

ZONE DISTRICT REQUIREMENTS

PROJECT SUMMARY TABLE		ZONE DISTRICT: RR-2 (RESORT RESIDENTIAL-TWO)	
GROSS FLOOR AREA	220,178 SF		
UNIT SIZE (GROSS)	APPROXIMATELY 967 SF - 4,888 SF		
NUMBER OF UNITS	63		
ZONING (EXISTING & PROPOSED)	EXISTING: RR-2 / PROPOSED: NO CHANGE		
FRONTAGE	N/A		
USE BREAKDOWN	DESCRIPTION	SQUARE FOOTAGE	# OF UNITS
PRINCIPAL USE	R-2	137,460 SF	63 RES. UNITS
ACCESSORY USE	A, S-2 & U	55,181 SF	ASSEMBLY, POOL BLDG. GARAGE PARKING
STANDARDS	ZONE DISTRICT REQUIREMENTS	PROPOSED	VARIANCE? (Y/N)
LOT AREA	NO MIN. NO MAX.	188,451 SQ. FT (+/- 4.33ACRES) ^g	
LOT COVERAGE	65% MAX.	30.67% ^h	N
FLOOR AREA RATIO	NO MAX.	154.66% ^h	
OPEN SPACE	15% MIN.	34.66% ^h	N
OVERALL BUILDING HEIGHT	75' MAX.	±74'-10" ^d	N
FRONT SETBACK ^{a,b}	P 20' MIN.	20'-3"	N
SIDE SETBACK ^{a,c}	P 15' MIN.	16'-3"	N
	A 10' MIN.	57'-0"	
REAR SETBACK ^a	SS 0' MIN.	1'-0"	N
DWELLING UNIT PER LOT	NO MAX.	63	N
PARKING	31.5 TOTAL ^f	76 + 2 ^e	N
SNOW STORAGE	19,263 SF MIN. ^j	19,390 SF ⁱ	N

P = PRINCIPAL / A = ACCESSORY / SS = SKI SLOPE

a) PER KELLY DOUGLAS, THE ESTABLISHED FRONT, SIDES & REAR LOT LINES ARE AS FOLLOWS:
 FRONT LOT LINE = SOUTHERN PROPERTY LINE ADJACENT TO NORWEGIAN LOG CONDOMINIUMS & SKI INN CONDOMINIUMS.
 SIDE LOT LINES = EASTERN PROPERTY LINE, NORTHERN PROPERTY LINE ON THE SOUTH AND WEST FACE OF EDMONT CONDOMINIUMS & WESTERN PROPERTY LINE ADJACENT TO SKI TRAIL CONDOMINIUMS & ELKHORN AT STEAMBOAT CONDOMINIUMS.
 REAR LOT LINE = NORTHERN PROPERTY LINE ADJACENT TO THE SKI SLOPE

b) FRONT SETBACK: BLDG. 5 OFFSET FROM PROPERTY LINE

c) SIDE SETBACK: FRONT ELEVATION OF BLDG. 7. ALL OTHER SIDE SETBACKS ARE GREATER THAN 15'-1"

d) OVERALL BLDG. HEIGHT BASED OFF OF BLDG. 1 WITH THE HIGHEST ELEVATION.

e) PARCEL 1-A = 142,363 SF (3.27 AC) / PARCEL 2 = 6,460 SF (0.15 AC) / PARCEL 3 = 39,628 SF (0.91 AC) / DEVELOPMENT TOTAL = +/-188,451 SF (+/-4.33 AC)

f) TOTAL PARKING REQ'D BASED ON UNDERGROUND PARKING

g) 76 UNDERGROUND-GARAGE SPACES / 2 SURFACE PARKING SPACES

h) LOT COVERAGE & F.A.R. BASED ON PARCEL 1-A

j) DOES NOT INCLUDE THE SNOW STORAGE REQUIRED AND PROVIDED FOR THE SKI INN CONDO PARKING LOT OFF THE PROPERTY OF THIS DEVELOPMENT

PROJECT DATA

PROJECT DESCRIPTION
THE ASTRID IS A CONDOMINIUM PROJECT LOCATED IN THE BASE AREA. THERE ARE TO BE 69 UNITS PROVIDED ACROSS 6 BUILDINGS. THERE WILL ALSO BE A POOL AND POOL/AMENITY BUILDING. THE PROJECT IS PROPOSED TO BE BUILT IN FOUR PHASES.

CLIMATE:
ZONE 7

PHASING:
FOUR PHASES

APPLICABLE CODES:
2018 IBC
2018 IEBC
2018 IECC
2018 IMC
2018 IPC
2018 IFGC
NEC 2023
CITY OF STEAMBOAT CDC
ICC/ANSI A117.1 (2009)
ADAAG 2010

OCCUPANCY CLASSIFICATION
GROUP R-2 - RESIDENTIAL
GROUP A - POOL BLDG. & ASSEMBLY SPACES
GROUP S-2 - UNDERGROUND PARKING
GROUP U - UNIT SPECIFIC GARAGES (BLDG. 7)

TYPE OF CONSTRUCTION
BLDG. 1: TYPE IB / NFPA 13
BLDG. 2-6: TYPE VA / NFPA 13
BLDG. 7: TYPE VA / NFPA 13
POOL BLDG: TYPE VB / NON-SPRINKLERED

DEVELOPMENT PLAN SET

FOR:

LEGAL DESCRIPTION:

EXPANSION PROPERTY SUBJECT TO DEVELOPMENT RIGHTS, EDMONTON
CONDOMINIUM - BUILDING A TOTAL: 3.266 ACS

AND


OUTLOT, SKI TRAILS F3, BLK 2 TOTAL .16AC

AND

OUTLOT SKI TRAILS SUBD F3 BLK2 TOTAL .86AC

ALSO KNOWN AS:

THE ASTRID CONDOMINIUMS

An architectural rendering of a modern multi-story condominium complex. The buildings feature a mix of dark grey, white, and brown tones, with large glass windows and balconies. The complex is situated on a green hillside, with a winding road visible in the foreground. The rendering shows several interconnected building volumes, some with flat roofs and others with gabled sections. The overall style is contemporary and urban.

VICINITY MAP

This vicinity map shows the project site, outlined in black, located in the center of the map. The map includes labels for various landmarks and roads:

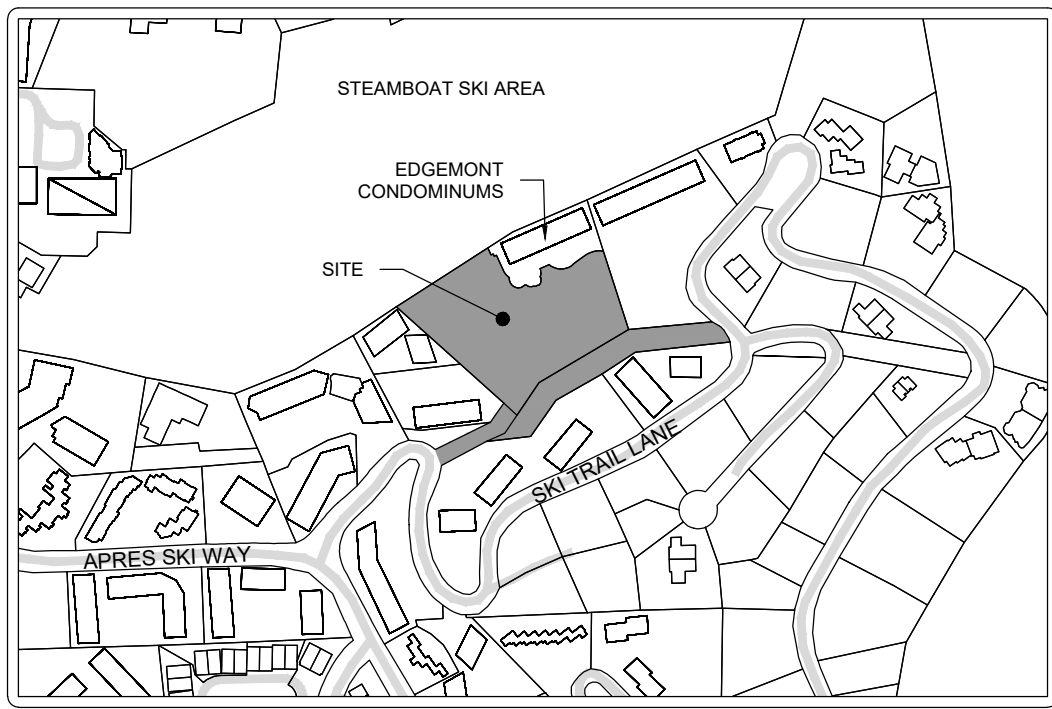
- STEAMBOAT SKI RESORT
- BEAR CLAW CONDOS 1
- BEAR CLAW CONDOS 2
- EDGEMONT
- SKI TRAIL LANE
- PROJECT SITE**
- SKI INN CONDOS
- MT. WERNER CIRCLE
- APRES SKI WAY
- SKI TRAIL CONDOS

MAP DATA ©2022 GOOGLE

PROJECT TEAM

OWNER: STEAMBOAT ESQUIAR LP 4265 SAN FELIPE ST., SUITE 970 HOUSTON, TX 77027 512-981-8775 MYLES SHERMAN MYLES@MSHERMAN.COM	SURVEYOR: LANDMARK CONSULTING, INC. 141 9TH STREET P.O. BOX 774943 STEAMBOAT SPRINGS, CO 80477 970-871-9494 AJ SUMMERS, PLS, EI AJS@LANDMARK-CO.COM
ARCHITECT: ERIC SMITH ASSOCIATES, P.C. 1919 7TH STREET BOULDER CO 80302 303-442-5458 ERIC SMITH ERIC@ESAPC.COM	LIGHTING: AE DESIGN 1900 WAZEE ST., SUITE 205 DENVER, CO 80202 303-296-3036 JON BROOKS, P.E. JBROOKS@AEDESIGN-INC.COM
CIVIL / LANDSCAPE: BASELINE ENG. CORP. 1169 HILL TOP LN., SUITE 204 STEAMBOAT SPRINGS, CO 80487 970-879-1825 MIKE BEURSKENS, P.E. MIKE.BEURSKENS@BASELINECORP.COM	TRAFFIC: FOX TUTTLE TRANSPORTATION GROUP 1620 MARKET ST., STE 202 DENVER, CO 80202 303-652-3571 STEVE TUTTLE, P.E., PTOE STEVE.TUTTLE@FOX TUTTLE.COM

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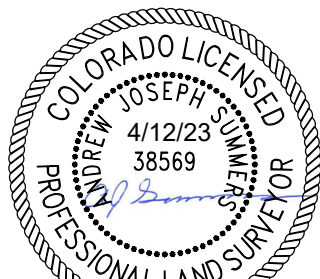
1. THIS MAP DOES NOT REPRESENT A MONUMENTED LAND SURVEY. IT IS INTENDED ONLY TO DEPICT THAT INFORMATION REQUESTED BY OUR CLIENT.
2. ONLY THOSE PORTIONS OF THE SUBJECT PROPERTY REQUESTED TO BE MAPPED BY OUR CLIENT HAVE BEEN SHOWN WITH TOPOGRAPHIC INFORMATION ON THIS MAP.
3. THE PROPERTY DESCRIPTION SHOWN HEREON WAS PROVIDED BY OUR CLIENT.
4. THIS LAND SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY LANDMARK CONSULTANTS, INC. TO DETERMINE OWNERSHIP OF THIS TRACT, VERIFY THE DESCRIPTIONS SHOWN, VERIFY THE COMPATIBILITY OF THIS DESCRIPTION WITH THAT OF ADJACENT TRACTS, OR VERIFY EASEMENTS OF RECORD. ATTORNEYS' TITLE GUARANTY FUND, INC. TITLE COMMITMENT NO. PC20220302314 DATED 3/31/2022 AND ATTORNEYS' TITLE GUARANTY FUND, INC. TITLE COMMITMENT NO. PC20220301782 DATED 12/20/2021 WAS RELIED UPON TO DETERMINE OWNERSHIP AND EASEMENTS OF RECORD SHOWN ON THIS EXISTING CONDITIONS MAP.
5. BASIS OF HORIZONTAL CONTROL: NAD83(2011) COLORADO NORTH, SCALED TO GROUND ABOUT A POINT HAVING COORDINATES OF N-1412535.68, E-2636559.05 AND A SCALE FACTOR OF 1.0003690183.
6. UNITS SHOWN HEREON ARE IN US SURVEY FEET AND THE STANDARD OF DISTANCE ACCURACY FOR THIS MAP HAS BEEN DETERMINED TO BE GREATER THAN 1:10,000.
7. THE SUBJECT PROPERTY IS LOCATED IN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AS DETERMINED BY THE F.E.A. FLOOD INSURANCE RATE MAP NUMBER 08107C03883D WITH AN EFFECTIVE DATE OF FEBRUARY 4, 2005.
8. SITE BENCHMARK: A RECOVERED NO.5 REBAR WITH ALUMINUM CAP STAMPED "LS 29039", HAVING AN ELEVATION OF 6986.18 BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AS SHOWN HEREON.
9. CONTOUR INTERVAL = 2 FOOT
10. BURIED UTILITIES AND/OR PIPE LINES ARE SHOWN PER VISIBLE SURFACE EVIDENCE OR AS-BUILT DRAWINGS OF THE CONSTRUCTED UTILITY LINES TOGETHER WITH MARKINGS PROVIDED BY AN UNDERGROUND UTILITY LOCATING SUBCONTRACTOR. IF ANY UNDERGROUND UTILITY LOCATIONS ARE REQUIRED, THEY WILL HAVE TO BE VERIFIED BY FIELD POT-HOLING THE UTILITIES. LANDMARK CONSULTANTS, INC. AND THE SURVEYOR OF RECORD SHALL NOT BE LIABLE FOR THE LOCATION OF OR THE FAILURE TO NOTE THE LOCATION OF NON-VISIBLE UTILITIES.
11. THE LAST FIELD INSPECTION OF THE SITE WAS ON MAY 19, 2022.
12. DRAWING PLOTS TO SCALE ON 24"x36" PAPER.
13. JURISDICTIONAL WETLANDS ARE SHOWN BASED ON MARKS PROVIDED BY A WETLANDS CONSULTANT CONTRACTED FOR BY OUR CLIENT.
14. THE EASEMENT AGREEMENT RECORDED IN RECEPTION NO. 646674 GRANTS UTILITY AND ACCESS EASEMENTS OVER CERTAIN ROADS, STREETS AND DRIVES TO BE CONSTRUCTED ON THE SUBJECT PROPERTY. THE LOCATION OF THESE EASEMENTS ARE CURRENTLY INDETERMINATE AS THESE ROADS, STREETS AND DRIVES HAVE YET TO BE CONSTRUCTED.

LINE TABLE		
LINE	BEARING	LENGTH
L1	S24°56'06"E	20.51'
L2	N65°03'54"E	6.00'
L3	S24°56'06"E	6.00'
L4	N65°03'54"E	6.00'
L5	S40°43'04"E	0.50'

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CH. BEARING	CH. LENGTH
C1	25.07	54.00	026°36'11"	S38°14'11"E	24.85
C2	4.49	5.00	051°29'04"	S25°47'45"E	4.34
C3	36.41	24.50	084°13'02"	S42°09'44"E	32.86
C4	18.89	20.00	051°15'40"	N70°05'56"E	17.30
C5	8.70	5.50	084°20'24"	N66°38'18"E	7.38
C6	15.14	15.00	057°49'53"	S80°06'27"E	14.51
C7	5.81	11.00	030°47'54"	N66°12'34"E	5.84
C8	8.06	7.00	065°55'57"	N64°02'29"E	7.62
C9	8.35	6.92	099°10'41"	N64°02'29"E	7.85
C10	15.09	21.92	039°26'20"	N09°43'59"E	14.39
C11	5.44	7.92	039°23'14"	N09°40'48"W	5.74
C12	2.16	22.75	053°17'44"	N03°35'11"W	20.41
C13	67.02	45.00	080°50'43"	N89°42'17"E	61.80
C14	41.85	313.00	070°39'36"	N53°06'43"E	41.61
C15	47.95	70.00	039°14'48"	N78°33'55"E	47.02
C16	58.04	50.00	068°22'45"	S19°14'07"E	53.69

I, ANDREW J. SUMMERS, A LICENSED LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY STATE THAT THIS MAP WAS MADE UNDER MY DIRECT RESPONSIBILITY, SUPERVISION AND CHECKING AND IS ACCURATE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

ANDREW J. SUMMERS, LICENSED LAND SURVEYOR
COLORADO L.S. NO. 38569
FOR AND ON BEHALF OF LANDMARK CONSULTANTS, INC.



THREE YEARS AFTER THE PERSON BRINGING THE ACTION EITHER DISCOVERED OR ALLEGED NEGLIGENCE OR DEFECTIVE LAND SURVEY SHALL BE BROUGHT WITHIN THE EXERCISE OF REASONABLE DILIGENCE AND CONCERN SHOULD HAVE DISCOVERED THE NEGLIGENCE OR DEFECT WHICH GAVE RISE TO SUCH ACTION, AND NOT THEREAFTER. BUT IN NO CASE SHALL SUCH AN ACTION BE BROUGHT MORE THAN TEN YEARS AFTER THE COMPLETION OF THE SURVEY UPON WHICH SUCH ACTION IS BASED. NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN 10 YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT.

NO.	DATE:	BY:	DESCRIPTION:
1	08/05/22	JAG	SKI EASEMENT
2	11/1/22	BC	TEST HOLES + WETLANDS
3	4/12/23	AJS	TITLE REVIEW + ADDITIONAL OFF-SITE ITEMS

PROJECT:	2598-001
DATE:	6/3/22
DRAWN BY:	BC
CHECKED BY:	AJS

EXISTING CONDITIONS MAP
EDGEMONT
NW1/4 SECTION 27
T6N, R84W, 6TH P.M.;
CITY OF STEAMBOAT SPRINGS, COUNTY OF R
STATE OF COLORADO

SHEET

c:\co20235 astrid-edgemont ph2\Drawings\CONCEPT\20235 LEGEND & NOTES.dwg, 7/28/2023 10:42:36 AM, Steve Botchelder

LEGEND

EXISTING LINETYPES		PROPOSED LINETYPES		
	81		81	MINOR CONTOUR (1' INTERVAL)
	5280		5280	MAJOR CONTOUR (5' INTERVAL)
				PROPERTY BOUNDARY
				ADJACENT LOT LINE
				EASEMENT
				BUILDING SETBACK
				RIGHT-OF-WAY
				FLOODPLAIN
				EDGE OF ASPHALT
				CURB AND GUTTER (SPILL/CATCH)
				EDGE OF GRAVEL
				EDGE OF BUILDING
				BUILDING OVERHANG
				RETAINING WALL
	W		W	WATER LINE
	WS		WS	WATER SERVICE
			RD	ROOF DRAIN
				STORM SEWER
				DITCH FLOWLINE
	UD		UD	UNDERDRAIN
	SAN		SAN	SANITARY SEWER MAIN
	SS		SS	SANITARY SEWER SERVICE
	IRR		IRR	IRRIGATION LINE
	CTV		CTV	CABLE TV
	T		T	UNDERGROUND TELEPHONE
	FO		FO	FIBER OPTIC
	GAS		GAS	GASLINE
	E		E	UNDERGROUND ELECTRIC
	OHU		OHU	OVERHEAD UTILITY
				WIRE FENCE
				GUARDRAIL

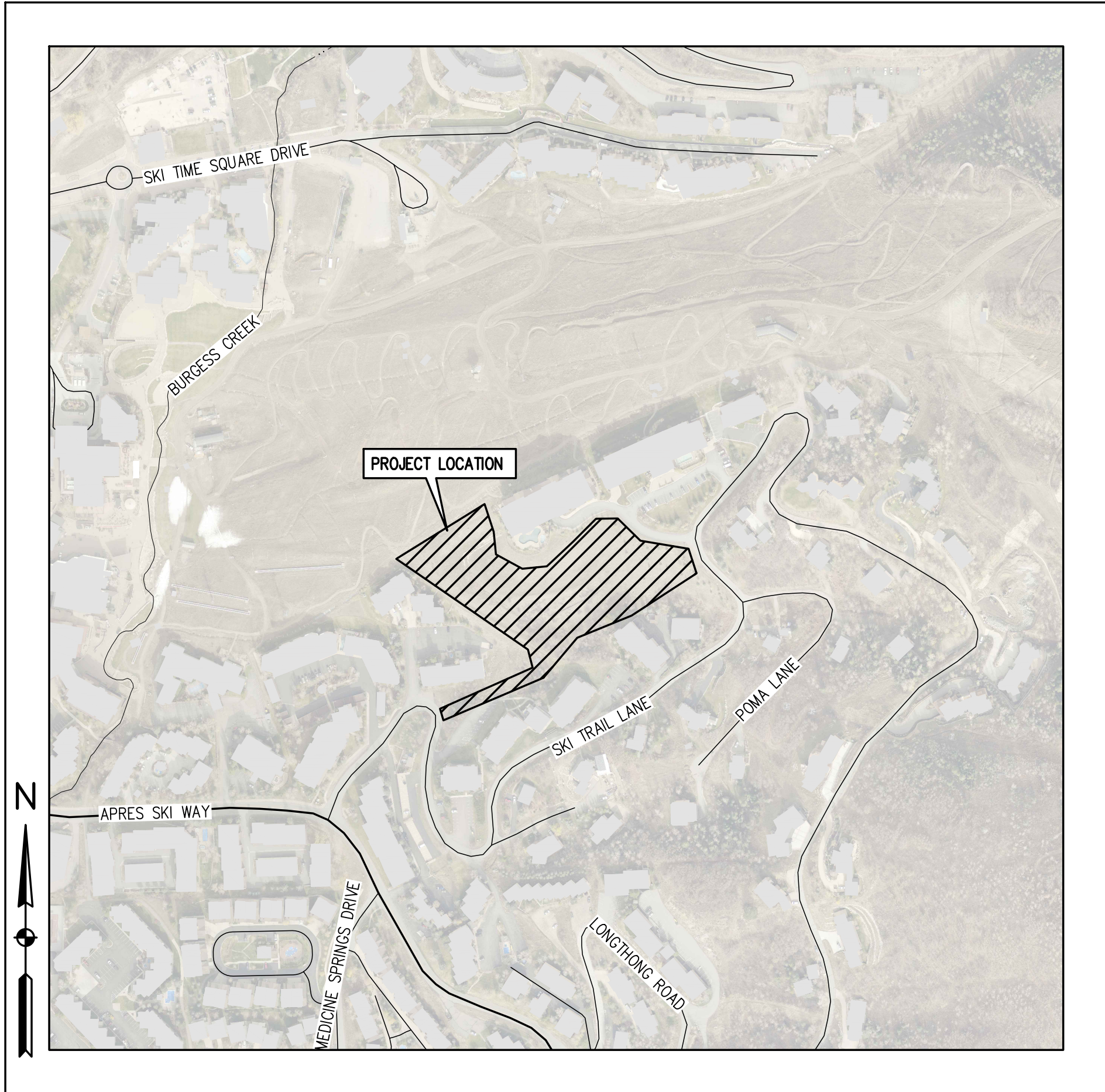
EXISTING PROPOSED
SYMBOLS SYMBOLS

	25.36	SPOT ELEVATION
	3:1	NOMINAL SLOPE ON CUT OR FILL
		FLOW DIRECTION, TYPICALLY ON PAVED SURFACES
		FLOW DIRECTION, TYPICALLY IN GRASSED SWALE
		FLOW DIRECTION, TYPICALLY IN FLOWLINE
		WATER VALVE
		CURB STOP
		FIRE HYDRANT
		WATER METER
		METAL FLARED END SECTION
		TYPE 'C' INLET
		STORM DRAIN MANHOLE
		DOWNSPOUT
		TYPE 'R' INLET
		TYPE '13' VALLEY INLET
		TYPE '13' CURB INLET
		TYPE 'D' INLET
		CONCRETE FLARED END SECTION
		SANITARY MANHOLE
		CLEANOUT
		DECIDUOUS TREE
		CONIFEROUS TREE
		ADA PARKING STALL
		LIGHT POLE
		POWER POLE
		ELECTRIC PEDESTAL
		GAS METER
		SIGN
		UTILITY CROSSING
	TH--	GEOTECH TESTHOLE LOCATION

	RIPRAP
	SIDEWALK PAVING
	GRAVEL PAVING
	ASPHALT PAVING - REFER TO SOILS REPORT FOR PAVING SECTION
	MASONRY PAVING
	CONCRETE PAVING
	WETLANDS

STANDARD ABBREVIATIONS

FL = FLOWLINE
INV = INVERT
TP = TOP OF PAVEMENT
TC = TOP OF CONCRETE
TBC = TOP BACK OF CURB
BC = GRADE DIRECTLY ADJACENT TO BUILDING CORNER
HP = HIGH POINT
LP = LOW POINT
GB = GRADE BREAK
EOA = EDGE OF ASPHALT
EOG = EDGE OF GRAVEL
TW = TOP OF WALL
BW = BOTTOM OF WALL
FFE = FINISHED FLOOR ELEVATION
ME = MATCH EXISTING



VICINITY MAP

SCALE: 1" = 300'



Engineering • Planning • Surveying
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P. 970.679.0225 • F. 303.940.9659 • www.baselinecorp.com

DESIGNED BY	TJM
DRAWN BY	TJM
CHECKED BY	MRB

REVISION	DESCRIPTION	DATE	PREPARED BY
1	REVISIONS PER DRT #1 COMMENTS	05/18/2023	SMB
2	REVISIONS PER DRT #2 COMMENTS	07/28/2023	SMB
3			
4			
5			

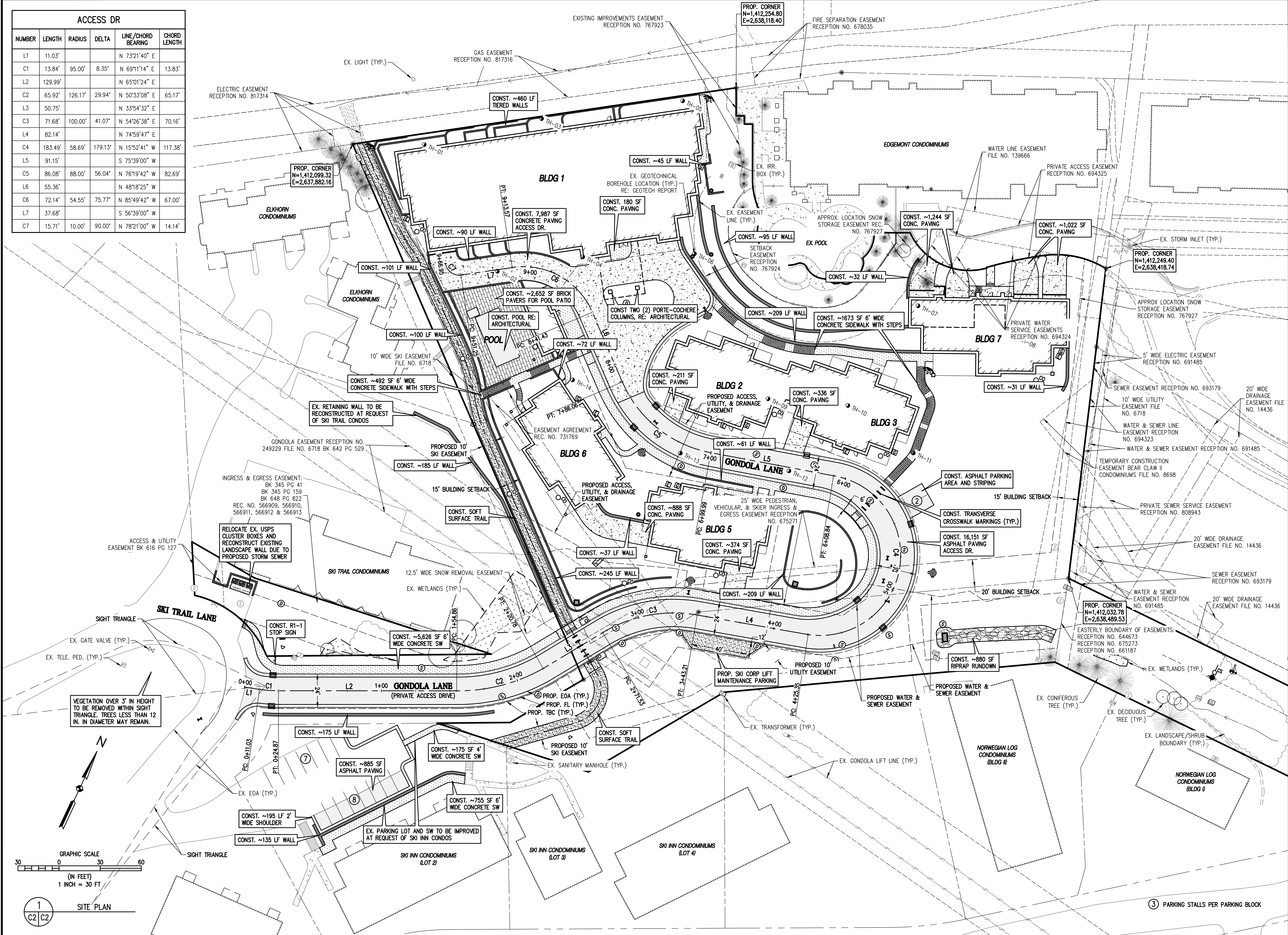
STEAMBOAT ESQUIAR LP	ROUTT COUNTY
STEAMBOAT SPRINGS	
THE ASTRID	
2410 SKI TRAIL LANE	
CIVIL LEGEND	

PREPARED UNDER THE DIRECT SUPERVISION OF

PRELIMINARY
NOT FOR
CONSTRUCTION

FOR AND ON BEHALF OF BASELINE CORPORATION	
INITIAL SUBMITTAL	12/22/2022
DRAWING SIZE	24" X 36"
SURVEY FIRM	SURVEY DATE
LANDMARK, INC	06/03/22
JOB NO.	C020235
DRAWING NAME	
20235 LEGEND & NOTES.dwg	
SHEET	03 OF 68

ACCESS DR					
NUMBER	LENGTH	RADIUS	DELTA	LINE/CHORD BEARING	CHORD LENGTH
L1	11.03'			N 73°21'40" E	
C1	13.84'	95.00'	8.35°	N 69°11'14" E	13.83'
L2	129.99'			N 65°01'24" E	
C2	65.92'	126.17'	29.94°	N 50°33'08" E	65.17'
L3	50.75'			N 33°54'32" E	
C3	71.68'	100.00'	41.07°	N 54°26'38" E	70.16'
L4	82.14'			N 74°59'47" E	
C4	183.49'	58.69'	179.13°	N 15°52'41" W	117.38'
L5	91.15'			S 75°39'00" W	
C5	86.08'	88.00'	56.04°	N 76°19'42" W	82.69'
L6	55.36'			N 48°18'25" W	
C6	72.14'	54.55'	75.77°	N 85°49'42" W	67.00'
L7	37.68'			S 56°39'00" W	
C7	15.71'	10.00'	90.00°	N 78°21'00" W	14.14'



BASELINE

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DESIGNED BY TJM
DATE 05/18/2023
PREPARED BY SMB
DATE 07/28/2023
REVISIONS PER DRT #1 COMMENTS
REVISIONS PER DRT #2 COMMENTS
REVISIONS PER DRT #3 COMMENTS
CHECKED BY MRB

REVISION DESCRIPTION
REVISIONS PER DRT #1 COMMENTS
REVISIONS PER DRT #2 COMMENTS
REVISIONS PER DRT #3 COMMENTS

ROUTE COUNTY
THE ASTRID
2410 SKI TRAIL LANE
SITE PLAN

STEAMBOAT ESQUIAR LP
STEAMBOAT SPRINGS
PREPARED UNDER THE DIRECT SUPERVISION OF
PRELIMINARY
NOT FOR CONSTRUCTION
FOR AND ON BEHALF OF
BASELINE CORPORATION
INITIAL SUBMITTAL 12/22/2022
DRAWING SIZE 24" X 36"
SURVEY FIRM SURVEY DATE
LANDMARK, INC 06/03/22
JOB NO. C020235
DRAWING NAME
20235 SITE PLAN.dwg
SHEET 04 OF 68

C2

3 PARKING STALLS PER PARKING BLOCK

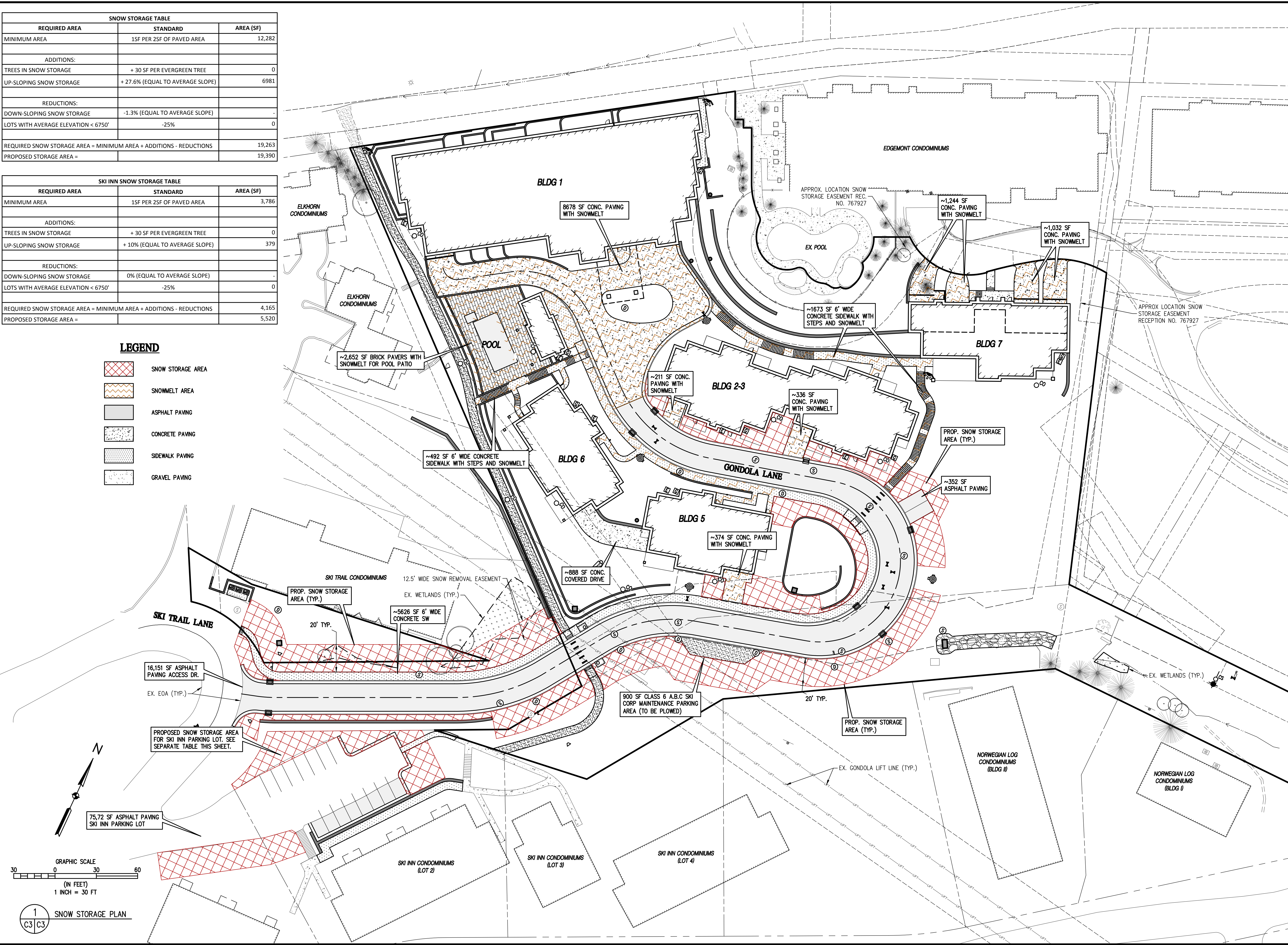
c:\co20235 astrid-edgemont\ph2\Drawings\CONCEPT\20235 SNOW STORAGE PLAN.dwg, 7/28/2023 10:44:00 AM, Steve Batchelder

SNOW STORAGE TABLE		
REQUIRED AREA	STANDARD	AREA (SF)
MINIMUM AREA	15F PER 25F OF PAVED AREA	12,282
ADDITIONS:		
TREES IN SNOW STORAGE	+ 30 SF PER EVERGREEN TREE	0
UP-SLOPING SNOW STORAGE	+ 27.6% (EQUAL TO AVERAGE SLOPE)	6981
REDUCTIONS:		
DOWN-SLOPING SNOW STORAGE	-1.3% (EQUAL TO AVERAGE SLOPE)	-
LOTS WITH AVERAGE ELEVATION < 6750'	-25%	0
REQUIRED SNOW STORAGE AREA = MINIMUM AREA + ADDITIONS - REDUCTIONS		19,263
PROPOSED STORAGE AREA =		19,390

