE MARKER MANHOLE AND CLEANOUT	₩xs_@_xsxs_@_xs_
SEPTIC TANK LID AND VENT PIPE	(S)
WATER LINE MAKER, FIRE HYDRANT GATE VALVE, CURB STOP & METER	₩
FIRE DEPT. CONNECTION, YARD HYDRANT, VENT PIPE, WATER MANHOLE AND WELL	☆ ⊗ ℙ ∞
GAS LINE MARKER, VALVE, MANHOLE/VAULT, METER AND SHUTOFF	G VG—XG—XG—XG—XG—XG—XG—XG—
CABLE LINE MARKER, VAULT AND PEDESTAL	C XTV XTV XTV XTV XTV XTV
FIRED ORTIC LINE MARKED VALUET & DEDECTAL	FO
FIBER OPTIC LINE MARKER, VAULT & PEDESTAL TELEPHONE LINE MARKER, VAULT, PEDESTAL AND MANHOLE	T
ELECTRIC LINE MARKER, TRANSFORMER, METER AND SECONDARY PEDESTAL	E
ELECTRIC MANHOLE, OUTLET, GENERATOR AND JUNCTION BOX	(E) REPORTED TO THE REPORT OF
LIGHT POLE, STREET LIGHT, TRAFFIC SIGNAL TRAFFIC CONTROL VAULT AND CABINET	☆
OVERHEAD UTILITY LINE GUY POLE, UTILITY POLE & GUY WIRE	Ф_хон—хон⊂хон—хон
EDGE OF WATER	
ORDINARY HIGH WATER MARK (SEE NOTE 13) DITCH/SWALE	
STORM SEWER SCALED TO PIPE DIMENSION LOCATION FOR INFORMATION ONLY	
STORM MANHOLE, MANHOLE INLET, GRATE INLET AND CURB INLET	(S)
STUMP, BOULDER AND IRRIGATION VALVE BOX	
CONIFEROUS AND DECIDUOUS TREE (SCALED TO APPROXIMATE DRIPLINE)	
CONIFEROUS AND DECIDUOUS SHRUB	

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SHEET

C.004



EXISTING CONDITIONS LEGEND:

PROPERTY BOUNDARY ADJACENT PROPERTY BOUNDARY ___ _ _ _ _ _ _ _ _ _ _ PROPERTY MONUMENT SECTION CORNER HIGHWATER MARK FEMA FLOODWAY EDGE OF WATER WATER BODY SETBACK ROOF LINE/OVERHANG ____ x ___ x ___ x ___ x ___ _____ MAJOR CONTOUR MINOR CONTOUR SANITARY SEWER LINE MARKER ₩___xs**_**@_xs___xs**_**@_xs____ MANHOLE AND CLEANOUT SEPTIC TANK LID AND VENT PIPE WATER LINE MAKER, FIRE HYDRANT XW—XXX—XX—XX—XXX—XXX GATE VALVE, CURB STOP & METER FIRE DEPT. CONNECTION, YARD HYDRANT,
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 Ø

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 Ø
 Ø
 VENT PIPE, WATER MANHOLE AND WELL GAS LINE MARKER, VALVE, MANHOLE/VAULT, METER AND SHUTOFF PROPANE TANK (BURIED) TTV—XTV—M—XTV—XTV—XTV—XTV CABLE LINE MARKER, VAULT AND PEDESTAL SATELLITE DISH XFO — FIBER OPTIC LINE MARKER, VAULT & PEDESTAL TELEPHONE LINE MARKER, VAULT, PEDESTAL AND MANHOLE ELECTRIC LINE MARKER, TRANSFORMER, XE-XE-XE-XE-XEM-XE-XEM METER AND SECONDARY PEDESTAL ELECTRIC MANHOLE, OUTLET, GENERATOR AND JUNCTION BOX LIGHT POLE, STREET LIGHT, TRAFFIC SIGNAL TRAFFIC CONTROL VAULT AND CABINET OVERHEAD UTILITY LINE Фхон—хон хон—хон— GUY POLE, UTILITY POLE & GUY WIRE EDGE OF WATER CULVERT W/ END SECTIONS STORM MANHOLE, MANHOLE INLET, GRATE INLET AND CURB INLET AIR CONDITIONER, MAILBOX, NEWSTAND, CONIFEROUS AND DECIDUOUS TREE (SCALED TO APPROXIMATE DRIPLINE) CONIFEROUS AND DECIDUOUS SHRUB (SCALED TO APPROXIMATE DRIPLINE)

*ANTICIPATED EXISTING CONDITIONS EXHIBIT REFLECTS THE FUTURE EXISTING CONDITIONS AS A RESULT OF THE ONGOING SKI TIME SQUARE DRIVE TURNAROUND & COMPLETE STREET IMPROVEMENTS (BY OTHERS). FINAL CONDITIONS MAY DIFFER AND ARE SUBJECT TO CHANGE.

CALL UTILITY NOTIFICATION CENTER OF COLORADO

Know what's below.

Call before you dig.

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

SHEET **C.010**

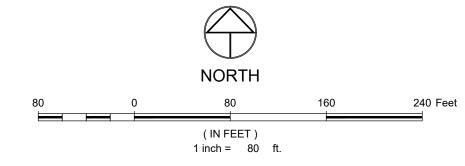
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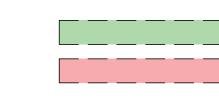


SITE PLAN LEGEND: MAJOR CONTOUR MINOR CONTOUR ASPHALT CONCRETE

CULVERT W/ END SECTIONS STORM MANHOLE, MANHOLE INLET, GRATE INLET AND CURB INLET

PROMENADE EASEMENT

OPEN SPACE EASEMENT (*SEE NOTE 6)



- 1. THE MEASURED DISTANCES SHOWN HEREON ARE IN U.S. SURVEY FEET.
- 2. UNDERGROUND IMPROVEMENTS: LOCATIONS FOR UNDERGROUND IMPROVEMENTS ARE SHOWN HEREON PER ONE OR MORE OF THE FOLLOWING; VISIBLE AND APPARENT SURFACE EVIDENCE, SERVICES, PRIVATE UNDERGROUND LOCATING SERVICES, OR GIS INFORMATION. ANY METHOD OF SHOWING UNDERGROUND IMPROVEMENTS, OR ANY COMBINATION THEREOF, MAY NOT PROVIDE COMPLETE AND ACCURATE LOCATIONS FOR ALL UNDERGROUND IMPROVEMENTS. IF ACCURATE LOCATIONS FOR UNDERGROUND IMPROVEMENTS ARE REQUIRED, THEY WILL HAVE TO BE VERIFIED BY FIELD POTHOLING OF THE IMPROVEMENTS. LANDMARK CONSULTANTS, INC. AND THE SURVEYOR OR ENGINEER OF RECORD SHALL NOT BE LIABLE FOR THE FAILURE TO ACCURATELY AND COMPLETELY DEPICT THE LOCATIONS OF UNDERGROUND IMPROVEMENTS.
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- 5. CONTOUR INTERVAL = 2 FOOT
- 6. THE AREA DESIGNATED OPEN SPACE HEREON IS SUBJECT TO THE USES AND RESTRICTIONS AS DEFINED IN SECTION 602.L OPEN SPACE, PARKS AND AMENITY SPACE IN THE STEAMBOAT SPRINGS COMMUNITY DEVELOPMENT CODE EFFECTIVE JANUARY 1, 2018 (VERSION 6).

ADJACENT AND OFF-SITE IMPROVEMENTS NOTE:

THERE ARE IMPROVEMENTS SHOWN THAT EXTEND BEYOND THE PROPERTY LIMITS OF THIS APPLICATION. EASEMENTS AND/OR AGREEMENTS WILL BE REQUIRED TO CONSTRUCT, OPERATE AND MAINTAIN SUCH IMPROVEMENTS. CHANGES MAY BE REQUIRED BASED ON THE FINAL TERMS AND CONDITIONS. NOTIFY LANDMARK OF ANY AND ALL REQUIREMENTS NECESSARY FOR DESIGN AND CONSTRUCTION OF THE SCOPES OF WORK.

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contracting unless signed and sealed by a Professional Engineer

in the employ of Landmark Consultants, Inc.

SET

NOT FOR CONSTRUCTION

SHEET

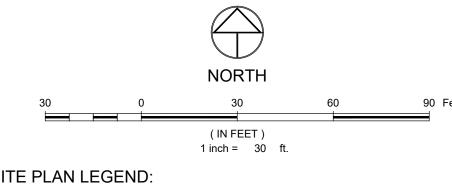
C.100

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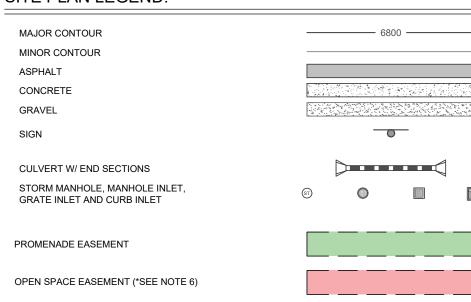


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SITE PLAN LEGEND:

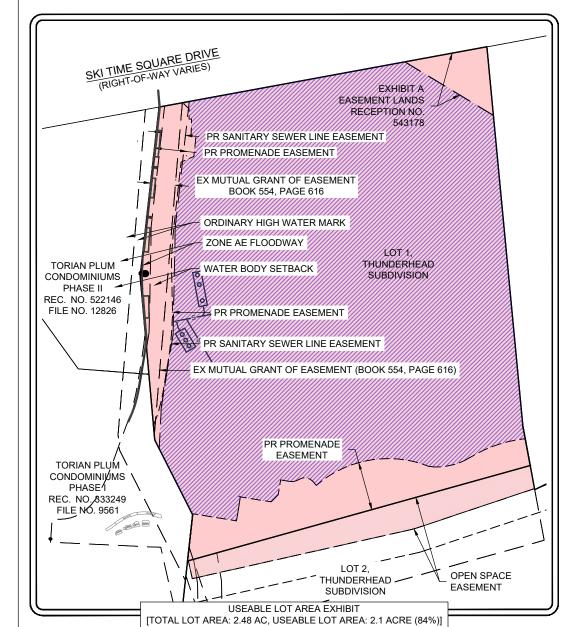


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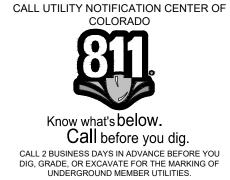
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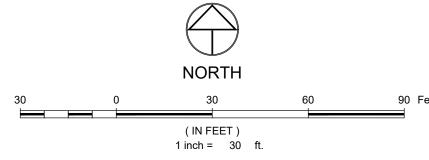


OPEN SPACE CALCULATIONS PER CDC SECTION 602.L UNPLATTED PORTION OF PROPERTY = 108,166.2 SF 15% OF UNPLATTED LAND = 16,224.9 SF (REQUIRED OPEN SPACE) AREA OF PROMENADE EASEMENT ALONG BURGESS CREEK = 5,256.5 SF AREA OF PROMENADE EASEMENT ALONG SOUTHERN PROPERTY LINE = 7,698.4 SF AREA OF OPEN SPACE EASEMENT = 6,146.7 SF



These drawings are instruments of service provided by Landmark Consultants, Inc. and are not to be used for any type of construction or contracting unless signed and sealed by a Professional Engineer in the employ of Landmark Consultants, Inc.

NOT FOR CONSTRUCTION



UTILITY PLAN LEGEND:

PROPOSED SANITARY SEWER W/ MH & C.O.

PROPOSED WATER PROPOSED GV, FH & CS

EXISTING GAS (ATMOS) TO BE RELOCATED EXISTING ELECTRIC (YVEA) TO BE RELOCATED

APPROXIMATE LIMITS OF ACTIVE CONSTRUCTION AREA

- . THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK. BEFORE COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UNKNOWN UNDERGROUND
- . EXISTING UNDERGROUND AND OVERHEAD PUBLIC AND PRIVATE UTILITIES AS SHOWN ARE INDICATED ACCORDING TO THE BEST INFORMATION MADE AVAILABLE TO THE ENGINEER. THE ENGINEER DOES NOT GUARANTEE NOR IS RESPONSIBLE FOR THE ACCURACY OF SUCH INFORMATION. EXISTING UTILITY MAINS AND SERVICES MAY NOT BE STRAIGHT LINES OR AS INDICATED ON THESE DRAWINGS. CONTRACTOR TO VERIFY EXISTING HORIZONTAL AND VERTICAL LOCATIONS PRIOR TO CONSTRUCTION.
- 3. ALL SEWER CONSTRUCTION SHALL BE PER MOUNT WERNER WATER STANDARD SPECIFICATIONS, LATEST EDITION.
- 4. MAINTAIN 10' HORIZONTAL AND 18" VERTICAL MINIMUM SEPARATION BETWEEN ALL SANITARY SEWER MAINS, WATER MAINS & SERVICES.
- 5. MANHOLES LOCATED OUTSIDE OF THE ROADWAY SHALL PROTRUDE 1' ABOVE EXISTING GRADE TO REDUCE INFILTRATION. GRADE SURFACE TO DRAIN AROUND/AWAY FROM MANHOLE RIMS.
- 6. ALL MANHOLES LOCATED IN THE ROADWAY SHALL HAVE RIM ELEVATIONS ADJUSTED TO 1 BELOW FINISHED GRADE. IF NECESSARY, CONE SECTIONS SHALL BE ROTATED TO PREVENT LIDS BEING LOCATED WITHIN VEHICLE OR BICYCLE WHEEL PATHS.
- 7. SEWER SERVICE SHALL HAVE A MINIMUM OF 4-FT OF COVER.
- 8. WATER SERVICE SHALL HAVE A MINIMUM OF 7-FT OF COVER.
- 9. ALL WATER PIPE SHALL BE INSTALLED WITH A #10 SOLID COPPER WIRE COATED WITH 45 MIL POLYETHYLENE FOR LOCATING PURPOSES. "GLENN TEST STATIONS" BY VALVCO, INC TRACER WIRE TEST STATIONS SHALL BE INSTALLED ADJACENT TO ALL FIRE HYDRANTS. ADDITIONAL LOCATIONS MAY BE REQUIRED.
- 10. ALL MATERIALS USED FOR BACKFILL SHALL BE FREE FROM REFUSE ORGANIC MATERIAL. COBBLES, BOULDERS, LARGE ROCKS OR STONES OR FROZEN SOILS GREATER THAN 6-INCHES IN
- 11. BEDDING AND SHADING MATERIALS SHALL ONLY BE 3/4-INCH WASHED OR SCREENED ROCK. 3/4-INCH MINUS, SQUEEGEE OR REJECT SAND, OR CLASS 6 AGGREGATE BASE COURSE IS NOT
- 12. EXISTING DRY UTILITY RELOCATIONS, ABANDONMENTS AND INSTALLATION TO BE COORDINATED DIRECTLY WITH THE UTILITY PROVIDER.

ADJACENT AND OFF-SITE IMPROVEMENTS NOTE:

THERE ARE IMPROVEMENTS SHOWN THAT EXTEND BEYOND THE PROPERTY LIMITS OF THIS APPLICATION. EASEMENTS AND/OR AGREEMENTS WILL BE REQUIRED TO CONSTRUCT, OPERATE AND MAINTAIN SUCH IMPROVEMENTS. CHANGES MAY BE REQUIRED BASED ON THE FINAL TERMS AND CONDITIONS. NOTIFY LANDMARK OF ANY AND ALL REQUIREMENTS NECESSARY FOR DESIGN AND CONSTRUCTION OF THE SCOPES OF WORK.

*THE IMPROVEMENTS SHOWN WITHIN THE SKI TIME SQUARE DRIVE RIGHT-OF-WAY REFLECT THE PROPOSED WORK DESCRIBED IN THE SKI TIME SQUARE DRIVE TURNAROUND & COMPLETE STREET

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service provided by Landmark

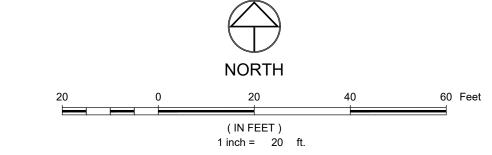
NOT FOR CONSTRUCTION

SHEET

CALL UTILITY NOTIFICATION CENTER OF COLORADO

Know what's below.

Call before you dig. CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES. C.200



PROPOSED SANITARY SEWER W/ MH

EXISTING SANITARY SEWER TO BE REPLACED W/ MH

- 1. THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK. BEFORE
- INDICATED ACCORDING TO THE BEST INFORMATION MADE AVAILABLE TO THE ENGINEER. THE ENGINEER DOES NOT GUARANTEE NOR IS RESPONSIBLE FOR THE ACCURACY OF SUCH INFORMATION. EXISTING UTILITY MAINS AND SERVICES MAY NOT BE STRAIGHT LINES OR AS
- LATEST EDITION.
- 4. MAINTAIN 10' HORIZONTAL AND 18" VERTICAL MINIMUM SEPARATION BETWEEN ALL SANITARY SEWER MAINS, WATER MAINS & SERVICES.
- 5. MANHOLES LOCATED OUTSIDE OF THE ROADWAY SHALL PROTRUDE 1' ABOVE EXISTING GRADE
- 6. ALL MANHOLES LOCATED IN THE ROADWAY SHALL HAVE RIM ELEVATIONS ADJUSTED TO PREVENT LIDS BEING LOCATED WITHIN VEHICLE OR BICYCLE WHEEL PATHS.
- 7. SEWER SERVICE SHALL HAVE A MINIMUM OF 4-FT OF COVER.
- 8. WATER SERVICE SHALL HAVE A MINIMUM OF 7-FT OF COVER.
- 9. ALL WATER PIPE SHALL BE INSTALLED WITH A #10 SOLID COPPER WIRE COATED WITH 45 MIL POLYETHYLENE FOR LOCATING PURPOSES. "GLENN TEST STATIONS" BY VALVCO, INC TRACER WIRE TEST STATIONS SHALL BE INSTALLED ADJACENT TO ALL FIRE HYDRANTS. ADDITIONAL LOCATIONS MAY BE REQUIRED.
- 11. BEDDING AND SHADING MATERIALS SHALL ONLY BE 3/4-INCH WASHED OR SCREENED ROCK. 3/4-INCH MINUS, SQUEEGEE OR REJECT SAND, OR CLASS 6 AGGREGATE BASE COURSE IS NOT ALLOWED.
- 12. EXISTING DRY UTILITY RELOCATIONS, ABANDONMENTS AND INSTALLATION TO BE COORDINATED DIRECTLY WITH THE UTILITY PROVIDER.

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UTILITY PLAN LEGEND:

- COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UNKNOWN UNDERGROUND 2. EXISTING UNDERGROUND AND OVERHEAD PUBLIC AND PRIVATE UTILITIES AS SHOWN ARE
- INDICATED ON THESE DRAWINGS. CONTRACTOR TO VERIFY EXISTING HORIZONTAL AND VERTICAL LOCATIONS PRIOR TO CONSTRUCTION.
- 3. ALL SEWER CONSTRUCTION SHALL BE PER MOUNT WERNER WATER STANDARD SPECIFICATIONS,
- TO REDUCE INFILTRATION. GRADE SURFACE TO DRAIN AROUND/AWAY FROM MANHOLE RIMS.