SKI INN SNOW STORAGE TABLE		
REQUIRED AREA	STANDARD	AREA (SF)
MINIMUM AREA	15F PER 25F OF PAVED AREA	3,786
ADDITIONS:		
TREES IN SNOW STORAGE	+ 30 SF PER EVERGREEN TREE	0
UP-SLOPING SNOW STORAGE	+ 10% (EQUAL TO AVERAGE SLOPE)	379
REDUCTIONS:		
DOWN-SLOPING SNOW STORAGE	0% (EQUAL TO AVERAGE SLOPE)	-
LOTS WITH AVERAGE ELEVATION < 6750'	-25%	0
REQUIRED SNOW STORAGE AREA = MINIMUM AREA + ADDITIONS - REDUCTIONS		4,165
PROPOSED STORAGE AREA =		5,520

LEGEND

- SNOW STORAGE AREA
- SNOWMELT AREA
- ASPHALT PAVING
- CONCRETE PAVING
- SIDEWALK PAVING
- GRAVEL PAVING



DESIGNED BY	TJM
DRAWN BY	TJM
CHECKED BY	MRB

PREPARED BY	DATE
SMG	05/18/2023
SMG	07/28/2023

REVISION DESCRIPTION	REVISIONS PER DRT #	COMMENTS
REVISIONS PER DRT #	COMMENTS	

ROUT	COUNTY
STEAMBOAT SPRINGS	ROUTT

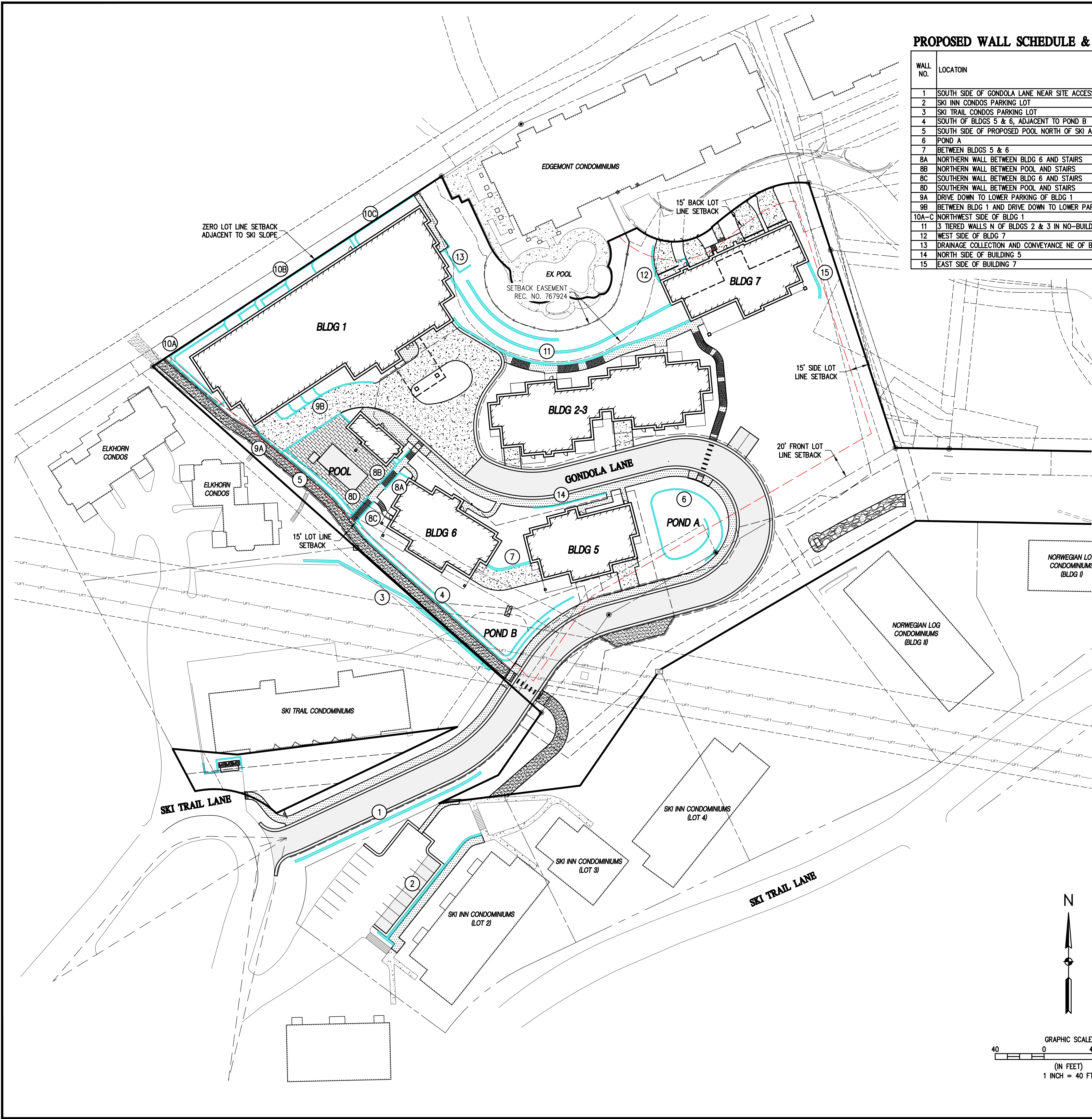
STEAMBOAT ESQUIAR LP
THE ASTRID
2410 SKI TRAIL LANE
SNOW STORAGE PLAN

PREPARED UNDER THE DIRECT SUPERVISION OF

**PRELIMINARY
NOT FOR
CONSTRUCTION**

FOR AND ON BEHALF OF BASELINE CORPORATION	INITIAL SUBMITTAL	12/22/2022
DRAWING SIZE	24" X 36"	
SURVEY FIRM LANDMARK, INC	SURVEY DATE	06/03/22
JOB NO.	C020235	
DRAWING NAME	20235 SNOW STORAGE PLAN.dwg	
SHEET	05	OF 68

c:\co20235 astrid-edgemont\ph2\Drawings\CONCEPT\20235 WALL SCHEDULE.dwg, 9/19/2023 2:53:59 PM, Steve Batchelder



PROPOSED WALL SCHEDULE & VARIANCE TABLE

WALL NO.	LOCATOIN	APPROX. MAX. HEIGHT	TYPE OF WALL	WITHIN LOT LINE SETBACK AREA (YES/NO)	WITHIN BUILDING ENVELOPE (YES/NO)	HEIGHT VARIANCE REQUESTED (YES/NO)	TIERED VARIANCE REQUESTED (YES/NO)
1	SOUTH SIDE OF GONDOLA LANE NEAR SITE ACCESS IN ROW	9'±	TBD	NO	NO	NO	YES
2	SKI INN CONDOS PARKING LOT	10'±	TBD	NO	YES	NO	YES
3	SKI TRAIL CONDOS PARKING LOT	9'±	TBD	YES	NO	YES	YES
4	SOUTH OF BLDGS 5 & 6, ADJACENT TO POND B	8'±	TBD	YES	YES	YES	NO
5	SOUTH SIDE OF PROPOSED POOL NORTH OF SKI ACCESS TRAIL	10'±	TBD	YES	YES	NO	NO
6	POND A	6'±	TBD	YES	YES	NO	NO
7	BETWEEN BLDGS 5 & 6	11'±	PART OF BUILDINGS 5 & 6	NO	YES	NO	NO
8A	NORTHERN WALL BETWEEN BLDG 6 AND STAIRS	6'±	TBD	NO	YES	NO	NO
8B	NORTHERN WALL BETWEEN POOL AND STAIRS	11'±	TBD	NO	YES	NO	NO
8C	SOUTHERN WALL BETWEEN BLDG 6 AND STAIRS	7'±	TBD	NO	YES	NO	YES
8D	SOUTHERN WALL BETWEEN POOL AND STAIRS	10'±	TBD	NO	YES	NO	YES
9A	DRIVE DOWN TO LOWER PARKING OF BLDG 1	13'±	TBD	NO	YES	YES	YES
9B	BETWEEN BLDG 1 AND DRIVE DOWN TO LOWER PARKING	5'±	TBD	NO	YES	NO	NO
10A-C	NORTHWEST SIDE OF BLDG 1	11'±	TBD	NO	YES	NO	NO
11	3 TIERED WALLS N OF BLDGS 2 & 3 IN NO-BUILD EASEMENT	24'±	TBD	NO	YES	YES	YES
12	WEST SIDE OF BLDG 7	6'±	TBD	YES	YES	NO	NO
13	DRAINAGE COLLECTION AND CONVEYANCE NE OF BLDG 1	5'±	TBD	NO	YES	NO	NO
14	NORTH SIDE OF BUILDING 5	4'±	TBD	NO	YES	NO	NO
15	EAST SIDE OF BUILDING 7	6'±	TBD	NO	YES	NO	NO

- NOTES:
- BUILDING ENVELOPE IS CONSIDERED TO BE ALL AREA INSIDE THE LOT LINE SETBACK.
 - TIERED WALLS WILL BE CONSIDERED AT NEXT DESIGN PHASE.
 - WALL 6 IS PROPOSED WITHIN LOT LINE SETBACK AND OUTSIDE OF LOT LINE SETBACK. PORTION WITHIN LOT LINE SETBACK IS LESS THAN 6' IN HEIGHT.
 - WALL 7 IS BEING CONSIDERED AS PART OF THE STRUCTURE OF BUILDINGS 5 & 6 AND NOT APPLICABLE TO CDC SECTION 418 REQUIREMENTS.

STEAMBOAT SPRINGS COMMUNITY DEVELOPMENT CODE
SECTION 418

418 RETAINING WALLS

- 418.A Purpose**
Minimize the impact of retaining walls on adjacent properties.
- 418.B Applicability**
Retaining wall standards shall apply to all development in all zone districts unless specifically exempted by this CDC.
- 418.C Standards**
- Retaining walls shall not be located within a drainage or utility easement without an approved revocable permit.
 - The maximum overall height of a retaining wall, as measured from the lowest point of final grade at the base of the retaining wall to the top of the wall, shall be in accordance with Table 418-1.

Table 418-1. Retaining Wall Height

Location	Height
Within Lot Line Setback Area	6' max. ¹
Within Building Envelope	11' max.

¹ Retaining walls exceeding 6 feet in height within a required lot line setback on an existing platted lot may be permitted by the Planning Director upon a finding that the applicant has demonstrated the wall height is necessary to achieve driveway access to the lot.

- Retaining walls over six feet in height shall be designed and constructed with a minimum of two stepped vertical wall segments. Stepped wall segments shall:
 - Not exceed six feet in height; and
 - Have a horizontal offset of at least three feet from the face of each wall segment.

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STEAMBOAT SPRINGS

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FOR AND ON BEHALF OF
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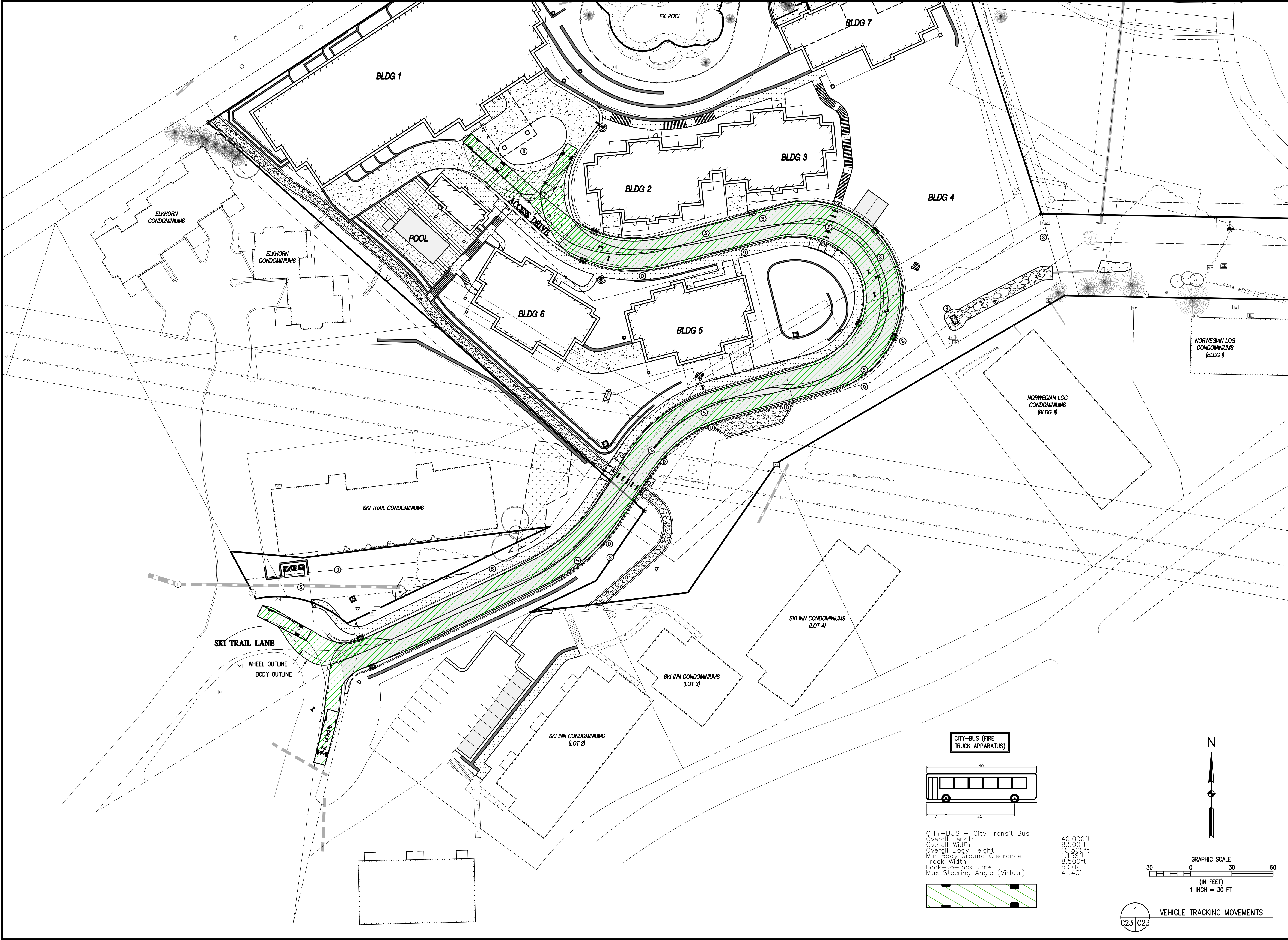
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SHEET 06 OF 68

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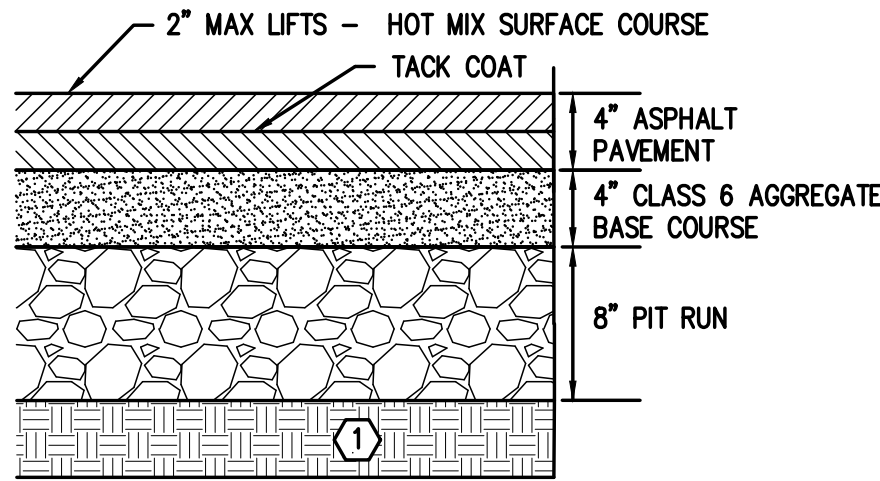
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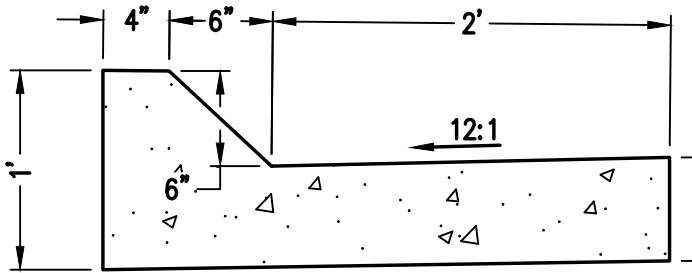
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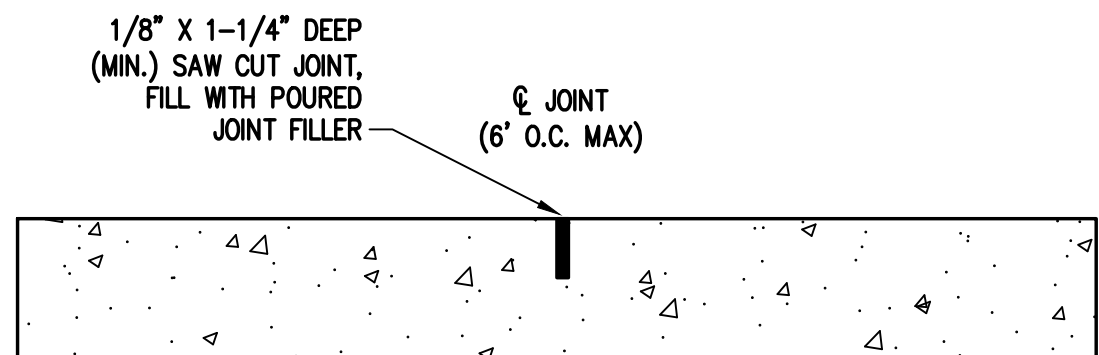
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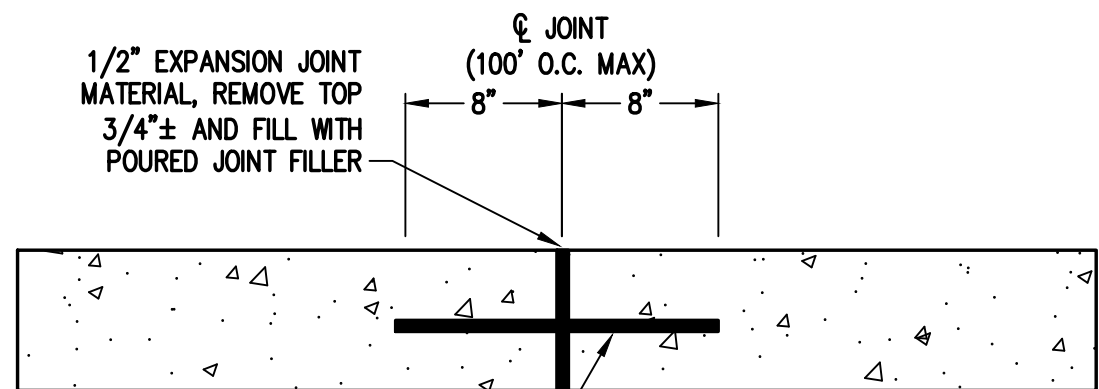
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NOTE: CONFIRM WITH GEOTECHNICAL ENGINEER
NOT TO SCALE



2 CURB AND GUTTER TYPE 2 SECTION IIM
6 IN. MOUNTABLE - 2 FT. GUTTER
NOT TO SCALE



CONTRACTION JOINT

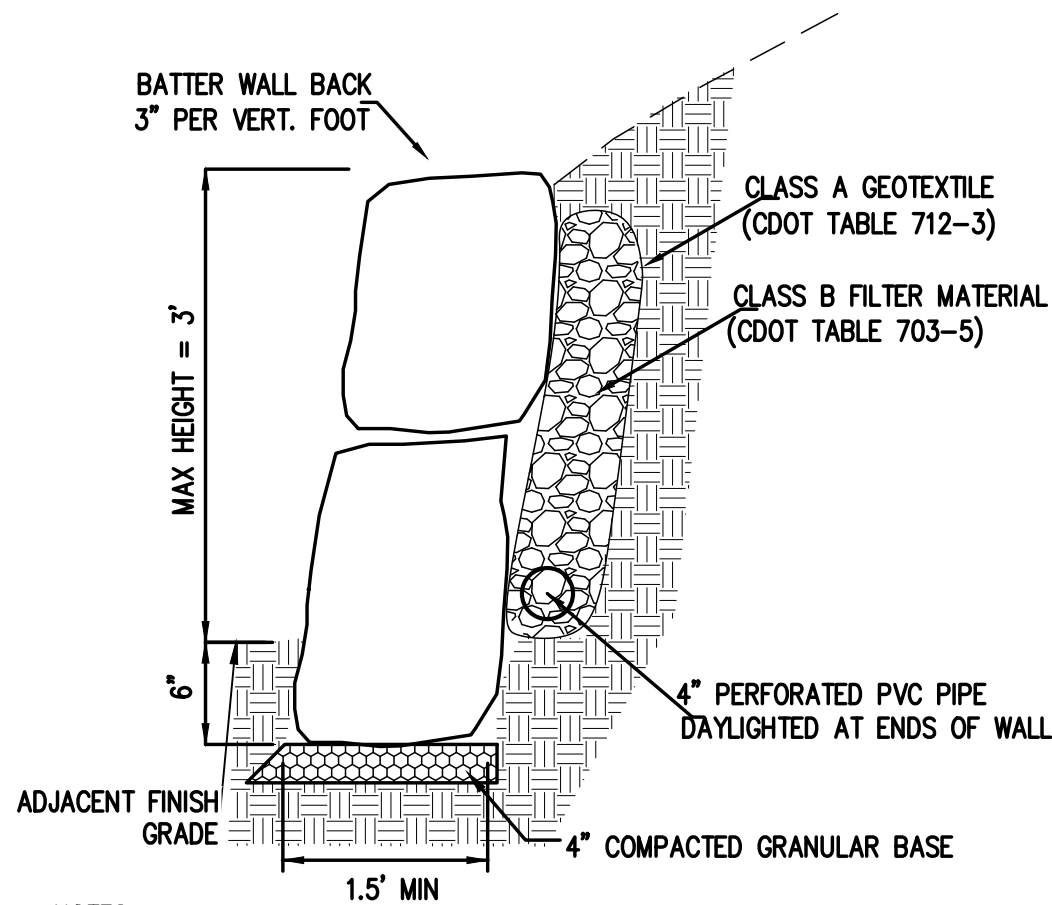


EXPANSION JOINT

SEALANT AND JOINT NOTES:

- SEALANT IS REQUIRED ON ALL JOINTS WITHIN THE ROADWAY & DRIVEWAY. SEALANT IS ONLY REQUIRED IN EXPANSION JOINTS ON SIDEWALK, CURB, AND APRONS (SPLASH CURBS). WHERE REQUIRED, SEALANT IS APPLIED TO ALL EXPOSED HORIZONTAL AND VERTICAL SURFACES.
- CONTRACTOR TO DEVELOP JOINT LAYOUT PLAN AND PROVIDE TO ENGINEER FOR REVIEW.

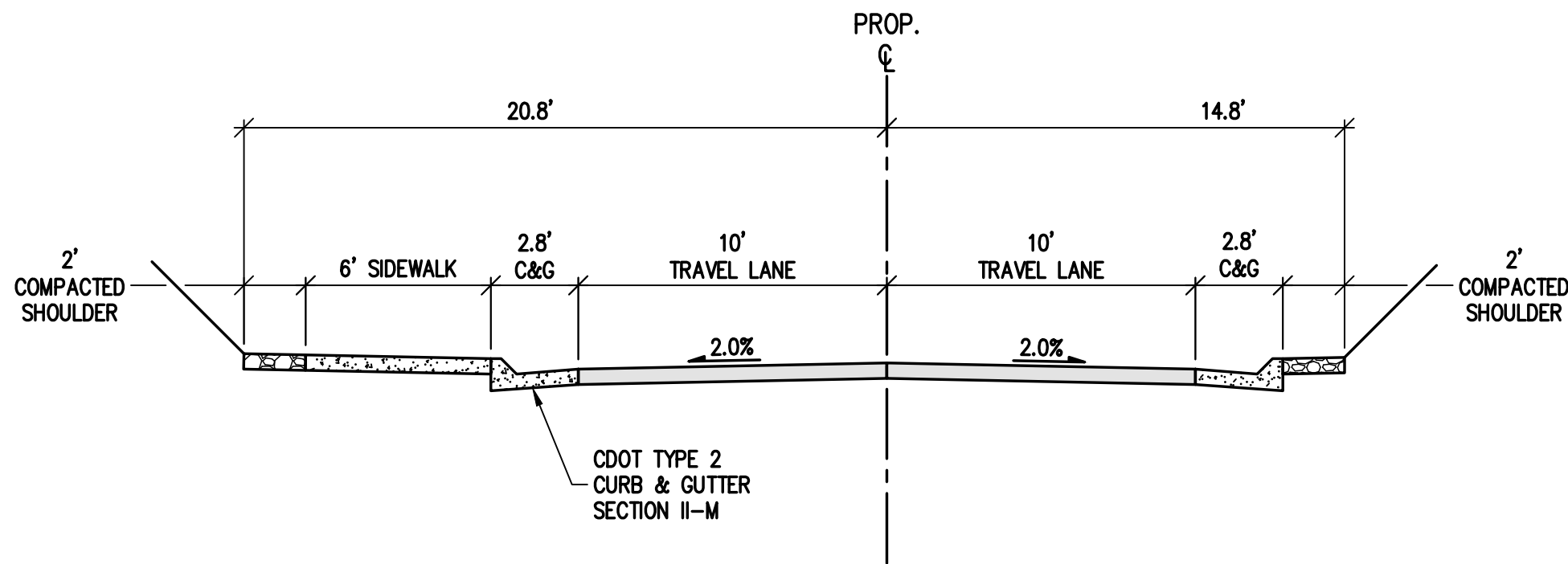
3 CONCRETE SIDEWALK JOINT DETAIL
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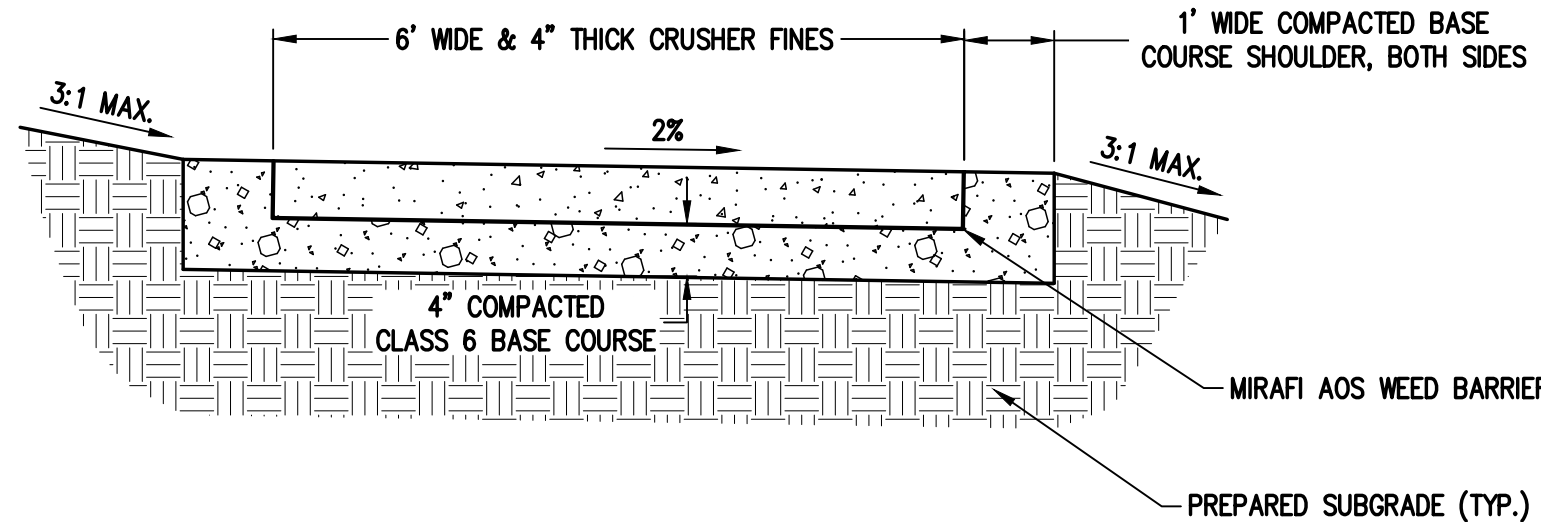
NOTES:

- LANDSCAPE BOULDERS TO BE FREE OF SURFACE BLEMISHES & CRACKS. CONTRACTOR TO COORDINATE WITH OWNER ON BOULDER SELECTION.
- BOULDERS ALONG BOTTOM COURSE TO BE LARGER FOR FOUNDATION OF STACKED WALL WITH APPROXIMATE DIMENSIONS OF 15" - 18". CONTRACTOR TO CAREFULLY PLACE AND FIT BOULDERS FOR SECURE AND STABLE STACKED CONDITION.

4 LANDSCAPE BOULDER RETAINING WALL
NOT TO SCALE



5 ACCESS DRIVE TYPICAL SECTION
NOT TO SCALE



6 SOFT SURFACE TRAIL TYPICAL SECTION
NOT TO SCALE

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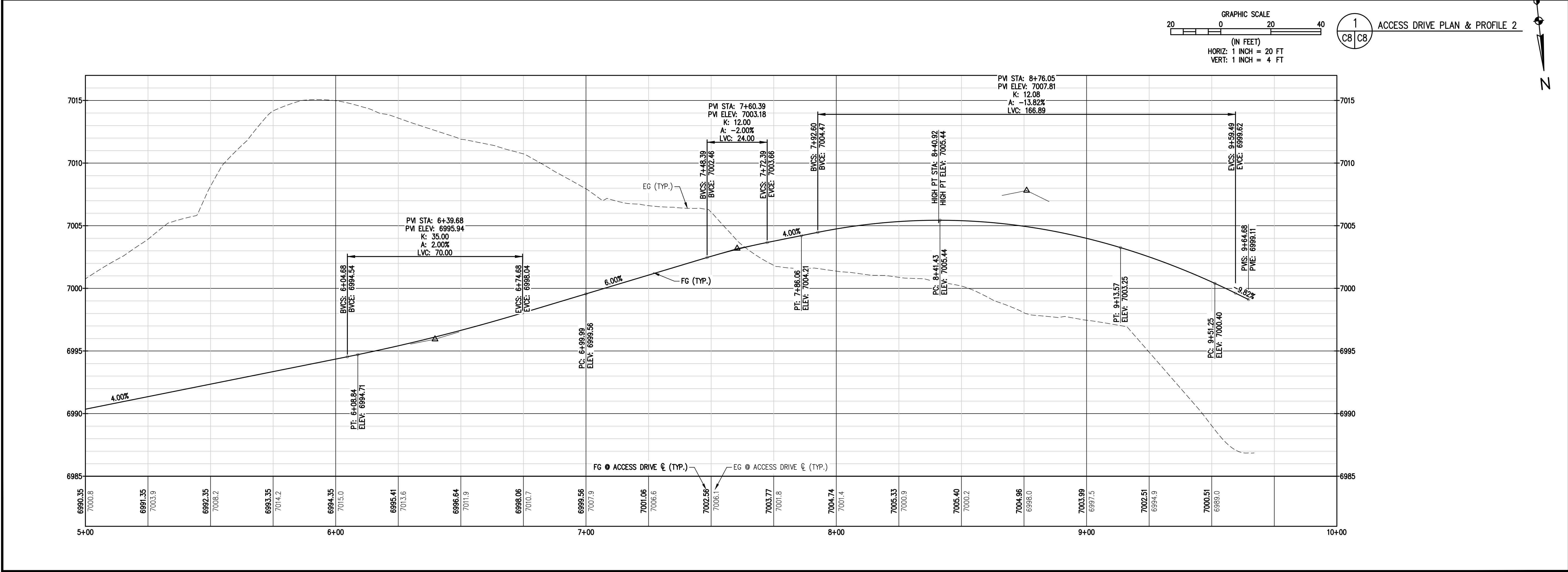
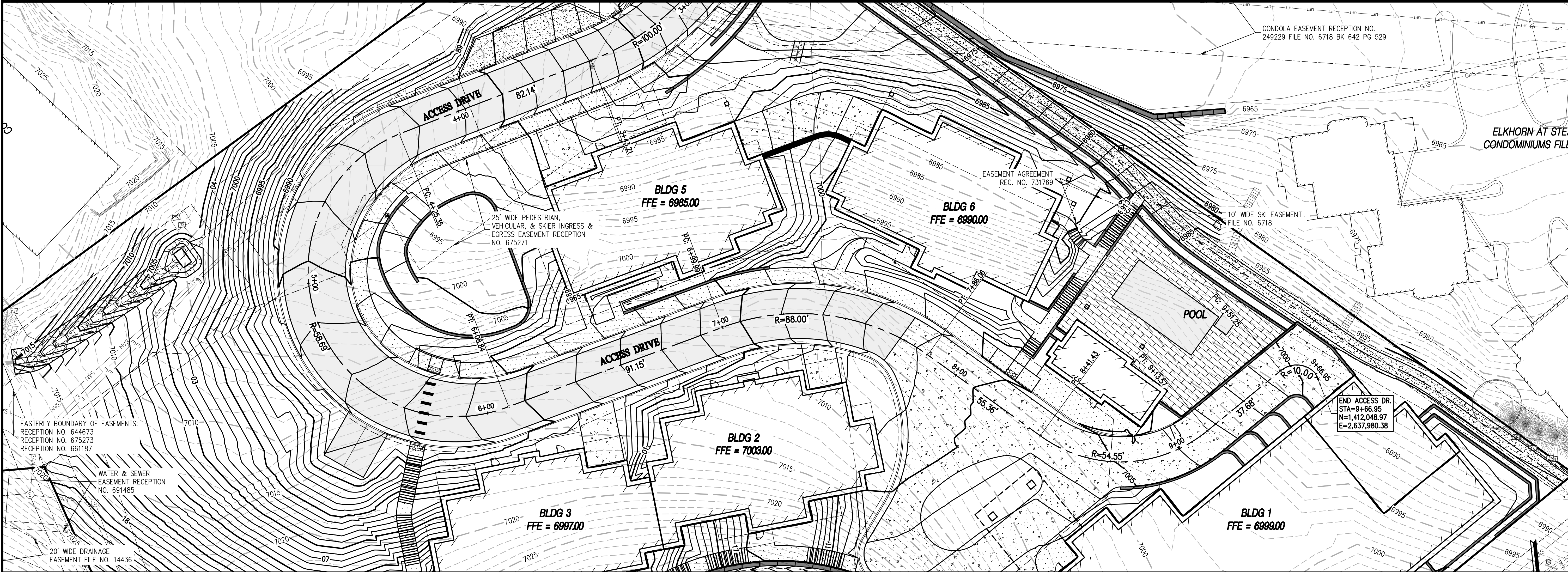
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SURVEY FIRM	SURVEY DATE
LANDMARK, INC	06/03/22
JOB NO.	C020235
DRAWING NAME	
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SHEET 33	OF 68
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THE ASTRID

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ACCESS DRIVE PLAN & PROFILE 2