- 10. ALL MATERIALS USED FOR BACKFILL SHALL BE FREE FROM REFUSE ORGANIC MATERIAL, COBBLES, BOULDERS, LARGE ROCKS OR STONES OR FROZEN SOILS GREATER THAN 6-INCHES IN

ADJACENT AND OFF-SITE IMPROVEMENTS NOTE:

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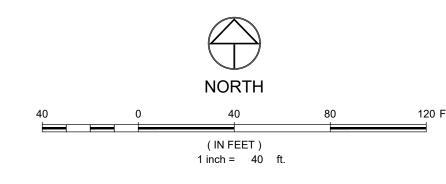
Consultants, Inc.

NOT FOR CONSTRUCTION

SANITARY SEWER REPLACEMENT PLAN & PROFILE Thunderhead Beach Preliminary Plat

SHEET

C.210



GRADING PLAN LEGEND:

PROPERTY BOUNDARY HIGHWATER MARK WATER BODY SETBACK PROPOSED STORM SEWER W/ FLARED END SECTION PROPOSED STORM INLET (CURB & AREA) PROPOSED STORM MANHOLE & CLEANOUT EXISTING MAJOR CONTOUR EXISTING MINOR CONTOUR PROPOSED MAJOR CONTOUR PROPOSED MINOR CONTOUR PROPOSED SWALE FLOOD HAZARD LIMITS 6790.50 PROPOSED OVERLAND FLOW DIRECTION W/ SLOPE FLOW CONVEYANCE DIRECTION

ADJACENT AND OFF-SITE IMPROVEMENTS NOTE

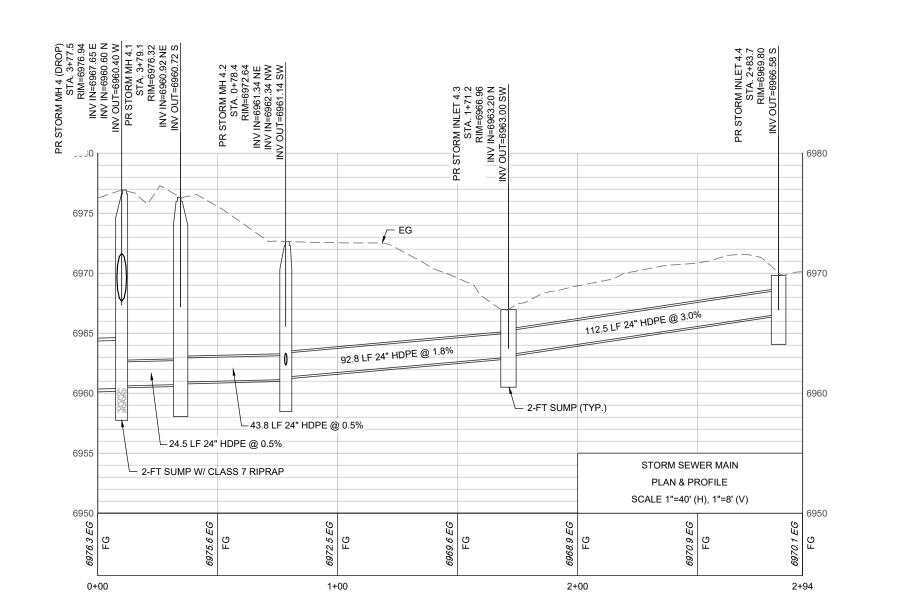
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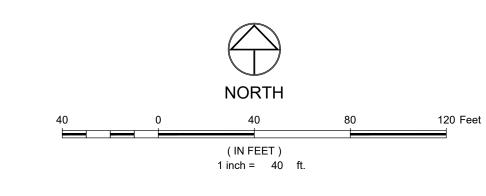
*THE IMPROVEMENTS SHOWN WITHIN THE SKI TIME SQUARE DRIVE RIGHT-OF-WAY REFLECT THE PROPOSED WORK DESCRIBED IN THE SKI TIME SQUARE DRIVE TURNAROUND & COMPLETE STREET IMPROVEMENTS (BY OTHERS). FINAL CONDITIONS MAY DIFFER AND ARE SUBJECT TO CHANGE.

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- 2. PROJECT BENCHMARK: RECOVERED NO.5 REBAR W/ YELLOW PLASTIC CAP STAMPED "LS 13221"
- 3. ELEVATIONS FOR IMPROVEMENTS THAT ARE CONTROLLED BY ADJACENT EXISTING FACILITIES (SUCH AS PROPOSED GUTTERS ALONG EXISTING ASPHALT) MAY REQUIRE ADJUSTMENT BASED ON ACTUAL CONDITIONS. COORDINATE WITH ENGINEER TO ENSURE A CONSISTENT SECTION WITH SMOOTH TRANSITIONS WHERE NECESSARY.
- 4. SEE SOILS REPORT FOR PAVEMENT, SUBGRADE AND MATERIAL PREPARATION, DESIGN AND RECOMMENDATIONS.
- 5. ALL CURB SPOTS SHOWN ARE FLOWLINE ELEVATIONS, UNLESS NOTED OTHERWISE. ALL OTHER SPOTS ARE FINISHED GRADE ELEVATIONS.



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GRADING PLAN LEGEND:

PROPERTY BOUNDARY HIGHWATER MARK FEMA FLOODWAY EDGE OF WATER WATER BODY SETBACK PROPOSED STORM SEWER W/ FLARED END SECTION PROPOSED STORM INLET (CURB & AREA) PROPOSED STORM MANHOLE & CLEANOUT EXISTING MAJOR CONTOUR EXISTING MINOR CONTOUR PROPOSED MAJOR CONTOUR PROPOSED MINOR CONTOUR PROPOSED SWALE FLOOD HAZARD LIMITS SPOT ELEVATION PROPOSED OVERLAND FLOW DIRECTION W/ SLOPE

ADJACENT AND OFF-SITE IMPROVEMENTS NOTE

FLOW CONVEYANCE DIRECTION

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6790.50

NOTES:

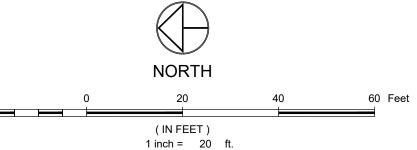
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- 2. PROJECT BENCHMARK: RECOVERED NO.5 REBAR W/ YELLOW PLASTIC CAP STAMPED "LS 13221" 0.1' BELOW GRAND, NAVD88 ELEV. = 6784.29
- 3. ELEVATIONS FOR IMPROVEMENTS THAT ARE CONTROLLED BY ADJACENT EXISTING FACILITIES (SUCH AS PROPOSED GUTTERS ALONG EXISTING ASPHALT) MAY REQUIRE ADJUSTMENT BASED ON ACTUAL CONDITIONS. COORDINATE WITH ENGINEER TO ENSURE A CONSISTENT SECTION WITH SMOOTH TRANSITIONS WHERE NECESSARY.
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CALL UTILITY NOTIFICATION CENTER OF COLORADO



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LIGNME



LEGEND:

PROPERTY BOUNDARY PR. PROMENADE EAESMENTS FEMA FLOODWAY EDGE OF WATER

WATER BODY SETBACK PROPOSED SANITARY SEWER W/ MH

PROPOSED STORM SEWER W/ FLARED END SECTION PROPOSED STORM INLETS AND MH

EXISTING MAJOR CONTOUR EXISTING MINOR CONTOUR PROPOSED MAJOR CONTOUR PROPOSED MINOR CONTOUR SPOT ELEVATION

PROPOSED OVERLAND FLOW DIRECTION W/ SLOPE FLOW CONVEYANCE DIRECTION

PROMENADE PAVERS (PED ZONE <- -> TRAFFIC ZONE)

ASPHALT PAVEMENT CONCRETE PAVEMENT

6790.50

—s—s—s—s—

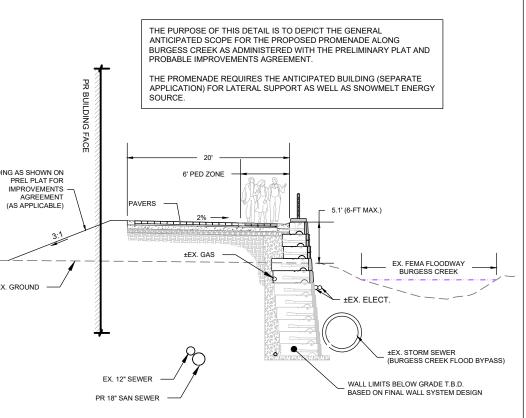
— — — — — (6805)— — — — —

NOTES:

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TYPICAL BURGESS CREEK PROMENADE SECTION (NON-CANTILEVERED) N.T.S.



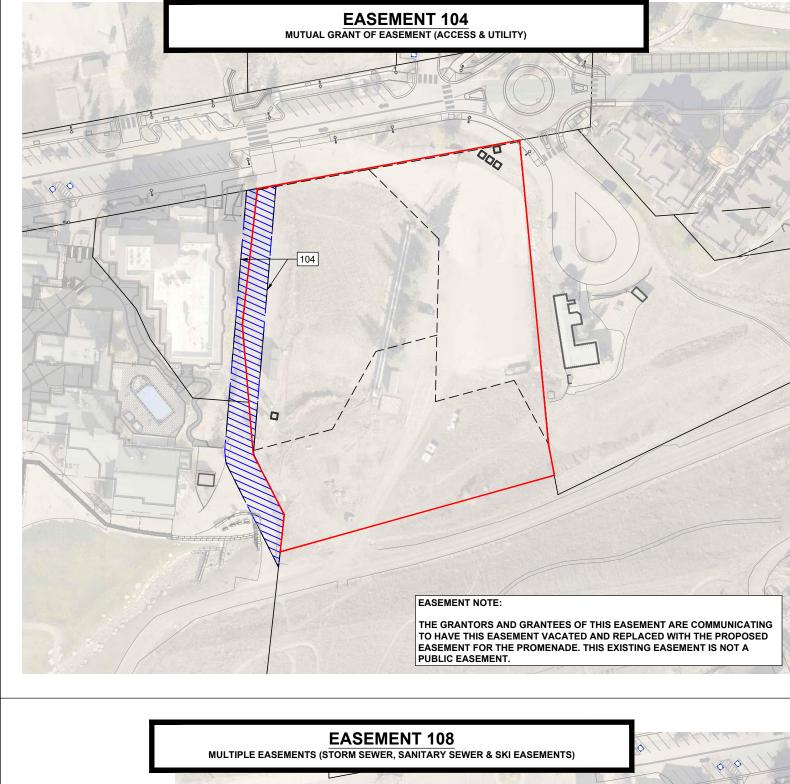
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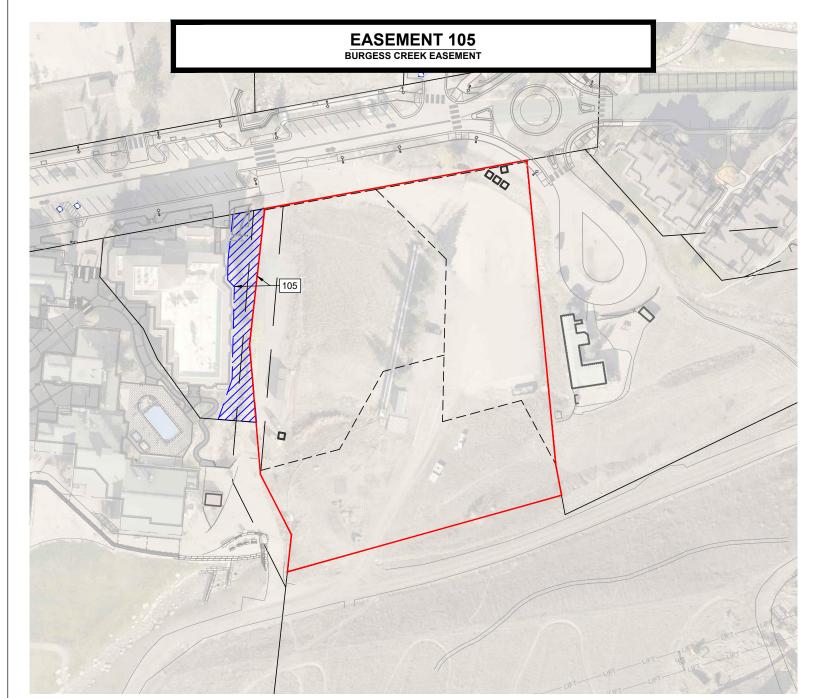
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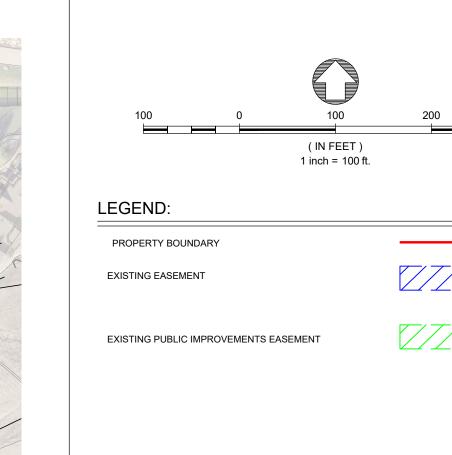
TO BE VACATED UPON SUBSTANTIAL COMPLETION OF PARCEL B'S REVISED ACCESS, AS PART OF THE URA'S SKI TIME SQUARE DRIVE TURNAROUND & COMPLETE STREETS PROJECT.

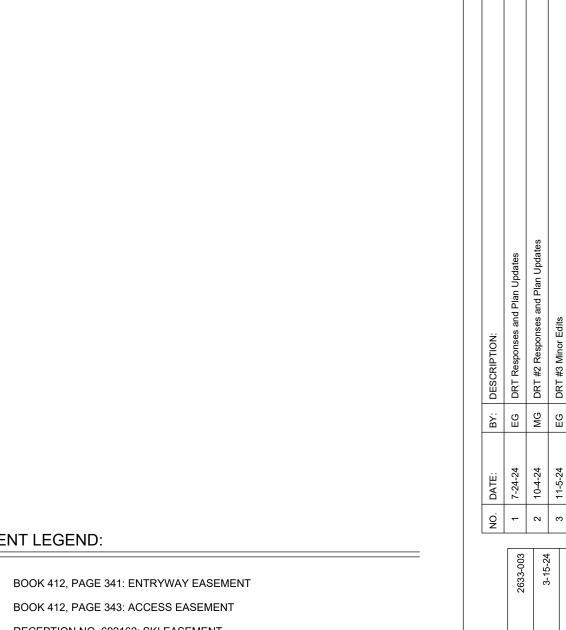
EASEMENT 111
EXHIBIT A EASEMENT LANDS

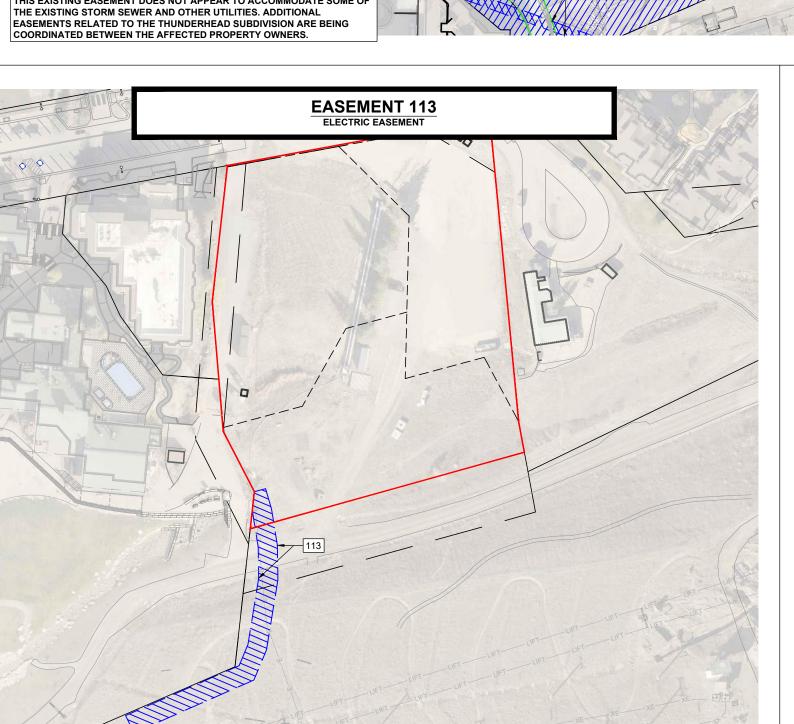




EASEMENT 114
PUBLIC IMPROVEMENTS EASEMENT

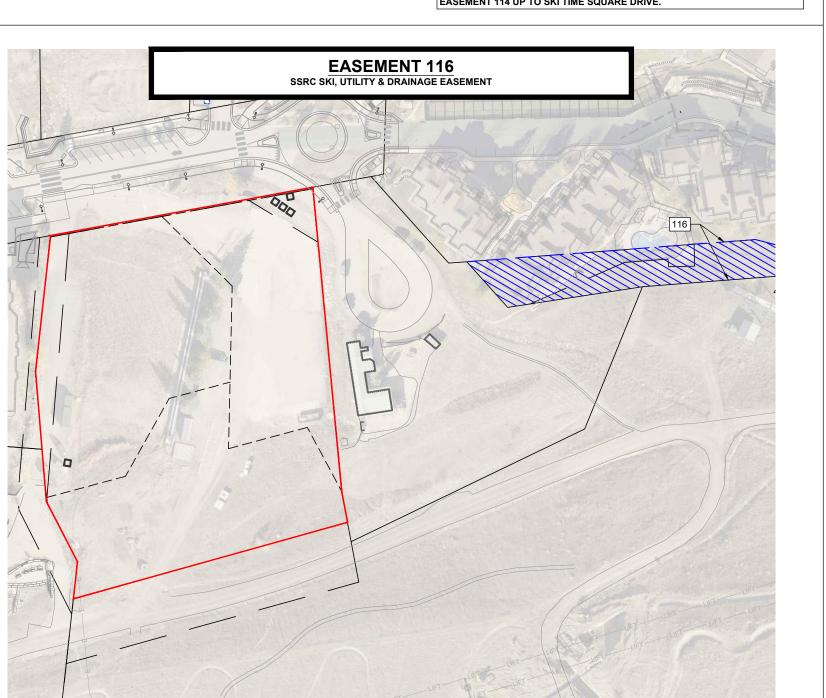






108 (STORM SEWER)

108 (STORM SEWER)



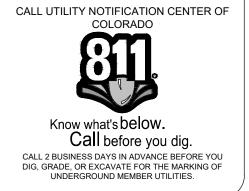
EASEMENT 114 DOES NOT EXTEND TO THE THUNDERHEAD SUBDIVISION BOUNDARY. THE PROPOSED PROMENADE EASEMENT IS BEING COORDINATED WITH THE ADJACENT PROPERTY OWNER TO CONNECT FROM



102	RECEPTION NO. 692162: SKI EASEMENT
103	BOOK 532, PAGE 788: 10' ELECTRIC EASEMENT
104	BOOK 554, PAGE 616: MUTUAL GRANT OF EASEMENT (ACCESS & UTILITY)
105	RECEPTION NO. 522146: BURGESS CREEK EASEMENT
106	RECEPTION NO. 524547: INGRESS-EGRESS, UTILITY, AND SKI EASEMENT
107	BOOK 634, PAGE 49: 10' PEDESTRIAN AND BICYCLE PATH EASEMENT
108	BOOK 560, PAGE 396: MULTIPLE EASEMENTS (STORM, SANITARY & SKI)
109	RECEPTION NO. 539136: TURNAROUND LICENSE AREA
110	RECEPTION NO. 543179: SEWER EASEMENT
111	RECEPTION NO. 543178: EXHIBIT EASEMENT LANDS
112	RECEPTION NO. 539534: STORM SEWER EASEMENT
113	RECEPTION NO. 817314: ELECTRIC EASEMENT
114	RECEPTION NO. 711036: PUBLIC IMPROVEMENTS EASEMENT
115	SPIRES DITCH NO. 1: F325