ROUTT COUNTY

STEAMBOAT SPRINGS

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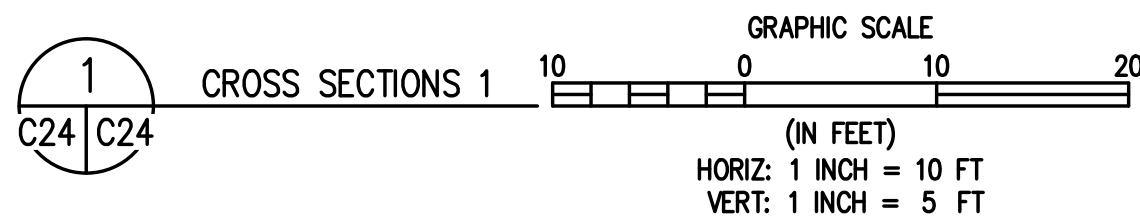
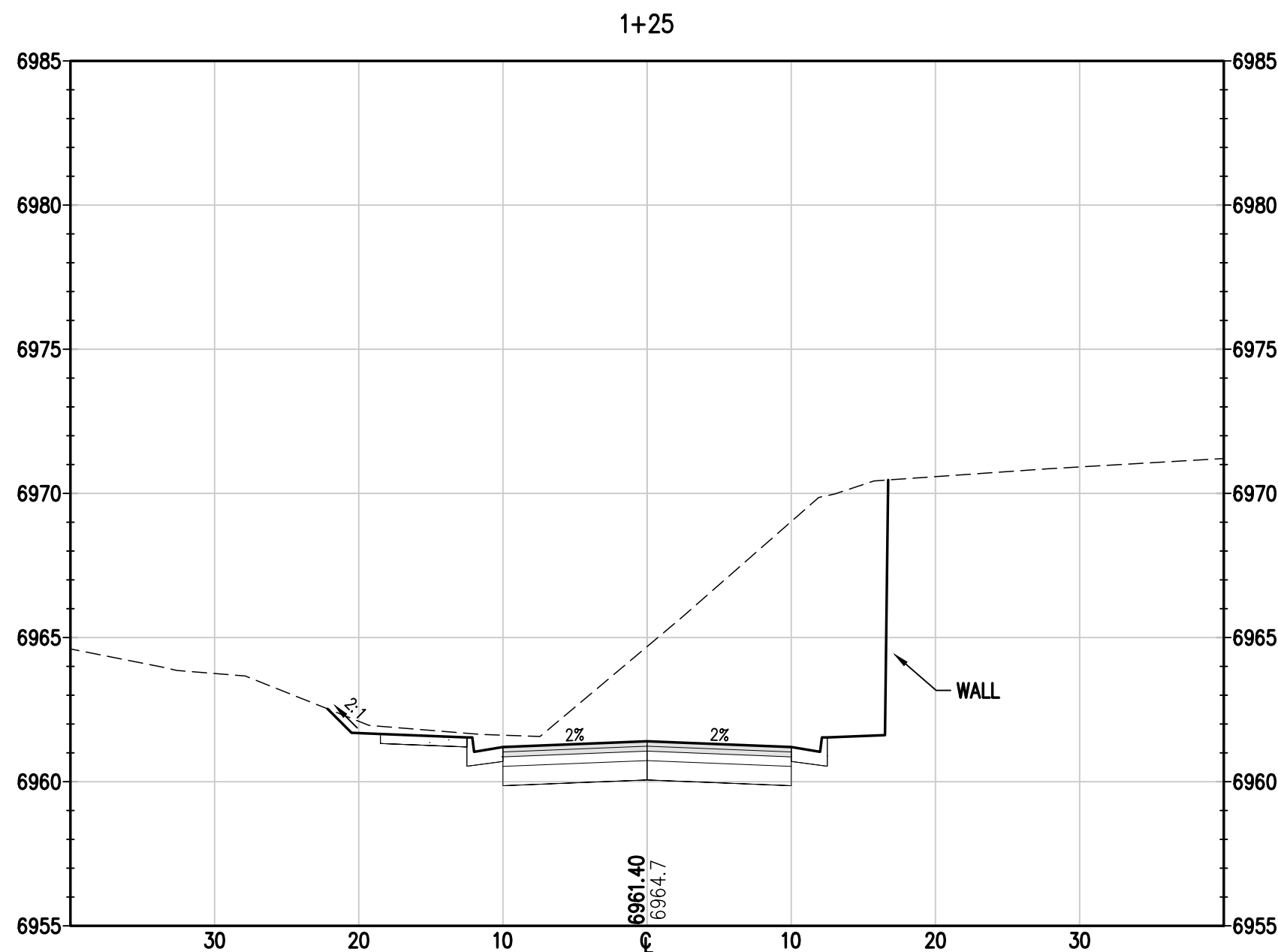
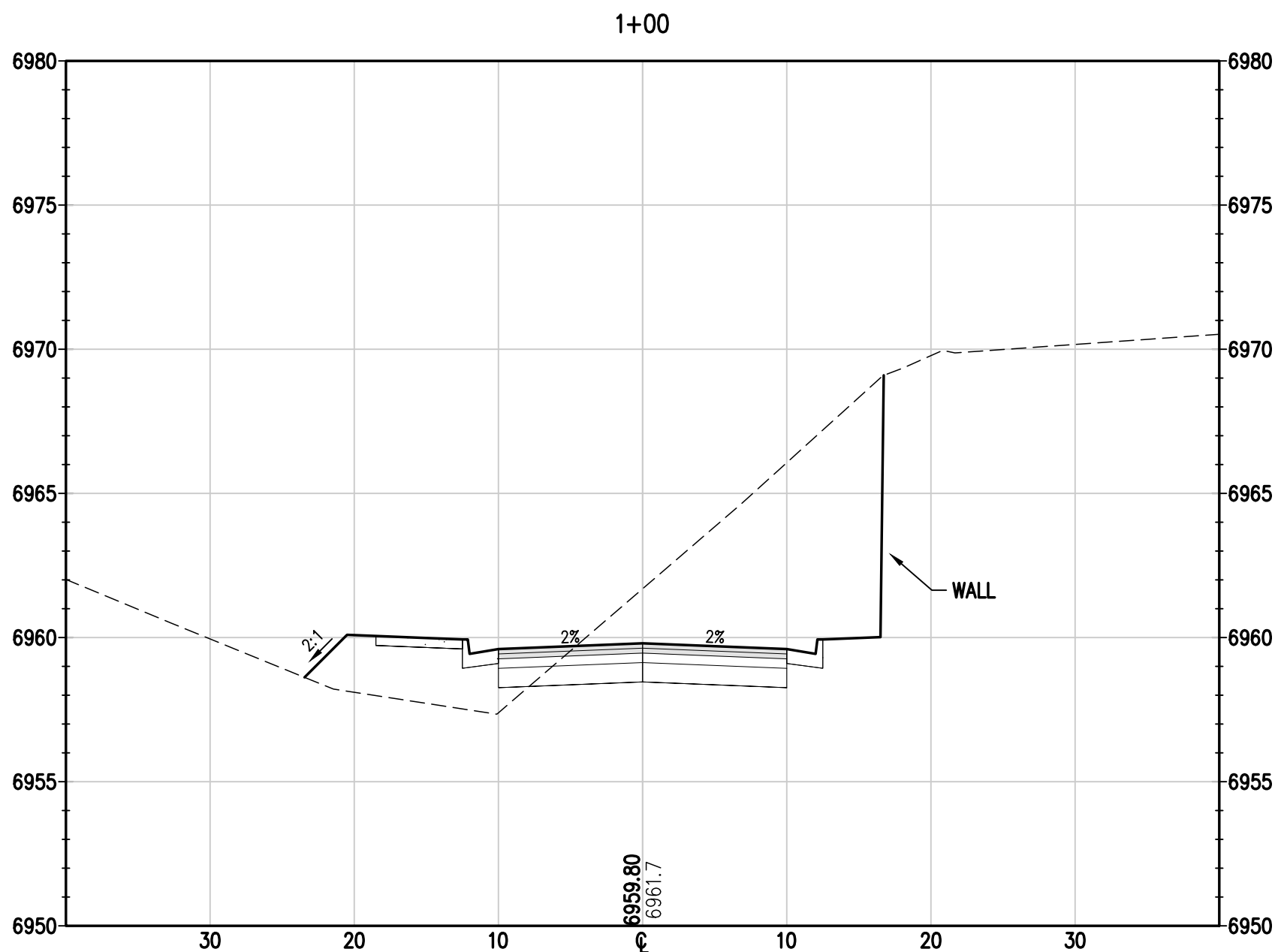
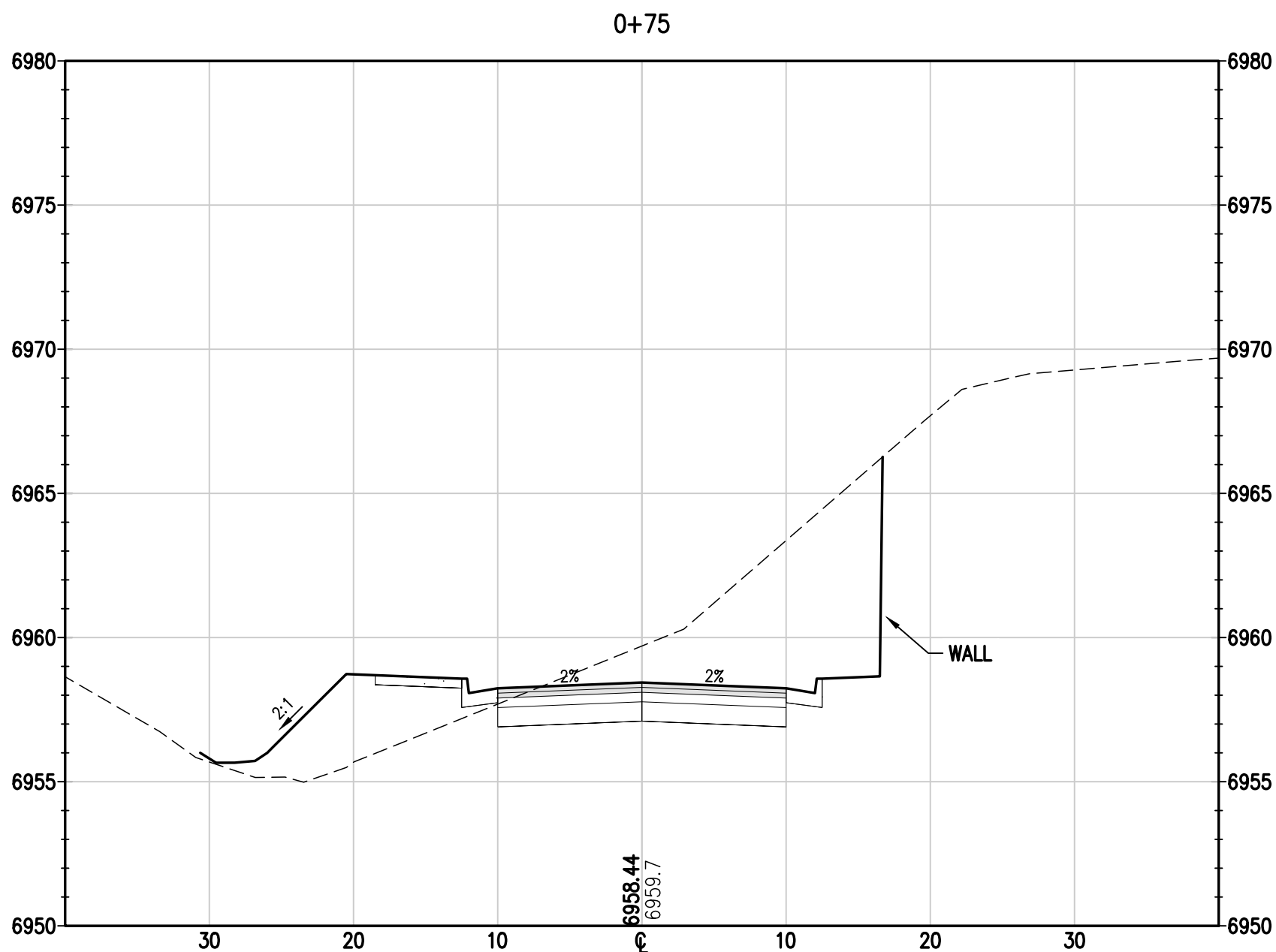
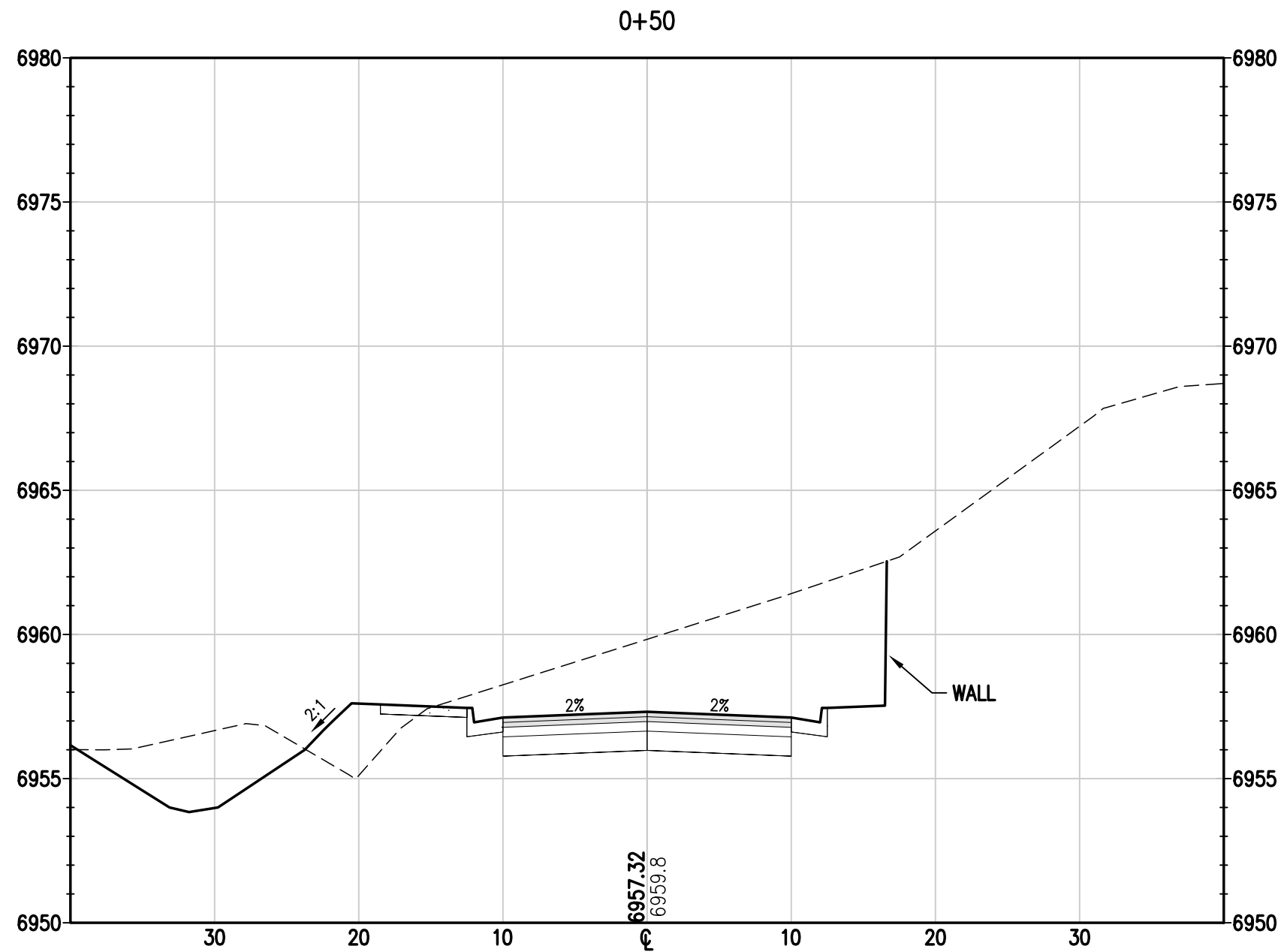
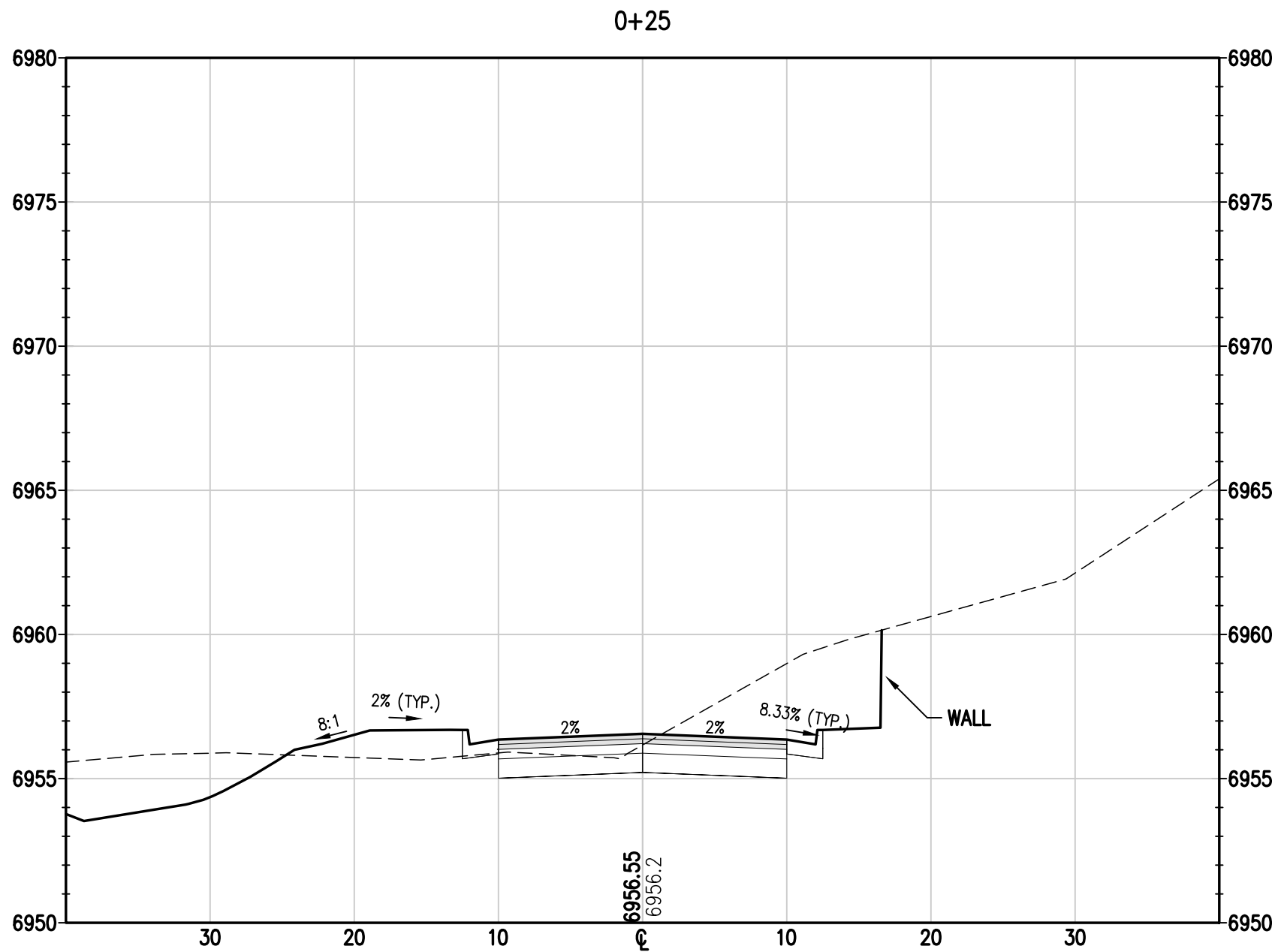
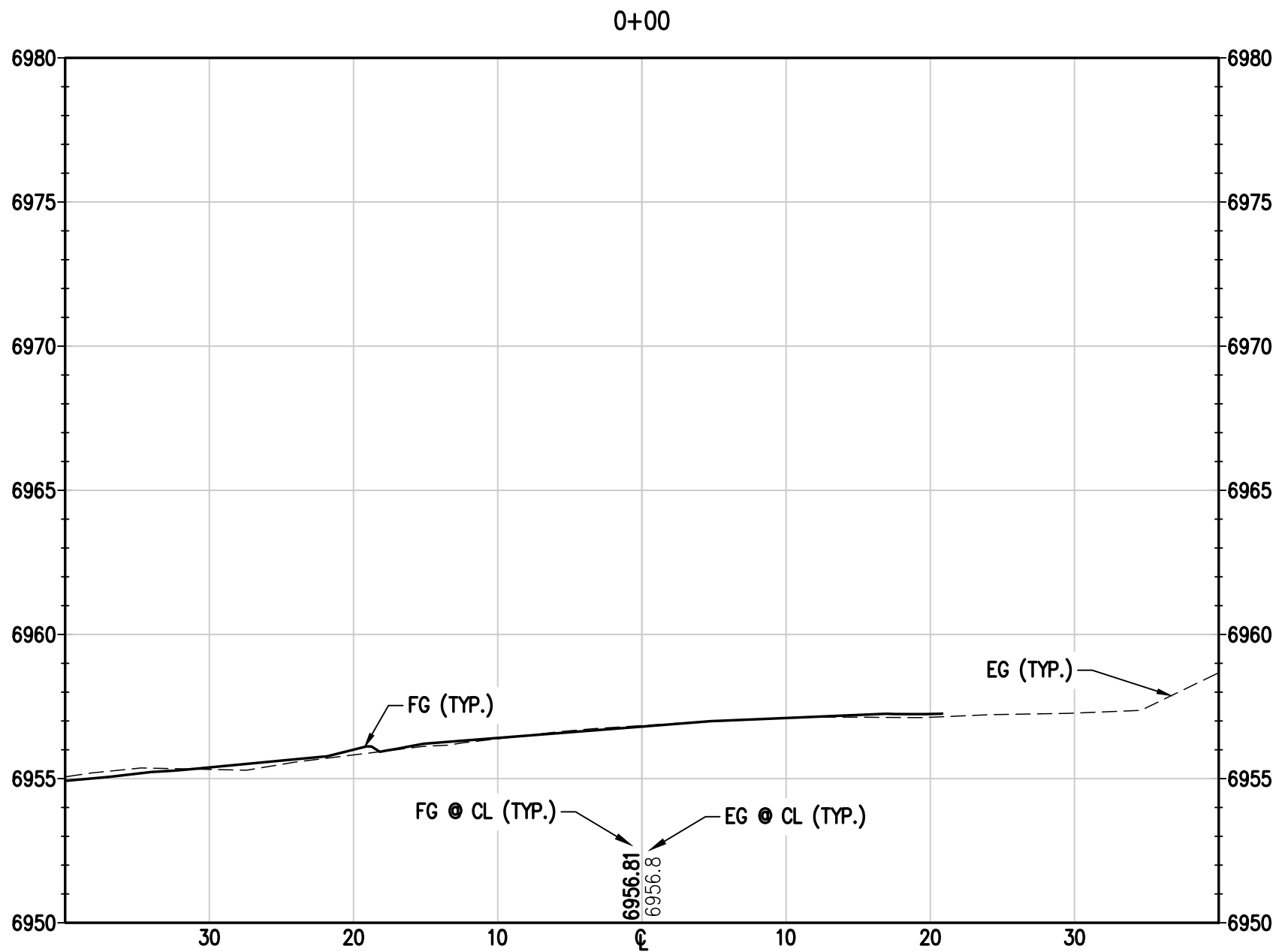
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C8