RECEPTION NO. 464998: SSRC SKI, UTILITY & DRAINAGE EASEMENT

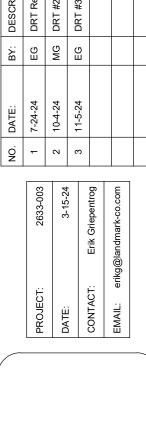
BOOK 412, PAGE 343: ACCESS EASEMENT

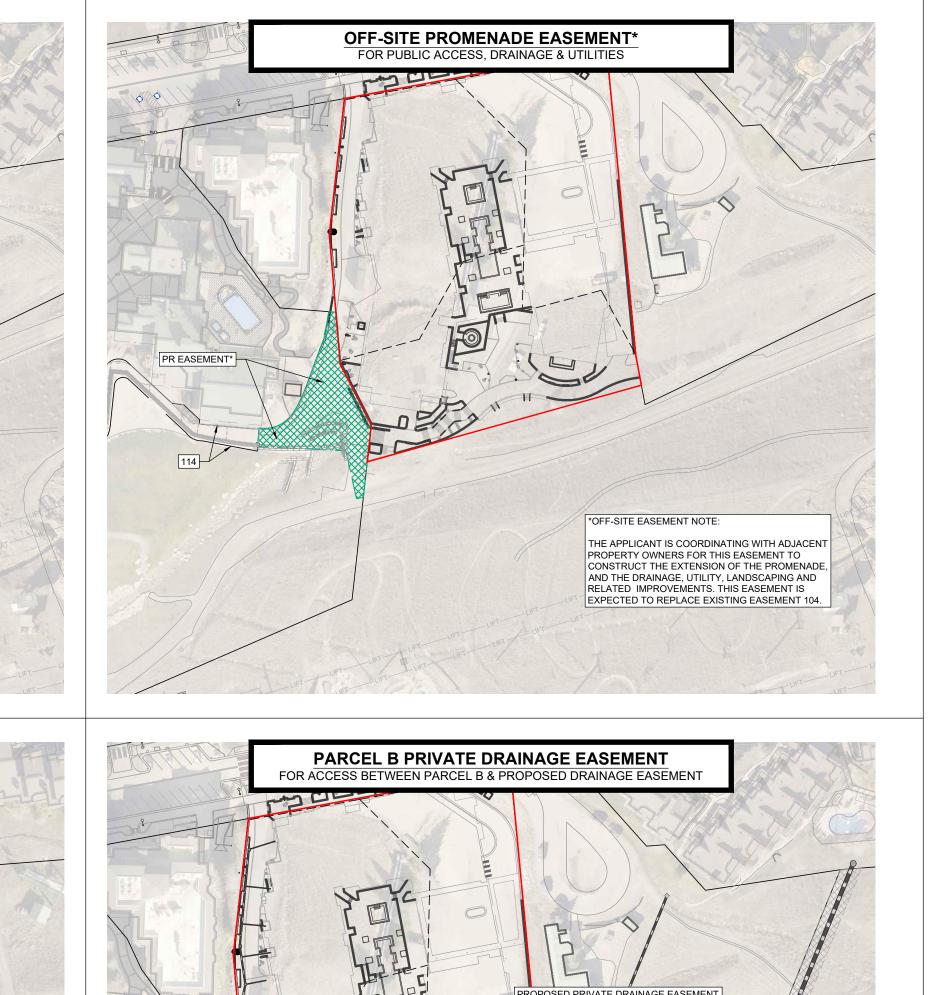


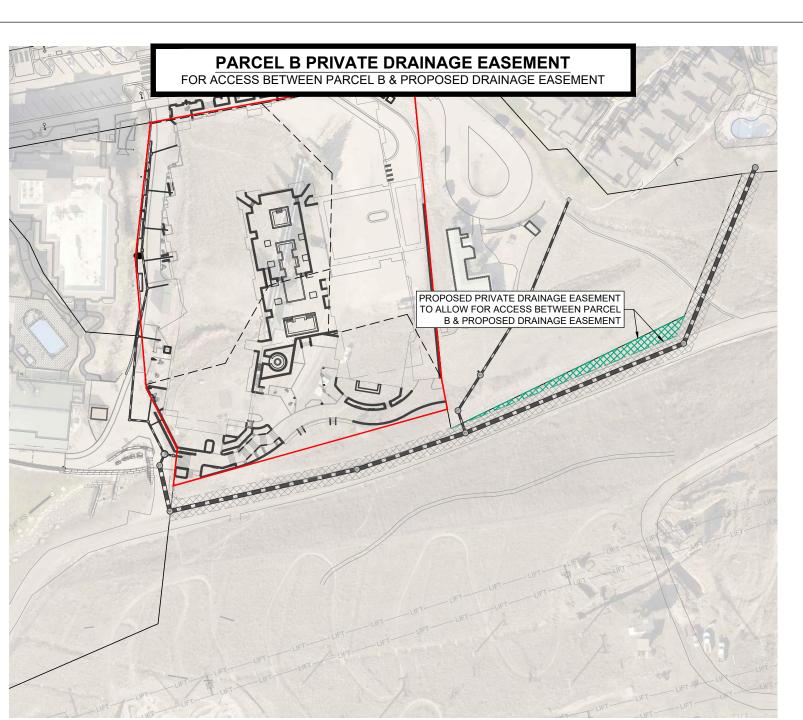
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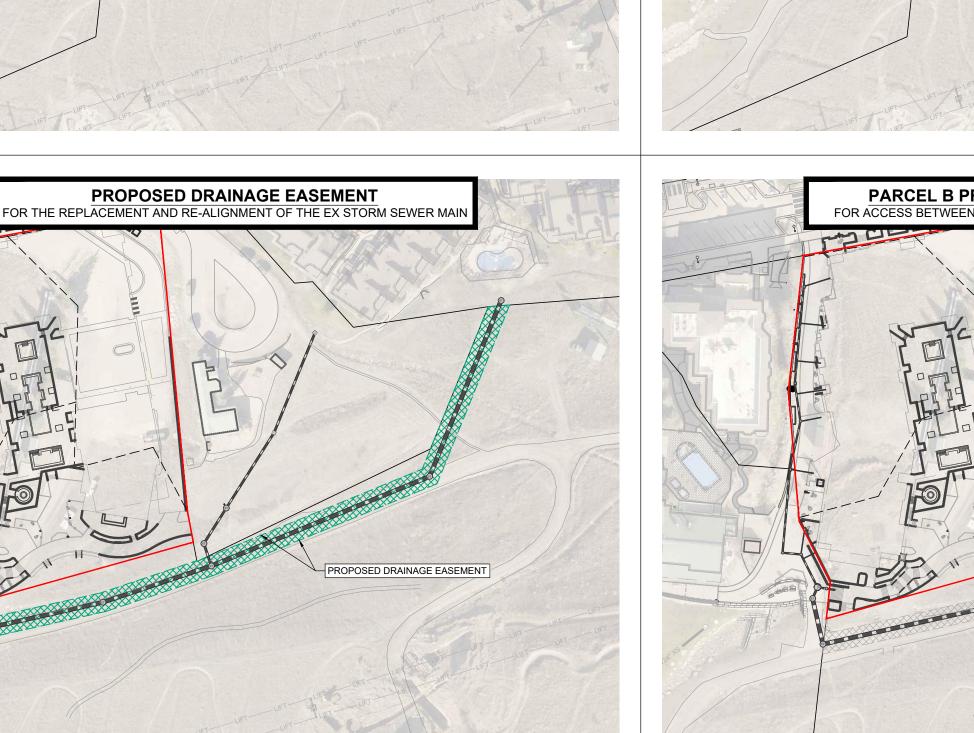
contracting unless signed and sealed by a Professional Engineer in the employ of Landmark Consultants, Inc.

SET NOT FOR CONSTRUCTION









PROPOSED PROMENADE EASEMENT

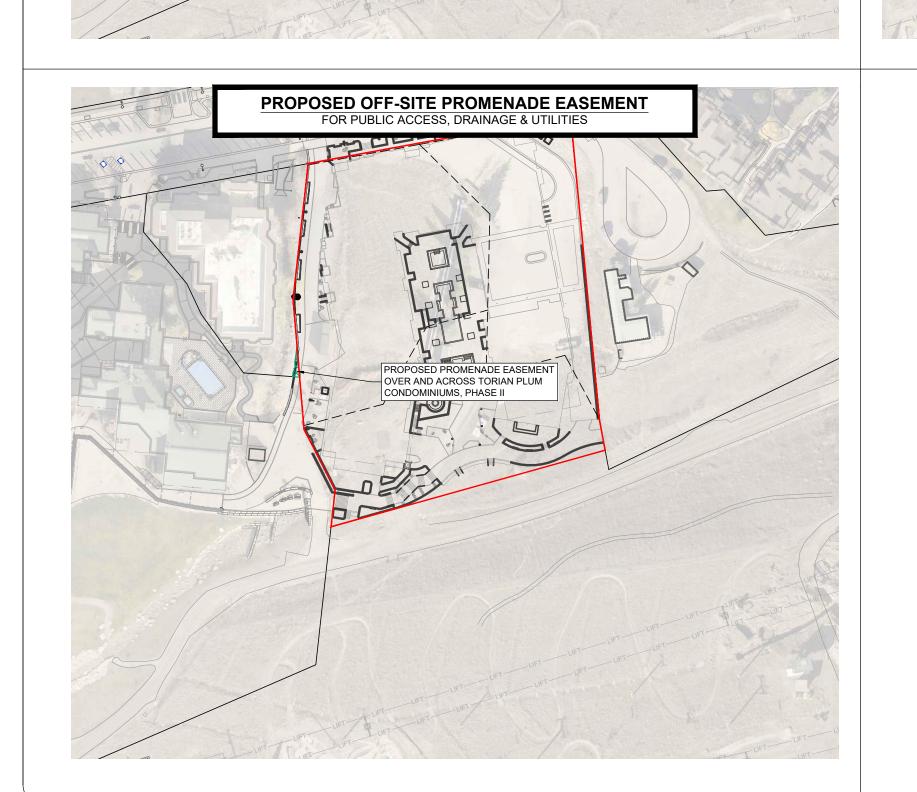
PR EASEMENT (PUBLIC ACCESS)

*ALIGNMENT SUBJECT TO CHANGE BASED ON DEVELOPMENT PLAN

(INCLUDES PUBLIC ACCESS,

DRAINAGE AND UTILITIES

PROPOSED ROOF OVERHANG ENCROACHES INTO EASEMENT



PROPOSED SEWER EASEMENT

FORMATION SHOWN FOR REFERENCE

PURPOSES ONLY (SEPARATE APPLICATION)

PROPOSED OPEN SPACE EASEMENT

PROPOSED OPEN SPACE
NOTE: THE AREA DESIGNATED OPEN SPACE

RESTRICTIONS AS DEFINED IN SECTION 602.L OPEN SPACE, PARKS AND AMENITY SPACE IN THE STEAMBOAT SPRINGS DEVELOPMENT CODE EFFECTIVE JANUARY 1, 2018 (VERSION 6)

HEREON IS SUBJECT TO THE USES AND

PROPOSED ROOF OVERHANG ENCROACHES INTO EASEMENT

FOR THE REPLACEMENT OF THE EXISTING SEWER MAIN

EASEMENT LEGEND:

BOOK 412, PAGE 341: ENTRYWAY EASEMENT BOOK 412, PAGE 343: ACCESS EASEMENT RECEPTION NO. 692162: SKI EASEMENT

BOOK 532, PAGE 788: 10' ELECTRIC EASEMENT BOOK 554, PAGE 616: MUTUAL GRANT OF EASEMENT (ACCESS & UTILITY)

RECEPTION NO. 522146: BURGESS CREEK EASEMENT RECEPTION NO. 524547: INGRESS-EGRESS, UTILITY, AND SKI EASEMENT BOOK 634, PAGE 49: 10' PEDESTRIAN AND BICYCLE PATH EASEMENT

BOOK 560, PAGE 396: MULTIPLE EASEMENTS (STORM, SANITARY & SKI) RECEPTION NO. 539136: TURNAROUND LICENSE AREA

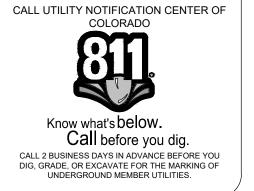
RECEPTION NO. 543179: SEWER EASEMENT RECEPTION NO. 543178: EXHIBIT EASEMENT LANDS 112 RECEPTION NO. 539534: STORM SEWER EASEMENT

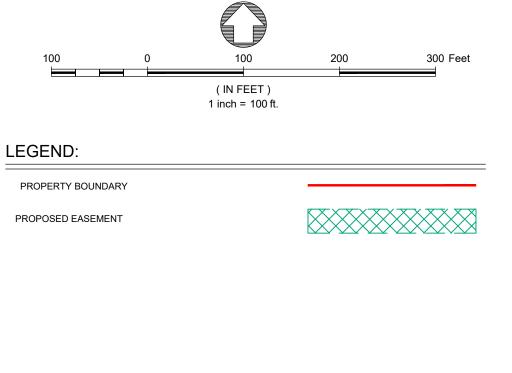
RECEPTION NO. 817314: ELECTRIC EASEMENT RECEPTION NO. 711036: PUBLIC IMPROVEMENTS EASEMENT

SPIRES DITCH NO. 1: F325

115 RECEPTION NO. 464998: SSRC SKI, UTILITY & DRAINAGE EASEMENT

*THE IMPROVEMENTS SHOWN ON THE PROPOSED LOT 1 ARE PER THE CONCURRENT DEVELOPMENT PLAN (SEPARATE APPLICATION) AND INCLUDED FOR ILLUSTRATIVE PURPOSES ONLY. THE INTENT IS TO COORDINATE THE PROPOSED EASEMENT WITH THE ASSOCIATED IMPROVEMENTS.



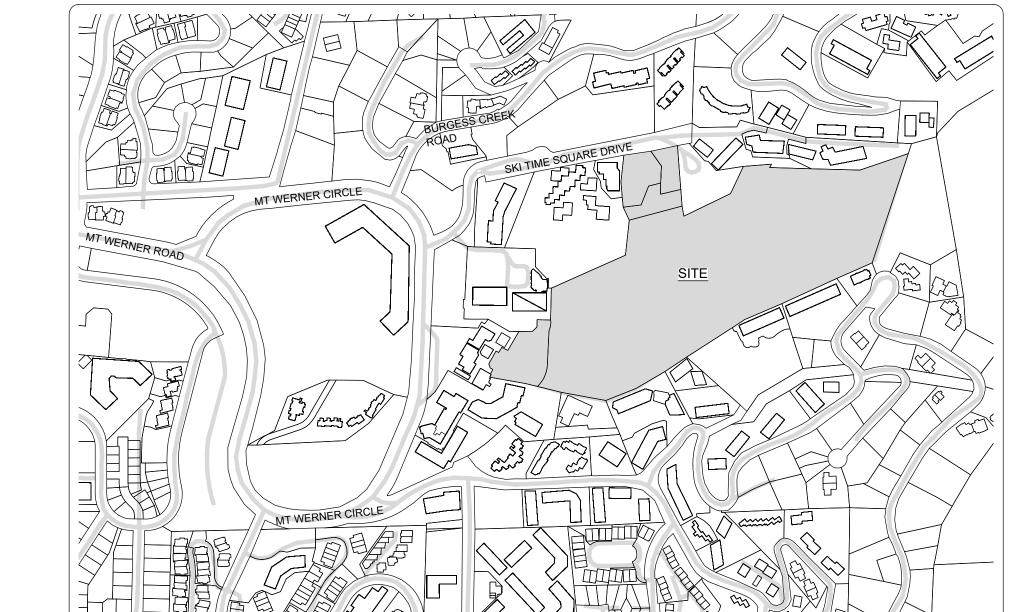


used for any type of construction or contracting unless signed and sealed by a Professional Engineer in the employ of Landmark Consultants, Inc. SET NOT FOR CONSTRUCTION

service provided by Landmark Consultants, Inc. and are not to be

SHEET

CONTAINING A CALCULATED AREA OF 30.43 ACRES



CERTIFICATE OF OWNERSHIP AND DEDICATION (CONTINUED

OF ALTERRA MTN CO REAL ESTATE DEVELOPMENT INC., A DELAWARE CORPORATION STATE OF COLORADO) COUNTY OF ROUTT) THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS DAY OF OF ALTERRA MTN CO REAL ESTATE DEVELOPMENT INC., A DELAWARE CORPORATION MY COMMISSION EXPIRES WITNESS MY HAND AND OFFICIAL SEAL

IN WITNESS WHEREOF, SAID STEAMBOAT SKI & RESORT CORPORATION, A DELAWARE CORPORATION HAS CAUSED ITS NAME TO BE HEREUNTO SUBSCRIBED THIS DAY OF

OF STEAMBOAT SKI & RESORT CORPORATION, A DELAWARE CORPORATION STATE OF COLORADO) COUNTY OF ROUTT) THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _ . A.D. 2024 BY ___ OF STEAMBOAT SKI & RESORT CORPORATION, A DELAWARE CORPORATION MY COMMISSION EXPIRES _____

WITNESS MY HAND AND OFFICIAL SEAL

- BASIS OF BEARINGS: THE WEST LINE OF THE NW1/4 SECTION 27, T6N, R84W, 6TH P.M., BEING MONUMENTED AS SHOWN HEREON AND BEING
- 2. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY LANDMARK CONSULTANTS, INC. TO DETERMINE TITLE OR EASEMENTS OF RECORD. TITLE _ _, 2023, AT __:00 .M. PREPARED BY , EFFECTIVE DATE: UPON FOR ALL INFORMATION REGARDING EASEMENTS OF RECORD, RIGHTS-OF-WAY AND TITLE OF RECORD.
- 4. ALL REFERENCES HEREON TO BOOKS, PAGES, FILES AND RECEPTION NUMBERS ARE TO PUBLIC DOCUMENTS FILED IN THE RECORDS OF ROUTT
- THUNDERHEAD SUBDIVISION IS SUBJECT TO ALL UNDERLYING GOVERNING DOCUMENTS AND EASEMENTS FOR SKI HILL SUBDIVISION, REPLAT OF PARCEL D AS RECORDED UNDER RECEPTION NO. 817319 AND IN FILE NO. 14469 IN THE ROUTT COUNTY RECORDS.
- 6. THE MEASURED DISTANCES SHOWN HEREON ARE IN U.S. SURVEY FEET.
- THE AREA DESIGNATED OPEN SPACE HEREON IS SUBJECT TO THE USES AND RESTRICTIONS AS DEFINED IN SECTION 602.L OPEN SPACE, PARKS AND AMENITY SPACE IN THE STEAMBOAT SPRINGS COMMUNITY DEVELOPMENT CODE EFFECTIVE JANUARY 1, 2018 (VERSION 6).

IN WITNESS WHEREOF, SAID ALTERRA MTN CO REAL ESTATE DEVELOPMENT INC., A DELAWARE CORPORATION HAS CAUSED ITS NAME TO BE HEREUNTO SUBSCRIBED THIS _

NOTARY PUBLIC

- ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND MONUMENT OR ACCESSORY, COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO C.R.S. 18-4-508.

- 8. LOT 2, THUNDERHEAD SUBDIVISION, HAS ACCESS TO PUBLIC RIGHT-OF-WAY VIA THAT EASEMENT DESCRIBED IN BOOK 583 AT PAGE 238.

SURVEYOR'S CERTIFICATE

I, JEFFRY A. GUSTAFSON, BEING A DULY LICENSED LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS FINAL PLAT OF THUNDERHEAD SUBDIVISION WAS MADE BY ME OR UNDER MY DIRECT RESPONSIBILITY, SUPERVISION AND CHECKING IN ACCORDANCE WITH C.R.S. 38-51-101 ET SEQ. AND IS ACCURATE TO THE BEST OF MY KNOWLEDGE. INFORMATION AND BELIEF

DATED THIS _____ DAY OF ___

JEFFRY A. GUSTAFSON, LICENSED LAND SURVEYOR COLORADO L.S. NO. 29039 FOR AND ON BEHALF OF LANDMARK CONSULTANTS, INC.

ATTORNEY'S CERTIFICATE

BEING AN ATTORNEY AT LAW DULY LICENSED TO PRACTICE IN THE STATE OF COLORADO, HEREBY CERTIFY THAT I HAVE REVIEWED __, 2024 AND BASED EXCLUSIVELY UPON SAID TITLE COMMITMENT. COMPANY COMMITMENT NO. **EFFECTIVE** FEE SIMPLE TITLE TO ALL THE LANDS SUBDIVIDED BY THIS PLAT IS VESTED IN FREE AND CLEAR OF ALL LIENS AND ENCUMBRANCES EXCEPT FOR THE LIEN OF GENERAL REAL PROPERTY TAXES AND EXCEPT FOR PATENT RESERVATIONS, EASEMENTS, ENCROACHMENTS, RESTRICTIONS. RESERVATIONS, AGREEMENTS, COVENANTS OF RECORD OR APPARENT AND THE EASEMENTS AND OTHER MATTERS SHOWN OR NOTED ON THIS PLAT.

ATTORNEY AT LAW

MOUNT WERNER WATER AND SANITATION DISTRICT ACCEPTANCE OF DEDICATION

THE MOUNT WERNER WATER AND SANITATION DISTRICT DOES HEREBY ACCEPT THE DEDICATION OF THE SANITARY SEWER EASEMENT AS GRANTED BY THE OWNER OF THE PROPERTY SUBDIVIDED HEREBY, FOR THE PURPOSES MADE, PROVIDED THAT THE DISTRICT SHALL HAVE NO OBLIGATION OR LIABILITY TO CONSTRUCT, REPAIR, MAINTAIN, IMPROVE, OR RECONSTRUCT ANY SEWER LINE OR APPURTENANCE WITHIN ANY SUCH EASEMENT UNTIL AND UNLESS SUCH LINE OR APPURTENANCE HAS FIRST BEEN CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS AND RULES OF THE DISTRICT. AND FINAL ACCEPTANCE HAS BEEN GRANTED IN WRITING BY THE DISTRICT.

MOUNT WERNER WATER AND SANITATION DISTRICT FRANK ALFONE, GENERAL MANAGER

STEAMBOAT SPRINGS DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

THE DIRECTOR OF PLANNING AND COMMUNITY DEVELOPMENT OF THE CITY OF STEAMBOAT SPRINGS, COLORADO DOES HEREBY AUTHORIZE AND APPROVE THIS PLAT OF THE ABOVE SUBDIVISION THIS ______ DAY OF _____, A.D. 2024.

REBECCA D. BESSEY, AICP, DIRECTOR OF PLANNING AND COMMUNITY DEVELOPMENT

STEAMBOAT SPRINGS CITY COUNCIL APPROVAL

THE WITHIN FINAL PLAT OF THUNDERHEAD SUBDIVISION IS APPROVED FOR FILING THIS _____ DAY OF _ AND THE DEDICATION OF THE _____ EASEMENTS TO THE CITY OF STEAMBOAT SPRINGS AS SHOWN OR NOTED HEREON IS HEREBY ACCEPTED FOR THE PURPOSES NOTED.

ROBIN CROSSAN, CITY COUNCIL PRESIDENT JULIE FRANKLIN, CITY CLERK

CLERK AND RECORDER'S ACCEPTANCE

THIS PLAT WAS ACCEPTED FOR FILING IN THE OFFICE OF THE CLERK AND RECORDER OF ROUTT COUNTY, COLORADO, ON THIS ______ DAY OF ______, A.D. 2024.

RECEPTION NUMBER _____ TIME ____

JENNY L. THOMAS - ROUTT COUNTY CLERK AND RECORDER

LOT 2, SKI HILL SUBDIVISION, REPLAT OF PARCEL D, AS RECORDED UNDER RECEPTION NO. 817319 AND IN FILE NO. 14469 OF THE RECORDS OF ROUTT COUNTY, COLORADO. COUNTY OF ROUTT, STATE OF COLORADO CONTAINING A CALCULATED AREA OF 30.43 ACRES; IN THE CITY OF STEAMBOAT SPRINGS, COUNTY OF ROUTT, STATE OF COLORADO; UNDER THE NAME AND STYLE OF

THUNDERHEAD SUBDIVISION HAVE LAID OUT, PLATTED AND SUBDIVIDED SAME AS SHOWN ON THIS PLAT. FURTHER, ALTERRA MTN CO REAL ESTATE DEVELOPMENT INC DOES

Of 2 Sheets

HEREBY DEDICATE TO THE MOUNT WERNER WATER AND SANITATION DISTRICT, A COLORADO SPECIAL DISTRICT, THE PERPETUAL AND NON-EXCLUSIVE SANITARY SEWER EASEMENT FOR THE INSTALLATION, MAINTENANCE, REPAIR, AND REPLACEMENT OF SEWAGE COLLECTION LINES AND APPURTENANCES, AND FOR ACCESS OF PERSONS, VEHICLES, AND EQUIPMENT THERETO FOR SUCH PURPOSES

CERTIFICATE OF OWNERSHIP AND DEDICATION

N26°37'57"W, 69.43 FEET;

TRACT D (THUNDERHEAD PARKING LOT)

TRACT E (THUNDERHEAD CONDOMINIUMS)

TRACT F (THUNDERHEAD LODGE)

THENCE S01°51'25"W 99 98 FFFT

THENCE S75°29'39"W, 65.64 FEET; THENCE S29°51'09'W, 92.90 FEET

THENCE S75°29'39"W, 84.89 FEET; THENCE N04°32'12"W, 132.26 FEET;

BEGINNING.

THENCE N44°41'55"W, 103.10 FEET TO THE POINT OF BEGINNING.

TRACT D-1 (VACATED MT. WERNER ROAD TO THUNDERHEAD PARKING LOT)

OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THENCE N80°07'00"E, 160.00 FEET; THENCE S04°52'00"E, 316.11 FEET: THENCE N27°42'06"W, 75.00 FEET THENCE S75°29'39"W, 85.00 FEET; THENCE N01°51'25"E. 169.21 FEET

KNOW ALL MEN BY THESE PRESENTS: THAT ALTERRA MTN CO REAL ESTATE DEVELOPMENT INC., A DELAWARE CORPORATION, BEING THE OWNER OF THAT PARCEL OF LAND

COMMENCING AT THE SOUTHWEST CORNER OF SECTION 22, TOWNSHIP 6 NORTH, RANGE 84 WEST OF THE 6TH PRINCIPAL MERIDIAN, WHENCE THE NORTHWEST CORNER OF

THENCE N58°29'20"E, 1172.73 FEET TO THE NORTHEAST CORNER OF TORIAN PLUM CONDOMINIUMS, PHASE I BEING RECORDED FEBRUARY 16, 1984 AT FILE NO. 9561 AND AT

RECEPTION NO. 333249 AND PHASE II BEING RECORDED JANUARY 12, 2000 AT RECEPTION NO. 522146 OF ROUTT COUNTY RECORDS, ALSO BEING A POINT ON THE NORTHERLY

THENCE ALONG SAID SOUTHERLY RIGHT OF WAY, ALSO BEING SAID NORTHERLY BOUNDARY OF THAT PORTION OF VACATED MT. WERNER ROAD N79°37'35"E, 278.11 FEET TO THE NORTHWEST CORNER OF PARCEL B. SKI HILL SUBDIVISION AS RECORDED APRIL 24, 1981 AT FILE NO. 8823 AND AT RECEPTION NO. 307130 OF ROUTT COUNTY RECORDS; THENCE

OF PARCEL D OF SAID SKI HILL SUBDIVISION: THENCE ALONG SAID NORTHERLY BOUNDARY S75°06'56"W, 284.69 FEET TO A POINT ON THE EASTERLY BOUNDARY OF SAID TORIAN

A TRACT OF LAND LOCATED IN THAT PORTION OF VACATED MT. WERNER ROAD VACATED BY ORDINANCE NO. 730, RECORDED APRIL 23, 1981 IN BOOK 532 AT PAGE 636 UNDER RECEPTION NO. 307080, AND RE-RECORDED APRIL 24, 1981 IN BOOK 532 AT PAGE 670 UNDER RECEPTION NO. 307100 IN THE RECORDS OF ROUTT COUNTY, COLORADO, LOCATED IN

THE SW1/4 OF THE SW1/4 OF SECTION 22, TOWNSHIP 6 NORTH, RANGE 84 WEST OF THE 6TH PRINCIPAL MERIDIAN IN THE CITY OF STEAMBOAT SPRINGS, COUNTY OF ROUTT, STATE

BASIS OF BEARINGS: THE WEST LINE OF THE NW1/4 OF SECTION 27, TOWNSHIP 6 NORTH, RANGE 84 WEST OF THE 6TH P.M., BEING MONUMENTED ON THE SOUTH END BY A 3 1/4"

BRASS CAP SET AT A 40 FEET OFFSET TO THE NORTH, STAMPED "LS 13221" AN ON THE NORTH END BY A 2" IRON POST WITH A 3" BRASS CAP STAMPED "LS 12093", AND BEING

COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 22; THENCE N60°26'57"E, 1282.94 FEET TO THE NORTHWESTERLY CORNER OF THAT TRACT OF LAND DESCRIBED I DEED RECORDED IN BOOK 427 AT PAGE 3 OF THE RECORDS OF ROUTT COUNTY, COLORADO, SAID CORNER BEING A POINT ON THE SOUTHERLY BOUNDARY OF THAT PORTION OF MT.

THE NORTHERLY BOUNDARY OF THAT PORTION OF MT. WERNER ROAD VACATED BY SAID ORDINANCE NO. 730; THENCE N79°37'35"E, 160.00 FEET ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE OF SKI TIME SQUARE DRIVE, FORMERLY KNOWN AS MT. WERNER ROAD, AND ALONG THE NORTHERLY BOUNDARY OF THAT PORTION OF MT. WERNER ROAD

THENCE N10°22'25"W, 1.42 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF SKI TIME SQUARE DRIVE, FORMERLY KNOWN AS MT. WERNER ROAD, SAID POINT BEING ON

VACATED BY SAID ORDINANCE NO. 730 TO THE NORTHWESTERLY CORNER OF PARCEL B SKI HILL SUBDIVISION AS RECORDED IN FILE NO. 8823 IN THE RECORDS OF ROUTT COUNTY,

PORTION OF MT. WERNER ROAD VACATED BY SAID ORDINANCE NO. 730, SAID POINT BEING THE NORTHEASTERLY CORNER OF THAT TRACT OF LAND DESCRIBED IN SAID BOOK 427 AT

CONDOMINIUM UNIT NOS. 1 THROUGH AND INCLUDING 75, INN AT THUNDERHEAD CONDOMINIUMS, ACCORDING TO THE RECORDED LOCATING MAPS RECORDED FEBRUARY 14, 1974

AT FILE NO. 7552. AND AS DESCRIBED IN THE CONDOMINIUM DECLARATION THEREOF RECORDED DECEMBER 31, 1975 IN BOOK 412 AT PAGE 387, AS AMENDED BY INSTRUMENT RECORDED MAY 30, 1978 IN BOOK 452 AT PAGE 410, AND ASSIGNMENT RECORDED MAY 30, 1978 IN BOOK 452 AT PAGE 408, AND THE INSTRUMENT RECORDED FEBRUARY 13, 1991 IN

A TRACT OF LAND IN THE SW1/4SW1/4 OF SECTION 22, TOWNSHIP 6 NORTH, RANGE 84 WEST OF THE 6TH P.M., BOUNDED BY A LINE DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTH ROW LINE OF MT. WERNER ROAD, FROM WHICH POINT THE SW CORNER OF SAID SECTION 22 BEARS S60°56'22"W, 1282.94 FEET;

A TRACT OF LAND LOCATED IN THAT PORTION OF VACATED MT. WERNER ROAD VACATED BY ORDINANCE NO. 730, RECORDED APRIL 23, 1981 IN BOOK 532 AT PAGE 636, UNDER RECEPTION NO. 307080 AND RE-RECORDED APRIL 24, 1981 IN BOOK 532 AT PAGE 670 UNDER RECEPTION NO. 307100 IN THE RECORDS OF ROUTT COUNTY, COLORADO, LOCATED IN THE SW1/4 OF THE SW1/4 OF SECTION 22, TOWNSHIP 6 NORTH, RANGE 84 WEST OF THE 6TH PRINCIPAL MERIDIAN IN THE CITY OF STEAMBOAT SPRINGS, COUNTY OF ROUTT, STATE

BASIS OF BEARINGS: THE WEST LINE OF THE NW1/4 OF SECTION 27, TOWNSHIP 6 NORTH, RANGE 84 WEST OF THE 6TH P.M., BEING MONUMENTED ON THE SOUTH END BY A 3 1/4"

THENCE N58°33'15"E, 1172.12 FEET TO THE NORTHWESTERLY CORNER OF THAT TRACT OF LAND DESCRIBED IN DEED RECORDED JULY 31, 1975 IN BOOK 407 AT PAGE 420, OF THE

RECORDS OF ROUTT COUNTY, COLORADO, SAID CORNER BEING A CORNER ON THE EASTERLY BOUNDARY OF TORIAN PLUM CONDOMINIUMS, PHASE II AS RECORDED IN FILE NO.

THENCE N10°22'25"W, 1.42 FEET ALONG THE EASTERLY BOUNDARY OF SAID TORIAN PLUM CONDOMINIUMS, PHASE II, TO THE NORTHEASTERLY CORNER OF SAID TORIAN PLUM

VACATED BY SAID ORDINANCE NO. 730; THENCE S10°22'25"E, 1.42 FEET TO A POINT ON THE SOUTHERLY BOUNDARY OF THAT PORTION OF

SECTION 27, TOWNSHIP 6 NORTH, RANGE 84 WEST OF THE 6TH PRINCIPAL MERIDIAN; BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BOUNDARY OF THAT TRACT OF LAND DESCRIBED IN SAID BOOK 407 AT PAGE 420 TO THE TRUE POINT OF BEGINNING.

12826 IN THE RECORDS OF ROUTT COUNTY, COLORADO, SAID CORNER BEING A POINT ON THE SOUTHERLY BOUNDARY OF THAT PORTION OF MT. WERNER ROAD VACATED BY SAID

CONDOMINIUMS, PHASE II, SAID CORNER BEING A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF SKI TIME SQUARE DRIVE, FORMERLY KNOWN AS MT. WERNER ROAD, SAID POINT

BEING ON THE NORTHERLY BOUNDARY OF THAT PORTION OF MT. WERNER ROAD VACATED BY SAID ORDINANCE NO. 730; THENCE N79°37'35"E, 118.00 FEET ALONG THE SOUTHERLY

RIGHT-OF-WAY LINE OF SAID SKI TIME SQUARE DRIVE, FORMERLY KNOWN AS MT. WERNER ROAD, AND ALONG THE NORTHERLY BOUNDARY OF THAT PORTION OF MT. WERNER ROAD

MT. WERNER ROAD VACATED BY SAID ORDINANCE NO. 730, SAID POINT BEING THE NORTHEASTERLY CORNER OF THAT TRACT OF LAND DESCRIBED IN SAID BOOK 407 AT PAGE 420; THENCE S79°37'35"W, 118.00 FEET ALONG THE SOUTHERLY BOUNDARY OF THAT PORTION OF MT. WERNER ROAD VACATED BY SAID ORDINANCE NO. 730, AND ALONG THE NORTHERLY

AND STEAMBOAT SKI & RESORT CORPORATION, A DELAWARE CORPORATION, BEING THE OWNER OF THAT PARCEL OF LAND LOCATED IN THE SW1/4 SECTION 22 AND IN THE NW1/4

BRASS CAP SET AT A 40 FOOT OFFSET TO THE NORTH, STAMPED "LS 13221" AND ON THE NORTH END BY A 2" IRON POST WITH A 3" BRASS CAP STAMPED "LS 12093", AND BEING

COLORADO; THENCE S10°22'25"E, 1.42 FEET ALONG THE WESTERLY BOUNDARY OF SAID PARCEL B, SKI HILL SUBDIVISION TO A POINT ON THE SOUTHERLY BOUNDARY OF THAT

PAGE 3; THENCE S79°37'35"W, 160.00 FEET ALONG THE SOUTHERLY BOUNDARY OF THAT PORTION MT. WERNER ROAD VACATED BY SAID ORDINANCE NO. 730, AND ALONG THE

NORTHERLY BOUNDARY OF THAT TRACT OF LAND DESCRIBED IN INSTRUMENT RECORDED DECEMBER 14, 1976 IN BOOK 427 AT PAGE 3 TO THE TRUE POINT OF BEGINNING.

THAT PORTION OF SAID VACATED MT. WERNER ROAD: THENCE CONTINUING ALONG SAID WESTERLY BOUNDARY S05°17'37"E. 316.11 FEET TO A POINT ON THE NORTHERLY BOUNDARY

LOCATED IN THE SW1/4 SECTION 22. TOWNSHIP 6 NORTH, RANGE 84 WEST OF THE 6TH PRINCIPAL MERIDIAN: BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BOUNDARY OF THAT PORTION OF MT. WERNER ROAD BEING VACATED BY ORDINANCE NO. 730, AND BEING ON THE SOUTHERLY RIGHT OF WAY OF

THENCE N06°21'03"E, 140.33 FEET TO A POINT ON THE SOUTHERLY BOUNDARY OF THAT PORTION OF SAID VACATED MT. WERNER ROAD;

A TRACT OF LAND IN THE SW1/4 OF SECTION 22, TOWNSHIP 6 NORTH, RANGE 84 WEST OF THE 6TH P.M., BOUNDED BY A LINE DESCRIBED AS FOLLOWS:

SECTION 22 BEARS N01°00'10"E, 5159,25 FEET WITH ALL BEARINGS CONTAINED HEREIN BEING RELATIVE THERETO:

SKI TIME SQUARE DRIVE, FORMERLY KNOWN AS MT. WERNER ROAD, SAID POINT BEING THE POINT OF BEGINNING

THENCE N10°39'54"W, 1.52 FEET TO THE POINT OF BEGINNING, COUNTY OF ROUTT, STATE OF COLORADO.