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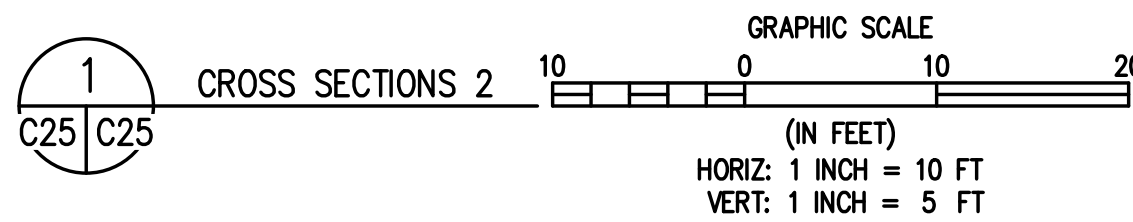
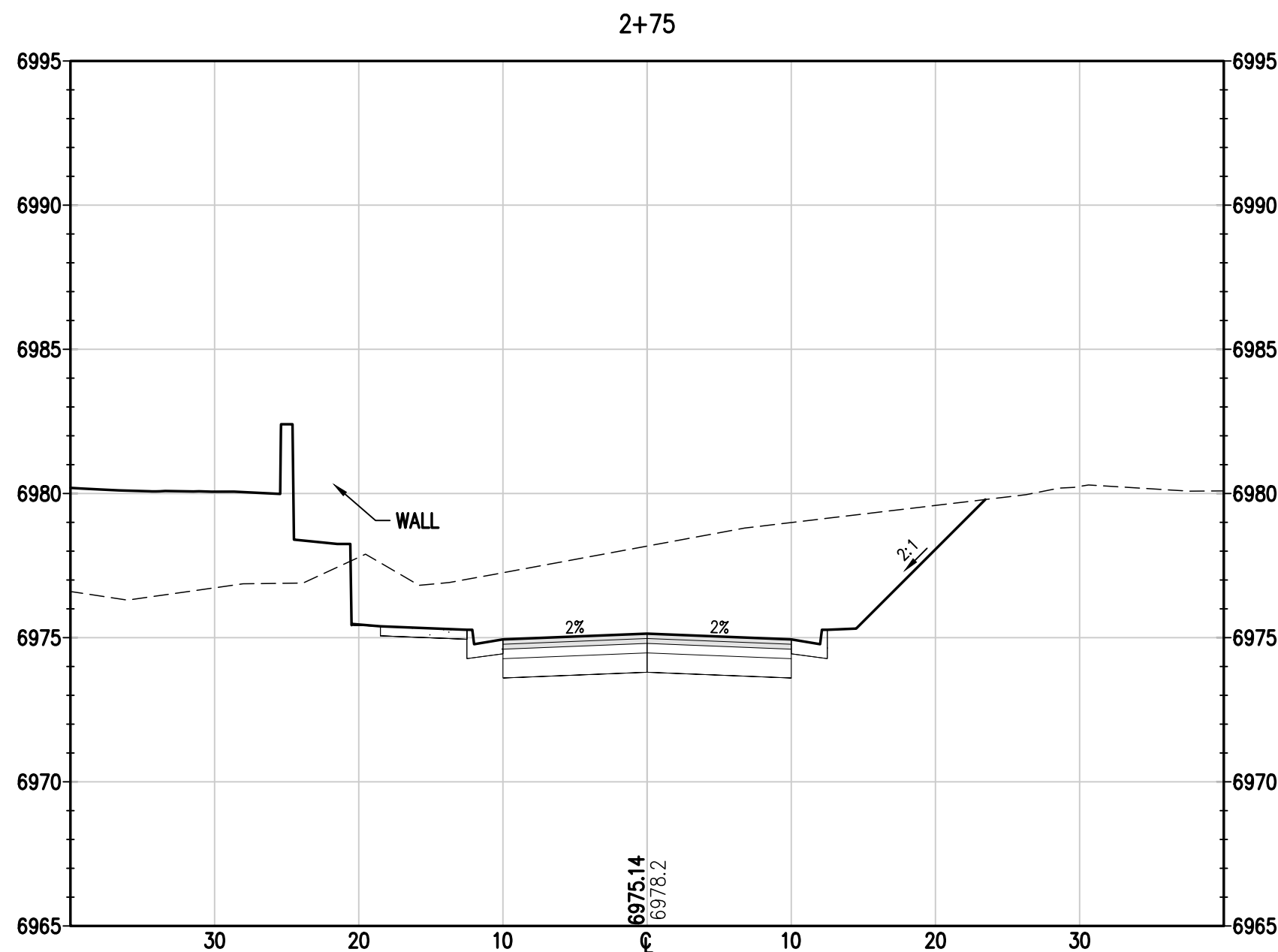
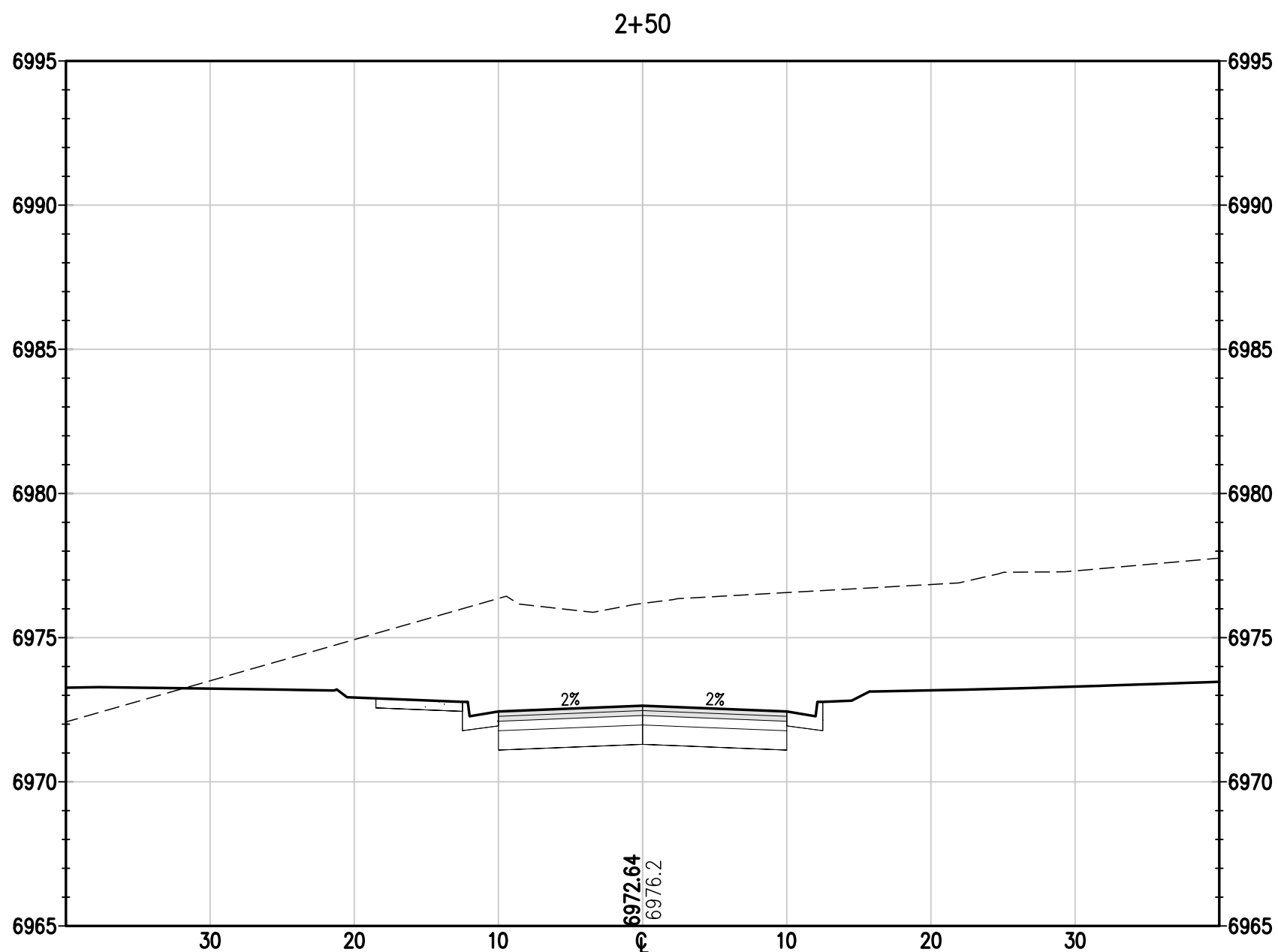
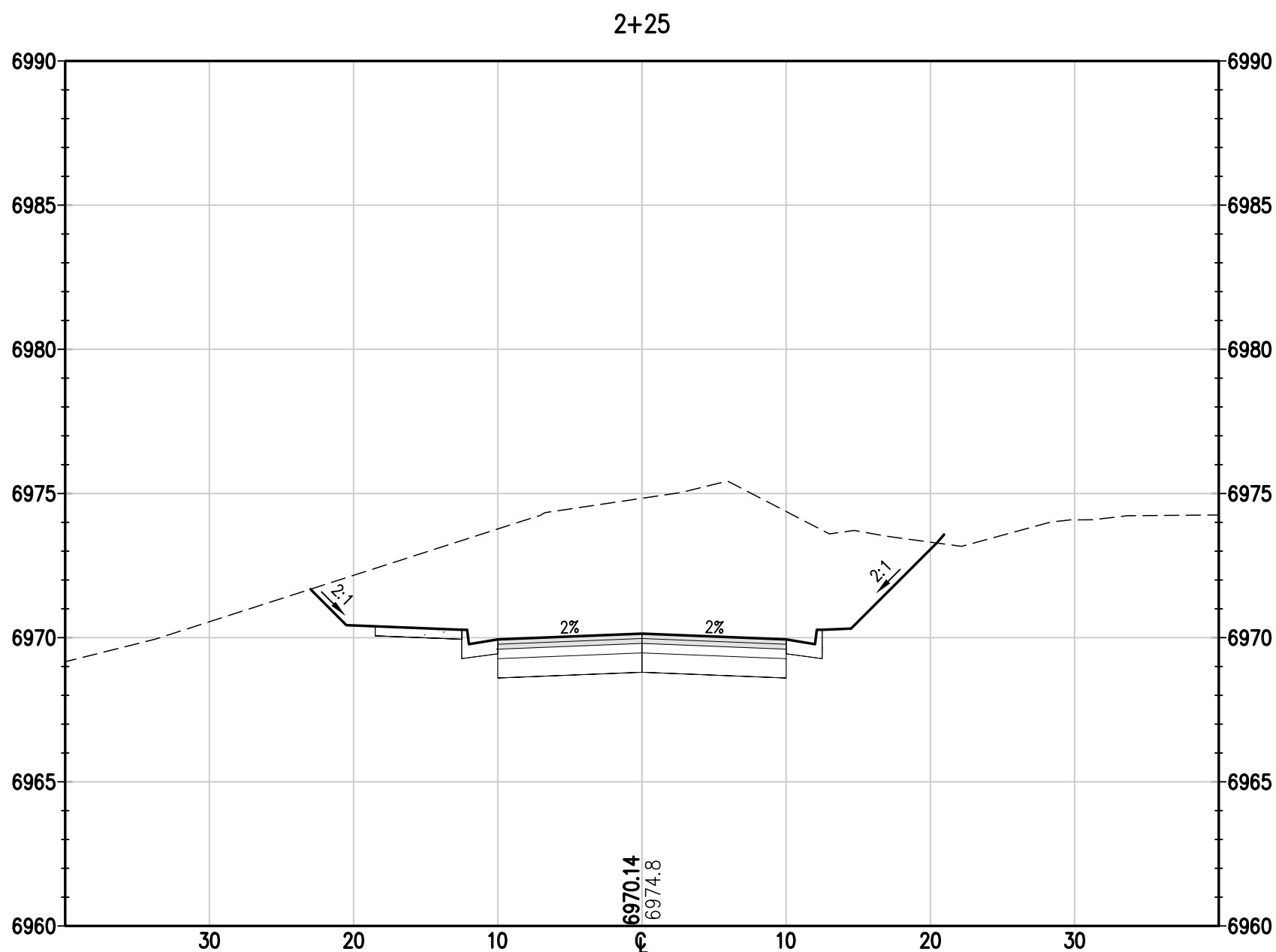
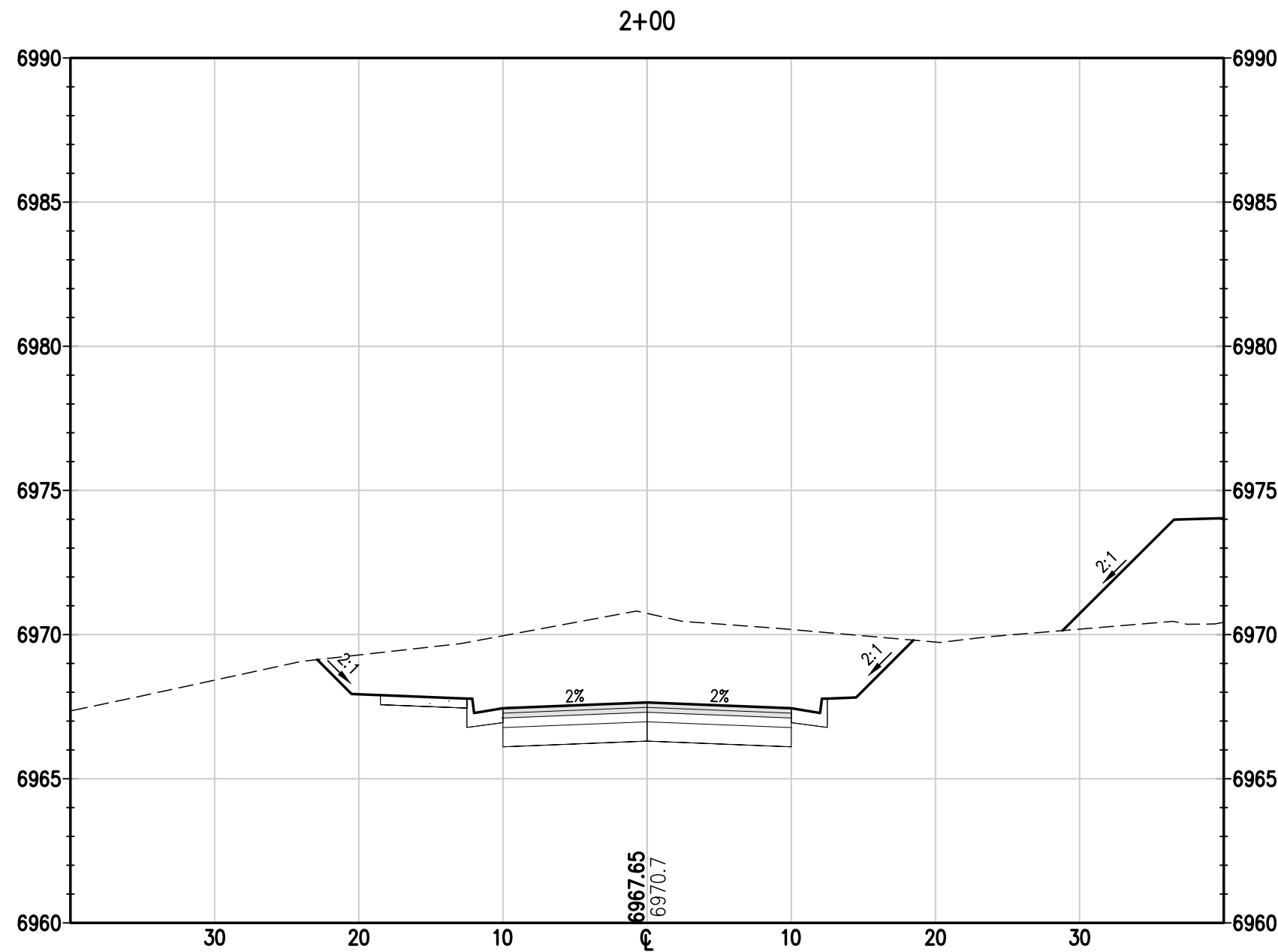
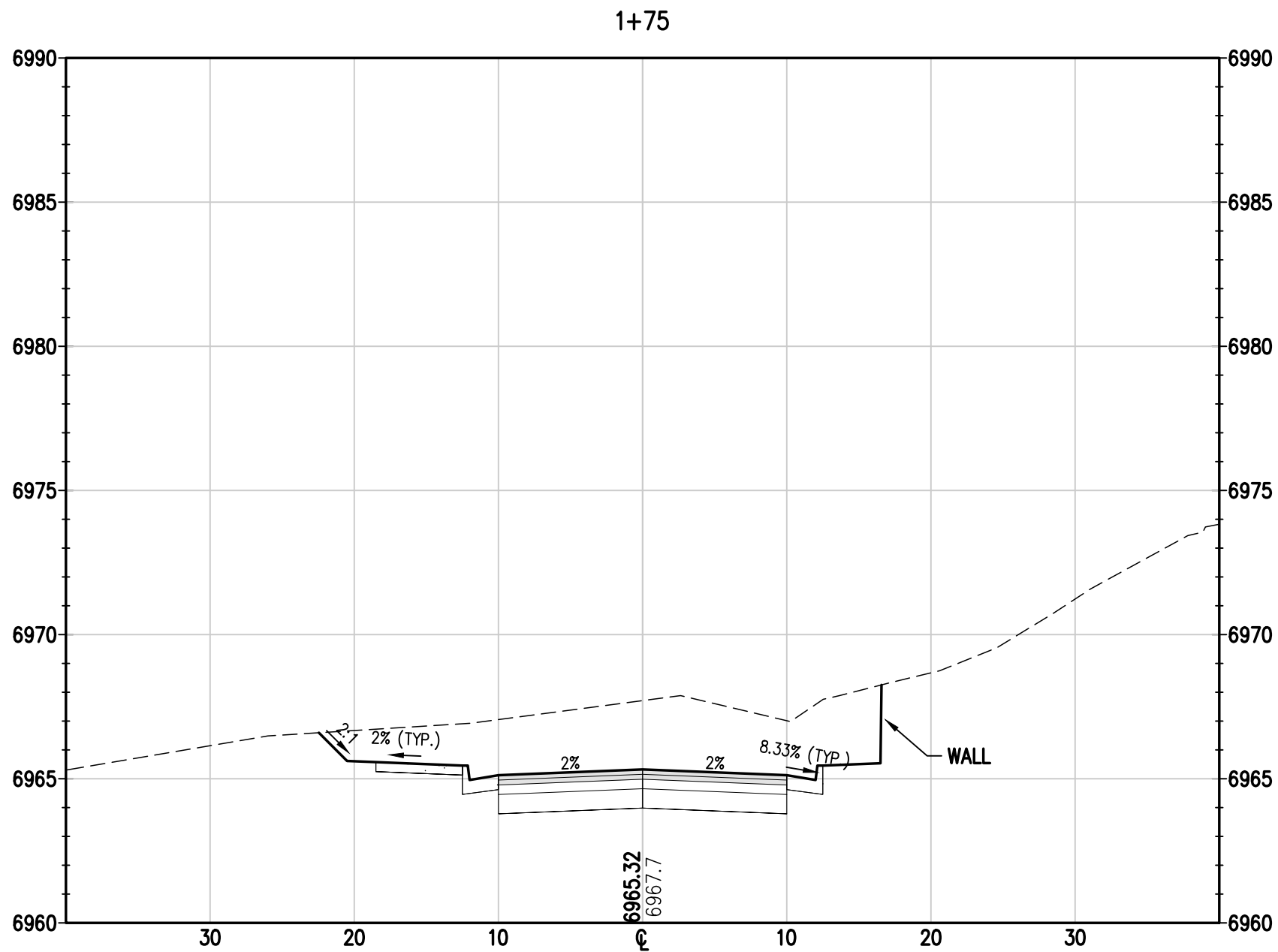
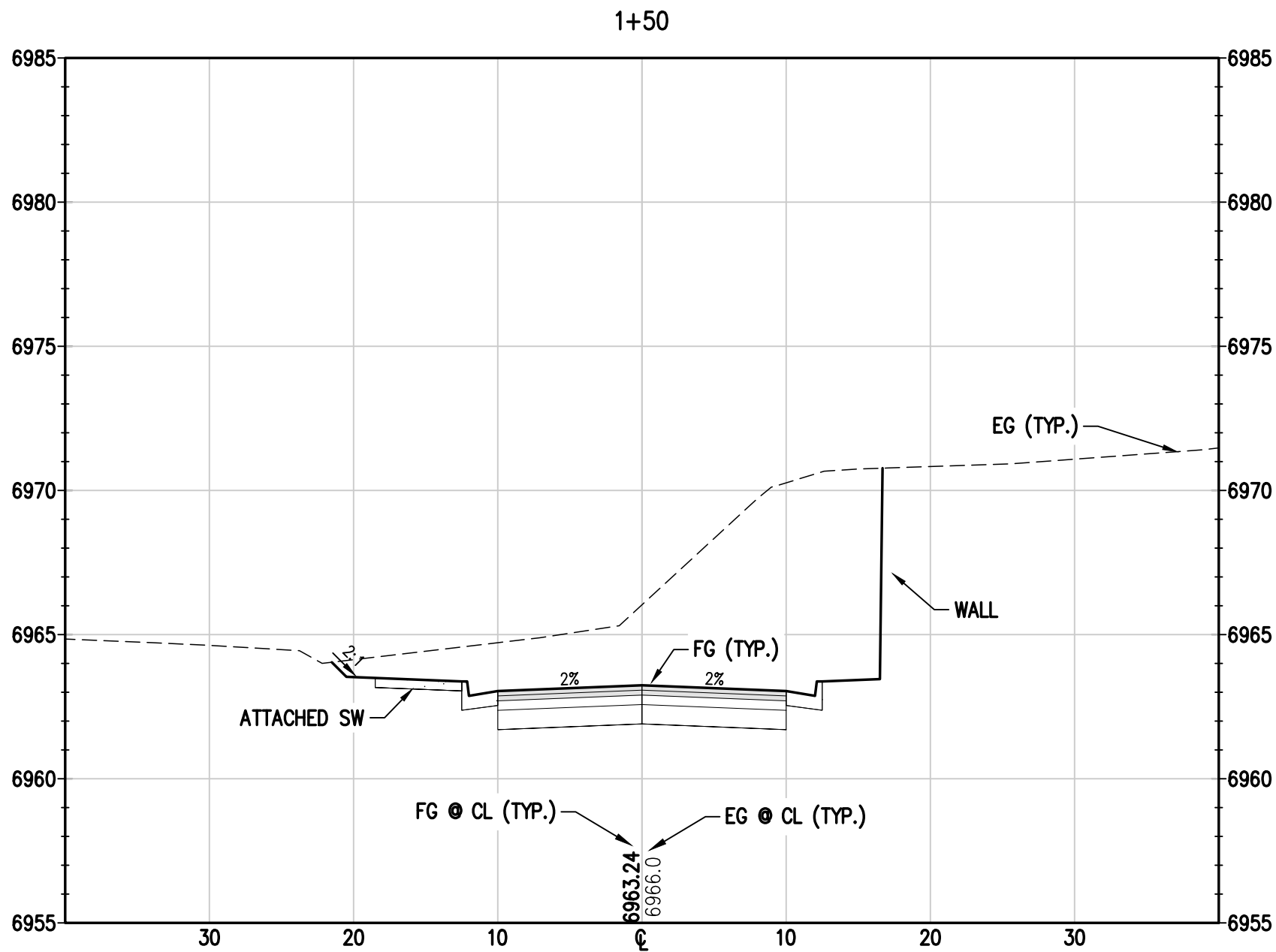
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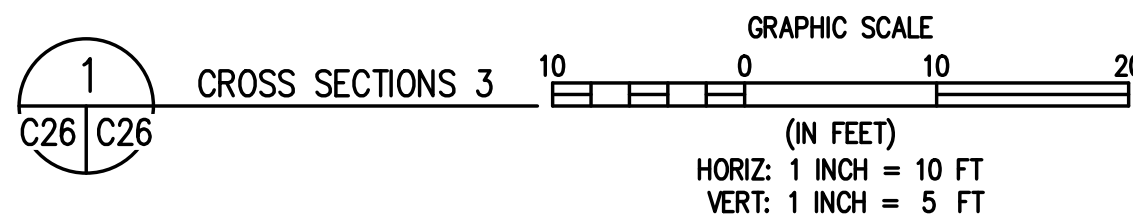
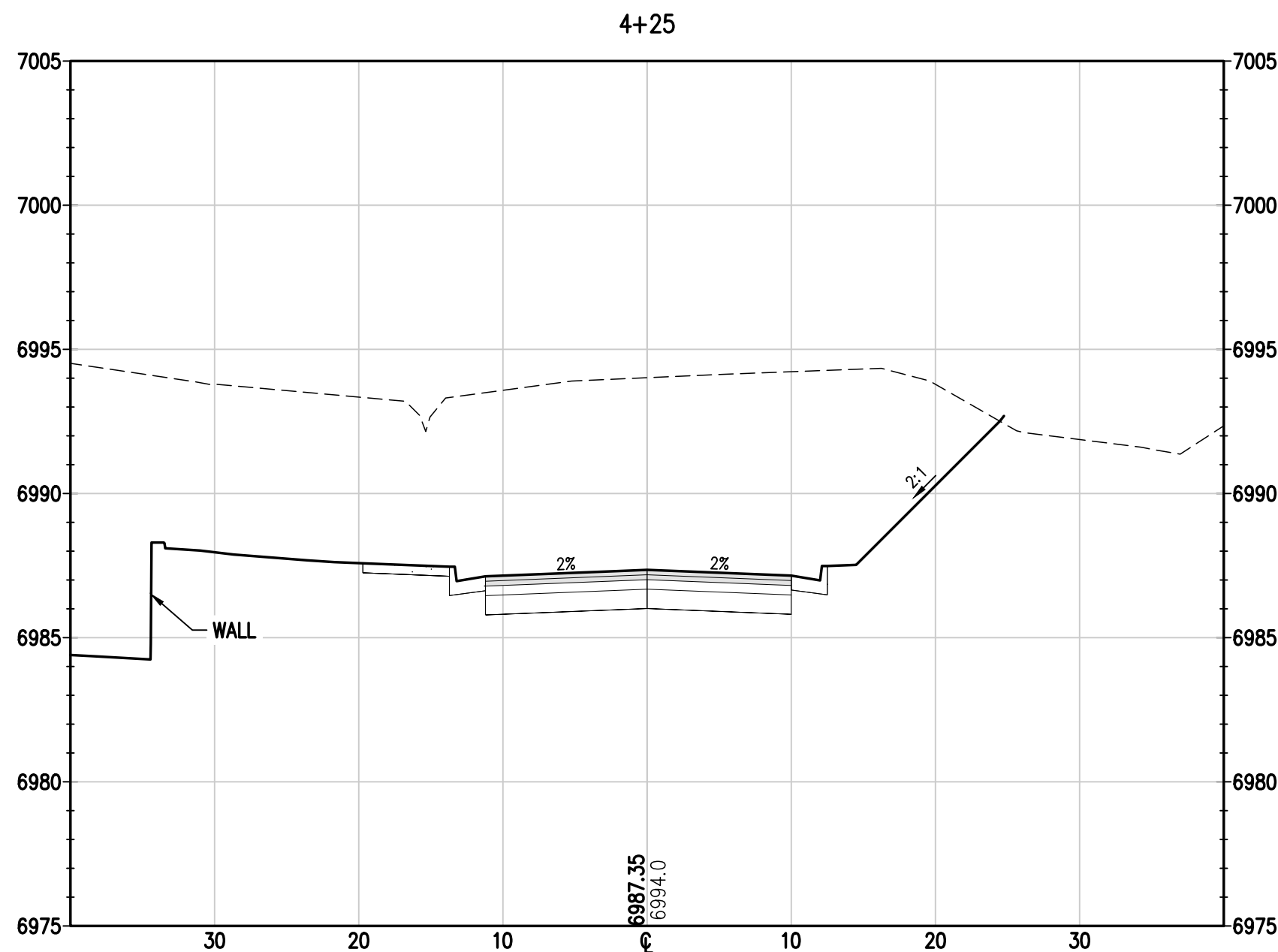
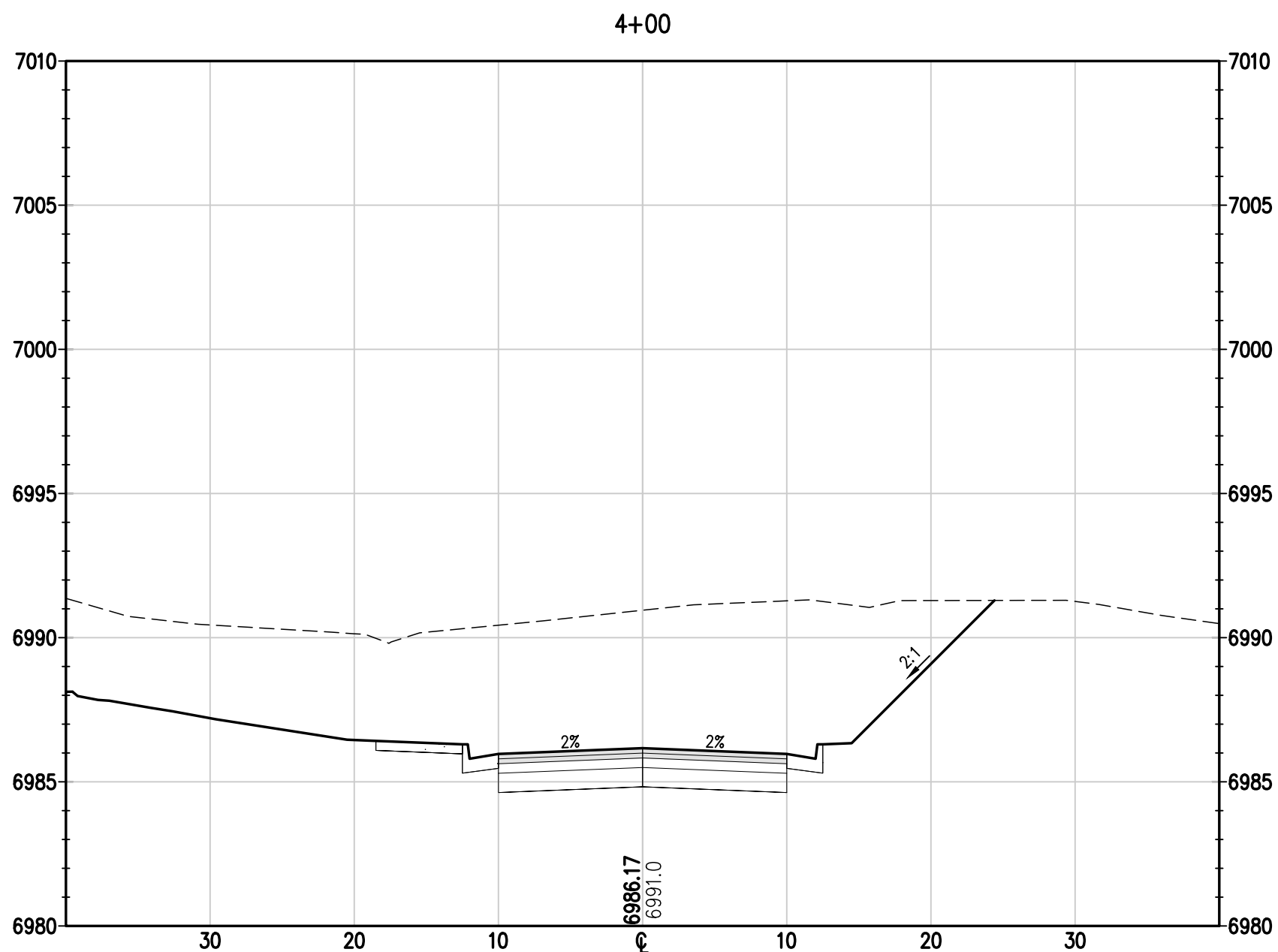
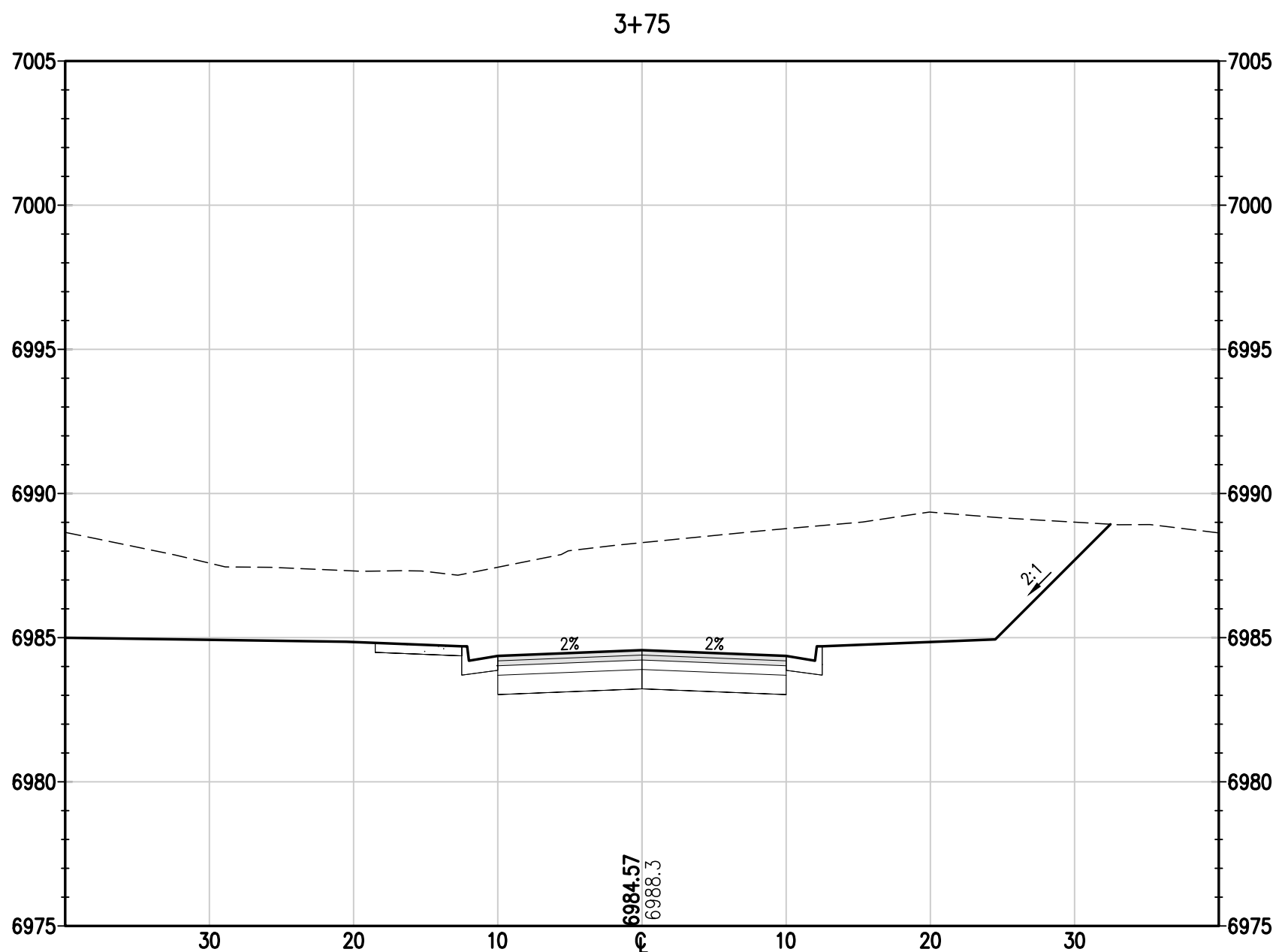
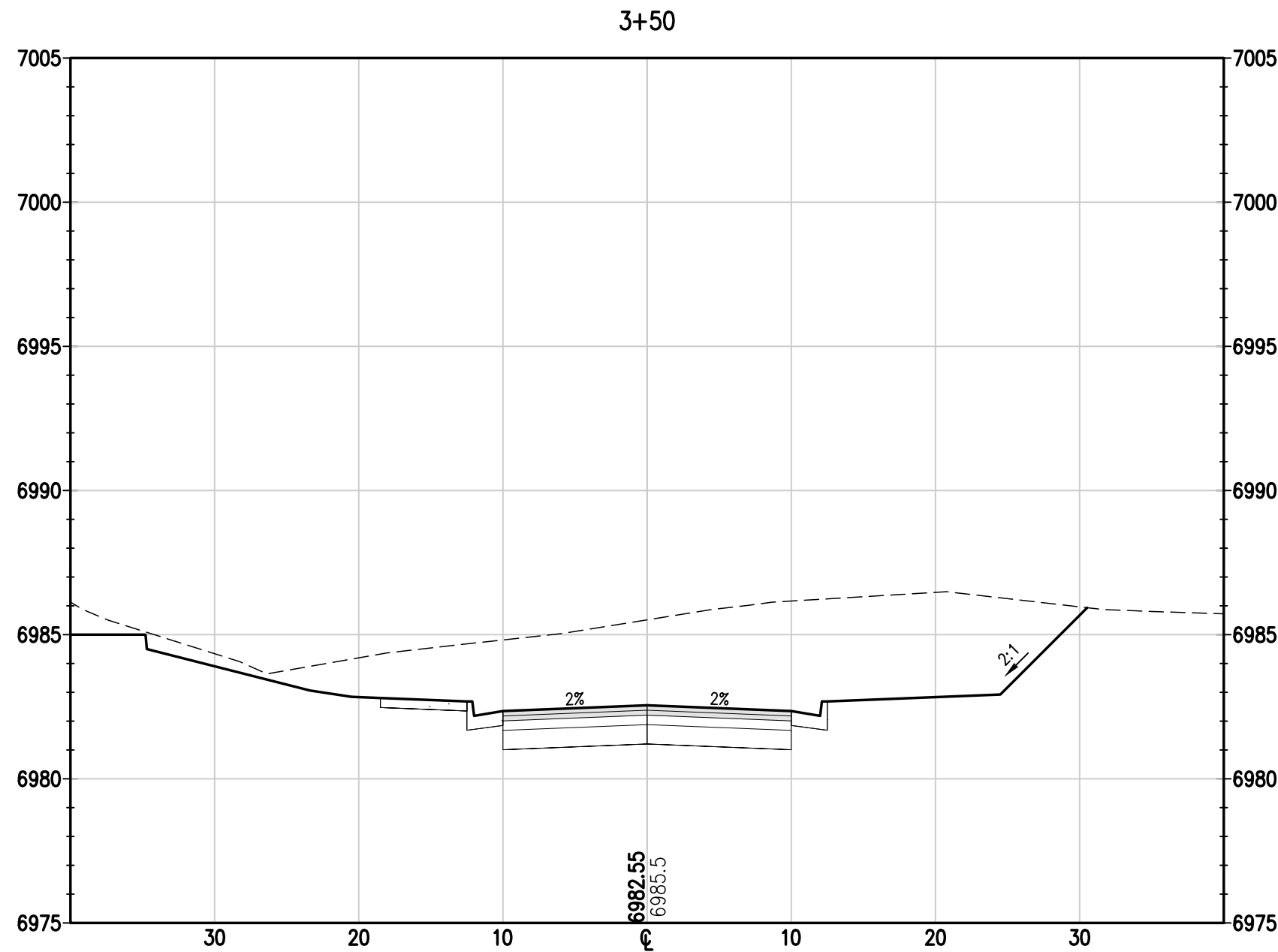
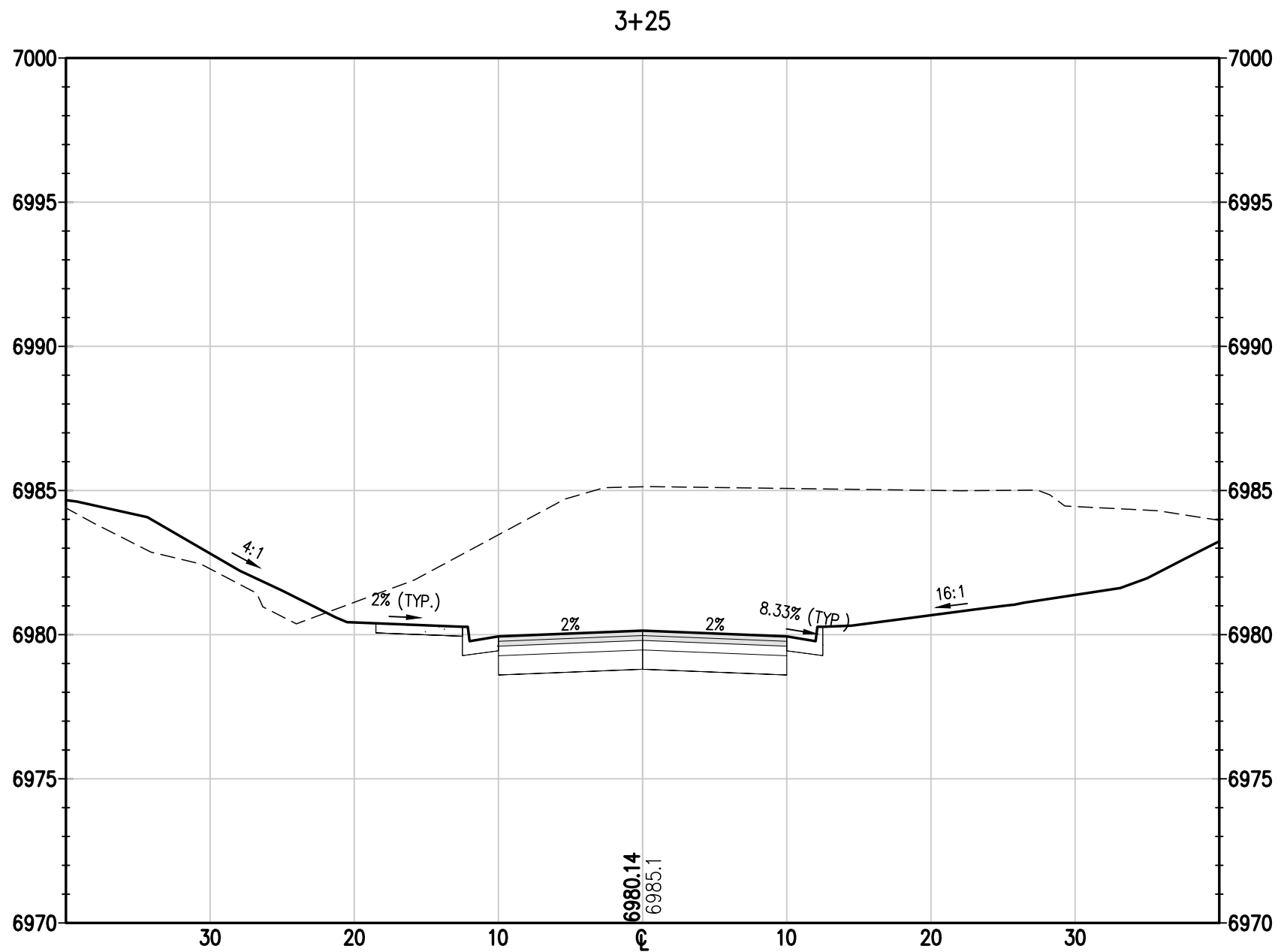
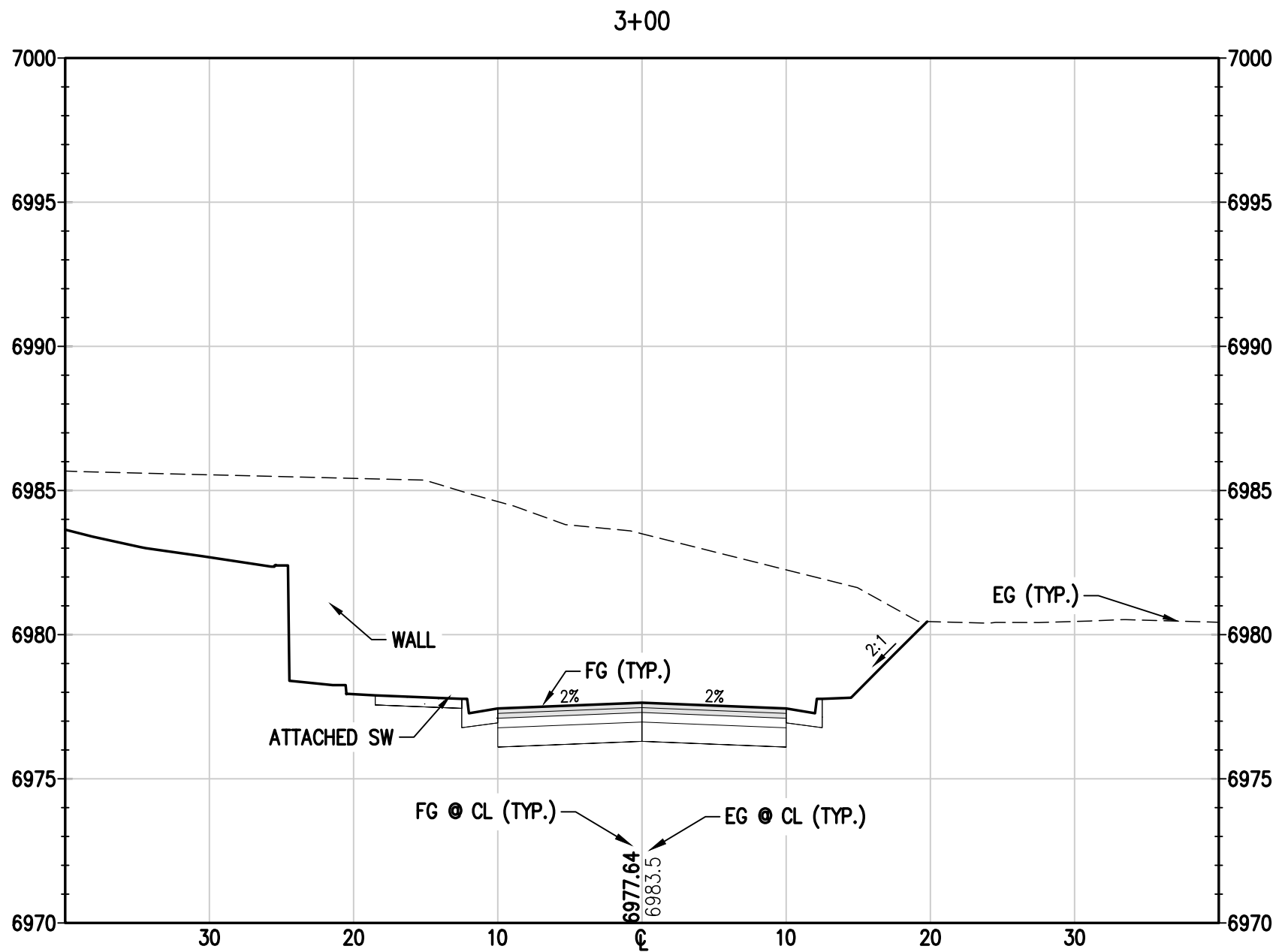
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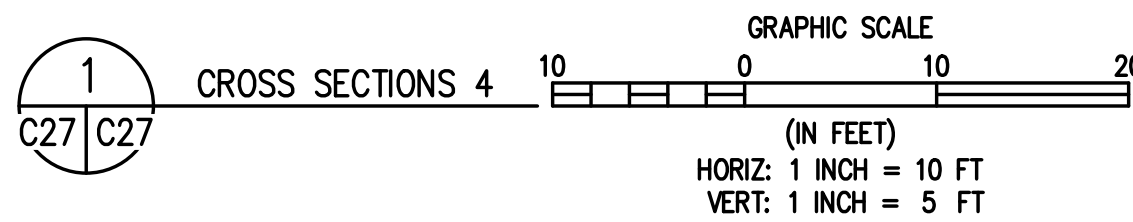
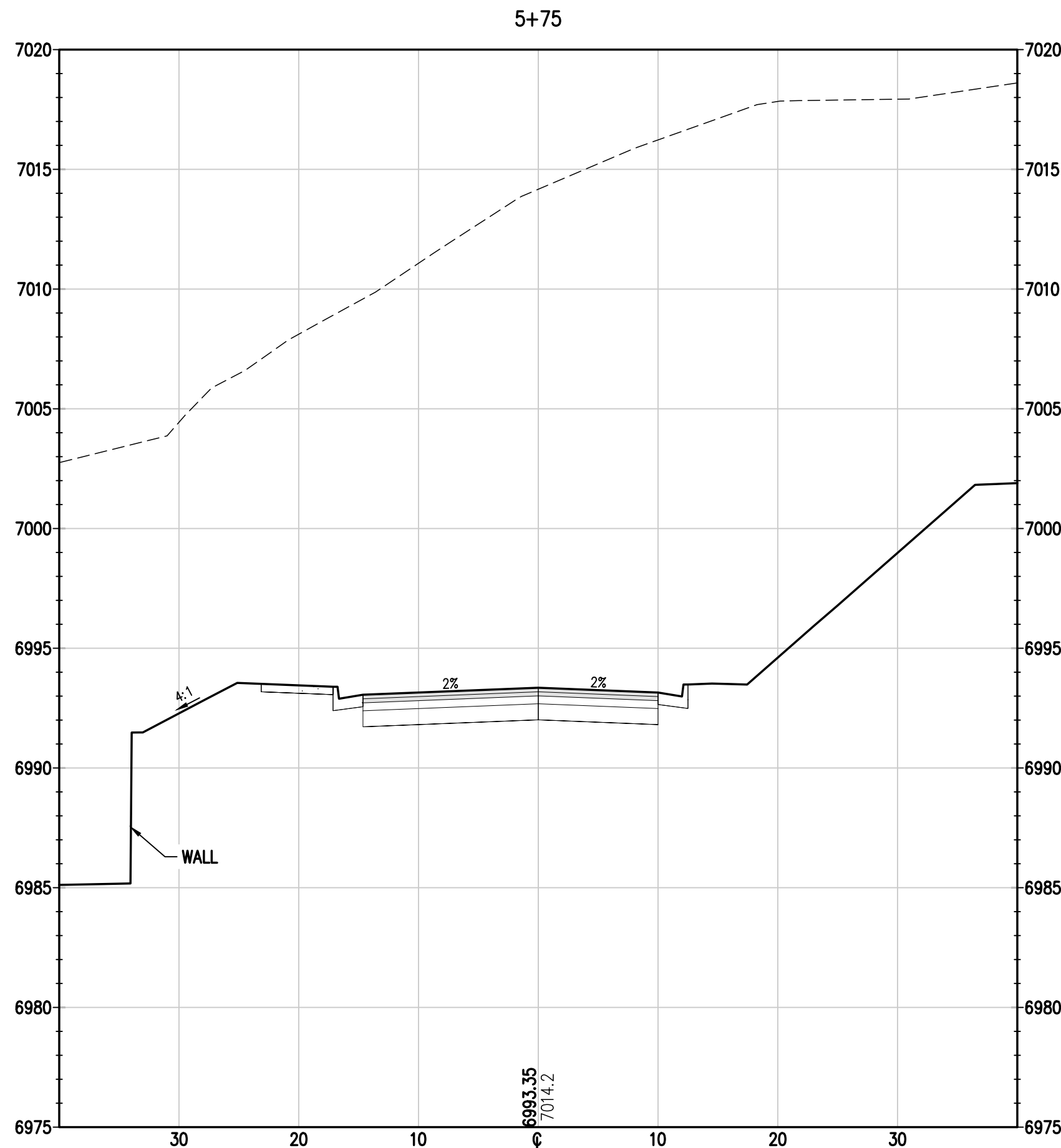
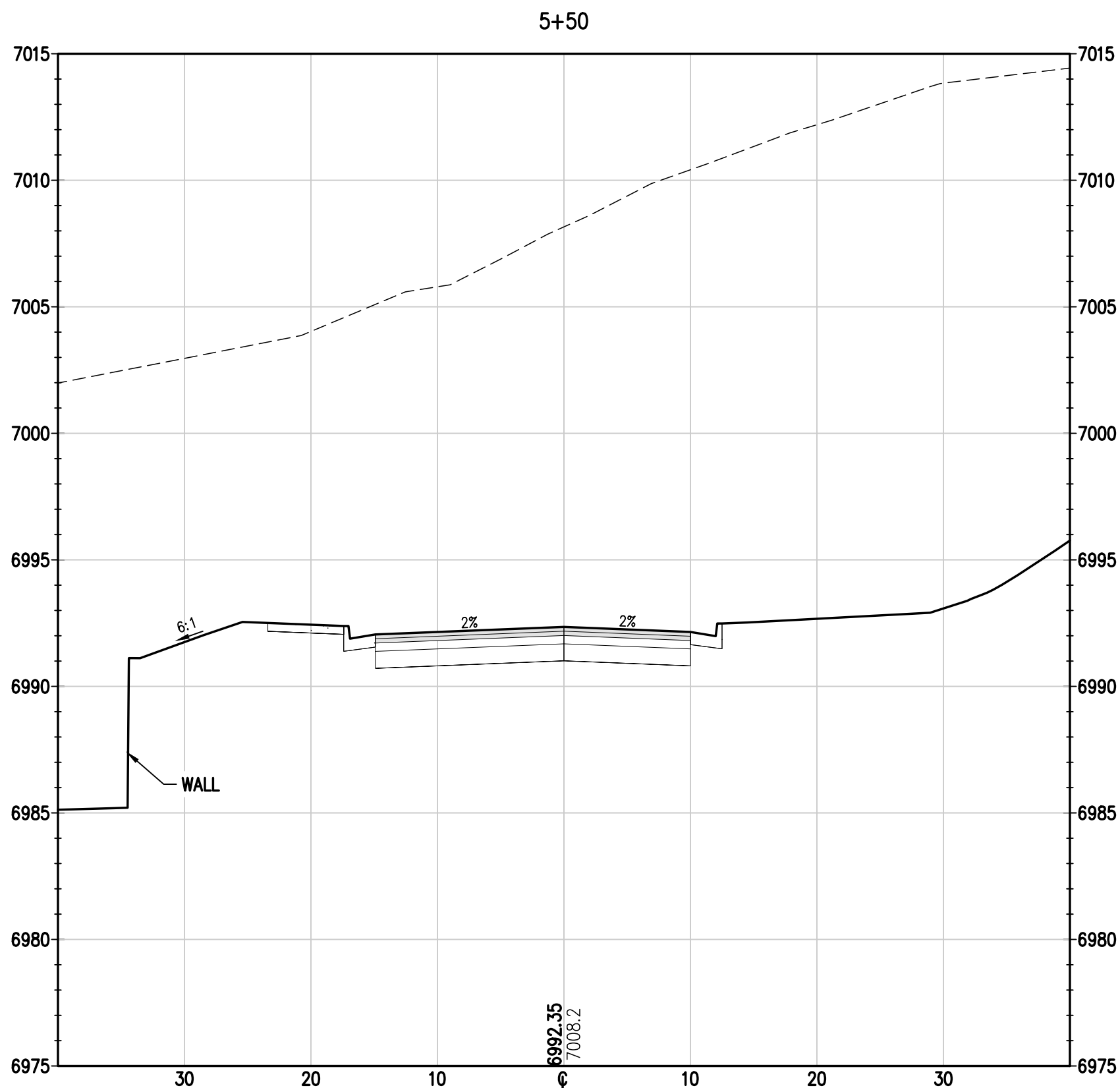
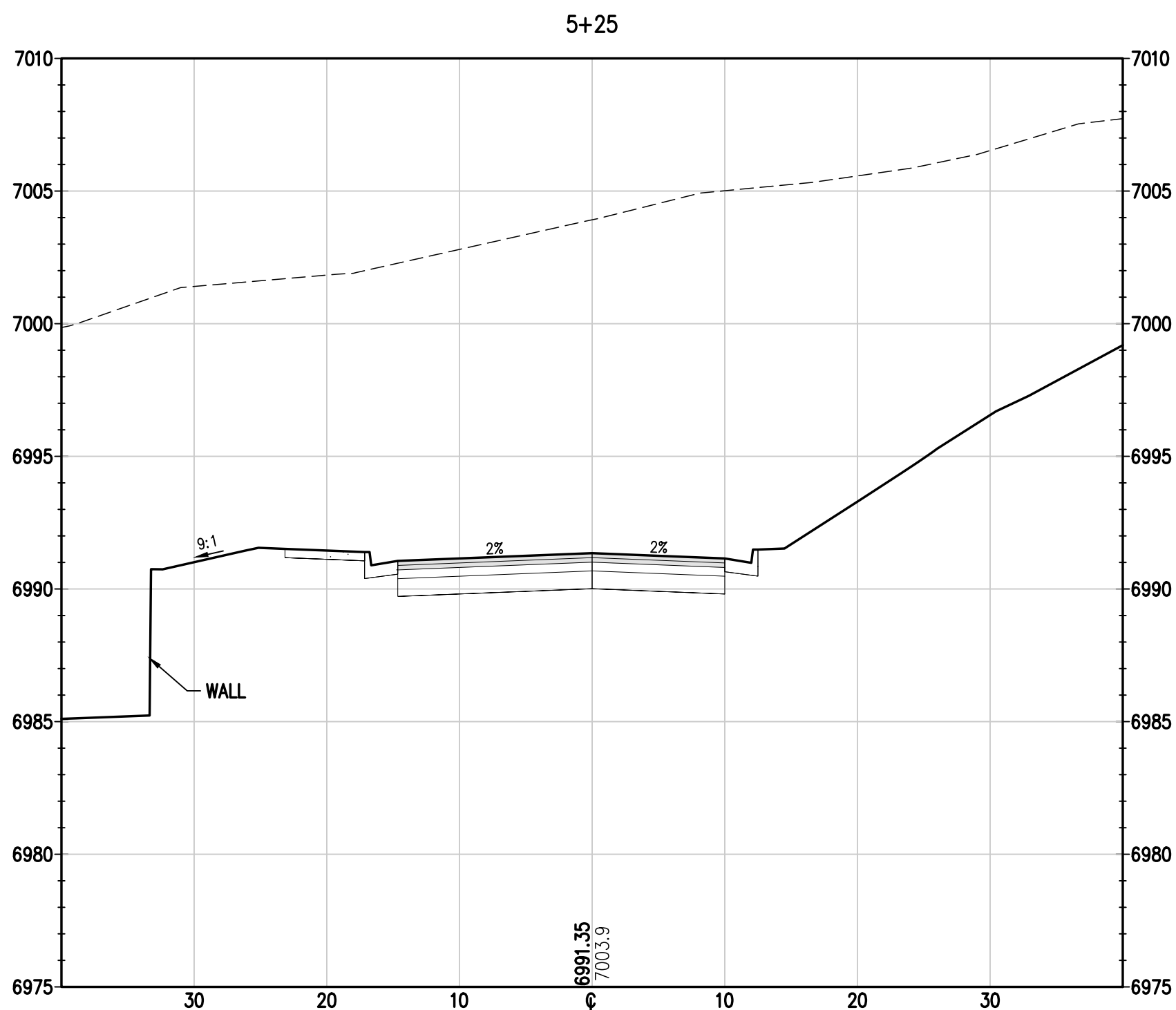
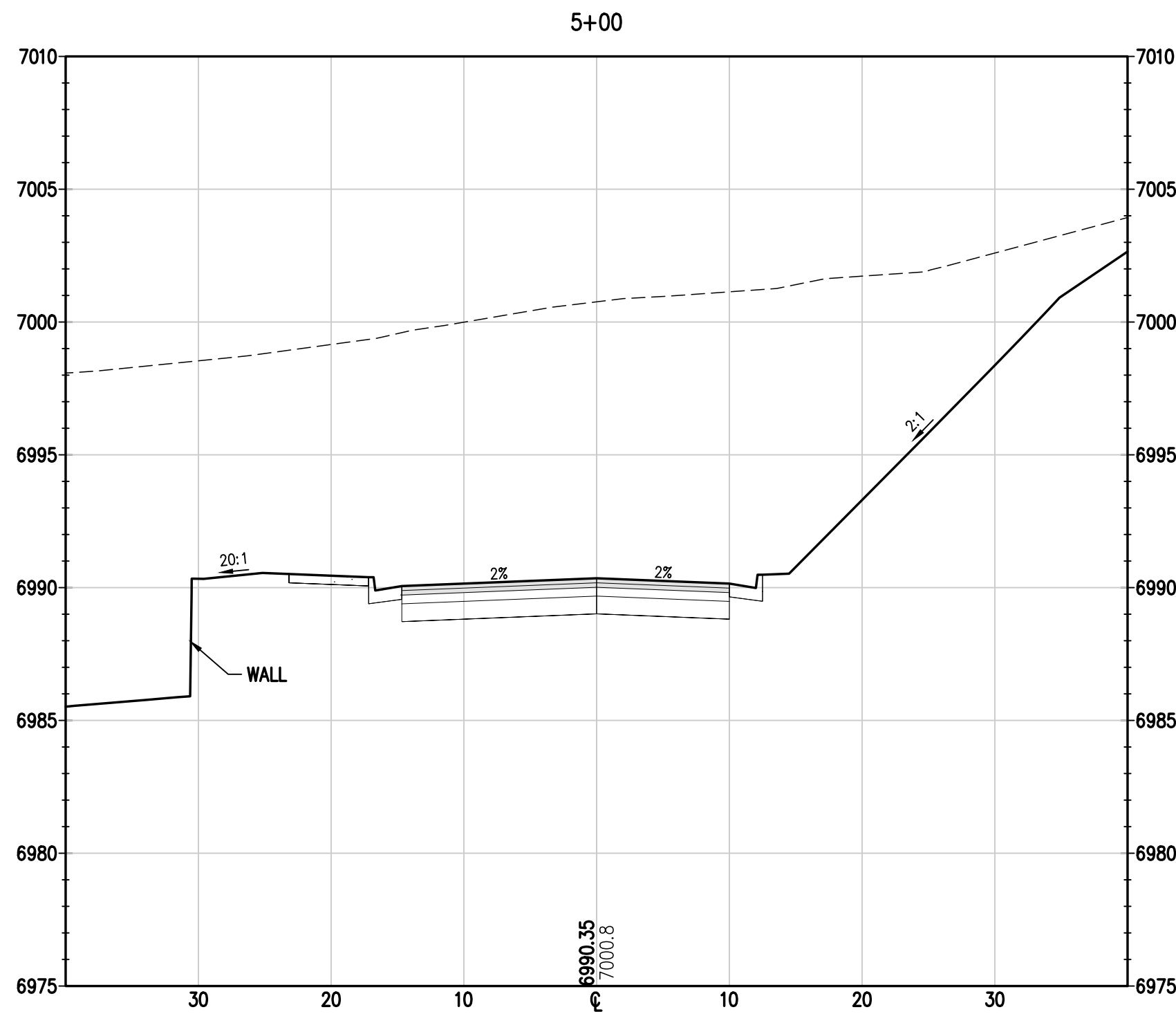
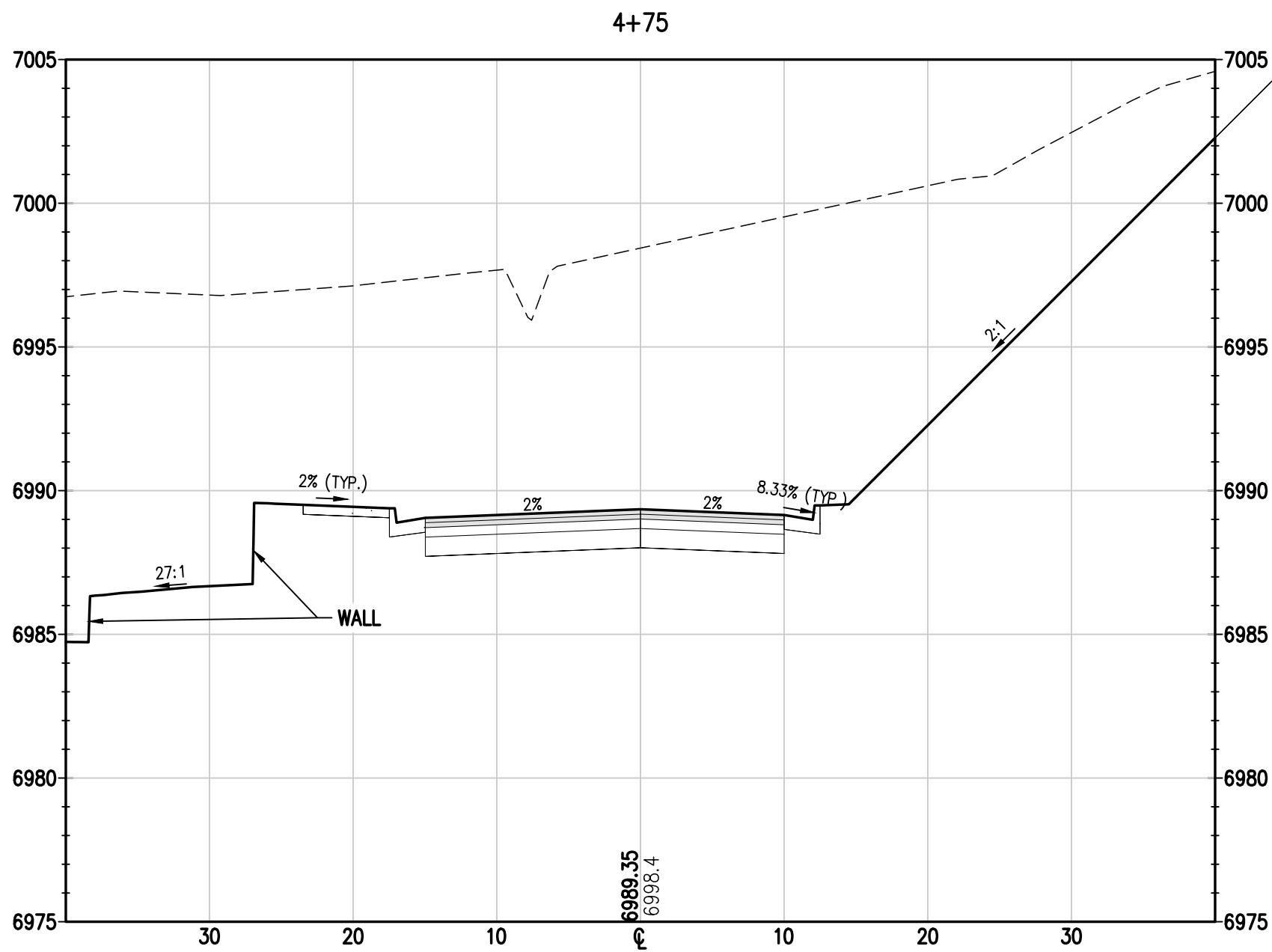
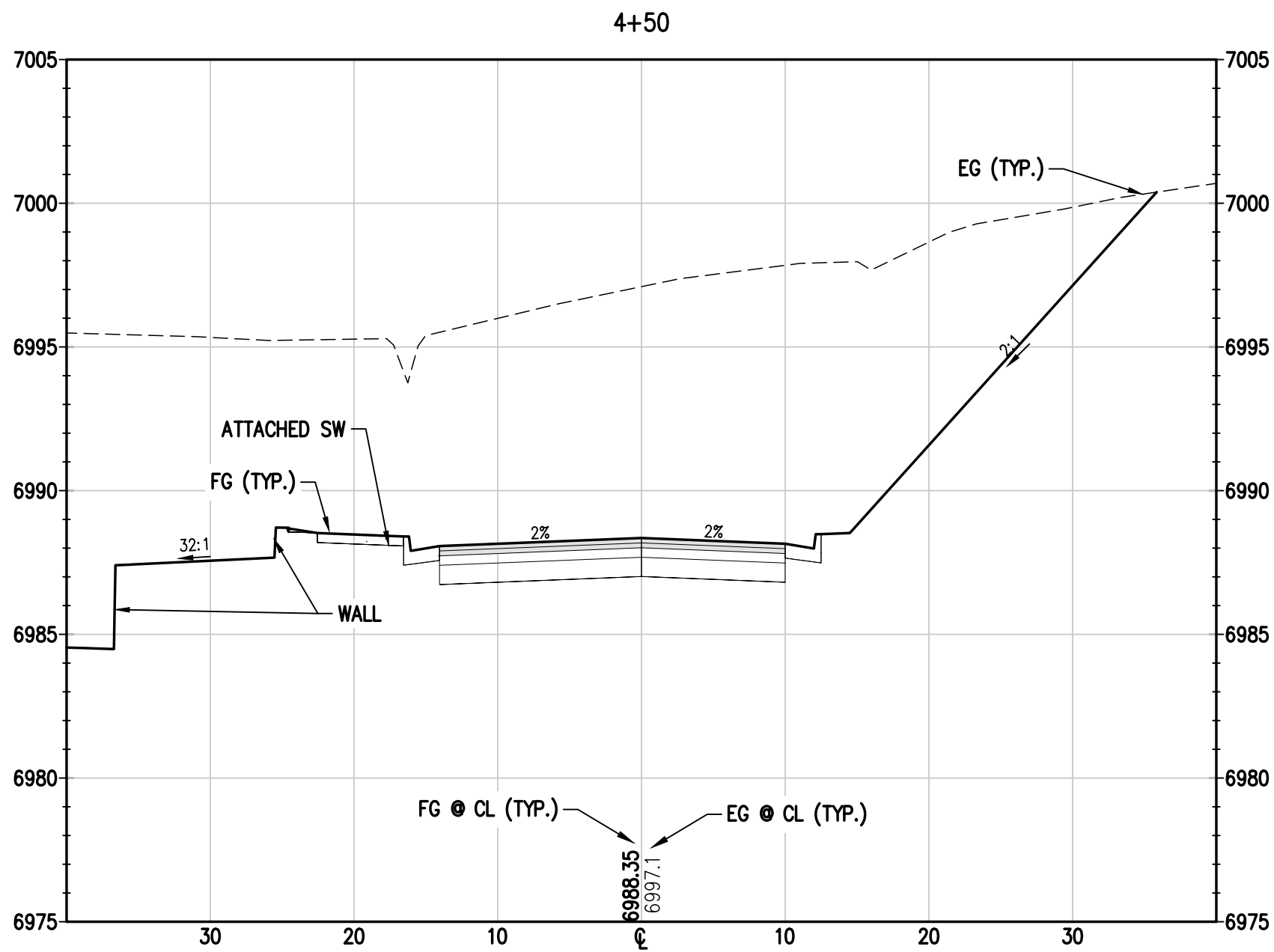
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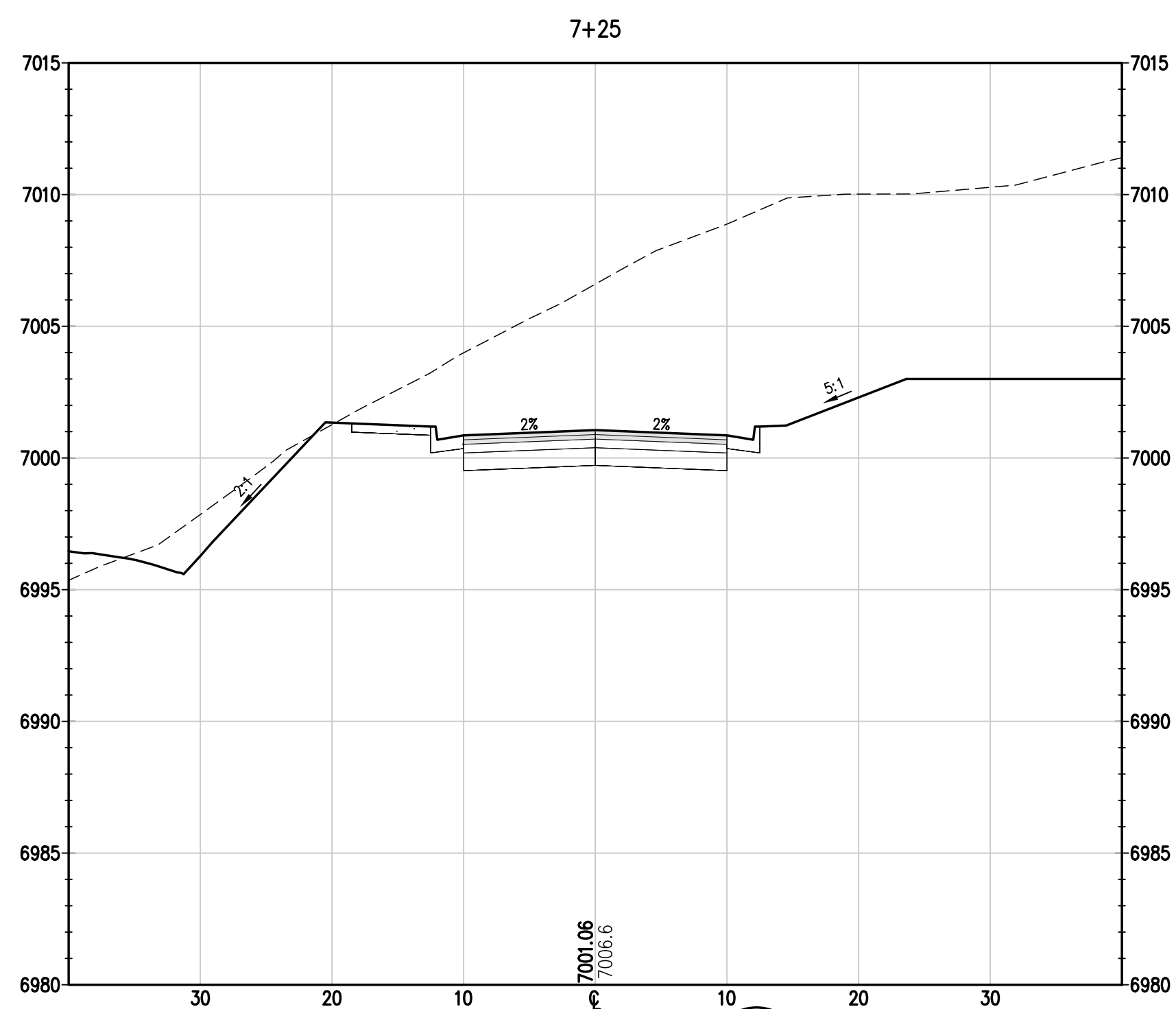
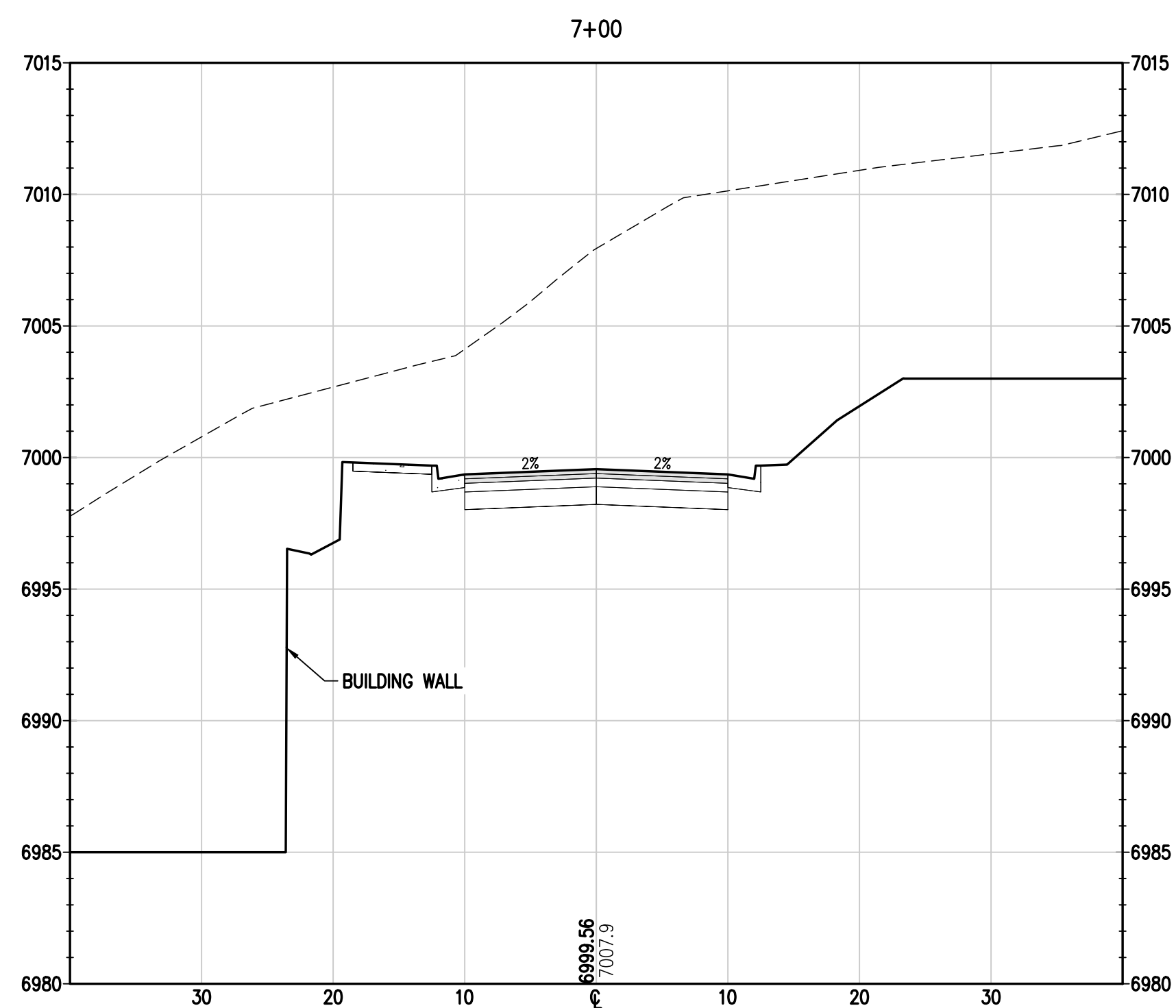
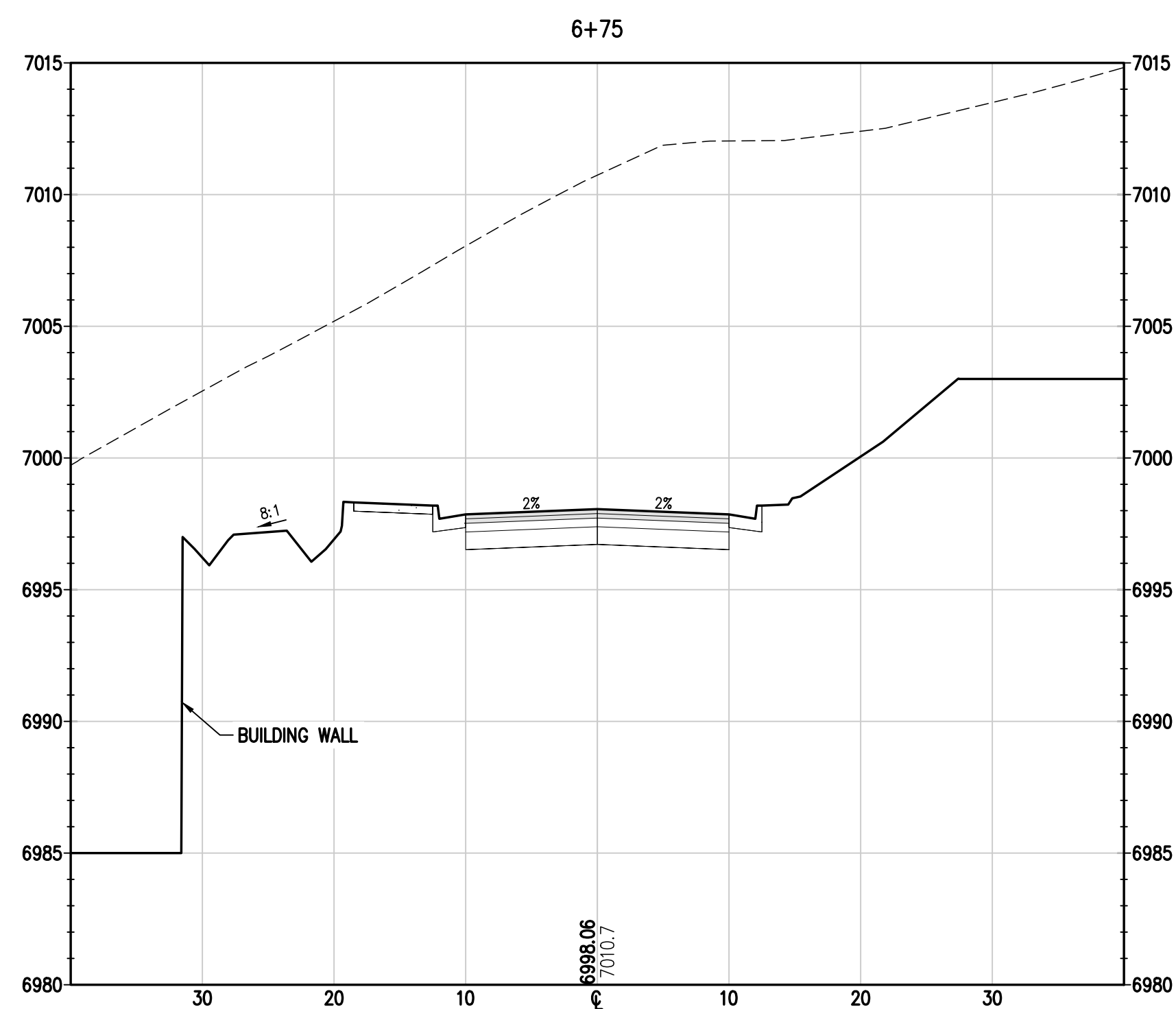
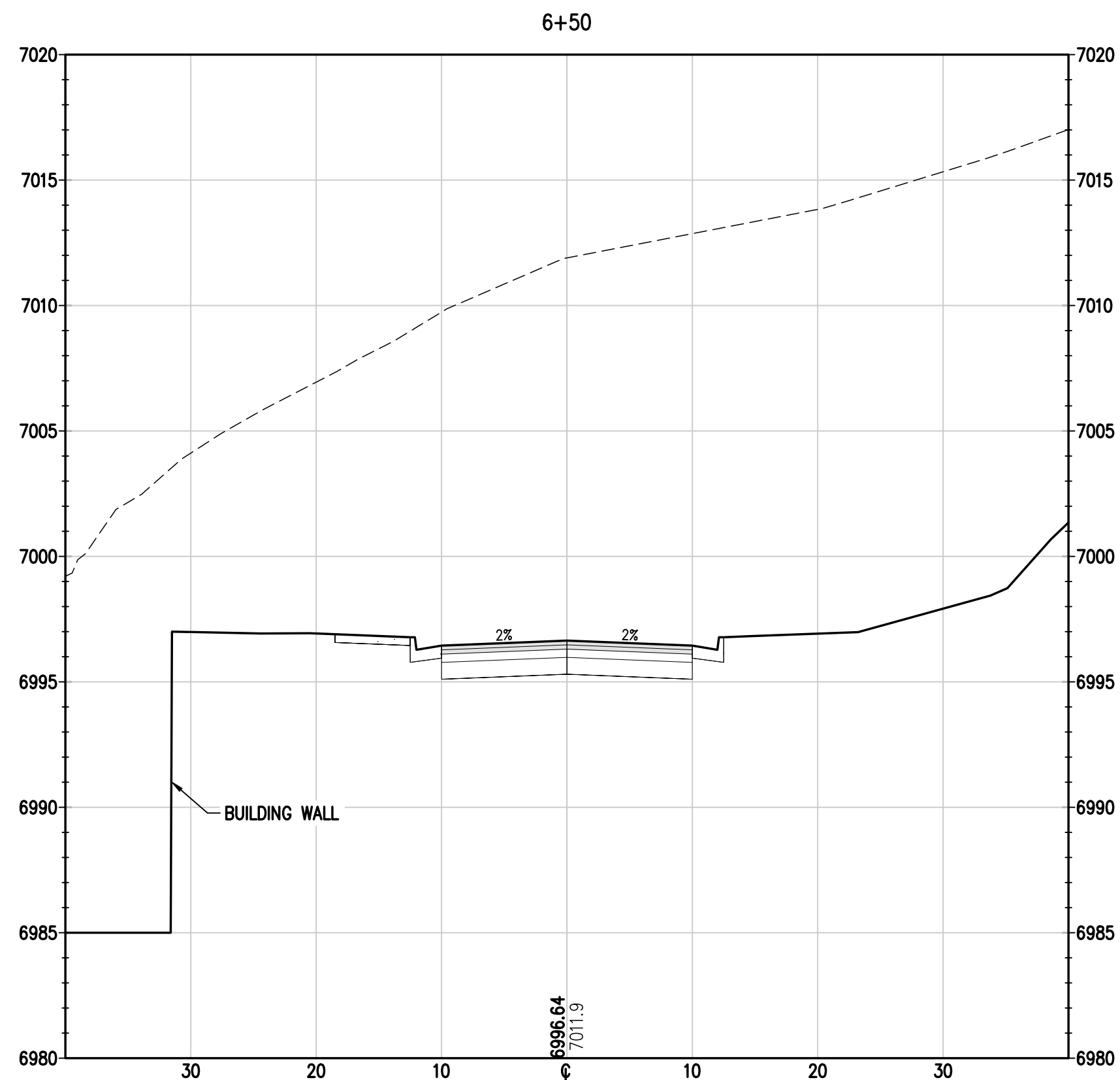
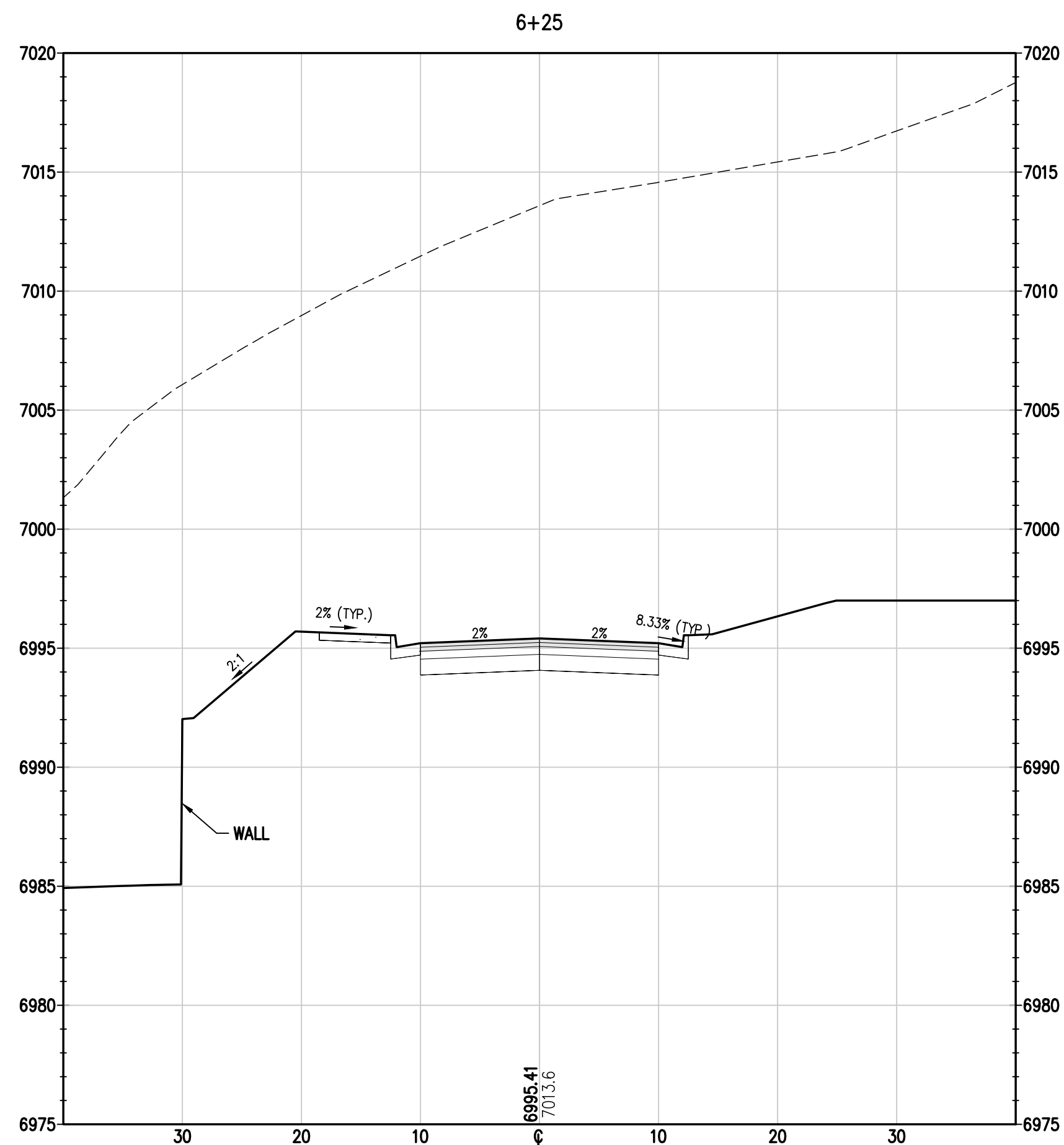
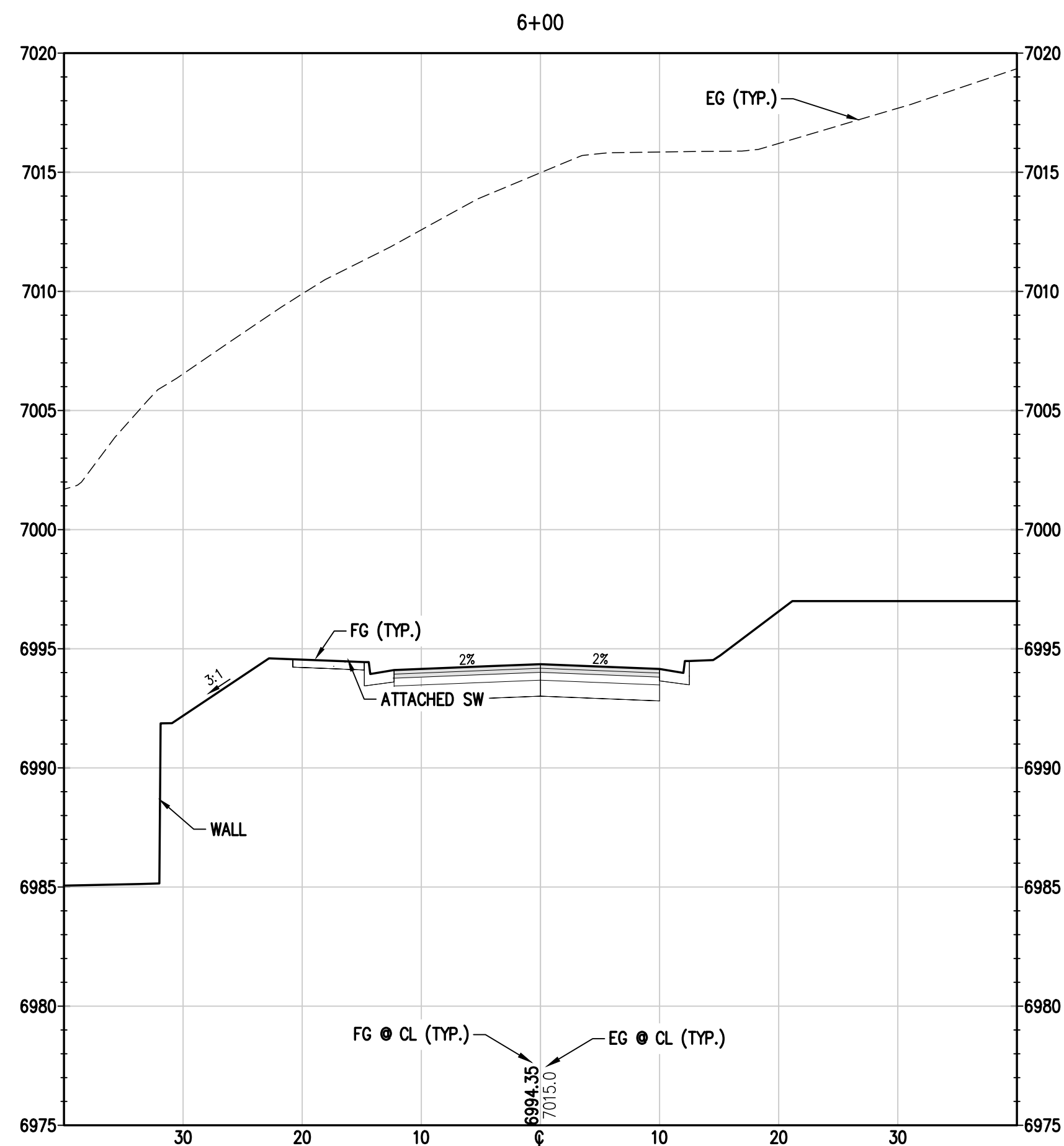