PLUM CONDOMINIUMS; THENCE ALONG SAID EASTERLY BOUNDARY THE FOLLOWING FOUR (4) COURSES:

BEGINNING AT A POINT FROM WHICH THE SW CORNER OF SECTION 22 BEARS S 60°56'22" W, 1282.94 FEET

WERNER ROAD VACATED BY SAID ORDINANCE NO. 730, SAID POINT BEING THE TRUE POINT OF BEGINNING;

BOOK 661 AT PAGE 343, SUBJECT TO THE TERMS, PROVISIONS AND OBLIGATIONS OF SAID CONDOMINIUM DECLARATION

THENCE N06°54'56"E, 140.41 FEET TO THE SAID SOUTH ROW LINE OF MT. WERNER ROAD;

TRACT F-1 (VACATED MT. WERNER TO THUNDERHEAD LODGE)

OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 22;

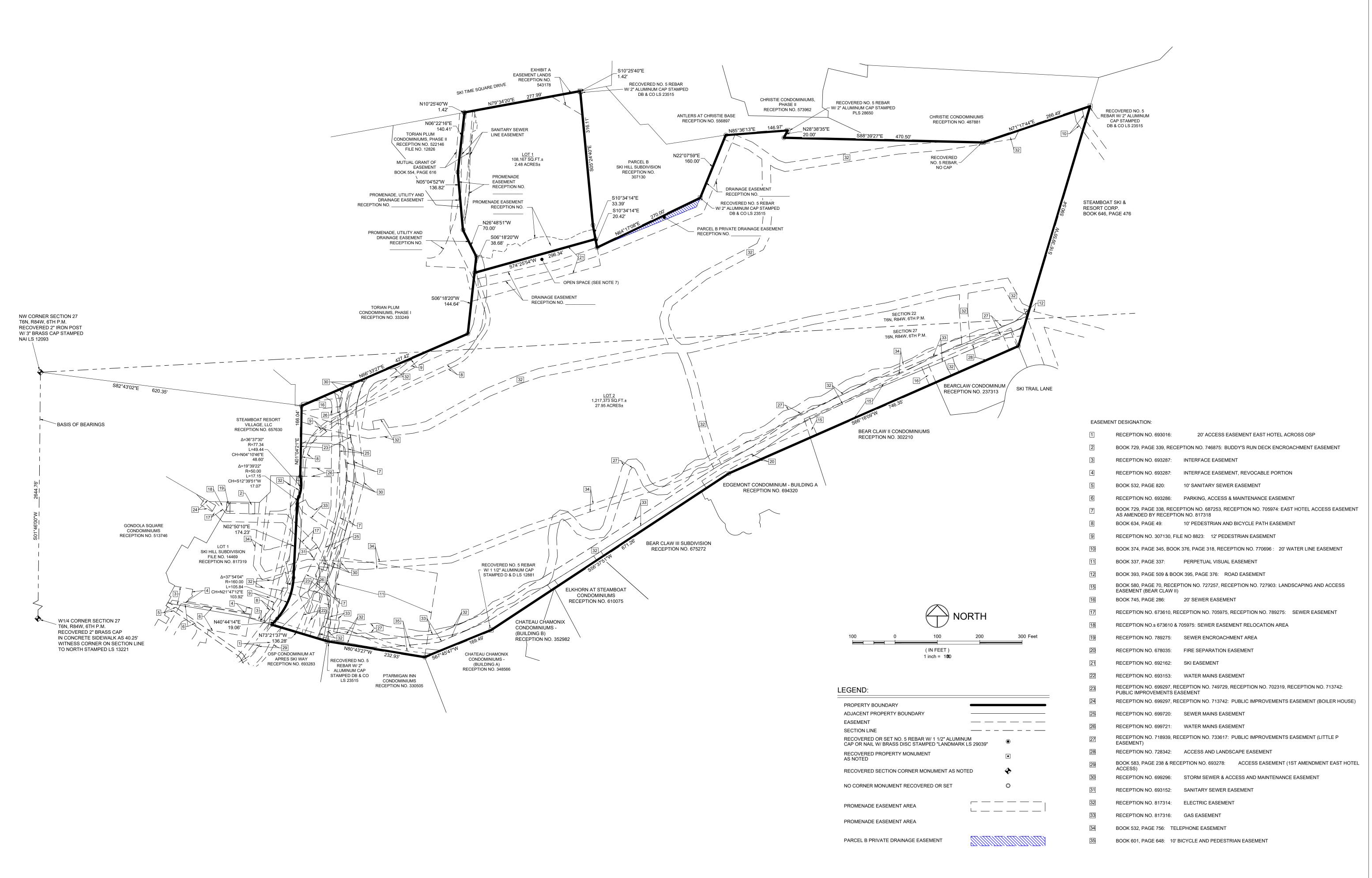
ORDINANCE NO. 730, SAID POINT BEING THE TRUE POINT OF BEGINNING;

THENCE N80°07'00"E ALONG SAID SOUTH ROW LINE 118.00 FEET, MORE OR LESS, TO THE POINT OF

ALONG THE WESTERLY BOUNDARY OF SAID PARCEL B S10°45'35"E, 1.43 FEET TO A POINT ON THE SOUTHERLY BOUNDARY OF

THUNDERHEAD SUBDIVISION

LOCATED IN THE SW1/4 SECTION 22 AND IN THE NW1/4 SECTION 27,
TOWNSHIP 6 NORTH, RANGE 84 WEST, 6TH P.M.;
CITY OF STEAMBOAT SPRINGS, COUNTY OF ROUTT, STATE OF COLORADO
CONTAINING A CALCULATED AREA OF 30.43 ACRES



141 9th Street ~ P.O. Box 774943 Steamboat Springs, Colorado 80477 (970) 871-9494 www.LANDMARK-CO.com

CONSULTANTS, INC.

OR DEFECTIVE LAND SURVEY STALL BE BROUGHT WITHIN
THE PERSON BRINGING THE ACTION EITHER DISCOVERED OR
ELESONABLE DILIGENCE AND CONCERN SHOULD HAVE
ELIGENCE ON BEFECT WHICH GAVE RICE TO SUCH ACTION,
S. BUT IN NO CASE SHALL SUCH AN ACTION BE BROUGHT
D. NOTICE: ACCORDING TO COLORADO LAW YOU MUST
ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN
YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY
ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN 10
E OF CERTIFICATION SHOWN HEREON.

DATE: BY: DESCRIPTION:
7/24/2024 Grip DRT Comments
7/24/2024

2633-003

DATE: 10/27/23

DRAWN BY: BC

CHECKED BY: 100

FINAL PLAT

THUNDERHEAD SUBDIVISION
ATED IN THE SW1/4 SECTION 22 AND IN THE
NW1/4 SECTION 27, T6N, R84W, 6TH P.M.;
DF STEAMBOAT SPRINGS, COUNTY OF ROUTT,
STATE OF COLORADO

SHEET

2

Of 2 Sheets

■ OVERALL - SUMMER SITE ILLUSTRATIVE PLAN 1" = 20'-0"







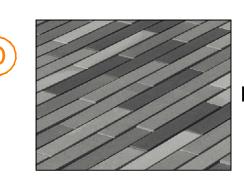
CONCRETE CURB AT PAVERS



PROMENADE / SIDEWALK PAVER



PROMENADE VEHICULAR RATED HARDSCAPE



PLANK PAVER



EXTERIOR PATIO PAVER



TYPICAL BOARDFORM CONCRETE WALL



TYPICAL STAIR ADJACENT TO BOARDFORM WALL



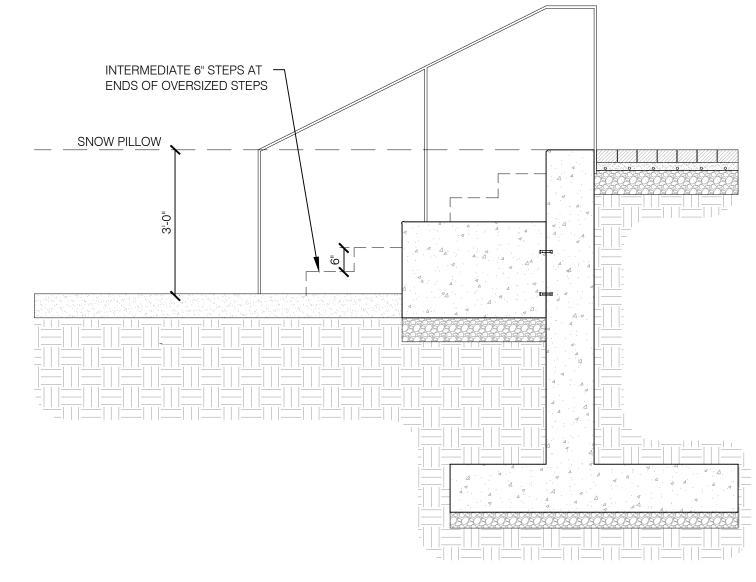
OVERSIZED CONCRETE STEPS AT SKI EDGE



COLORED CONCRETE PAVING



GRAY CONCRETE PAVING



2 TYPICAL SNOW EDGE CONDITION

1/2" = 1'-0"

PROJECT TRUE NORTH



CONFLUENCE 3457 RINGSBY CT, UNIT 223 DENVER, CO 80216 PH: (303) 433-7100 www.thinkconfluence.com

1965 SKI TIME SQUARE STEAMBOAT SPRINGS, CO 80487

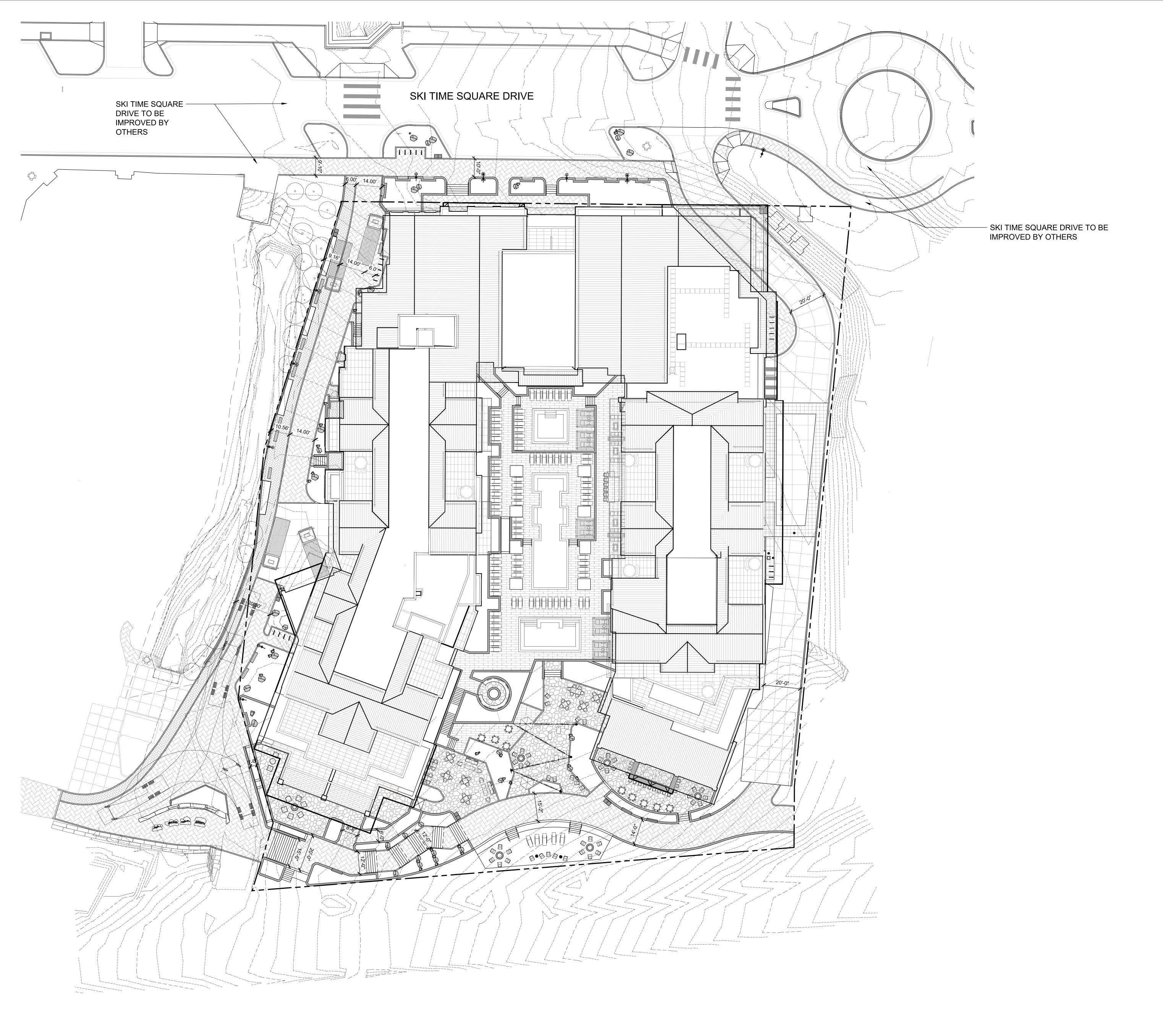
NO DATE DESCRIPTION

PROJECT NUMBER: 123134.00

DATE: 11/05/2024 ISSUED FOR: **DEVELOPMENT PLAN - REV 3**

SHEET TITLE: SITE ILLUSTRATIVE PLAN - SUMMER

SHEET NUMBER





CONFLUENCE

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DENVER, CO 80216
PH: (303) 433-7100
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ww.thinkconfluence.com

NOT FOR THE

THUNDERHEAD BEACH
1965 SKI TIME SQUARE
STEAMBOAT SPRINGS, CO 80487

NO DATE DESCRIPTION

PROJECT NUMBER: **123134.00**

123134.00DATE: **11/05/2024**

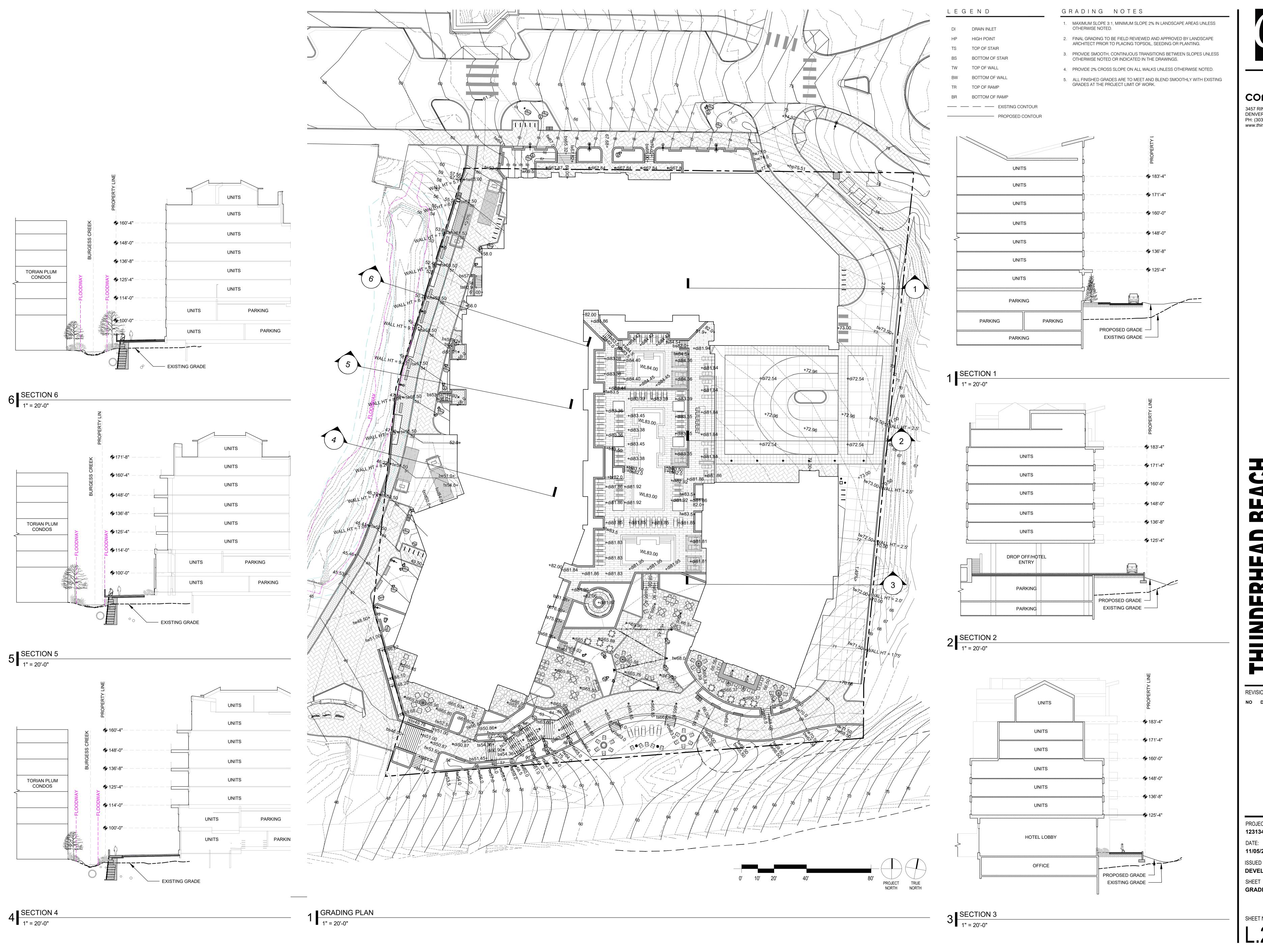
ISSUED FOR:

DEVELOPMENT PLAN - REV 3

SHEET TITLE:

SITE PLAN

SHEET NUMBER
L.101



CONFLUENCE

3457 RINGSBY CT, UNIT 223 DENVER, CO 80216 PH: (303) 433-7100 www.thinkconfluence.com



SPRINGS,

REVISIONS:

NO DATE DESCRIPTION

PROJECT NUMBER: 123134.00 11/05/2024 ISSUED FOR:

DEVELOPMENT PLAN - REV 3 SHEET TITLE: GRADING PLAN

SHEET NUMBER

CONFLUENCE 3457 RINGSBY CT, UNIT 223 DENVER, CO 80216 PH: (303) 433-7100 www.thinkconfluence.com

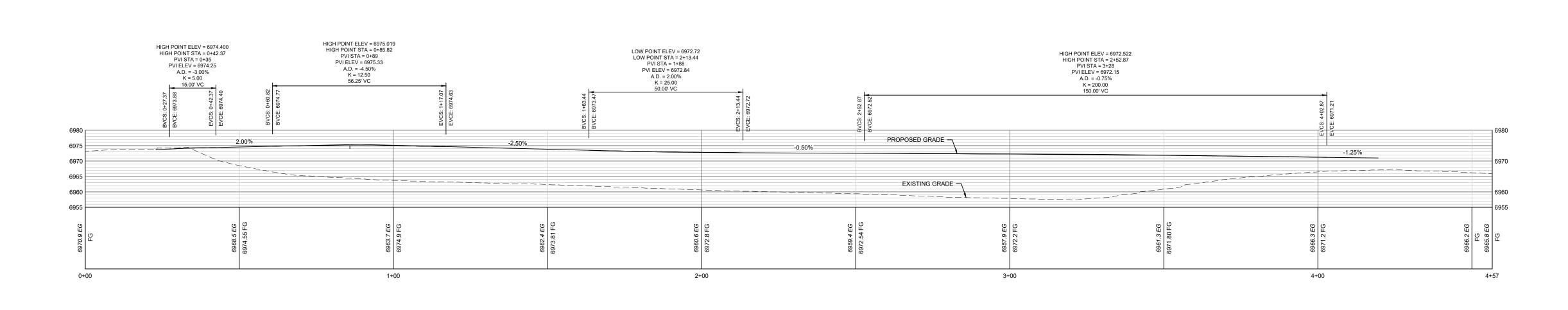
SITE PLAN 1" = 40'-0"