Diagram of a semi-circular arch. A vertical line divides the arch into two equal halves. Two horizontal lines, one on each side of the vertical line, are labeled "C28".

CROSS SECTIONS 5

(IN FEET)

HORIZ: 1 INCH = 10 FT
VERT: 1 INCH = 5 FT



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STEAMBOAT ESQUIAR LP

ROUTT COUNTY

THE ASTRID
410 SKI TRAIL LANE
CROSS SECTIONS 5

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INITIAL SUBMITTAL	12/22/202

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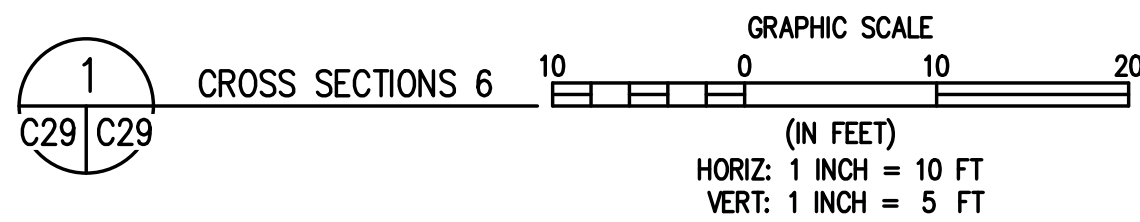
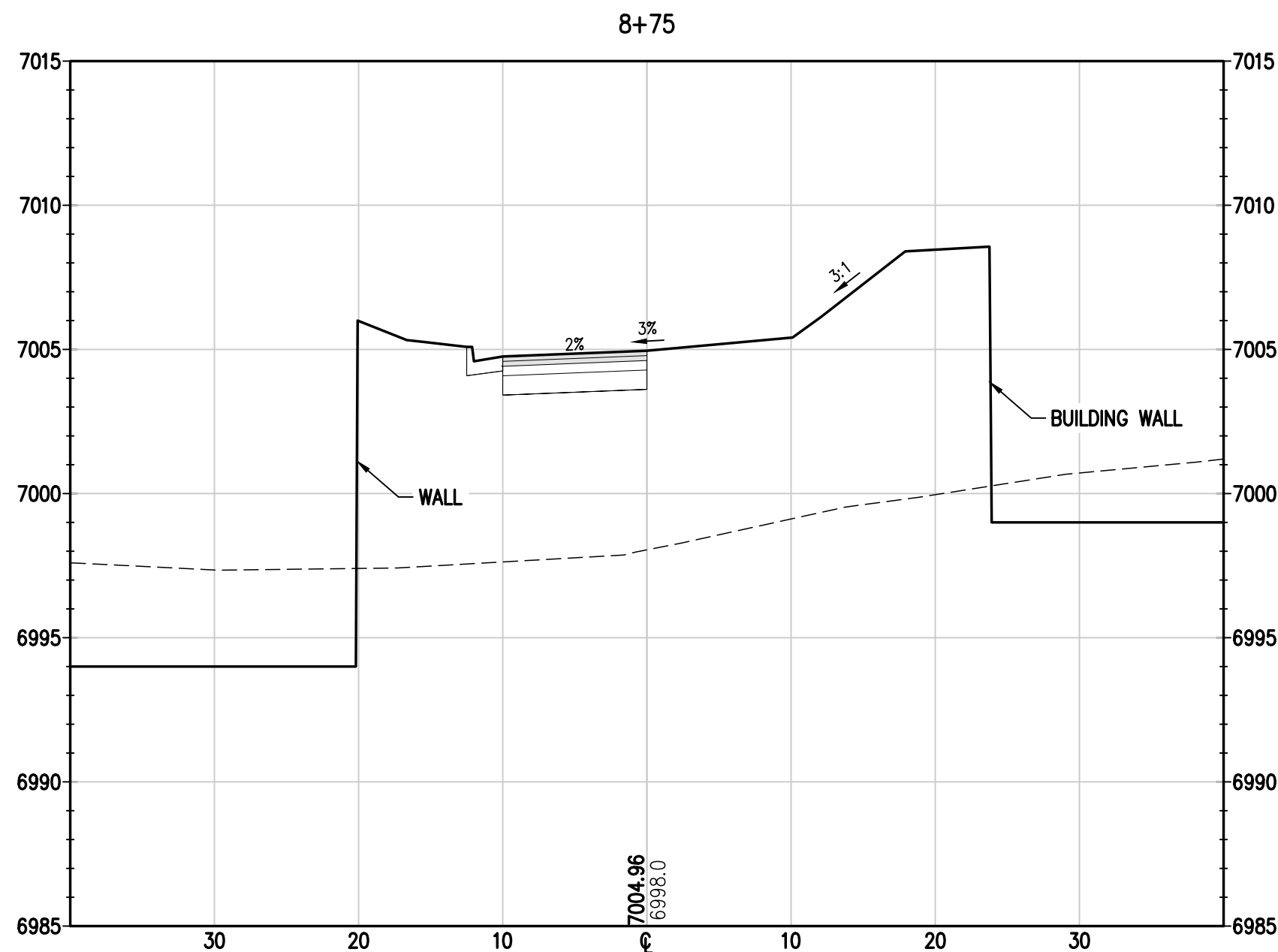
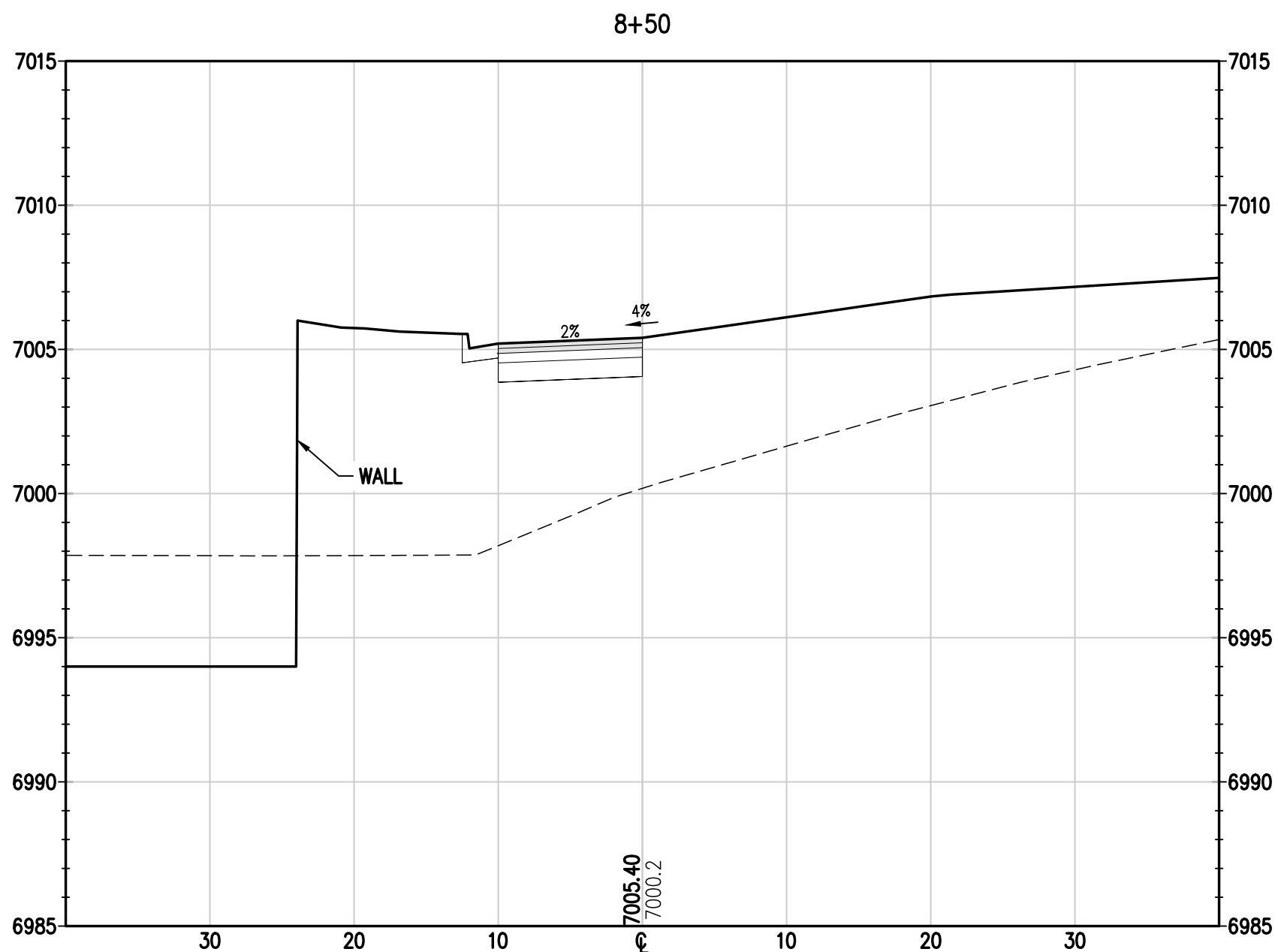
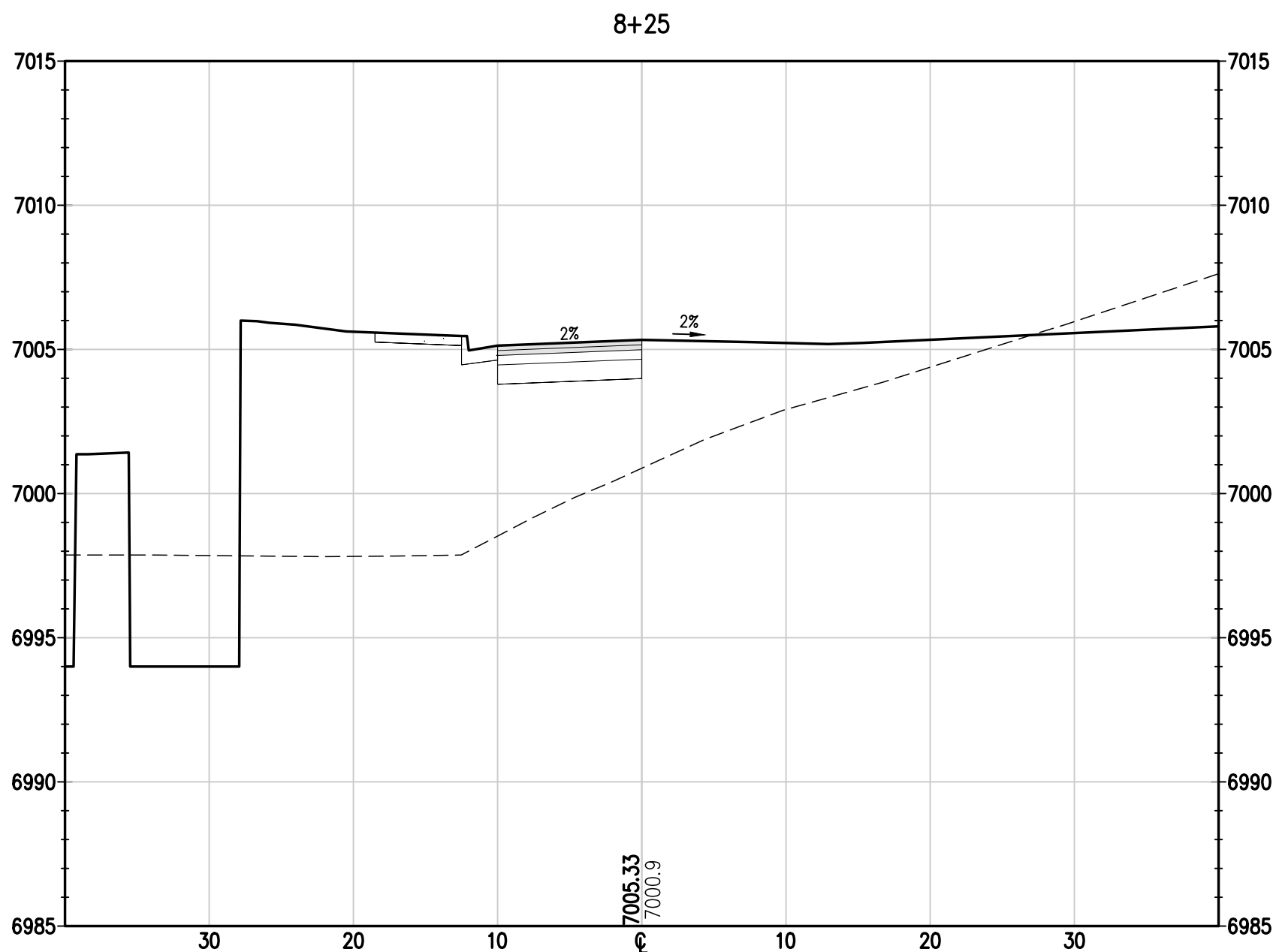
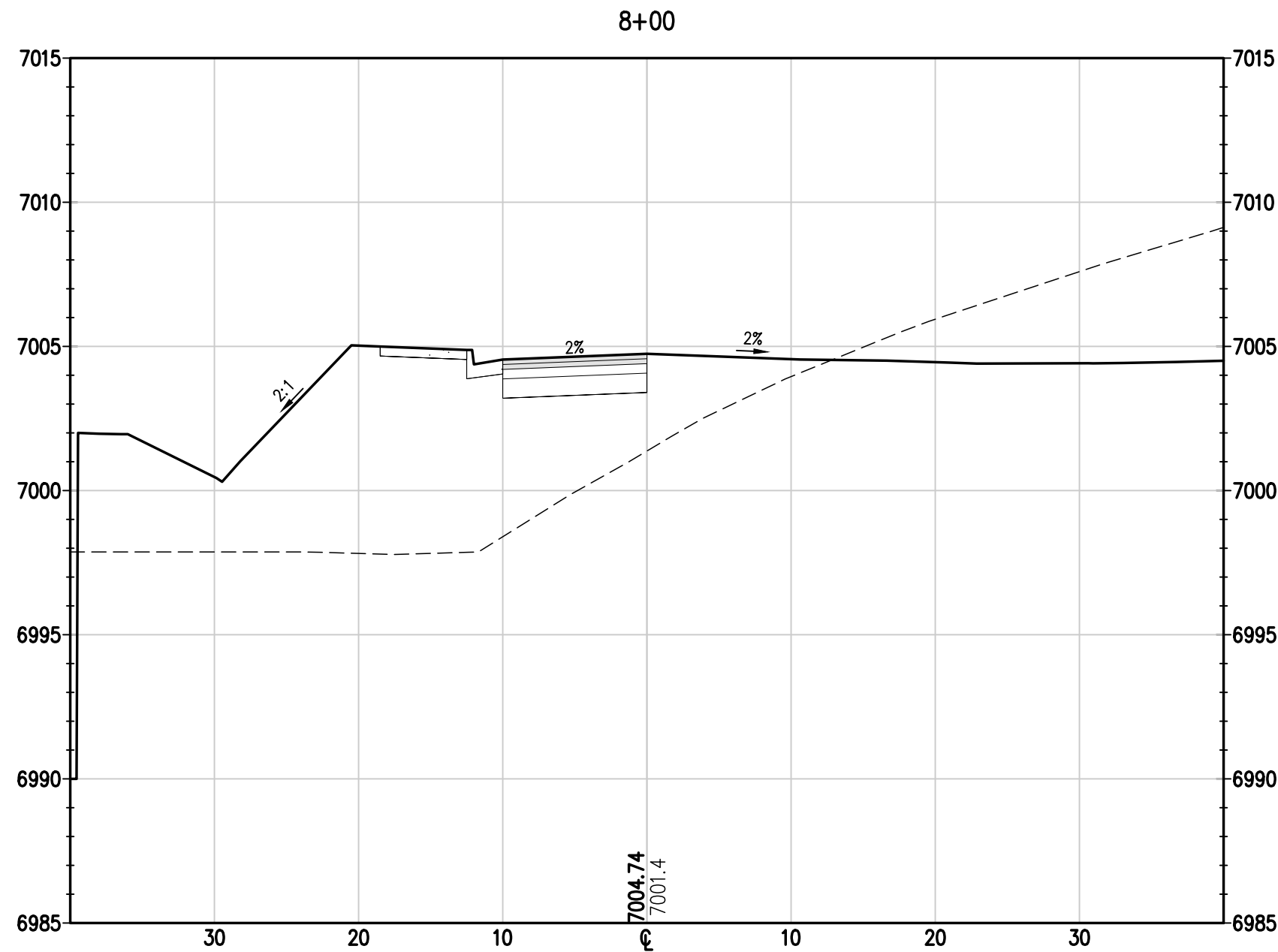
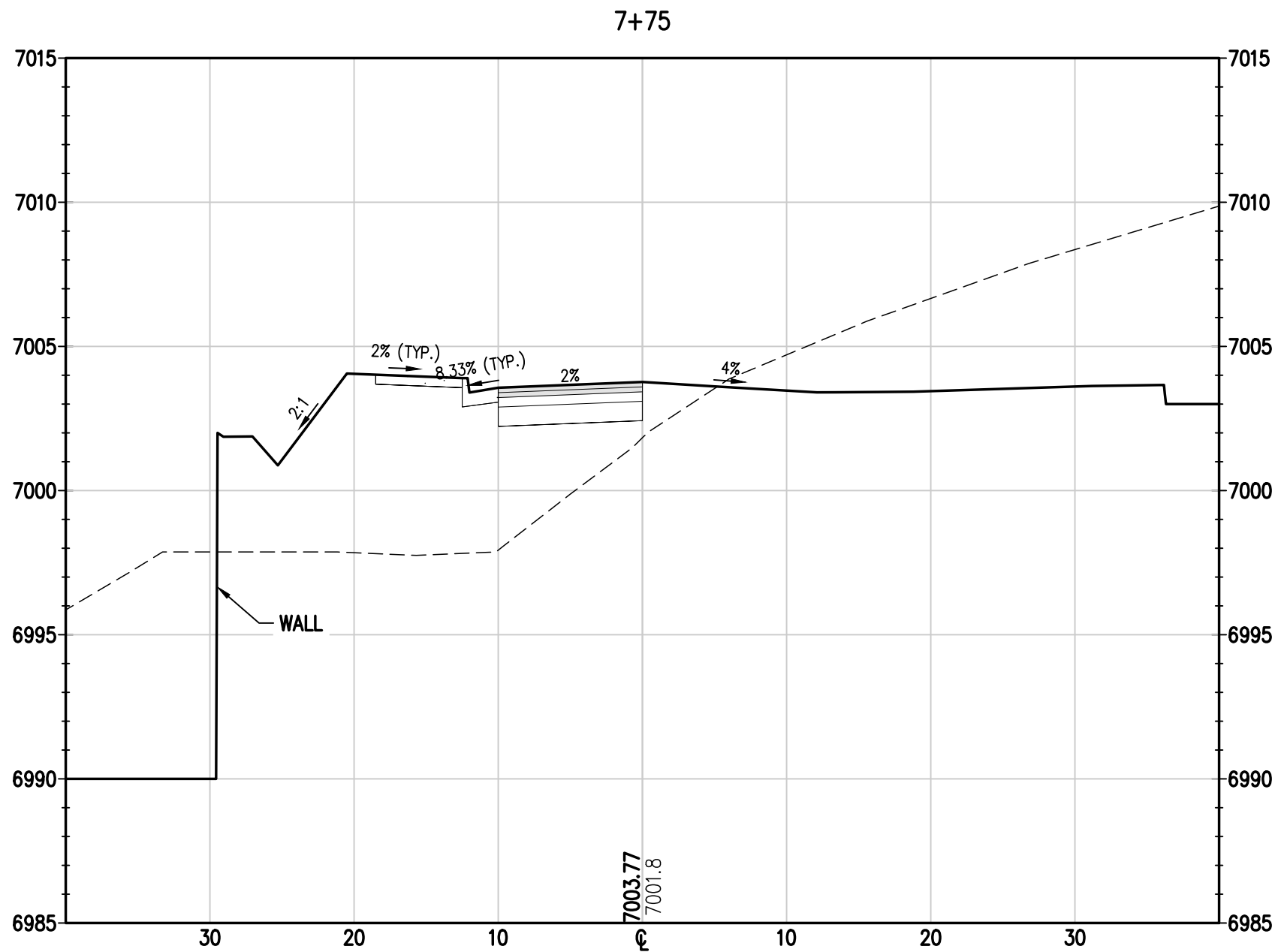
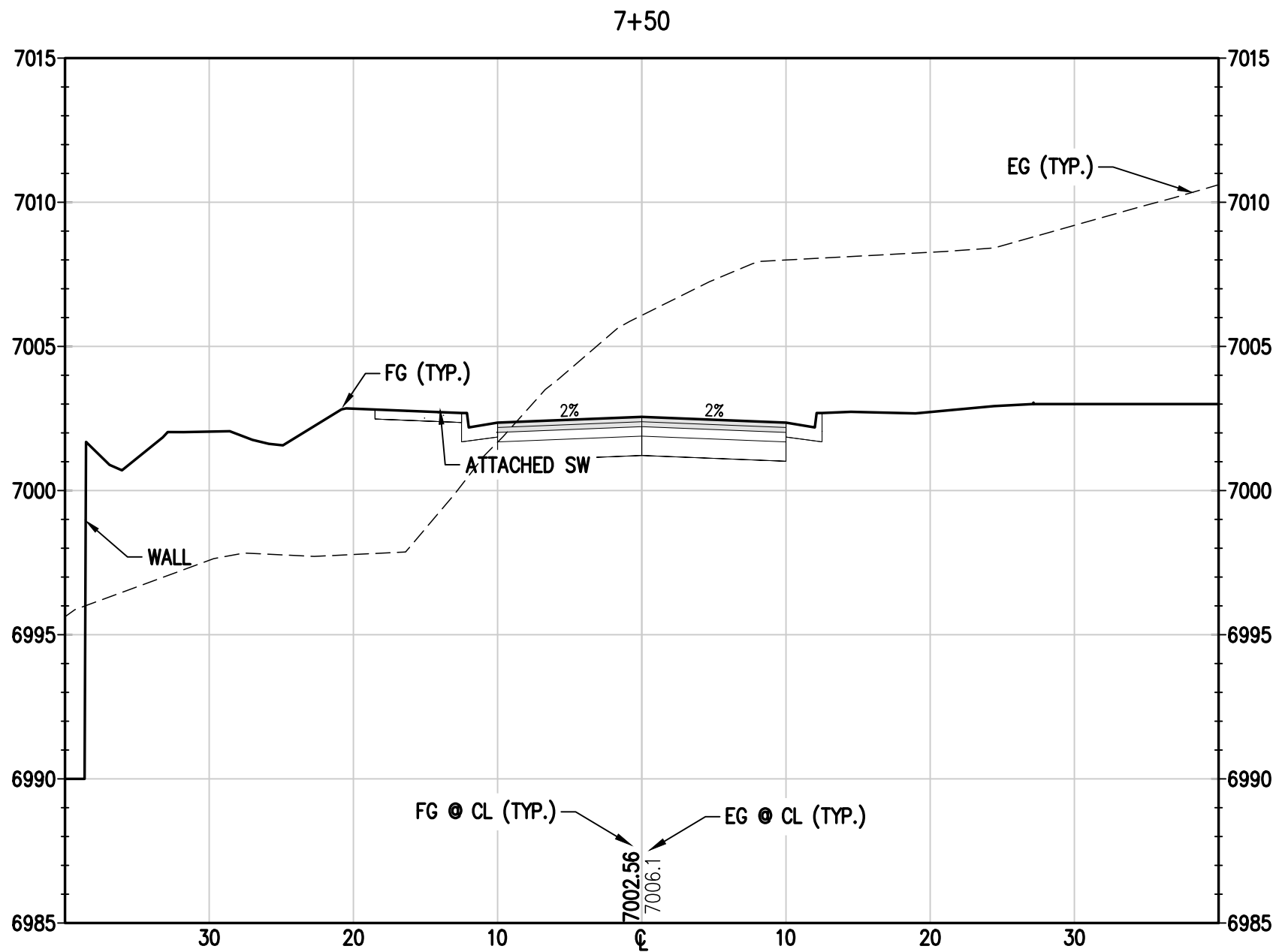
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DRAWING NAME
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SHEET 30 OF 68

C28

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DESIGNED BY	DRAWN BY	CHECKED BY
TJM	TJM	MRB

DATE	DATE
05/18/2023	07/28/2023

PREPARED BY	PREPARED BY
SMB	SMB

REVISION DESCRIPTION	REVISION DESCRIPTION
REVISIONS PER DRT #1 COMMENTS	REVISIONS PER DRT #1 COMMENTS

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REVISIONS PER DRT #1 COMMENTS	REVISIONS PER DRT #1 COMMENTS

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REVISION DESCRIPTION	REVISION DESCRIPTION
REVISIONS PER DRT #1 COMMENTS	REVISIONS PER DRT #1 COMMENTS

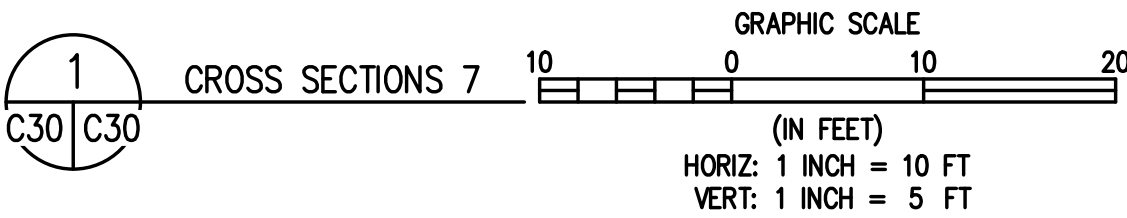
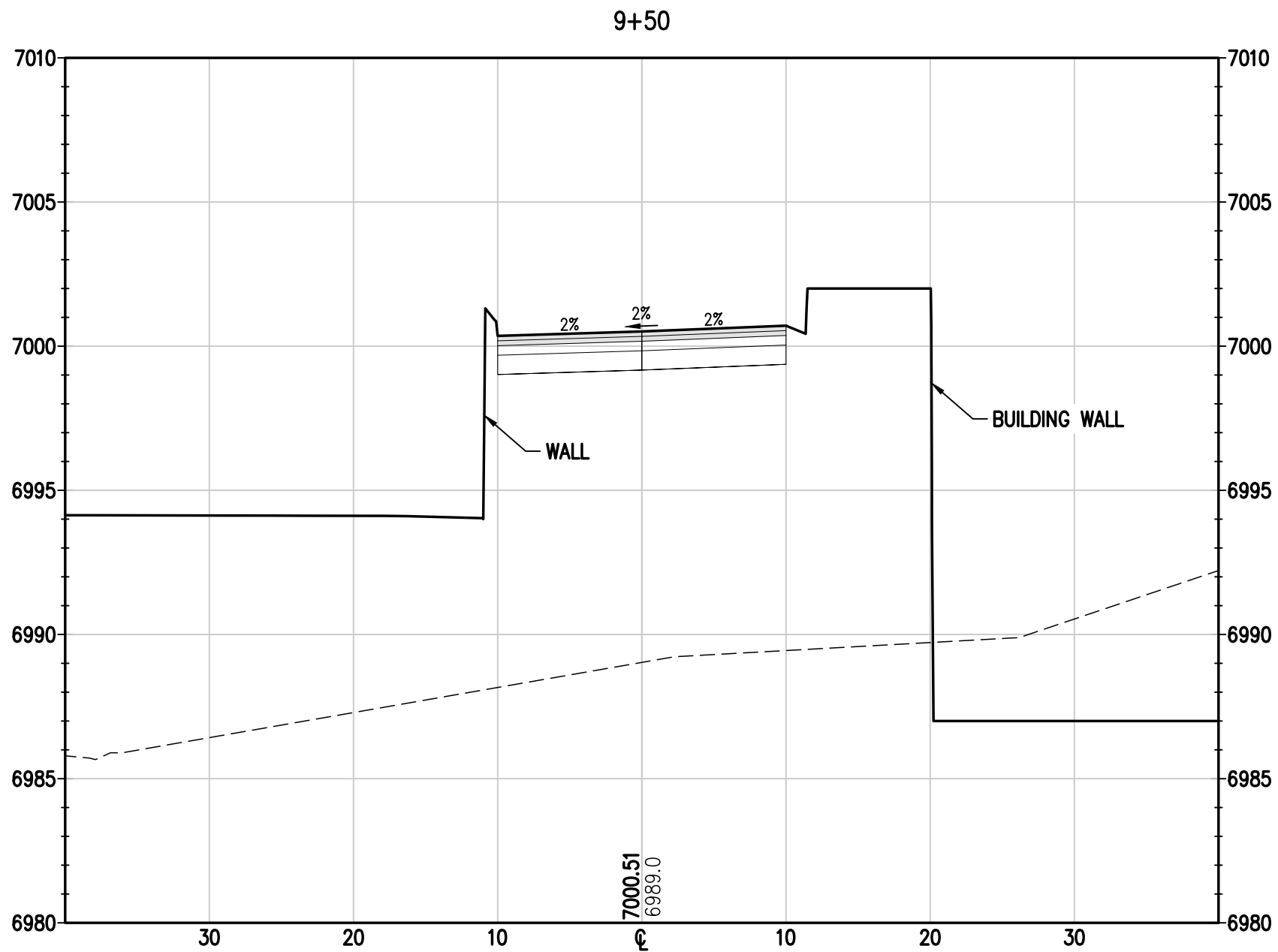
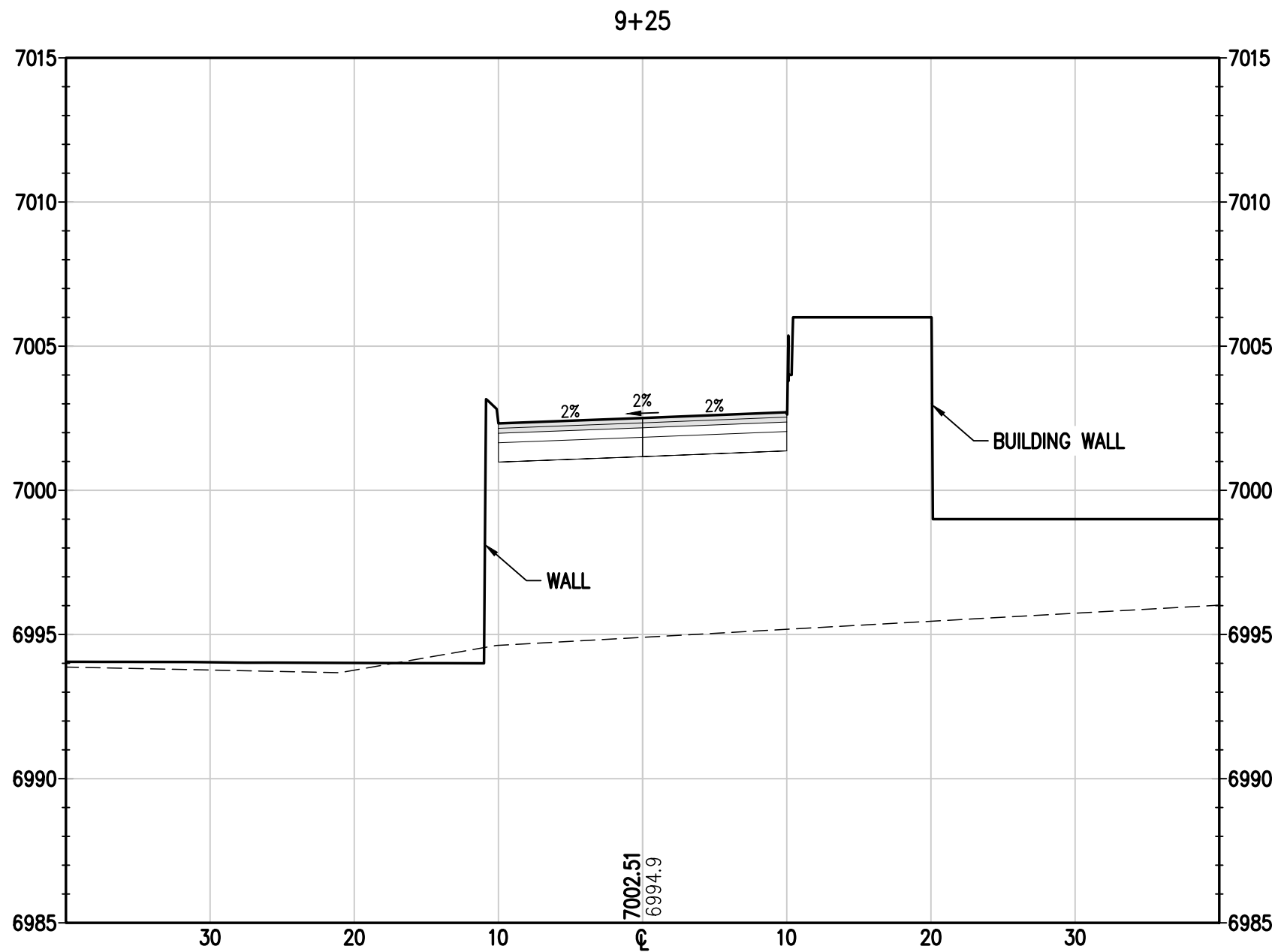
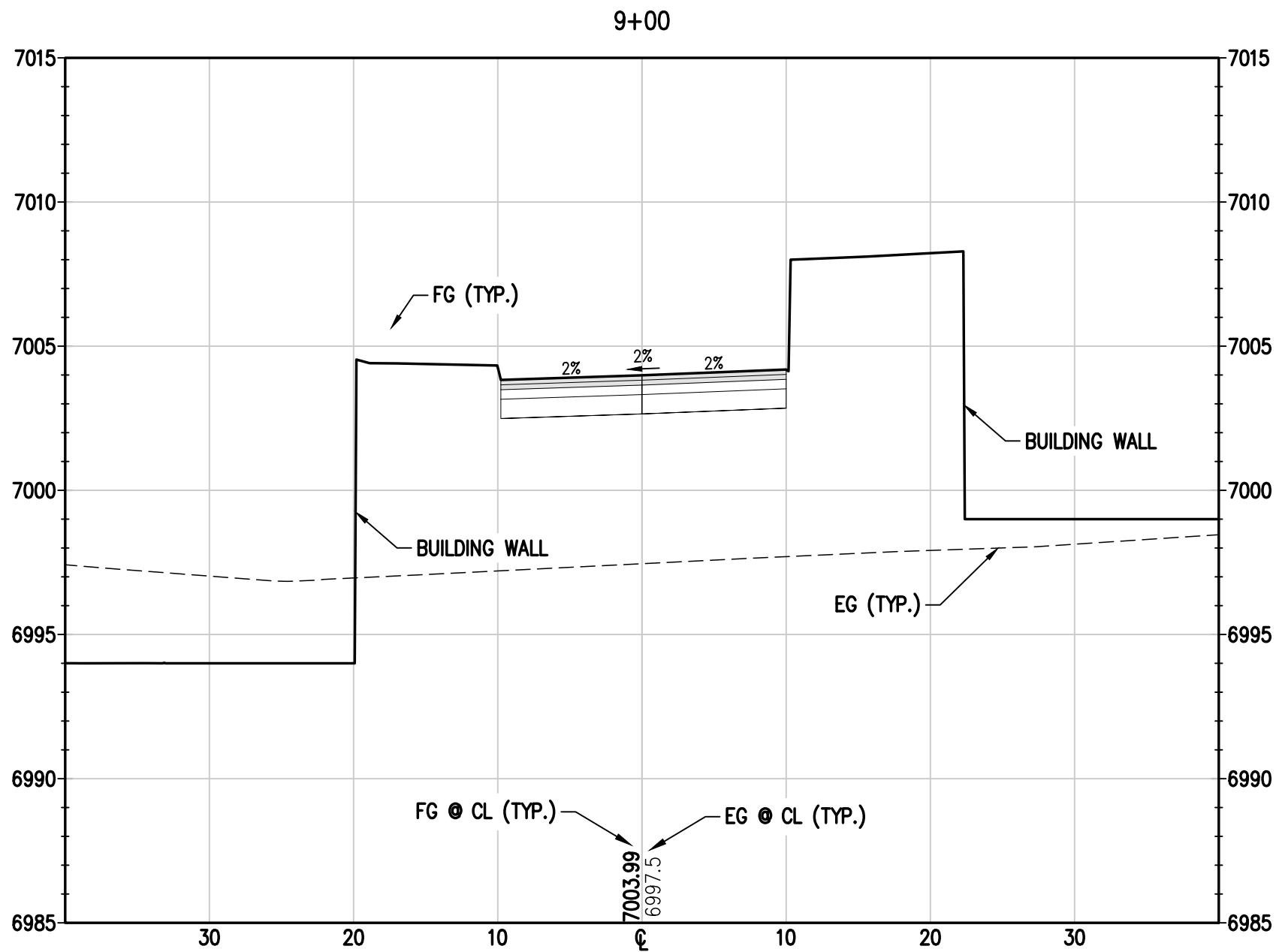
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REVISIONS PER DRT #1 COMMENTS	REVISIONS PER DRT #1 COMMENTS