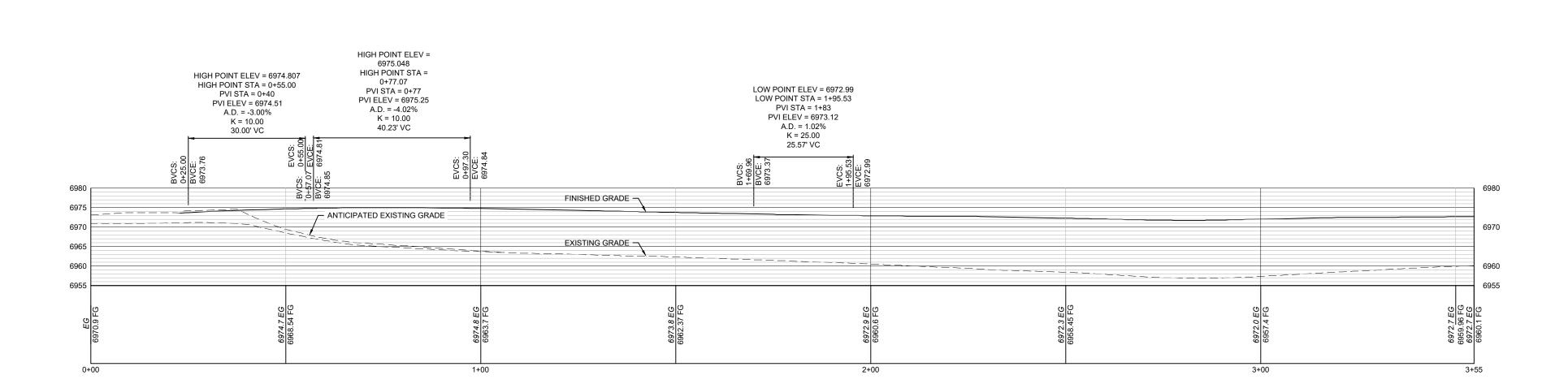
1965 SKI TIME SQUARE STEAMBOAT SPRINGS, CO 80487

REVISIONS: NO DATE DESCRIPTION

PROJECT NUMBER: 123134.00 DATE: 11/05/2024 ISSUED FOR:

DEVELOPMENT PLAN - REV 3 SHEET TITLE: SITE PROFILES





3 INTERNAL PRIVATE ACCESS PROFILE

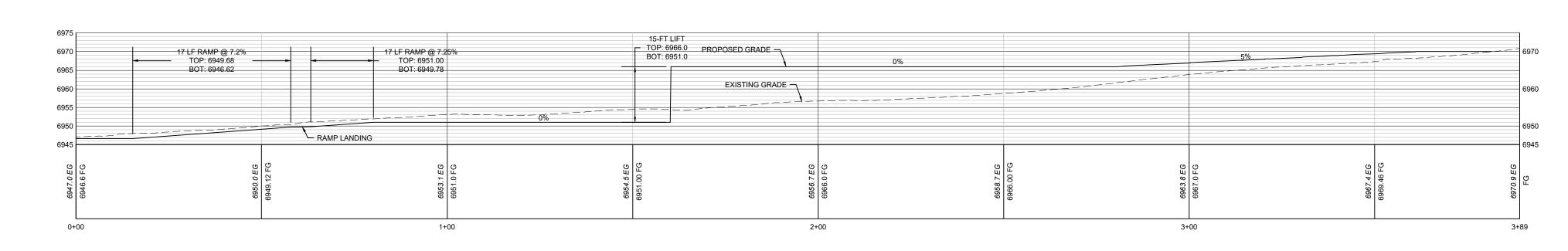
1" = 20'-0"

1 WEST PROMENADE PROFILE

1" = 20'-0"

2 EAST PROMENADE PROFILE

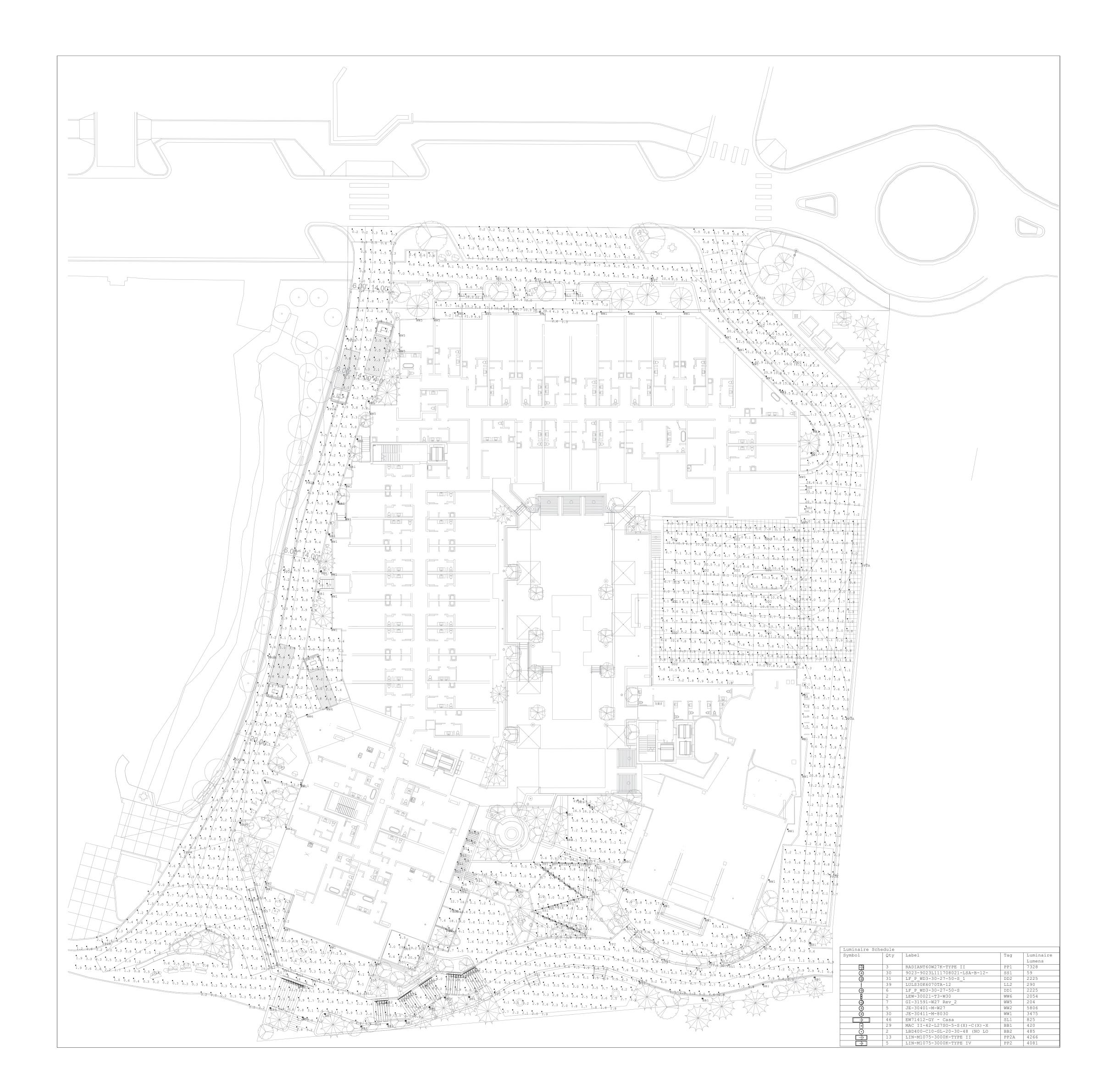
1" = 20'-0"



4 SOUTH PROMENADE PROFILE

1" = 20'-0"





PENNOLONIO

5

6

0

REVISIONS:

NO DATE DESCRIPTION

80487

SPRINGS,

STEAMBOAT

C

PROJECT NUMBER:

PROJECT NUI **123134.00** DATE: **11/06/2024**

DATE:
11/06/2024
ISSUED FOR:
DP Submittal #3

SHEET TITLE:
SITE LIGHTING
PHOTOMETRIC

SHEET NUMBER
LI.100

SL1

quality from start to finish

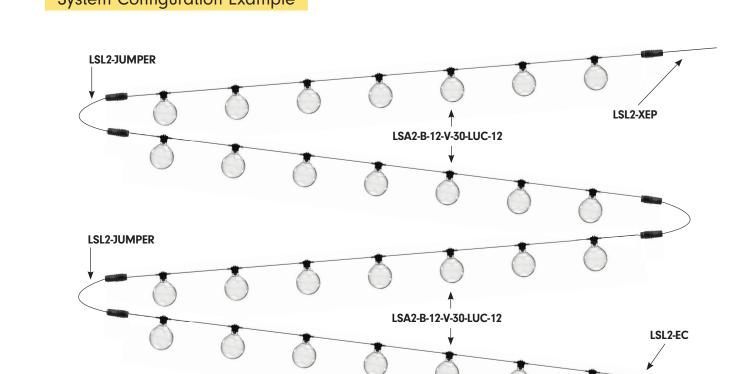
• The next evolution of ADAPT delivers a robust specification-grade strand with factory molded standard spacing for consistent

• Litesphere ADAPT 2.0 design provides optional suspended mounting or a twist-off cap for surface applications

www.tivolilighting.com tel: 714-957-6101 fax: 714-427-3458

12V Litesphere[™] ADAPT 2.0

12V Litesphere[™] ADAPT 2.0 System Configuration Example



Strand Order GuideNote: For suspension application, a catenary cable is required for proper installation. Please contact Tivoli for recommendations on unique mounting applications.

Product	Wire	Spacing	LED Type		LED Color		Globe			ght ade*		V	oltage
LSA2		-	V	-		-		-			-		12
Litesphere	B Black	12 12" OC	V Very High	19	1900K	ANA	Ana		Υ	Yes		12	12V DC
ADAPT 2.0	W White**	18 18" OC	Output	27	2700K	VIC**	Victoria		N	No			
		24 24" OC		30	3000K	GAB	Gaby						
		36 36" OC		35	3500K	BRE	Brenda						
		48 48" OC		40	4000K	LAU**	Laura						
				50	5000K	GIN	Gina						
Light Shade Acce	ssories			AM	Amber	ANG	Angela						
2.125° (15	Dish	Flower		RB	Royal Blue	KAT	Katie						
180.(17)	181"	2.40° (2.60° (10) 13)	RD	Red	SUS**	Susan						
XX- 10, 13 HADE-HT-BK-XX-XX	SHADE-DS-BK-BK-10	XX-10, 13 SHADE-FL-BK-BK-XX		GN	Green	TON**	Toni						
X = BK (black), CO* (copper X = 8 (8.3"), 13** (12.6")	r) 10.2" Black top, black bottom	XX = 10 (9.8"), 13 (13.8") Black top, black bottom		YL	Yellow	LUC**	Lucia						
lack top, black/copper botto /eight: 0.46 lb (10),1.2 lb (13		Weight: 0.63 lb (10), 1.48 lb (1	(5)	TS	Turtle Safe	CG**	Varied Globes						

*Light Shade are optional. Consult factory for lead time and available style and sizes - see page 13 **Consult Factory for MOQ and Lead Time.

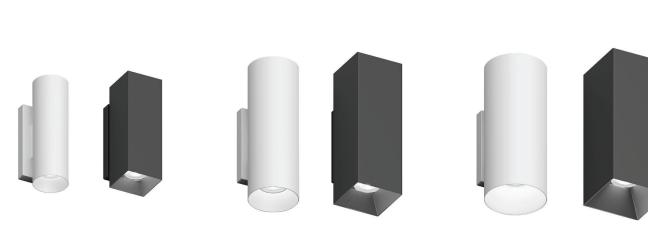
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Another Lumenrail® Component

for Life Safety and Light

DD1 AND DD2

CYLINDER (Wall Mount) CYLINDERS | 2", 3", 5" LED UP & DOWNLIGHT | PROJEC (Round & Square) LWD2, LWD3, LWD5, SLWD2, SLWD3, SLWD5 SPEC-00282 CYLINDER LW 2" 3" 5", V-1.0, UPDATED 03/14/24 LWU2, LWU3, LWU5, SLWU2, SLWU3, SLWU5 NOTE: ———



3" Wall Mount Cylinder (Round & Square) 5" Wall Mount Cylinder (Round & Square) 2" Wall Mount Cylinder (Round & Square) with Standard Driver Backplate with Standard Driver Backplate with Standard Driver Backplate

CLAF										
SIZE	POWE	R 1	0° Optic	30° Optic	50° Optic	80° Optic	DELIVERED LUMENS	Up to: 2" 2035 lm, 3" 3460 lm, 5" 5389 lm		
2 Inch	20 Wa	tt	1530 lm	1633 lm	1506 lm	1271 lm	CCT/CRI	2700K 90CRI, 3000K 90CRI, 4000K 80CRI, WARM DIM		
3 Inch	ch 30 Watt 22		2227 lm	2646 lm	2440 lm	2023 lm	COLOR QUALITY	2700K-3500K 90+ CRI, 2-Step SDCM		
5 Inch	50 Wa	tt	t 3877 lm 4252 lm 4228 lm 2858 lm LED LIFE		LED LIFETIME	55,000 hours @ L90				
JP & DOW	N LIGHT						SILENT VU™ OPTIC	S TECHNOLOGY		
CIZE	MAX	UP 8		LUME	NS @ 3500K		OPTICS	10°, 30°, 50°, 80° Available		
SIZE	POWER	DOW	10° 0	ptic 30° Op	tic 50° Optio	c 80° Optic	ADJUSTABLE	Non Adjustable		
O leash	00 14/04	↑ UP	833	lm 876 In	n 826 lm	697 lm	MEDIA	Clear, Solite, Frosted, Linear Spread, Hex Louver		
2 Inch	20 Watt	↓ DOW	N 817	lm 835 In	n 803 lm	651 lm	POWER SUPPLY			
3 Inch	30 Watt	↑ UP	1259	lm 1465 l	m 1322 lm	1116 lm	INPUT VOLTAGE	120/277V, 50/60Hz		
3 IIICII	I 30 Wall	↓ DOW	N 1200	lm 1419 l	m 1278 lm	1079 lm		<u>'</u>		
F l	50 W-H	↑ UP	2059	lm 2234 l	m 1991 lm	1423 lm	DIMMING	Multiple Dimming Drivers Available		
5 Inch	50 Watt	↓ DOW	N 2203	lm 2372 l	m 2140 lm	1605 lm	SERVICABILITY	Light Module and Driver Field Serviceable		
CT MULT	IPLER CH	ART	'	'			STANDARD FINISH	Milita) MD (Malta Diagle)		
SIZE	2700K 90	OCRI 30	00K 90CRI	3500K 90CRI	4000K 80CRI	WARM DIM 98CRI	WT (Semi Gloss	, (,		
				4.00		0.05	 All custom linishes 	available (see finishes sample page)		

0.92 0.97 1.00 1.19 0.65 **3 Inch** 0.91 0.97 1.00 1.20 0.60 Standard driver canopy mounts a 1 Gang junction box

 Alternative Driver canopy mounts to standard 4" round and square junction boxes LISTING / WARRANTY 2" & 3" S Driver option rated for 3G vibration • Five (5) year limited warranty • 5" S Driver option rated for 1.5G vibration cULus Listed for Wet Location
 All Housings rated for IP65 ingress protection UL Listed for 40°C Ambient
 CA Title 24-JA8 Compliant 0.40 | 0.53 | 0.65 | 0.75 | 0.80 | 0.90 | 1.00

CREATIVE SYSTEMS LIGHTING

RATED WATTAGE 2" (10W-20W), 3" (15W-30W), 5" (15W-50W)

C2-HEX (Hex Louver) 14508 Nelson Ave, City of Industry, CA 91744 • tel: 626,336,4511 • fax: 626,330,4266 • www.csllighting.com ©2024 Creative Systems Lighting, A Division of Troy-CSL Lighting, Inc. All rights reserved. Subject to change without notice.

UJE-30411

Jet 34 Square Surface

ACCESSORIES (2" CYLINDER)

C2-10-OPTIC (10° Spot)

C2-50-OPTIC (50° Flood)

C2-80-OPTIC (80° Wide Flood)

CREATIVE SYSTEMS LIGHTING

LIGMAN

LIGHTING USA

VOLTAGE

120/277v Other - Specify

DATE

(blank) (None)

MP (Solite Lens) MP (Solite Lens)

FR (Frosted Lens) FR (Frosted Lens)

FR (Frosted Lens) FR (Frosted Lens)

(blank) -5 -S (Universal Dim Driver: 1%-100% 0-10V, TRIAC, ELV, 120V/277V)

EM-1000 (25W Remote Inverter) EM-1003-CA (35W Remote Inverter) Title 20

EM-1002 (10W Remote EM Driver) EM-1004 (50W Remote Inverter)

LS (Linear Spread Lens) LS (Linear Spread Lens)

HEX (Hex Louver) Holds 1 Media only when HEX selected

ALTERNATIVE DRIVER

-L3 (Lutron Dim Driver: 1%-100% EcoSystem, 120V/277V)

-EL1 (EldoLED DALI Dim: 1%-100% DALI, 120V/277V)

EM-1006 (25W Remote Inverter) Title 20

-EL2 (EldoLED Dim: 0.1%-100% 0-10V, 120V/277V)

-DMX (DMX Dim: 1%-100% DMX, 120V/277V)

NOTE: Ambient temperature rated for 25°C

STANDARD DRIVER

ALTERNATIVE DRIVER

-L3 (Lutron Dim Driver: 1%-100% EcoSystem, 120V/277V)

-EL1 (EldoLED DALI Dim: 1%-100% DALI, 120V/277V)

-EL2 (EldoLED Dim: 0.1%-100% 0-10V, 120V/277V)

-DMX (DMX Dim: 1%-100% DMX, 120V/277V)

NOTE: Ambient temperature rated for 25°C

★WD with 80 degree optic

not CA title 24 compliant

LS (Linear Spread Lens) LS (Linear Spread Lens)

HEX (Hex Louver) Holds 1 Media only when HEX selected

WAGNER

Tivoli, LLC. reserves the right to modify this specification without prior notice

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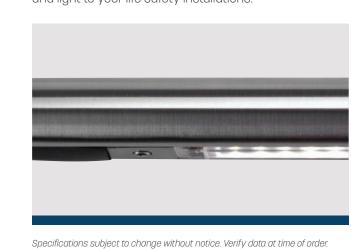


LINEAR LUMINAIRE

Our linear product is a state-of-the-art, low-voltage LED light fixture that

• Industry leading output: provides exceptional lighting performance to enhance any stairway, ramp or walkway application. Its soft light provides ample illumination for safety

• Matte and transparent lens options and ambiance without the glare or harshness of overhead lighting. Available with warm, neutral or cool white color temperatures, and a range of solid color options for static hues. Standard low, mid and high output offerings make Lumenlinear a highly flexible and practical solution for adding beauty and light to your life safety installations.



© 2021 R&B Wagner, Inc. All Rights Reserved. WagnerCompanies.com LULSA SUBM R7

70° asymmetric @ 45° above nadir

IES full cutoff classification when installed in

Wagner Architectural Systems handrail

Fully gasketed, extruded aluminum housing

mounting, secure but easily serviceable

4 solid color options including wildlife amber

Up to 88 CRI standard, 95+ available upon

• ETL wet location listed, UL1598 certified

Cast 316 stainless steel, mechanical

CCT standard in 5 white options

9 standard lengths from 6" to 54"

5 year warranty

request

Available in: 140, 152, 284 or 413 lpf



LUMENLINEAR™

APPROX. LINEAR FT: _____

REP AGENCY: _____

PHOTOMETRICS Main Beam 45° + nadir The asymmetric output has industry leading performance with a 70° beam spread, focused at 45° above nadir. Installed in Wagner Lumenrail®, Lumenlinear performs with full IES cutoff. Reports to view or download are available by scanning the QR code or visiting our website.

70- 70° Spread Main Beam @ 45°

0-10V INPUT (PWM)

UP TO 77 LM/W LED

EFFICIENCY

LUMENGEAR™ LED DRIVER & NEMA ENCLOSURE OPTIONS Wagner offers multiple ETL listed options for both 24VDC power supplies and NEMA enclosures. Quantities and types • STD 100W

NEMA ENCLOSURES: 4X - Polycarbonate, Painted Steel will be configured based on your specifications and design.

• Dali, DMX, 0-10V Dimming Protocols or Stainless Steel Additional specification options are available by request.

• Multiple Wattages LUMENPOST™: Made in USA Units Available Integrated 100W, 0-10V DIM

Specifications subject to change without notice. Verify data at time of order. in f @ @wagnercompanies

compatibility with the factory.

Not all options apply to all products, please verify

888-243-6914 // rfq@mailwagner.com
10600 West Brown Deer Road // Milwaukee, WI 53224, USA

Page 2 of 2 © 2021 R&B Wagner, Inc. All Rights Reserved. WagnerCompanies.com LULSA SUBM R7

SCAN QR CODE
for technical information,
downloads and instructions.

24- 25.33" **54**- 54.89"

Longer lengths available by request.

30-31.23"

-40°F TO +120°F

UP TO 88 [95+ AVAIL.] 18" (X2)

WW1 UJE-30411

Jet 34 Square Surface

35w COB 4094 Lumens

⊢—10.5" — ⊢

1-4.7"→ a 27"

IP65 • Suitable For Wet Locations IK08 • Impact Resistant (Vandal Resis

POWER MULTIPLER CHART

2 Inch 0.60 0.80 1.00

SIZE 10W 15W 20W 25W 30W

3 Inch 0.56 0.70 0.83 1.00

5 Inch 0.92 0.96 1.00 1.17 0.63

14508 Nelson Ave. City of Industry, CA 91744 • tel: 626.336.4511 • fax: 626.330.4266 • www.csllighting.com

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excellent heat dissipation.



Cylindrical or rectangular form surface wall-mounted downlight. High performance, Aluminum.

ess than 0.1% copper content - Marine Grade 6060 extruded high output and numerous options ensure Jet k LM6 Aluminum High Pressure die casting provides excellent nechanical strength, clean detailed product lines and can be configured for any application. echanical strength , clean detailed product lines and Wall luminaires with a selection of light distributions and LED wattages, that include; narrow,

medium, wide, very wide and elliptical light Memory Retentive -Silicon Gasket
Provided with special injection molded "fit for purpose" long
life high temperature memory retentive silicon gaskets.
Maintains the gaskets exact profile and seal over years of use distributions. The Jet offers a variety of beam spread options that facilitates wider spacing and even light distribution between the light fixtures. The up/down light versions can be manufactured Aluminum is used for its excellent mechanical strength thermal dissipation properties in low and high ambient peratures. The superior thermal heat sink design by nan used in conjunction with the driver, controls thermals we critical temperature range to ensure maximum. using different beam spreads for the up and down optics as well as different wattages upon request. v critical temperature range to ensure maximum nous flux output, as well as providing long LED service life ensuring less than 10% lumen depreciation at 50,000 Mounting plate for 3" junction box is provided with the fixture. A 4" junction box mounting plate is available as an option, please specify. Matching

<u>Surge Suppression</u> Standard 10kv surge suppressor provided with all fixtures. surface mount conduit boxes are available as an Custom round pole adapters can be manufactured to suit specific pole diameters for column mounting applications. Please contact the factory for Paint
UV Stabilized 4.9Mil thick powder coat paint and baked at 200 more information. Deg C. This process ensures that Ligman products can withstand harsh environments. Rated for use in natatoriums.

To meet International Dark Sky criteria, 3000k or warmer LEDs must be selected and luminaire fix mounted (+/- 15° allowable to permit leveling). ional Options (Consult Factory For Pricing) The wood grain finish is so realistic that it's almoundistinguishable from real wood, even from a close visuinspection. The system of coating permeates the entithickness of the coat and as a result, the coating cannot le

od grain coating can create beautiful wood-looking producting sort. There are over 300 combinations of desigently in use. Wood grains can be made with difference, designs, etc. Our powder coatings are certified for indoor and outdoor pplications and are backed by a comprehensive warranty hese coatings rise to the highest conceivable standard of

Hardware
Provided Hardware is Marine grade 316 Stainless steel. Anti Seize Screw Holes
Tapped holes are infused with a special anti seize compound High Impact UV Stabilized Polycarbonate Lens Manufactured with Ultra High Impact, UV Stabilized Injection Molded Polycarbonate. Optics & LED
Precise optic design provides exceptional light control and
precise distribution of light.
LED CRI > 80

Ligman Lighting USA reserves the right to change specifications without prior notice, please contact factory for latest information. Due to the continual imp

PROJECT **QUANTITY**

UJE-30411 LED COLOR 35w COB N - Narrow 13° 01 - BLACK RAL 9011 M - Medium 20° 02 - DARK GREY RAL 7043 W - Wide 40° W35 - 3500K VW - Very Wide 61° W40 - 4000K

ORDERING EXAMPLE || UJE - 30411 - 35w - M - W30 - 02 - 120/277v - Options

NOTE

CYLINDER (Wall Mount)

LWD2, LWD3, LWD5, SLWD2, SLWD3, SLWD5

(Round & Square)

-WT (Semi Gloss White) Glank) (None) 5 (Revision) -5 (Universal Dim Driver: 1%-100% 0-10V, TRIAC, ELV, 120V/277V)

Wall Up & Downlight -15 (15W) -30 (3000K 90CRI) -30 (30° Narrow Flood) CL (Clear Lens) CL (Clear Lens)

→ DOWN-MEDIA 2 STANDARD FINISH COASTAL COATING REVISION

SPEC-00282 CYLINDER LW 2" 3" 5", V-1.0, UPDATED 03/14/24 LWU2, LWU3, LWU5, SLWU2, SLWU3, SLWU5 NOTE: ——

-10 (10W) -27 (2700K 90CRI) -10 (10° Spot)

-20 (20W) -35 (300K 90CH) -50 (50° Flood)

2" CYLINDER LED UP & DOWNLIGHT WALL MOUNT (EXAMPLE: LWU2-10-27-30-10-27-30-CL-CL-WT-5-S)

☐ -10 (10W) ☐ -27 (2700K 90CRI) ☐ -10 (10° Spot)

-35 (3500K 90CRI) -20 (20W) -35 (3000K 900KI) -50 (50° Flood)

MP (Solite Lens) MP (Solite Lens) -MB

(50°) LS (Linear Spread Lens) LS (Linear Spread Lens) -

C2-30-OPTIC (30° Narrow Flood) C2-MP (Solite Lens)

-50 FR (Frosted Lens) FR (Frosted Lens) (Matte Black) (Coastal Coating)

* Media 1 lens required. For WD with 10°, 30°, 50° Optic use MP (Solite Lens). For WD with 80° Optic use FR

CL (Clear Lens) (Semi Gloss White) (None)

Holds 1 Media only when Finish Codes)

MEDIA

C2-CL (Clear Lens)

C2-FR (Frosted Lens)

2" CYLINDER LED DOWNLIGHT WALL MOUNT (EXAMPLE: LWD2-10-27-30-CL-CL-WT-C-5-S)

COASTAL COATING REVISION

2" WALL MOUNT ORDER MATRIX

2" Round

Wall Downlight

STANDARD FINISH

(See Page 5 for Color

SLWU2

2" Square

Wall Up & Downlight

-MB (Matte Black) -C (Coastal Coating)

2" Square

2", 3", 5" LED UP & DOWNLIGHT | PROJECT

★WD with 80 degree optic

ADDITIONAL OPTIONS NAT - Natatorium Rated DIM - 0-10v Dimming SCBT - Surface Conduit Box Trim 4MP - 4" Junction Box Mounting Plate REMG - Remote Emergency Battery Pack F - Frosted Lens **HGT - Custom Height** RPA - Round Pole Adapte

03 - WHITE RAL 9003 04 - METALLIC SILVER RAL 9006 05 - MATTE SILVER RAL 9006 06 - LIGMAN BRONZE 07 - CUSTOM RAL INSPIRED BY NATURE FINISHES SW01 - OAK FINISH SW02 - WALNUT FINISH SW03- PINE FINISH F - DOUGLAS FIR FINISH CW - CHERRY WOOD FINISH NW - NATIONAL WALNUT FINISH SU01 - CONCRETE FINISH SU02 - SOFTSCAPE FINISH SU03 - STONE FINISH SU04 - CORTEN FINISH THERE IS AN ADDITIONAL COST FOR THESE FINISHES

NISH COLOR

More Custom Finishes Available Upon Request Consult factory for pricing and lead times





REVISIONS: NO DATE DESCRIPTION

PROJECT NUMBER: 123134.00

DATE: 11/06/2024

ISSUED FOR: DP Submittal #3 SHEET TITLE: **BUILDING LIGHTING -**

CUTSHEETS - 1 SHEET NUMBER

2x35w COB 2x4094 Lumens

⊢—10.3" — ⊢

---6.3"──

⊢--4.7"--| ø.27"

Thermal management

M6 Aluminum is used for its excellent mechanical strength
ind thermal dissipation properties in low and high ambient
emperatures. The superior thermal heat sink design by
igman used in conjunction with the driver, controls thermals
heave critical temperature range to ensure maximum. <u>Surge Suppression</u> Standard 10kv surge suppressor provided with all fixtures.

> that includes fettling to improve paint adherence. Paint
> UV Stabilized 4.9Mil thick powder coat paint and baked at 200 Deg C. This process ensures that Ligman products can withstand harsh environments. Rated for use in natatoriums.

Hardware
Provided Hardware is Marine grade 316 Stainless steel. electrolysis from heat, corrosive atmospheres and moisture High Impact UV Stabilized Polycarbonate Lens Manufactured with Ultra High Impact, UV Stabilized

Optics & LED
Precise optic design provides exceptional light control and
precise distribution of light.
LED CRI > 80 <u>Lumen - Maintenance Life</u> L80 /B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux) Cylindrical or rectangular form surface wall-mounted downlight. High performance,

Wall luminaires with a selection of light distributions and LED wattages, that include; narrow, medium, wide, very wide and elliptical light distributions. The Jet offers a variety of beam spread options that facilitates wider spacing and even light distribution between the light fixtures. The up/down light versions can be manufactured using different beam spreads for the up and down optics as well as different wattages upon request.

can be configured for any application.

critical temperature range to ensure maximum
ous output, as well as providing long LED service life
nsuring less than 10% lumen depreciation at 50,000

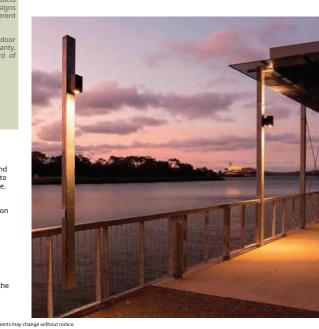
Mounting plate for 3" junction box is provided with the fixture. A 4" junction box mounting plate is available as an option, please specify. Matching surface mount conduit boxes are available as an

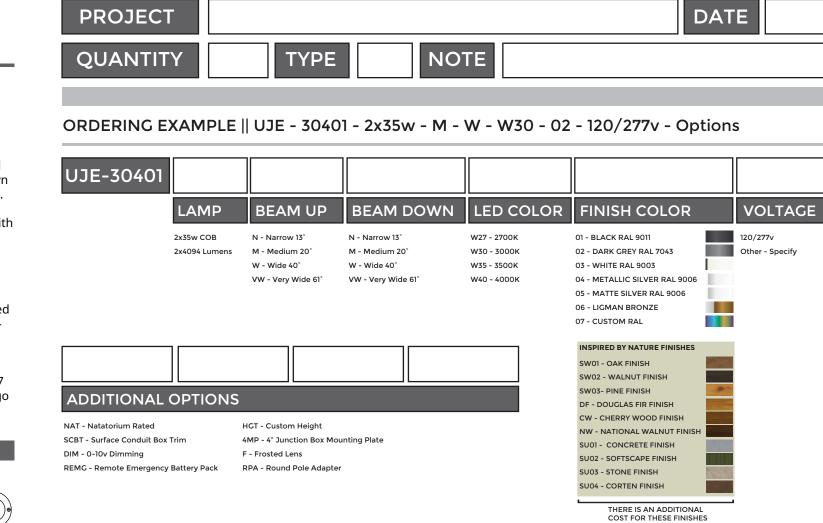
Einishing
All Ligman products go through an extensive finishing process

Custom round pole adapters can be manufactured to suit specific pole diameters for column mounting applications. Please contact the factory for more information.

For the cylindrical downlight option, see Jet 35, 37 and 51. For type II, III & IV distributions, see Tango 29 to 32 surface wall luminaires.

For RGBW options, see Jet 51 to 54.











WW5

. **-** 4.3" **-**

.

UGI-31641 Gino 4 Type I, II, III, IV & V Downlight **LigMAN** UGI-31641

PROJECT

Ligman LIGHTING USA Gino 4 Type I, II, III, IV & V Downlight LIGHTING USA

NOTE

Façade-mounted building and area lighting range. Sleek, compact and expansive luminaire Aluminum
Less than 0.1% copper content - Marine Grade 6060 extruded
8. LM6 Aluminum High Pressure die casting provides excellent
mechanical strength, clean detailed product lines and
family with lighting packages and optics to
address any need. A range of small, square and rectangular wall mounted luminaires with options of upward or rocess before product painting. downward light distributions. Ideally suited to illuminate the wall and surfaces in front of wall and efficiency LED's. The Gino is suitable for indoor and and compression. outdoor applications and provides a clean, visually Thermal management
LM6 Aluminum is used for its excellent mechanical strength appealing solution for small, unobtrusive wall nd thermal dissipation properties in low and high ambient mperatures. The superior thermal heat sink design by gman used in conjunction with the driver, controls thermal mounted luminaires. 10w LED 780 - 982 Lumens IP65 • Suitable For Wet Locations IK07 • Impact Resistant Weight 3.5 lbs This luminaire is available in 2 different sizes and in nsuring less than 10% lumen depreciation at 50,000 combinations of down, up or up/down light

<u>surge Suppression</u> tandard 10kv surge suppressor provided with all fixtures. All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.

> Paint
> UV Stabilized 4.9Mil thick powder coat paint and baked at 200
> Deg C. This process ensures that Ligman products can
> withstand harsh environments. Rated for use in natatoriums. nspired by Nature Finishes he Inspired by nature Finishing is a unique system lecorative powder coating. Our metal decoration process ca The wood grain finish is so realistic that it's almost undistinguishable from real wood, even from a close visual inspection. The system of coating permeates the entire thickness of the coat and as a result, the coating cannot be emoved by normal rubbing, chipping, or scratching.

The component is then wrapped with a sheet of non-porous film with the selected decoration pattern printed on it using special high temperature inks. Our powder coatings are certified for indoor and outdoo pplications and are backed by a comprehensive warranty hese coatings rise to the highest conceivable standard of erformance excellence and design innovation.

Hardware Provided Hardware is Marine grade 316 Stainless steel. Anti Seize Screw Holes <u>Crystal Clear Low Iron Glass Lens</u> Provided with tempered, impact resistant crystal clear low iron glass ensuring no green glass tinge.

signed to prevent seizure of threaded connections, due to ectrolysis from heat, corrosive atmospheres and moisture.

IOTE: This trim covers a <u>shallow single gang</u>, surface mount junction box [Provided by contractor] xample: Hubbell: - 5322-0 - 1-Gang Weatherproof Box, Five 1/2" in. Threaded Outlets - or -**More Custom Finishes Available Upon Request** Consult factory for pricing and lead times Wolaut Chartrut

142 [5.59"]

for light accents on vertical surfaces using high ORDERING EXAMPLE | UGI - 31641 - 10w - T2 - W30 - 02 - 120/277v - Options VOLTAGE ED COLOR FINISH COLOR distributions. The Gino 1 and Gino 2 have a 01 - BLACK RAL 9011 120/277v T1 - Type I Distribution - 780lm W27 - 2700K 🚇 decorative spike option for added lighting effects. 02 - DARK GREY RAL 7043 T2 - Type II Distribution - 791lm W30 - 3000K 🤩 The Gino 1 and 2 mounts over a 3" octagonal T3 - Type III Distribution - 829lm W35 - 3500K 03 - WHITE RAL 9003 junction box, a 4" j-box cover plate is available T4 - Type IV Distribution - 820lm W40 - 4000K 04 - METALLIC SILVER RAL 9006 05 - MATTE SILVER RAL 9006 M - Medium 30° - 982lm W - Wide 51° - 936lm 06 - LIGMAN BRONZE To meet International Dark Sky criteria, 3000k or VW - Very Wide 65° - 950lm 07 - CUSTOM RAL warmer LEDs must be selected and luminaire fix EW - Extra Wide 98°x118° - 866lm mounted (+/- 15° allowable to permit leveling). INSPIRED BY NATURE FINISHES ional Options (Consult Factory For Pricing) SW01 - OAK FINISH SW02 - WALNUT FINISH SW03- PINE FINISH

TYPE

ADDITIONAL OPTIONS NAT - Natatorium Rated SCBT - Surface Conduit Box Trim 4J - Mounting Plate for 4" Junction Box AMB - Turtle Friendly Amber LED DIM - 0-10v Dimming

Walnut

Chestnut

DF - DOUGLAS FIR FINISH

CW - CHERRY WOOD FINISH

NW - NATIONAL WALNUT FINIS

SU02 - SOFTSCAPE FINISH

SU01 - CONCRETE FINISH

SU03 - STONE FINISH

SU04 - CORTEN FINISH

DATE

structura

WW6

ULEE-30021 Leeds 6 Large Surface Downlight

TECHNOLOGY

distributions for optimized spacing and uniformity.

Ligman's micro Variable Optical System provides the ability to interchange, mix & rotate optics to provide specific light

gman Lighting USA reserves the right to change specifications without prior notice, please contact factory for latest information. Due to the co

TECHNOLOGY Clean, beautiful, surface wall fixtures with class

LIGHTING USA

leading performance. Minimalist form, yet the

compliant wall mounted luminaires with options of

high efficiency LED's. The Leeds is suitable for

This luminaire is available in 3 different sizes and in

This fixture utilizes microVos technology, meaning

the ability to do Type I,II,III,IV & V distributions as

spacing to mounting height ratios, while still

Less than 0.1% copper content - Marine Grade 6060 extruded & LMG Aluminum High Pressure die casting provides excellent mechanical strength, clean detailed product lines and excellent heat discipation.

8 step degrease and phosphate process that includes deoxidizing and etching as well as a zinc and nickel phosphate process before product painting.

A range of small, square and rectangular, ADA compliant wall mounted luminaires with options

Memory Retentive -Silicon Gasket rovided with special injection molded "fit for purpose" long life sigh temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.

This is the superior thermal heat sink design by Ligman clean, visually appealing solution for small, unob-

distributions.

Einishing.
All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.

The ability to do Type 1,11,111,17 & v distributions as well as hybrid distributions to suit the designer's requirements

requirements.

C. This process ensures that Ligman products can use in natatoriums. Using the microVos optics allows for very wide

Inspired by nature Finishes Inspired by nature Finishing is a unique system of rative powder coating. Our metal decoration process can y transform the appearance of metal or aluminum product light levels.