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REVISIONS PER DRT #1 COMMENTS	REVISIONS PER DRT #1 COMMENTS

REVISION DESCRIPTION	REVISION DESCRIPTION
REVISIONS PER DRT #1 COMMENTS	REVISIONS PER DRT #1 COMMENTS

REVISION DESCRIPTION	REVISION DESCRIPTION
REVISIONS PER DRT #1 COMMENTS	REVISIONS PER DRT #1 COMMENTS

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STEAMBOAT ESQUIAR LP

STEAMBOAT SPRINGS

THE ASTRID

2410 SKI TRAIL LANE

CROSS SECTIONS 7

ROUTT COUNTY

PRELIMINARY
NOT FOR
CONSTRUCTION

FOR AND ON BEHALF OF
BASELINE CORPORATION

INITIAL SUBMITTAL 12/22/2022

DRAWING SIZE 24" X 36"

SURVEY FIRM LANDMARK, INC SURVEY DATE 06/03/22

JOB NO. C020235

DRAWING NAME 20235 CROSS SECTIONS.dwg

SHEET 32 OF 68

C30

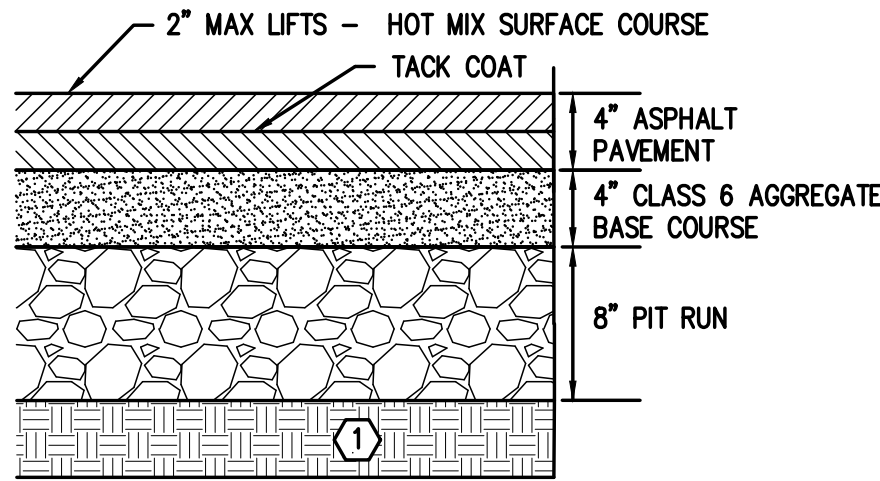
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REVISIONS PER DRT #1	COMMENTS	SMB	05/18/2023
REVISIONS PER DRT #1	COMMENTS	SMB	07/28/2023
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BASELINE

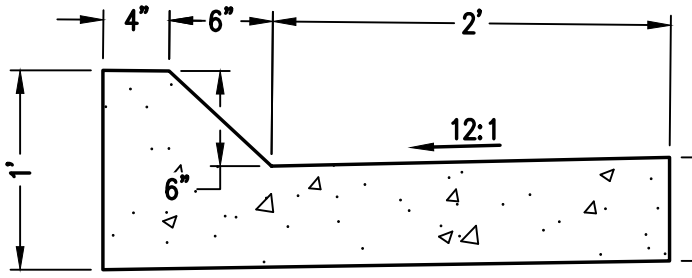
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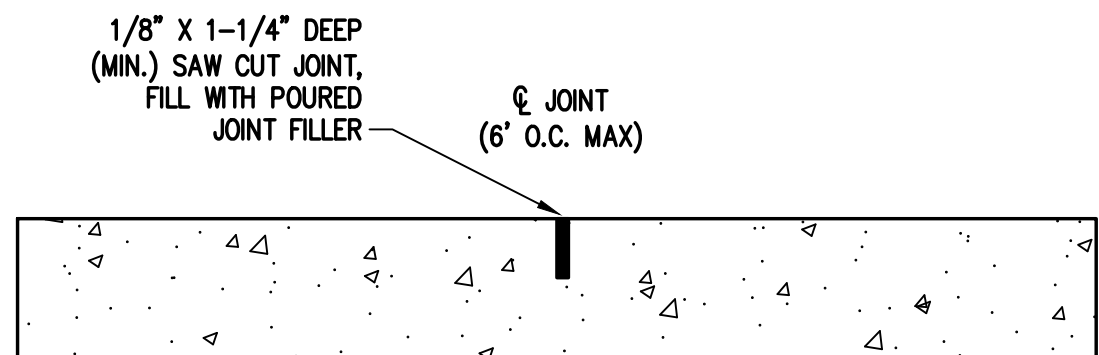
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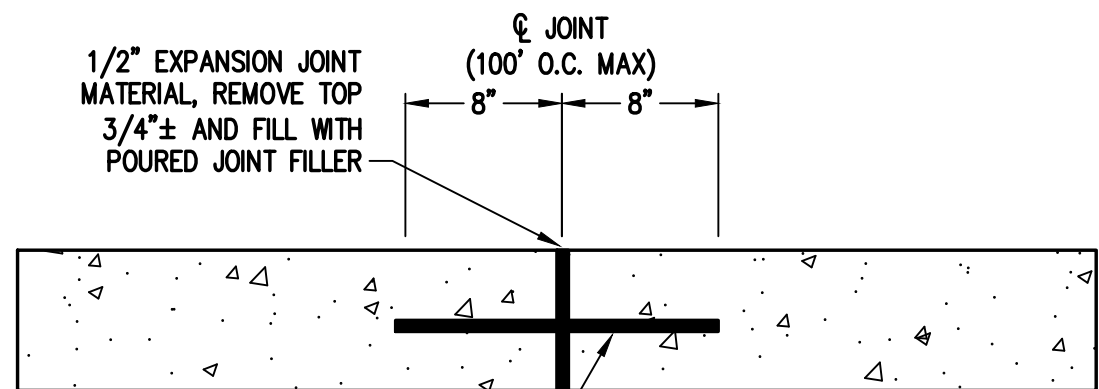
1 ASPHALT PAVEMENT SECTION
NOTE: CONFIRM WITH GEOTECHNICAL ENGINEER
NOT TO SCALE



2 CURB AND GUTTER TYPE 2 SECTION IIM
6 IN. MOUNTABLE - 2 FT. GUTTER
NOT TO SCALE



CONTRACTION JOINT



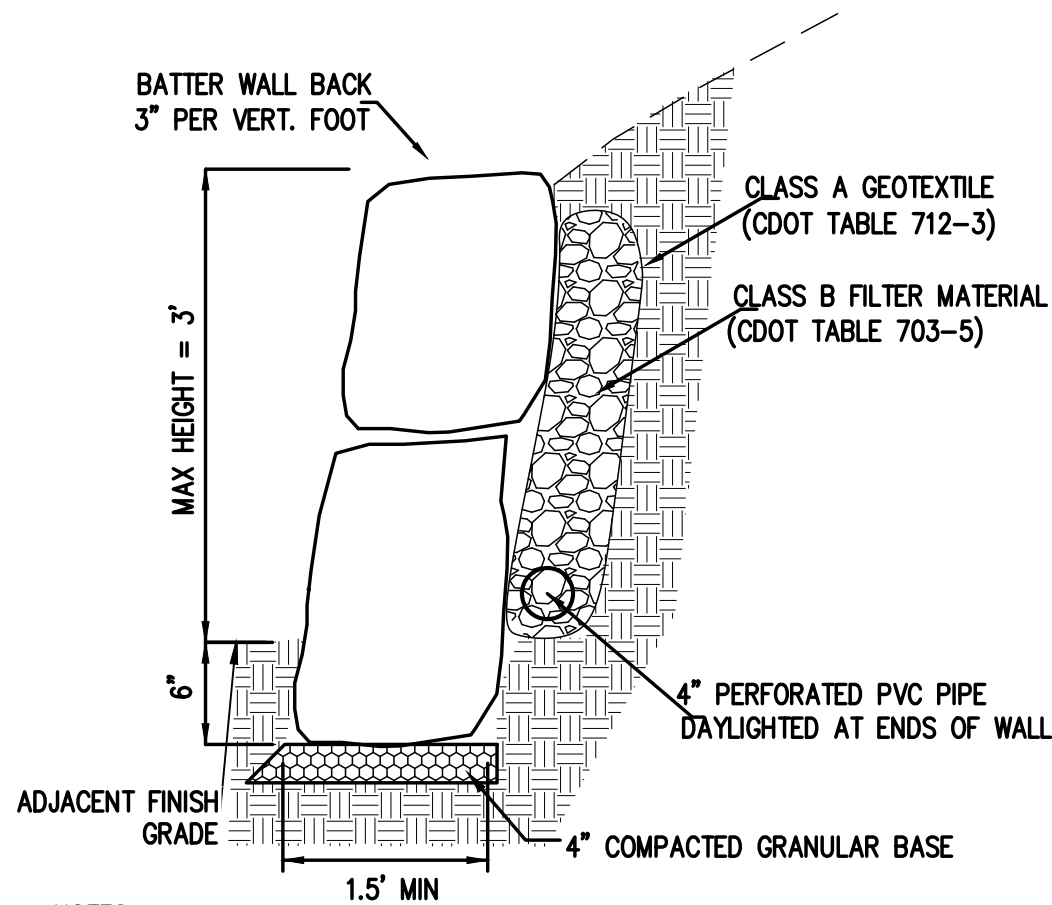
EXPANSION JOINT

1/2" X 1'-4" SMOOTH EPOXY COATED
DOWEL BAR @ 12" SPACING, HALF OF
DOWEL LENGTH SHALL BE COATED WITH
AN APPROVED BOND BREAKER

SEALANT AND JOINT NOTES:

- SEALANT IS REQUIRED ON ALL JOINTS WITHIN THE ROADWAY & DRIVEWAY. SEALANT IS ONLY REQUIRED IN EXPANSION JOINTS ON SIDEWALK, CURB, AND APRONS (SPLASH CURBS). WHERE REQUIRED, SEALANT IS APPLIED TO ALL EXPOSED HORIZONTAL AND VERTICAL SURFACES.
- CONTRACTOR TO DEVELOP JOINT LAYOUT PLAN AND PROVIDE TO ENGINEER FOR REVIEW.

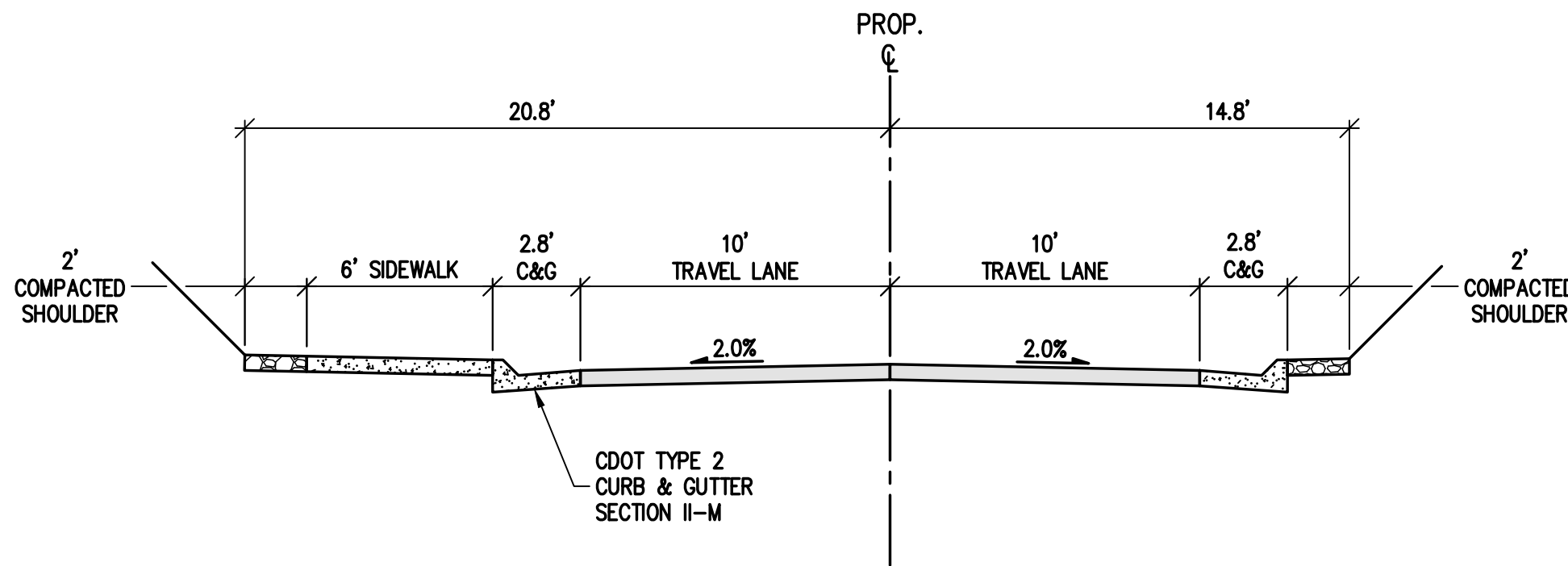
3 CONCRETE SIDEWALK JOINT DETAIL
NOT TO SCALE



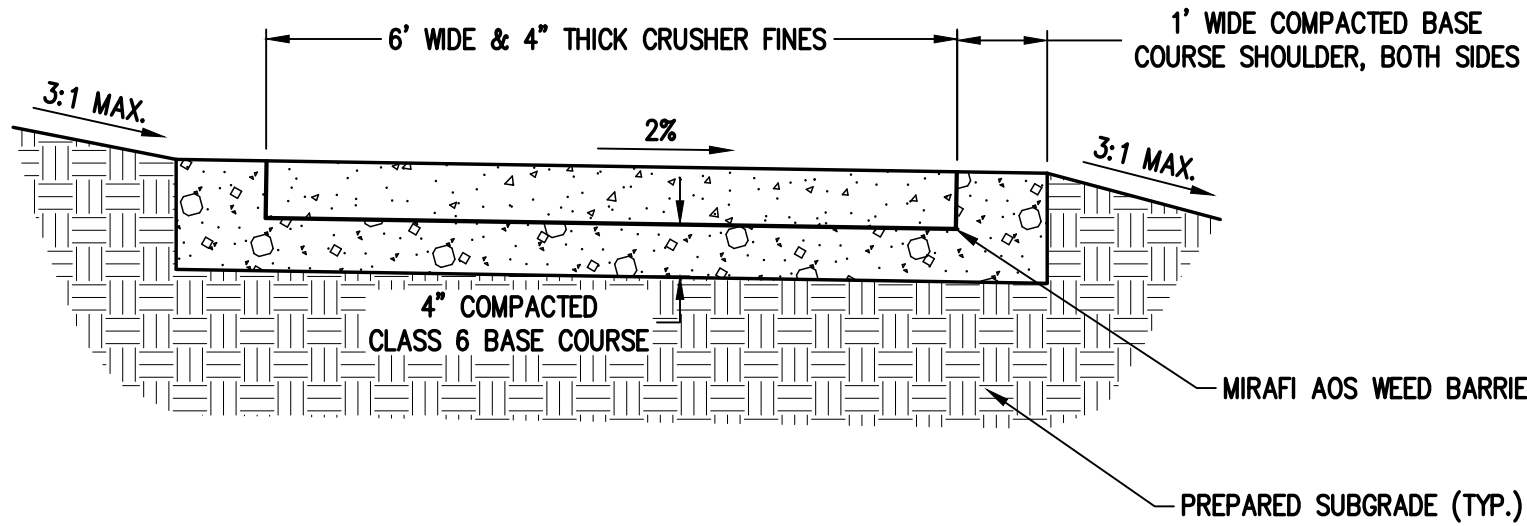
NOTES:

- LANDSCAPE BOULDERS TO BE FREE OF SURFACE BLEMISHES & CRACKS. CONTRACTOR TO COORDINATE WITH OWNER ON BOULDER SELECTION.
- BOULDERS ALONG BOTTOM COURSE TO BE LARGER FOR FOUNDATION OF STACKED WALL WITH APPROXIMATE DIMENSIONS OF 15" - 18". CONTRACTOR TO CAREFULLY PLACE AND FIT BOULDERS FOR SECURE AND STABLE STACKED CONDITION.

4 LANDSCAPE BOULDER RETAINING WALL
NOT TO SCALE



5 ACCESS DRIVE TYPICAL SECTION
NOT TO SCALE



6 SOFT SURFACE TRAIL TYPICAL SECTION
NOT TO SCALE

DESIGNED BY	TJM
DRAWN BY	TJM
CHECKED BY	MRB

REVISION DESCRIPTION	DATE	PREPARED BY
REVISIONS PER DRT #1 COMMENTS	05/18/2023	SMG
REVISIONS PER DRT #2 COMMENTS	07/28/2023	SMG

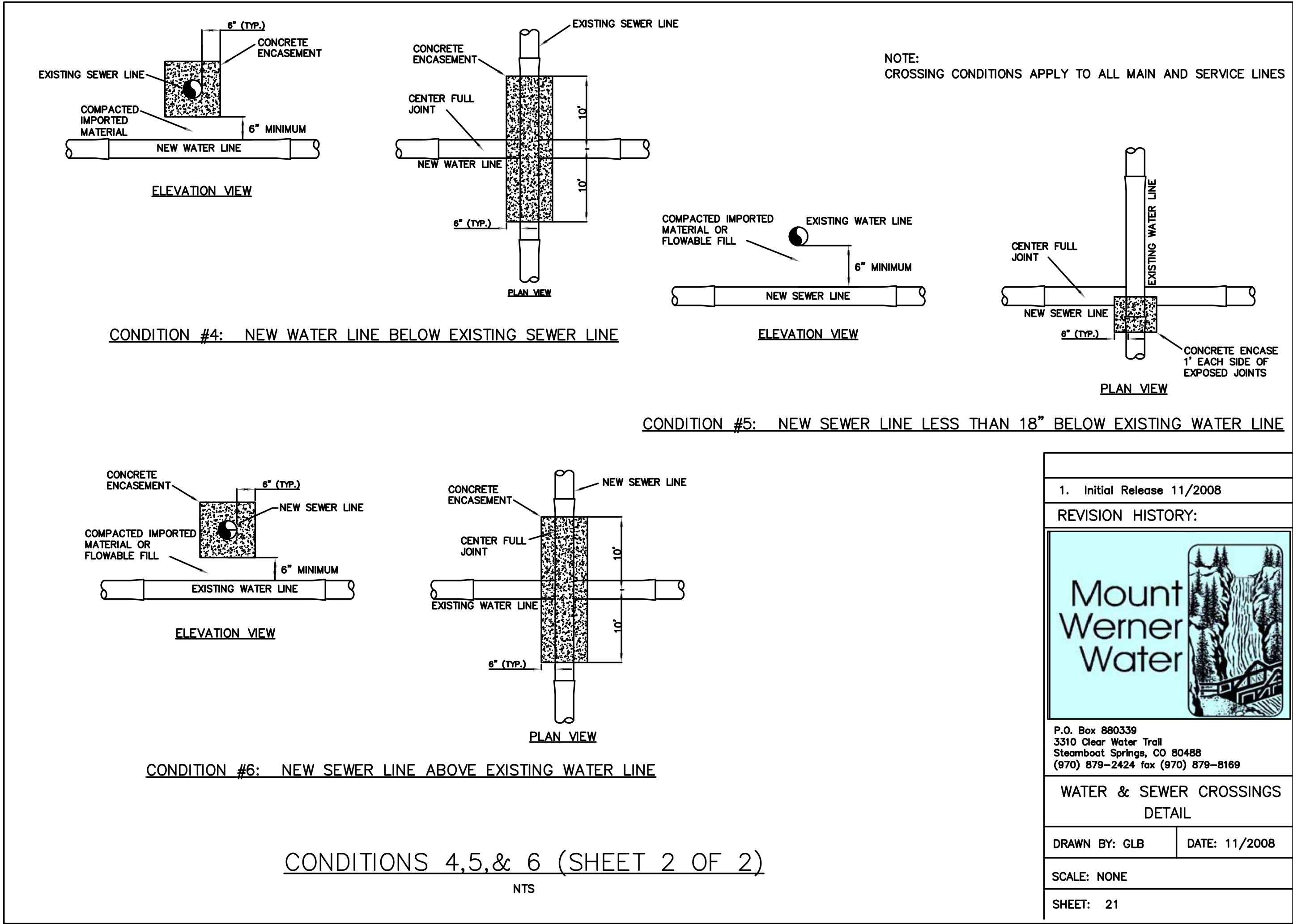
STEAMBOAT SPRINGS	ROUTT COUNTY
THE ASTRID	
2410 SKI TRAIL LANE	
TYPICAL SECTIONS & DETAILS	

PREPARED UNDER THE DIRECT SUPERVISION OF

**PRELIMINARY
NOT FOR
CONSTRUCTION**

FOR AND ON BEHALF OF BASELINE CORPORATION	
INITIAL SUBMITTAL	12/22/2022
DRAWING SIZE	24" X 36"
SURVEY FIRM	SURVEY DATE
LANDMARK, INC	06/03/22
JOB NO.	C020235
DRAWING NAME	20235 DETAILS.dwg
SHEET	33 OF 68

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1. Initial Release 11/2008	
REVISION HISTORY:	
P.O. Box 880339 3310 Clear Water Trail Steamboat Springs, CO 80488 (970) 879-2424 fax (970) 879-8169	
WATER & SEWER CROSSINGS DETAIL	
DRAWN BY: GLB	DATE: 11/2008
SCALE: NONE	
SHEET: 21	

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DESIGNED BY
TJM

DRAWN BY
TJM

CHECKED BY
MRB

REVISION DESCRIPTION

DATE

PREPARED BY

DATE

REVISIONS PER DRT #

COMMENTS

REVISIONS PER DRT #

COMMENTS

STEAMBOAT SPRINGS

ROUTE COUNTY

THE ASTRID

2410 SKI TRAIL LANE

MOUNT WERNER WATER DETAILS 6

FOR AND ON BEHALF OF
BASELINE CORPORATION

INITIAL SUBMITTAL

12/22/2022

DRAWING SIZE

24" X 36"

SURVEY FIRM

LANDMARK, INC

SURVEY DATE

06/03/22

JOB NO.

C020235

DRAWING NAME

20235 DETAILS.dwg

SHEET

39

OF

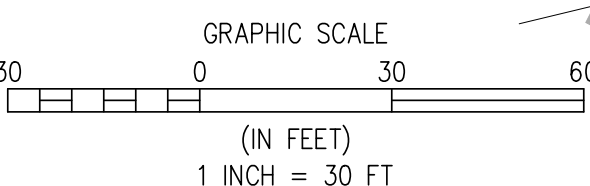
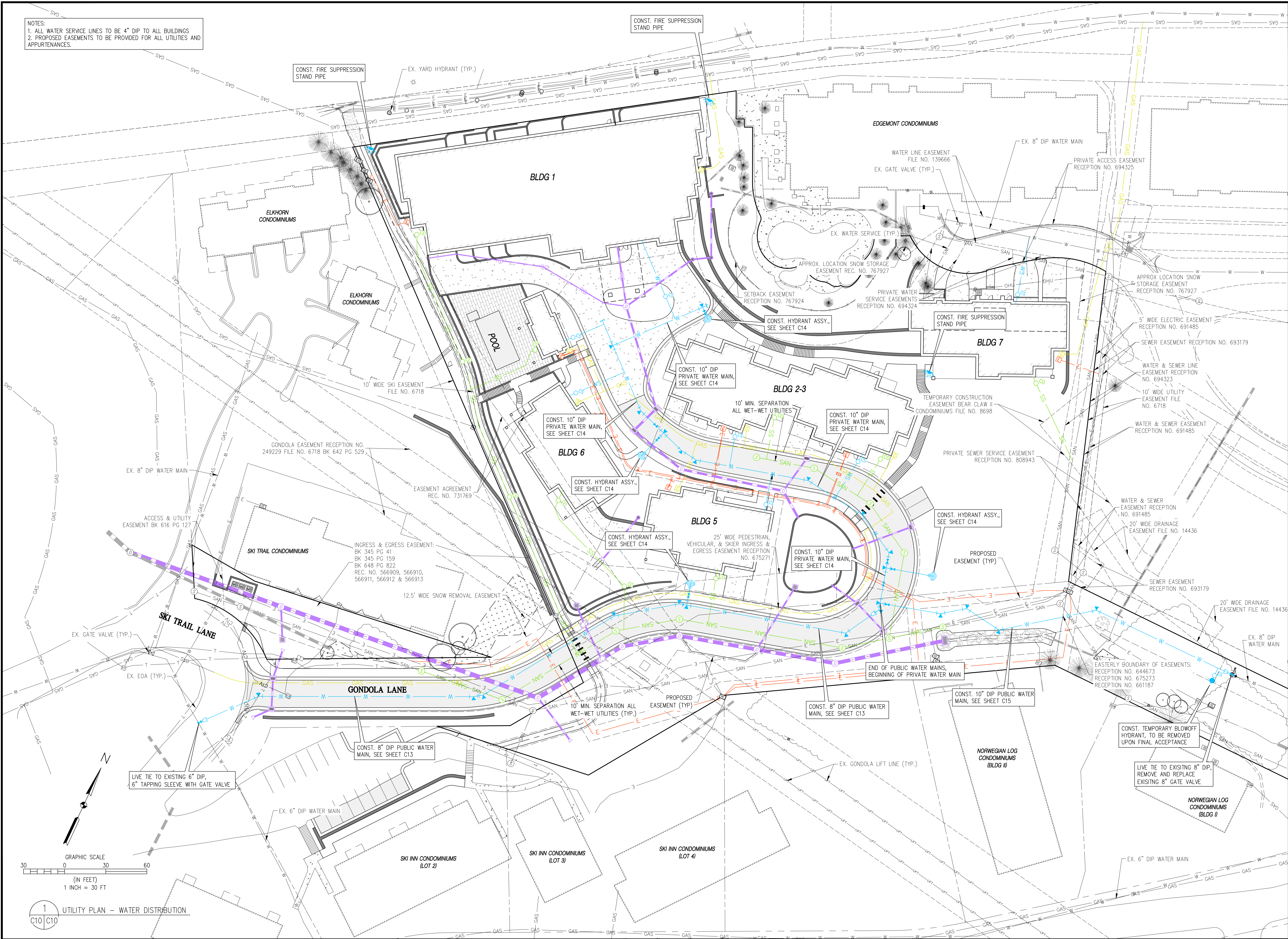
68

PRELIMINARY
NOT FOR
CONSTRUCTION

C37

c:\co20235 astrid-edgemont ph2\Drawings\CONCEPT\20235 UTILITY PLAN - WATER.dwg, 7/28/2023 10:48:34 AM, Steve Batchelder

NOTES:
1. ALL WATER SERVICE LINES TO BE 4" DIP TO ALL BUILDINGS
2. PROPOSED EASEMENTS TO BE PROVIDED FOR ALL UTILITIES AND APPURTENANCES.

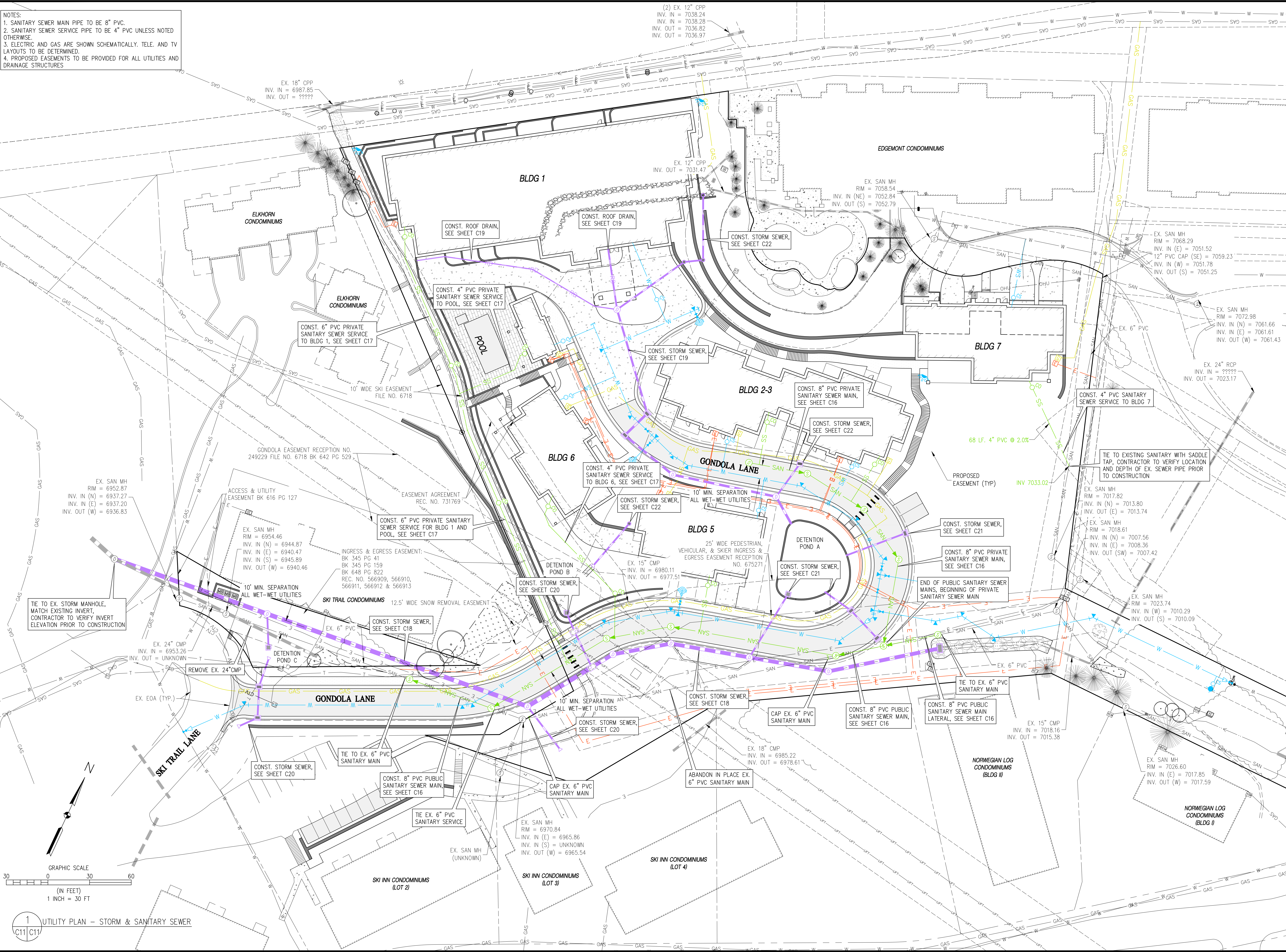


1
C10 C10 UTILITY PLAN - WATER DISTRIBUTION

DESIGNED BY	TJM	DATE	05/18/2023
PREPARED BY	SMB	REVISIONS PER DRT #	COMMENTS
	SMB	07/28/2023	
DRAWN BY	TJM	REVISIONS PER DRT #	COMMENTS
CHECKED BY	MRB	REVISIONS PER DRT #	COMMENTS
ROUTT COUNTY			
STEAMBOAT ESQUIAR LP			
THE ASTRID			
2410 SKI TRAIL LANE			
UTILITY PLAN - WATER DISTRIBUTION			
STEAMBOAT SPRINGS			
PREPARED UNDER THE DIRECT SUPERVISION OF			
PRELIMINARY NOT FOR CONSTRUCTION			
FOR AND ON BEHALF OF BASELINE CORPORATION			
INITIAL SUBMITTAL	12/22/2022		
DRAWING SIZE	24" X 36"		
SURVEY FIRM	LANDMARK, INC	SURVEY DATE	06/03/22
JOB NO.	C020235		
DRAWING NAME	20235 UTILITY PLAN - WATER.dwg		
SHEET	12	OF	68

c:\co20235 astrid-edgemont ph2\Drawings\CONCEPT\20235 UTILITY PLAN - SEWER.dwg, 7/28/2023 10:48:17 AM, Steve Botchelder

- NOTES:
1. SANITARY SEWER MAIN PIPE TO BE 8" PVC.
 2. SANITARY SEWER SERVICE PIPE TO BE 4" PVC UNLESS NOTED OTHERWISE.
 3. ELECTRIC AND GAS ARE SHOWN SCHEMATICALLY. TELE. AND TV LAYOUTS TO BE DETERMINED.
 4. PROPOSED EASEMENTS TO BE PROVIDED FOR ALL UTILITIES AND DRAINAGE STRUCTURES



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DESIGNED BY
TJM

DATE
05/18/2023

PREPARED BY
SMB

REVISIONS PER DRT #/ COMMENTS

ROUTT COUNTY

STEAMBOAT SPRINGS

FOR AND ON BEHALF OF
BASELINE CORPORATION

DRAWN BY
TJM

DATE
07/28/2023

CHECKED BY
MRB

REVISIONS PER DRT #/ COMMENTS

THE ASTRID
2410 SKI TRAIL LANE
UTILITY PLAN - STORM & SANITARY SEWER

PRELIMINARY
NOT FOR CONSTRUCTION

INITIAL SUBMITTAL 12/22/2022
DRAWING SIZE 24" X 36"
SURVEY FIRM SURVEY DATE
LANDMARK, INC 06/03/22
JOB NO. C020235
DRAWING NAME
20235 UTILITY PLAN - SEWER.dwg
SHEET 1.3 OF 6.8