Surge Suppression
Standard 10kv surge suppressor provided with all fixtures.

combinations of down, up or up/down light

used in conjunction with the driver, controls thermals below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

This luminosire is available in 2 diffi-

microVos technology.

cellent mechanical strength and indoor and outdoor applications and provides a

ULEE-30021 Leeds 6 Large Surface Downlight PROJECT

DDITIONAL OPTIONS

NAT - Natatorium Rated

F - Frosted Lens

DIM - 0-10v Dimming

SCBT - Surface Conduit Box Trim

TECHNOLOGY

DF - DOUGLAS FIR FINISH

SU01 - CONCRETE FINISH

SU02 - SOFTSCAPE FINISH

SU03 - STONE FINISH

SU04 - CORTEN FINISH

CW - CHERRY WOOD FINISH

NW - NATIONAL WALNUT FINISH



VOLTAGE

QUANTITY ORDERING EXAMPLE || ULEE - 30021 - 20w - T2 - W30 - 02 - 120/277v - Options

ULEE-30021 ED COLOR FINISH COLOR W27 - 2700K 🥮 01 - BLACK RAL 9011 120v/277v T1 - Type I Distribution 02 - DARK GREY RAL 7043 T2 - Type II Distribution W30 - 3000K 🔮 T3 - Type III Distribution W35 - 3500K 03 - WHITE RAL 9003 T4 - Type IV Distribution W40 - 4000K 04 - METALLIC SILVER RAL 9006 05 - MATTE SILVER RAL 9006 ME - Type ME Distribution M - Medium 30° 06 - LIGMAN BRONZE W - Wide 56° 07 - CUSTOM RAL EW - Extra Wide 109°x102° INSPIRED BY NATURE FINISHES SW01 - OAK FINISH SW02 - WALNUT FINISH SW03- PINE FINISH

AMB - Turtle Friendly Amber LED

HCL - Honeycomb Louvre

4MP - 4" Octagonal J-Box Mounting Plate

Ligman Lighting USA reserves the right to change specifications without prior notice, please contact factory for latest information. Due to the continual improvements in LED technology data and components may change without notice.

atented technology enables the simulation of wood grain, ven marble or granite finish through the use of decorative ver marble or granite finish through the use of decorative ver marble. The property of the selected and luminaire five the selected and lu warmer LEDs must be selected and luminaire fix he wood grain finish is so realistic that it's almost mounted (+/- 15° allowable to permit leveling). undistinguishable from real wood, even from a close visual nspection. The system of coating permeates the entire thickness of the coat and as a result, the coating cannot be

the oven transforms the ink into different forms within nt layer before it becomes solid. Finally, the film is d, and a vivid timber look on aluminum remains.

ir powder coatings are certified for indoor and outdoor The variable optic system allows for the designer to create hybrid distributions for precise lighting requirements.

Ligman Lighting USA reserves the right to change specifications without prior notice, please contact factory for latest information. Due to the continual improvements in LED technology data and components may change without notice

B1 - U0 - G1 [ME, T3, T1] B2 - U0 - G0 [M, W]

<u>Hardware</u> Provided Hardware is Marine grade 316 Stainless steel. Anti Seize Screw Holes
Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due electrolysis from heat, corrosive atmospheres and moisture. <u>Crystal Clear Low Iron Glass Lens</u> Provided with tempered, impact resistant crystal clear low iron glass ensuring no green glass tinge. Optics & LED
Precise optic design provides exceptional light control and <u>Lumen - Maintenance Life</u> L80 /B10 at 50,000 hours (This means that at least 90% of the

rinted film transfer is vacuum-sealed to the surface fo





BB1

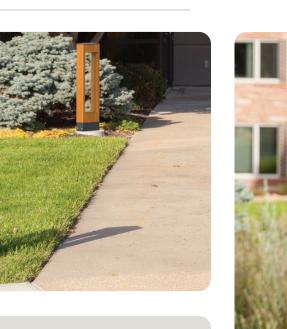
PROJECT NAME:

Wavelength (nm) Peak wavelength between 585 & 595 nanometers and a full width of 50%

power no greater than 15 nanometers.

Mac II Wood Body LED Bollard

structura



Glulam solid wood bollard with LED light source. **FEATURES:** High power, low wattage LED light module Solid glulam wood construction Concealed anchor bolt base and mounting hardware

SPECIFICATIONS:

concrete pour template.

HOUSING: Solid wood bollard is assembled through glulam construction and precision machined using CNC technology. Adhesive complies with ASTM D-2559 glulam construction specifications for extreme exposed weather conditions and is waterproof and rated for wet or dry use exposure. Driver compartment and baseplate concealed within metal base

power supply. Standard output is 12W. Fixture is internally prewired to the electrical splice box located in the fixture base. System is 0-10V dimmable. Minimum -40°C operating temperature. OPTICAL SYSTEM: LED boards have solderless connections for field upgradability. Available in 2700K, 3000K, 3500k and 4000K color

(4) hot dip galvanized anchor bolts and fasteners and a ridged

ELECTRICAL: Powered by a Class P 120-277VAC primary integral

lumen output, CCT, and optical distribution options. FINISHES AND MATERIALS: Woods are finished with a low VOC waterborne matte exterior finish containing UV and mildew inhibitors. All exterior aluminum parts are polyester powder coat painted. <u>Care and Maintenance</u>

in Type III, IV, and V distributions. Consult factory for additional

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HARDWARE: Fasteners are stainless steel. Anchor bolt kits are hot dip galvanized.

LISTINGS & RATINGS: Luminaire CSA listed according to CSA C22.2 No. 250.0-18/UL Standard 1598. Suitable for wet locations. LM-80 test reported L70 > 60,500 hours and calculated L70 > 154,000

CONDUIT ORDERING GUIDE: EXAMPLE: MAC II-42-L2750-5-55-C7-UNV-STD UNV 1 Series 4 Light Source⁽¹⁾ 7 Metal Finish See color options on finishes technical sheet CSM Distribution Overall Height Type III Voltage Type III Rotated⁽ UNV 120-277V Color Temperature 2700K I FD Wood Finish Standard 3000K LED 3500K LED MOD Modified See color options on

L27 L30 L35 L40 4000K LED finishes technical sheet AMB Amber Consult factory for additional output options

2. Type III Rotated optics requires bollard to be rotated so that the short side is towards the sidewalk. Product specification sheets subject to change.

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PROJECT NUMBER: 123134.00

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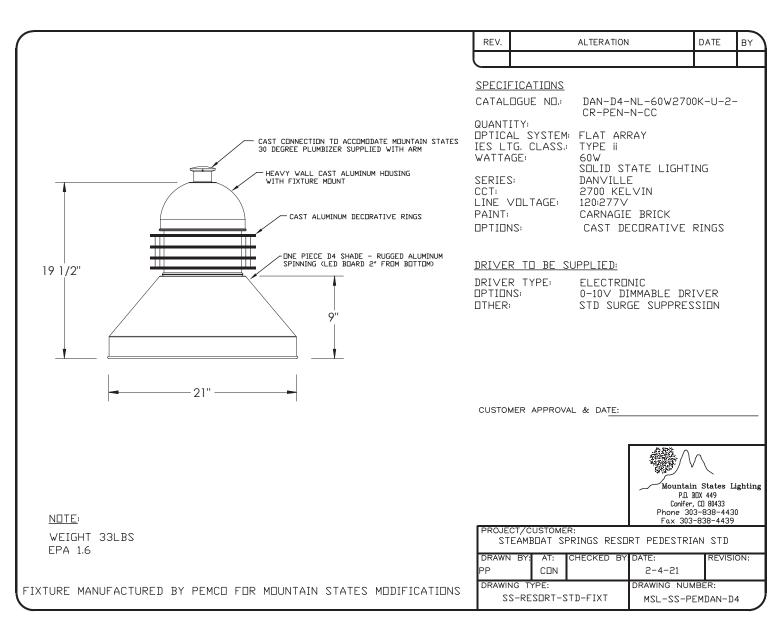
REVISIONS:

NO DATE DESCRIPTION

DATE: 11/06/2024 ISSUED FOR: DP Submittal #3

SHEET TITLE: **BUILDING LIGHTING** CUTSHEETS - 2

SHEET NUMBER



Mountain States Lighting
P.D. BDX 449
Conifer, CD 80433
Phone 303-838-4430
Fax 303-838-4439



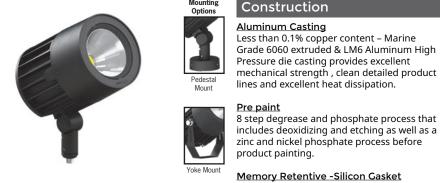
Odessa 15 Large Floodlight Threaded Knuckle Mount

LFGMAN UOD-5017 ☐ ← Last Digit Signifies Wattage (See Below) **LIGHTING USA** Odessa 15 Large Floodlight Threaded Knuckle Mount

PROJECT

LIGMAN LIGHTING USA

DATE



zinc and nickel phosphate process before Memory Retentive -Silicon Gasket

Thermal management LM6 Aluminum is used for its excellent properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermals below critical temperature range to ensure maximum luminous flux output, as well as linear spread lenses. providing long LED service life and ensuring

Surge Suppression Standard 10kv surge suppressor provided with all fixtures. **BUG Rating** B3 - U1 - G0

All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence. UV Stabilized 4.9Mil thick powder coat paint and baked at 200 Deg C. This process ensures that Ligman products can withstand harsh environments. Rated for use in natatoriums.

> Provided Hardware is Marine grade 316 Stainless steel. Anti Seize Screw Holes Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis moisture. Crystal Clear Low Iron Glass Lens
> Provided with tempered, impact resistant

crystal clear low iron glass ensuring no green **Optics & LED** Precise optic design provides exceptional

light control and precise distribution of light. L80 /B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their

Naturally beautiful and unique contemporary family, Odessa packs a punch with an abundance of options and accessories. mechanical strength, clean detailed product
The Odessa family of floodlights have a modern aesthetic design and are a perfect lighting solut for most small to medium size spotlight and flo 8 step degrease and phosphate process that includes deoxidizing and etching as well as a process field reduction and restrict the floodlights can be aimed locked in place to highlight specific features or elements in the environment, as well as provide security when illuminating dark areas on campu

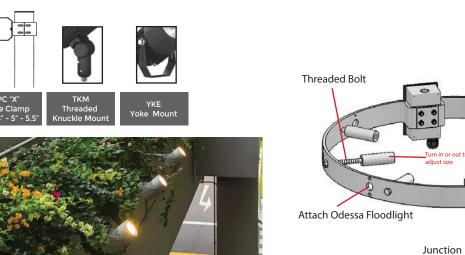
Stylish adjustable projector range.

Provided with special injection molded "fit for purpose" long life high temperature memory retentive silicon gaskets. Maintains the

This small and medium range of high performant LED floodlight luminaires provides a robust desi gaskets exact profile and seal over years of for demanding applications such as recreational areas, public spaces and architectural structures.

The luminaire has integrated heat sinks to facili mechanical strength and thermal dissipation LED cooling, as well as an integral driver. The Oc is available in Narrow, Medium, Wide and Very \ light distributions. Color temperature 2700K, 30 3500K and 4000K. Luminaire has optional access ries, such as a ground spike, visors, louvres, and

less than 10% lumen depreciation at 50,000 For non standard fixture variations, as well as sp reflector requirements and , please contact the factory. 3 mounting options are available, name yoke mount, pedestal and 1/2" threaded knuckl system with a fully rotatable with locking screw option for after installation aiming.



JOD-501	7X					
	LAMP	BEAM	LED COLOR	FINISH	COLOR	VOLTA
UOD-50171	70w COB 8038 Lumens	N - Narrow 21° M - Medium 33°	W27 - 2700K W30 - 3000K	01 - BLACK RAL 9 02 - DARK GREY		120/277v Other - Specify
UOD-50172	55w COB 6310 Lumens	W - Wide 48° VW - Very Wide 70°	W35 - 3500K W40 - 4000K	03 - WHITE RAL 04 - METALLIC S		
UOD-50173	60w COB 6890 Lumens			05 - MATTE SILV 06 - LIGMAN BRO	ONZE	
UOD-50174	50w COB 5433 Lumens			07 - CUSTOM RA	.L	
	AL OPTIONS					
NAT - Natatorium Rat A54331 - Anti Glare Vis A51814 - Linear Spread	sor TKM - Thread		RD - Red Lens BL - Blue Lens AM - Amber Lens GR - Green Lens	ODTS21	- 11" to 17" DIA - 16" to 21" DIA ' - 21" to 27" DIA - 26" to 32" DIA	PC4 - 4" Clamp PC45 - 4.5" Clamp PC5 - 5" Clamp PC55 - 5.5" Clamp
A54331 - Anti Glare Vis A51814 - Linear Spreac	sor TKM-Thread I Lens YKE-Yoke M Iessa Treestrap	led Knuckle Mount ount	BL - Blue Lens AM - Amber Lens	ODTS21	- 16" to 21" DIA - 21" to 27" DIA	PC45 - 4.5" Clamp PC5 - 5" Clamp

PP2 AND PP2A

structura Lineal LED Luminaire FIXTURE TYPE: PROJECT NAME: _

SPECIFICATIONS:

CONSTRUCTION: Seamless aluminum housing comprised of 6005A-T61 extrusion and 6061-T6 end plates. Gasketed aluminum electrical access cover attached with captive stainless steel hardware and safety cable.

ELECTRICAL: Integral Class P, 120-277V or 347-480V, dimmable constant current driver. Luminaire is pre-wired with watertight 5 conductor 18 gauge SJEOOW whip. 10kA surge suppression is standard with optional external 20kA surge suppression. Operating temperature of -40°C to 50°C.

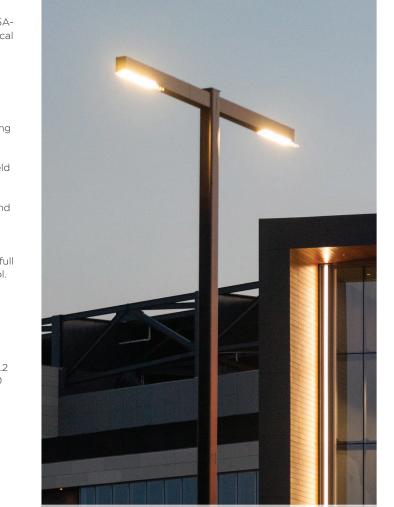
OPTICAL SYSTEM: LED boards have solderless connections for field upgradability. Available in CCT of 2700, 3000, 3500, and 4000K, >80 CRI. Optics are UV resistant molded PMMA in Type II and IV distributions. Consult factory for additional lumen output, CCT, and optical distribution options.

CONTROLS: Dimming through 0-10V input is standard. Available with integral motion sensor with photocell providing on/off and full light to dim control. Also available with wireless smart city control. See <u>SmartCity</u> control documentation for more information. FINISHES: All exterior aluminum parts are polyester powder coat

painted to meet AAMA 2604 standards. See Structura's finish options for available colors. <u>Care and Maintenance</u> LISTINGS & RATINGS: Luminaire CSA listed according to CSA C22.2 No. 250.0-18/UL Standard 1598. Suitable for wet locations. LM-80 test reported L70 > 90,000 hours and calculated L70 > 110,000 hours. Bug rating: B1-U0-G1. IP65 rated.

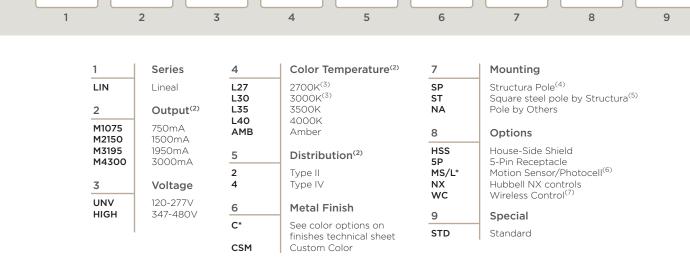
WARRANTY: 5-year warranty on LED and drivers.

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	mA	Wattage	CRI	Lumen ⁽¹⁾	Efficacy	EPA	Weight						
	750	40	>80	4164	103.3	4266	105.9	4437	110.1	4620	114.6	0.81ft ²	12.3lbs.
	1500	76	>80	8327	109.6	8532	112.3	8837	116.8	9240	121.6	1.00ft ²	14.2lbs.
	1950	104	>80	10825	104.0	11091	106.6	11535	110.9	12012	115.5	1.19ft ²	16.2lbs.
	3000	152	>80	16653	109.6	17063	112.3	17745	116.7	18479	121.6	1.55ft ²	20.7lbs.
ORDERING GUIDE: EXAMPLE: LIN-M2150-UNV-L30-4-C4-SP-WC-MS/L3-STD													

2700K 3000K 3500K 4000K



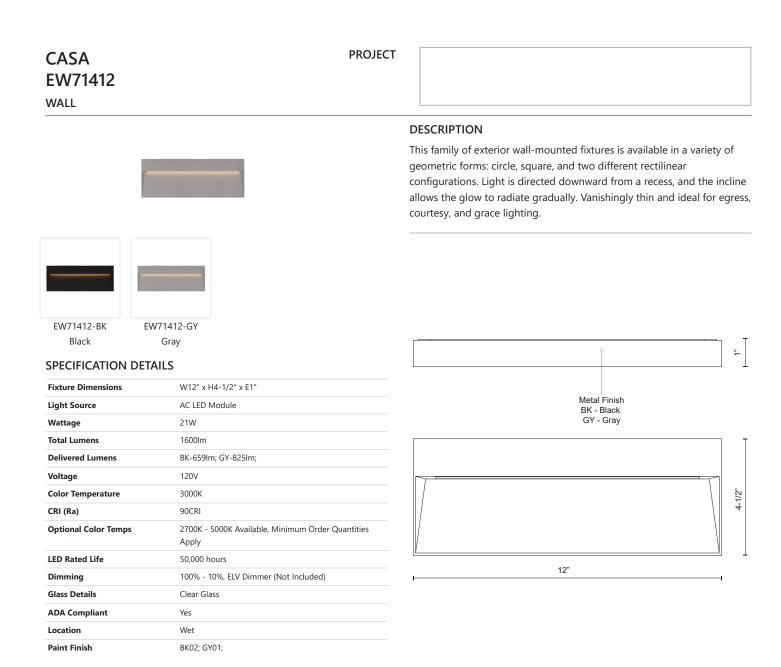
1. Lumen output based upon Type II distribution. 3. CCT of 2700K or 3000K color temperature required for DarkSky Approved. Structura pole specification sheet must be completed showing mounting locations and quantities as a separate item.
 Specify steel pole on page 108 as a separate item.
 Specify coverage pattern (see page 107 for detail). Requires wirelss handheld configuration tool.
 Synapse Wireless site gateway controller must be ordered seperately. Please contact factory for design assistance.

Product specification sheets subject to change.

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SL1



COMMENT

* For custom options, consult factory for details. * For warranty information, please visit www.kuzcolighting.com/warranty

KUZCO CANADA: 19054 28TH AVENUE - SURREY, BC V3Z 6M3 USA: 3035 E. LONE MOUNTAIN ROAD - LAS VEGAS, NV 89081 WWW.KUZCOLIGHTING.COM © 2018 KUZCO LIGHTING. ALL RIGHTS RESERVED.







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REVISIONS: NO DATE DESCRIPTION

PROJECT NUMBER: 123134.00 DATE: 11/06/2024

ISSUED FOR: DP Submittal #3 SHEET TITLE: **BUILDING LIGHTING**

CUTSHEETS - 3

SHEET NUMBER