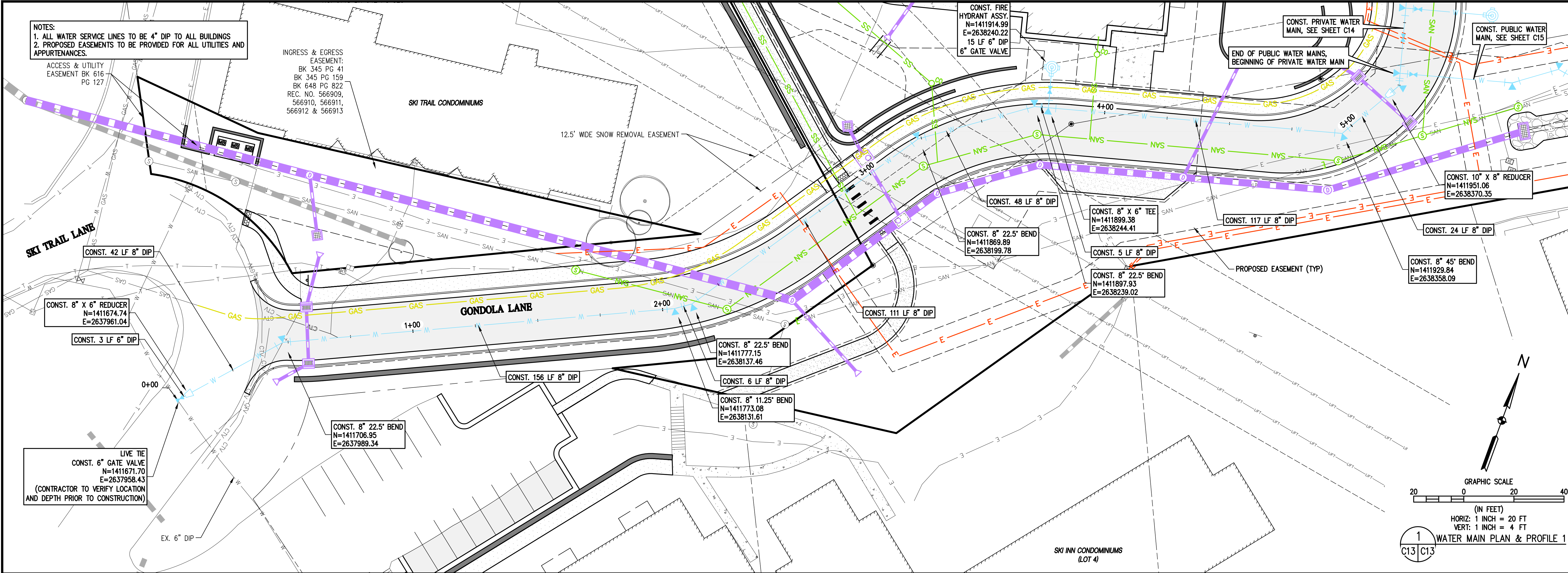
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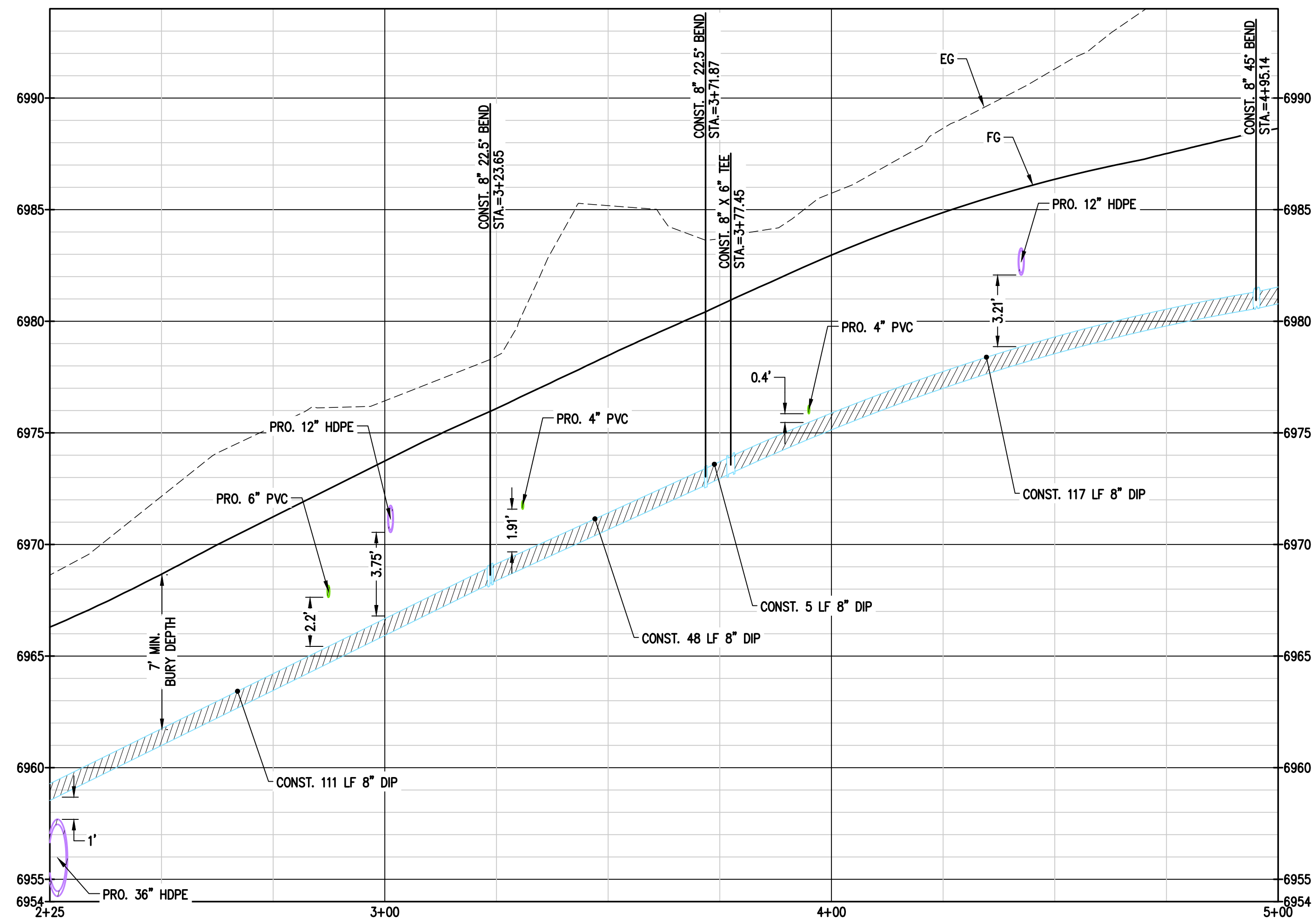
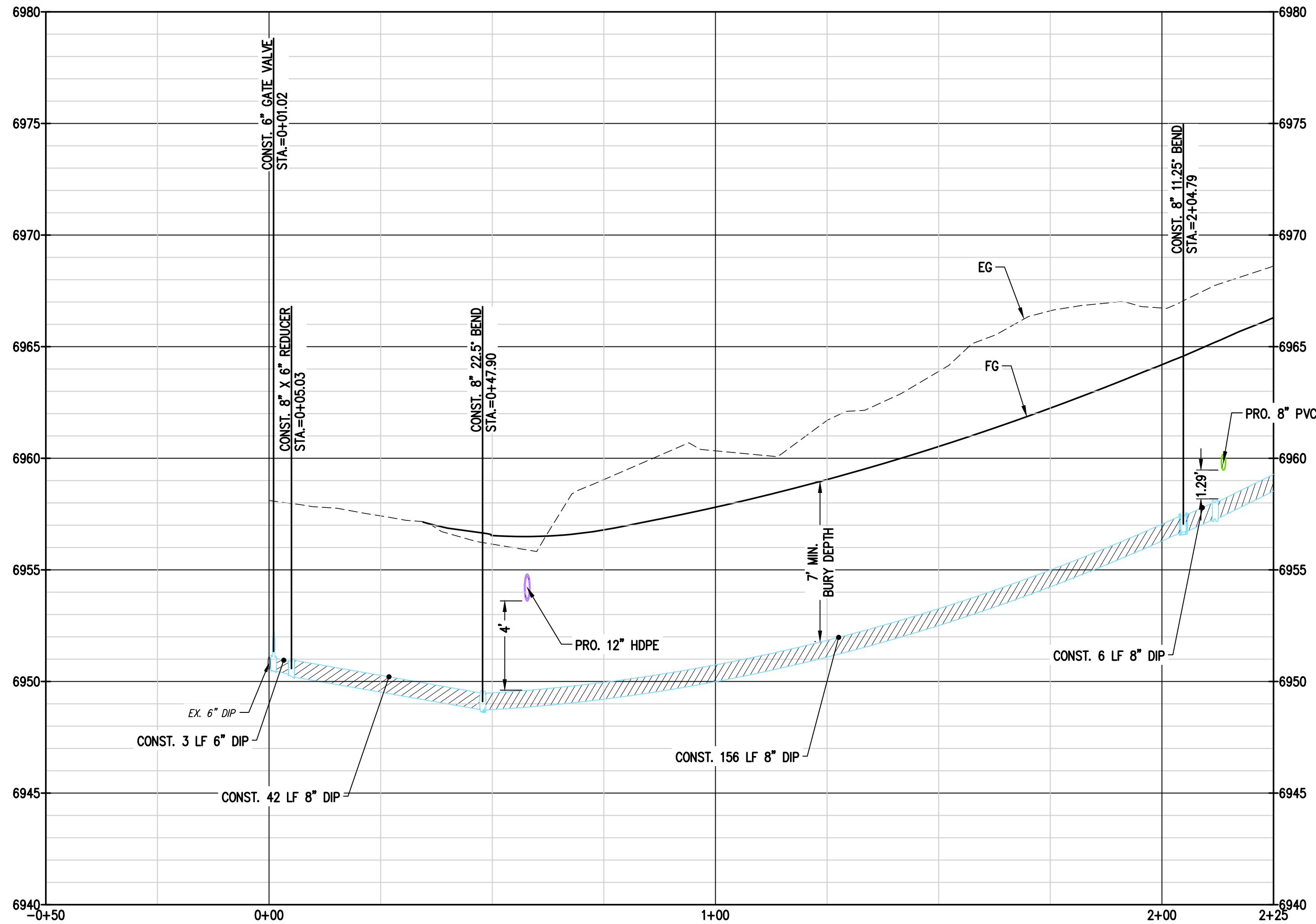
FOR AND ON BEHALF OF BASELINE CORPORATION	
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LANDMARK, INC	06/03/22
JOB NO.	C020235
DRAWING NAME	
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SHEET 14	OF 68

DATE OF ISSUE	12/2/2022
SCALE	1" = 36"
KEY DATE	12/3/22
PROJECT NO.	2235
FILE NAME	RY.dwg

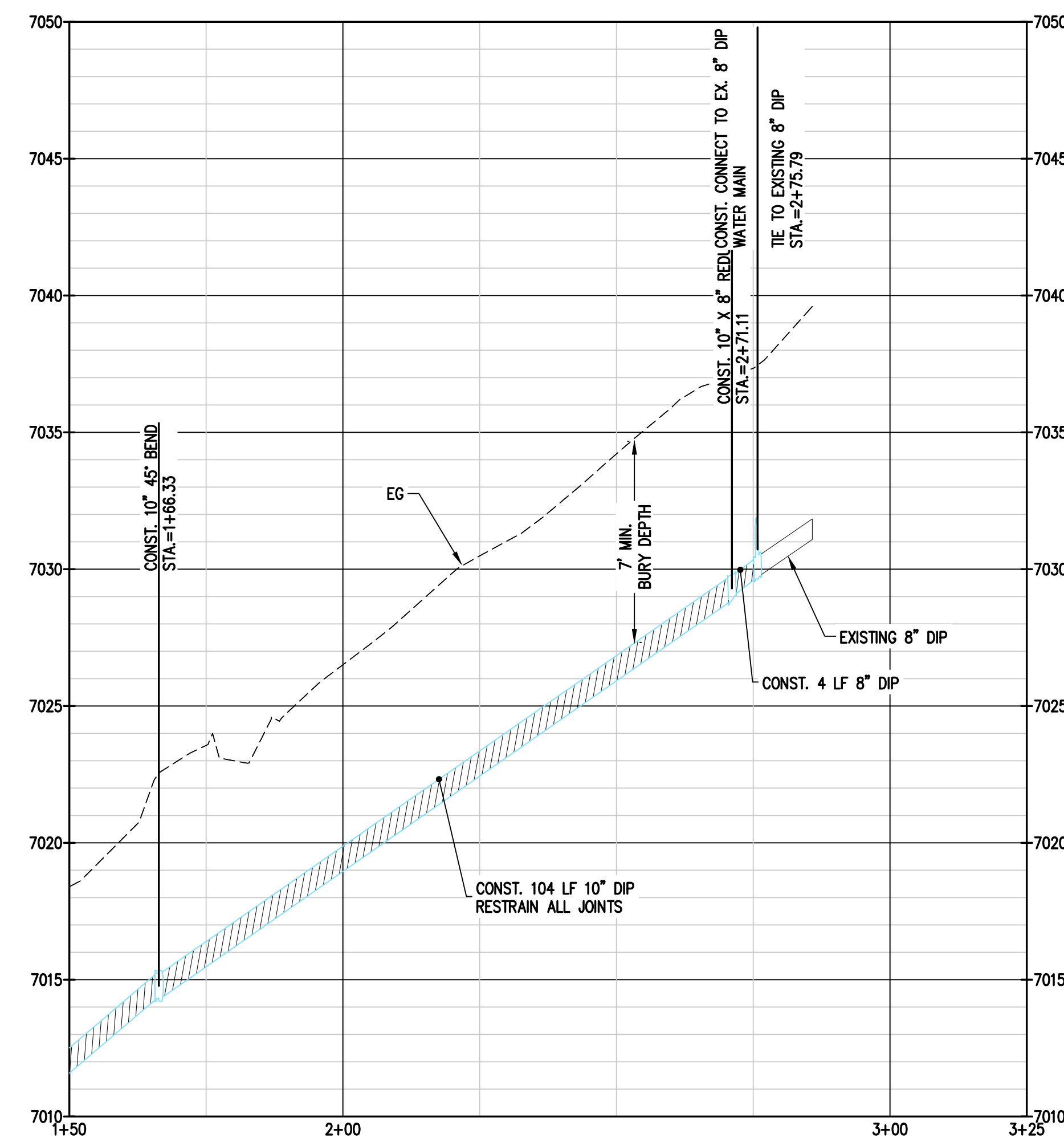
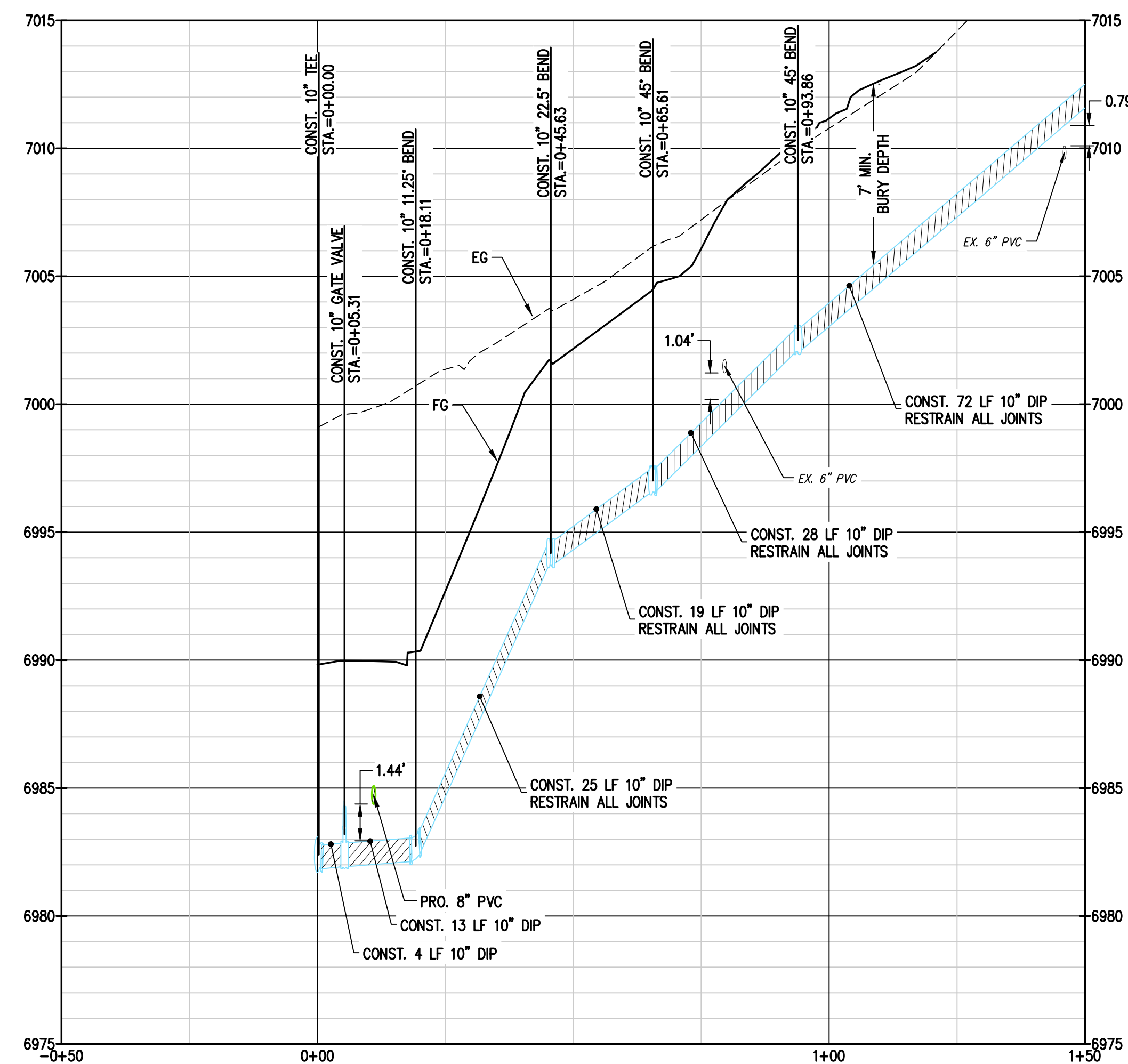
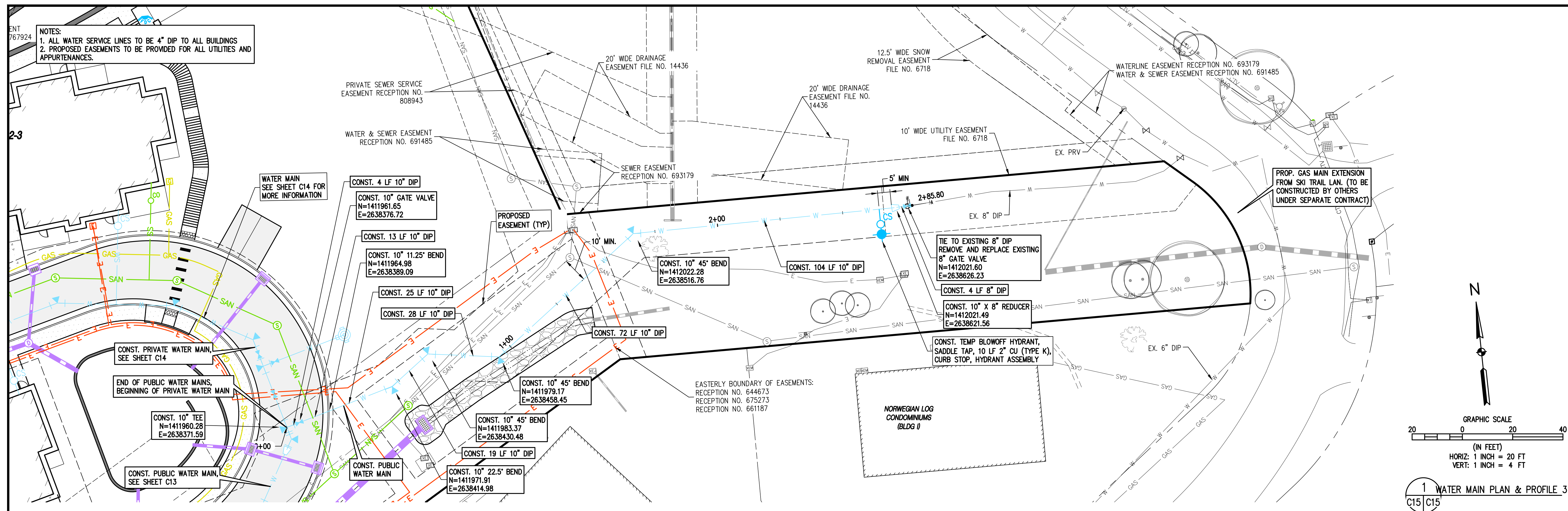
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DESIGNED BY	TJM	DATE	05/18/2023
PREPARED BY	SMG	DATE	07/28/2023
REVISIONS PER DRT #	COMMENTS	REVISIONS PER DRT #	COMMENTS
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STEAMBOAT ESQUIAR LP	ROUTT COUNTY
THE ASTRID	
2410 SKI TRAIL LANE	
WATER MAIN PLAN & PROFILE 1	
STEAMBOAT SPRINGS	
PREPARED UNDER THE DIRECT SUPERVISION OF	
PRELIMINARY NOT FOR CONSTRUCTION	
FOR AND ON BEHALF OF	
INITIAL SUBMITTAL	12/22/2022
DRAWING SIZE	24" X 36"
SURVEY FIRM	LANDMARK, INC
SURVEY DATE	06/03/22
JOB NO.	C020235
DRAWING NAME	20235 P&P-WATER PLAN.dwg
SHEET	15 OF 68
C13	



<p>STEAMBOAT ESQUIER LP</p> <p>STEAMBOAT SPRINGS</p> <p>THE ASTRID</p> <p>2410 SKI TRAIL LANE</p> <p>WATER MAIN PLAN & PROFILE 3</p>		<p>ROUTT COUNTY</p>	<p>REVISION DESCRIPTION</p> <p>REVISIONS PER DRT #1 COMMENTS</p> <p>REVISIONS PER DRT #1 COMMENTS</p>	<p>PREPARED BY</p> <p>SMB</p> <p>DATE</p> <p>05/18/2023</p>	<p>DESIGNED BY</p> <p>TJM</p>
			<p>REVISIONS PER DRT #1 COMMENTS</p>	<p>DRAWN BY</p> <p>TJM</p>	<p>CHECKED BY</p> <p>MRB</p>
<p>BASELINE</p> <p>Engineering · Planning · Surveying</p> <p>1169 HILLTOP PKWY, SUITE 204 • STEAMBOAT SPRINGS, CO 80477</p> <p>P. 970.879.1825 • F. 303.940.9559 • www.baselinecc.com</p>					

NOTES:

1. SANITARY SEWER MAIN PIPE TO BE 8" PVC.
2. SANITARY SEWER SERVICE PIPE TO BE 4" PVC UNLESS NOTED OTHERWISE.
3. ELECTRIC AND GAS ARE SHOWN SCHEMATICALLY. TELE. AND TV LAYOUTS TO BE DETERMINED.
4. PROPOSED EASEMENTS TO BE PROVIDED FOR ALL UTILITIES AND DRAINAGE STRUCTURES

BLDG 2-3

CONST. 43 LF. 8" PVC
CONST. 39 LF. 4" PVC @ 2.0% MIN

CONST. 49 LF. 8" PVC
CONST. 39 LF. 4" PVC @ 2.0% MIN

SSMH-07-MAIN STA. 4+45.37
CONST. 4" DIA. MANHOLE
N = 1,412,001.01
E = 2,638,372.09

CONST. 44 LF. 8" PVC
EX. 6" PVC

SSMH-01-LAT-B
CONST. 4" DIA. DROP MANHOLE
TIE TO EXISTING MAIN
CONTRACTOR TO VERIFY LOCATION
AND INVERT PRIOR TO CONSTRUCTION
N = 1,411,963.75
E = 2,638,420.50

SSMH-06-MAIN STA. 3+82.15
CONST. 4" DIA. DROP MANHOLE
N = 1,411,939.94
E = 2,638,388.44

SSMH-05-MAIN STA. 3+47.12
CONST. 4" DIA. MANHOLE
N = 1,411,919.05
E = 2,638,360.31

SSMH-04-MAIN STA. 2+26.49
CONST. 4" DIA. MANHOLE
N = 1,411,887.82
E = 2,638,243.79

SSMH-03-MAIN STA. 1+79.40
CONST. 4" DIA. MANHOLE
N = 1,411,860.44
E = 2,638,205.48

SSMH-02-MAIN STA. 0+82.40
CONST. 4" DIA. DROP MANHOLE
N = 1,411,779.94
E = 2,638,151.38

SSMH-01-MAIN
CONST. 4" DIA. MANHOLE
TIE TO EXISTING MAIN
CONTRACTOR TO VERIFY LOCATION
& INVERT PRIOR TO CONSTRUCTION
N = 1,411,774.01
E = 2,638,089.30

BLDG 6

4" PVC SANITARY SERVICE TO POOL, SEE SHEET C17

6" PVC SANITARY SERVICE TO BLDG 1, SEE SHEET C17

6" PVC SANITARY SERVICE TO BLDG 1 & POOL, SEE SHEET C17

SANITARY SERVICE TO BLDG 6, SEE SHEET C17

CONST. 97 LF. 8" PVC

CONST. 48 LF. 8" PVC

CONST. 41 LF. 4" PVC @ 2.0% MIN

CONST. 49 LF. 8" PVC

CONST. 121 LF. 8" PVC

CONST. 63 LF. 8" PVC

CONST. 64 LF. 8" PVC

EXISTING SANITARY MAIN TO BE ABANDONED IN PLACE

REMOVE 5 LF SANITARY PIPING AND CAP

EX. SANITARY MAIN TO BE ABANDONED IN PLACE

REMOVE 5 LF SANITARY PIPING AND CAP

THE EXISTING SANITARY PIPE INTO MH, CONTRACTOR TO VERIFY LOCATION AND INVERT PRIOR TO CONSTRUCTION

BLDG 5

SSMH-10-MAIN STA. 5+80.27
CONST. 4" DIA. MANHOLE
N = 1,412,018.59
E = 2,638,244.86

SSMH-09-MAIN STA. 5+37.42
CONST. 4" DIA. MANHOLE
N = 1,412,029.21
E = 2,638,286.37

SSMH-08-MAIN STA. 4+89.05
CONST. 4" DIA. MANHOLE
N = 1,412,022.99
E = 2,638,334.34

ELKHORN CONDOMINIUMS

SKI TRAIL CONDOMINIUMS

NORWEGIAN LOG CONDOMINIUMS (BLDG II)

SKI INN CONDOMINIUMS (LOT 4)

GONDOLA LANE

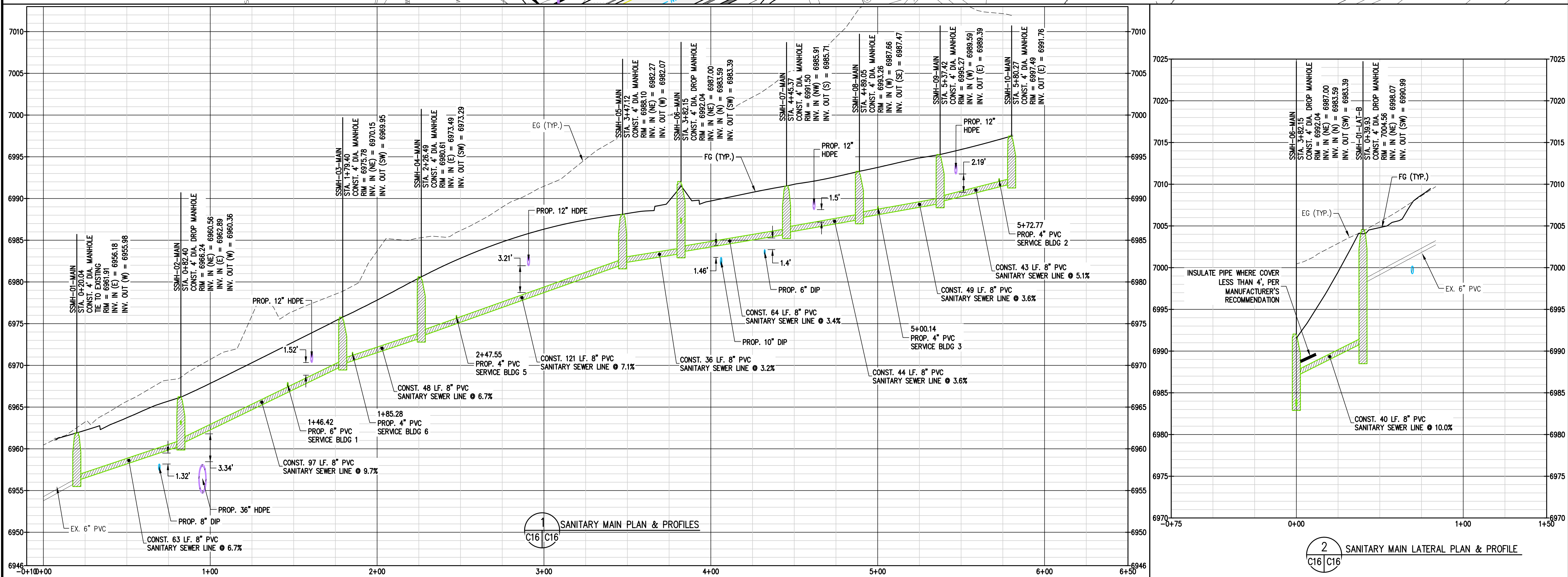
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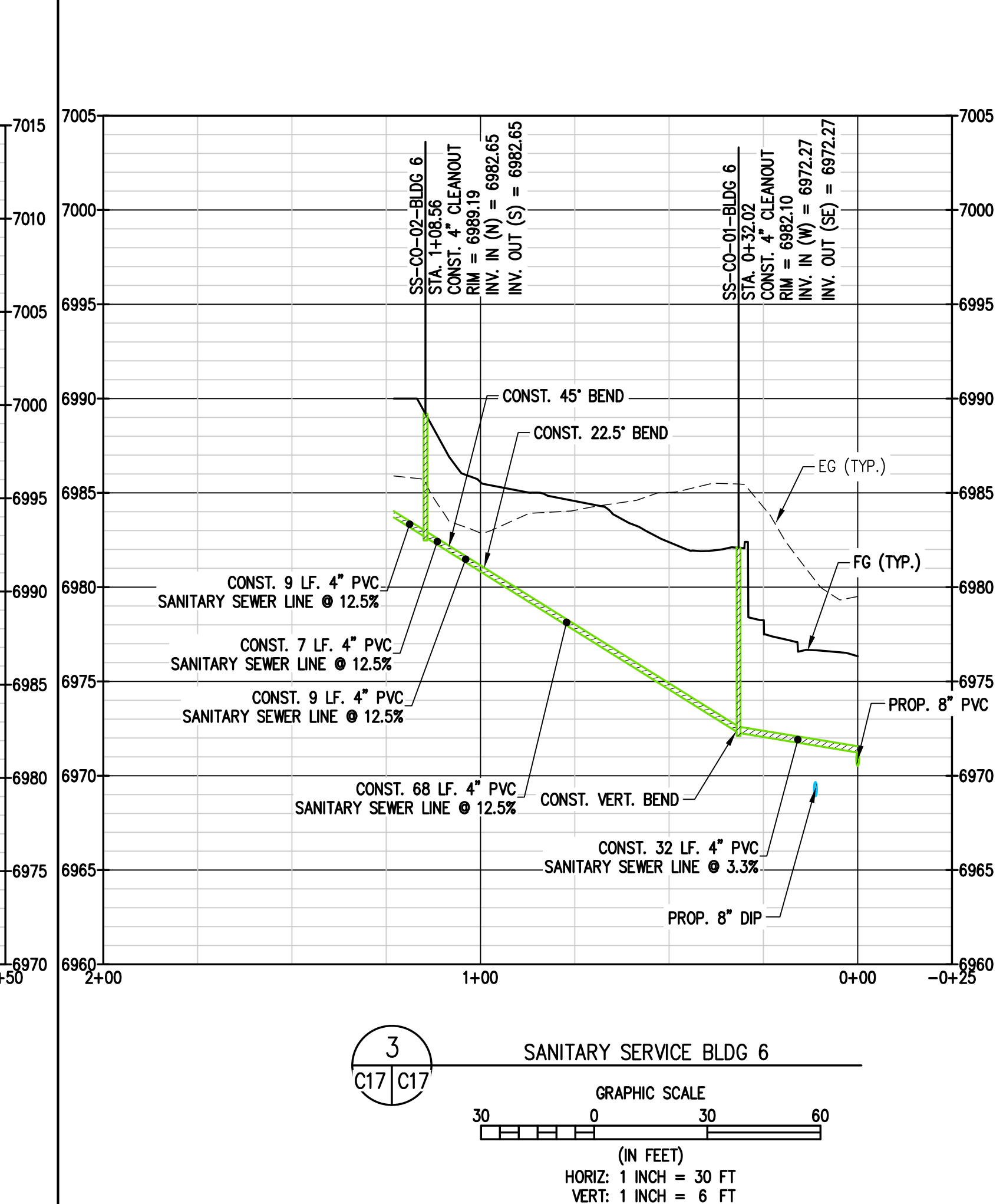
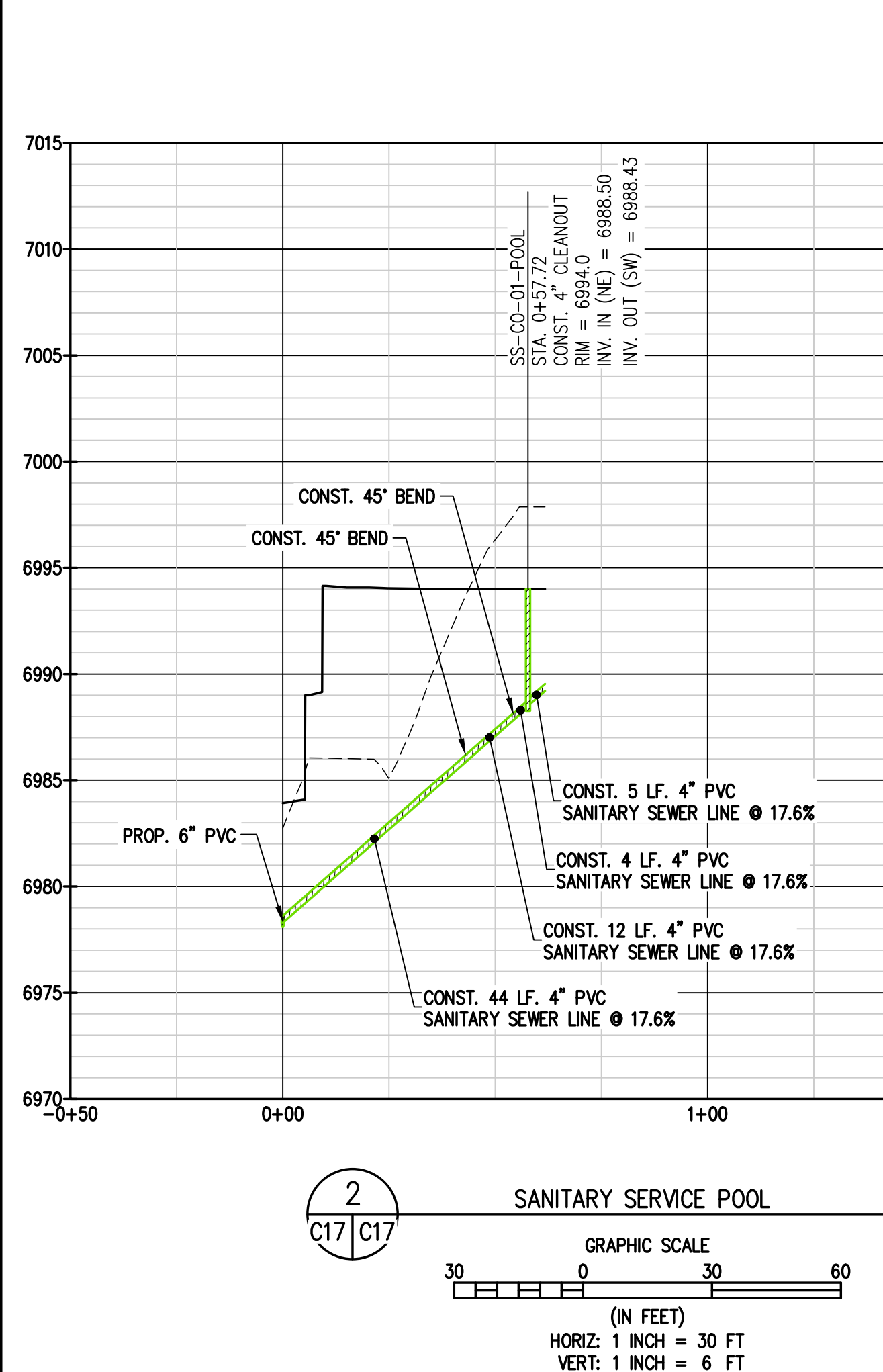
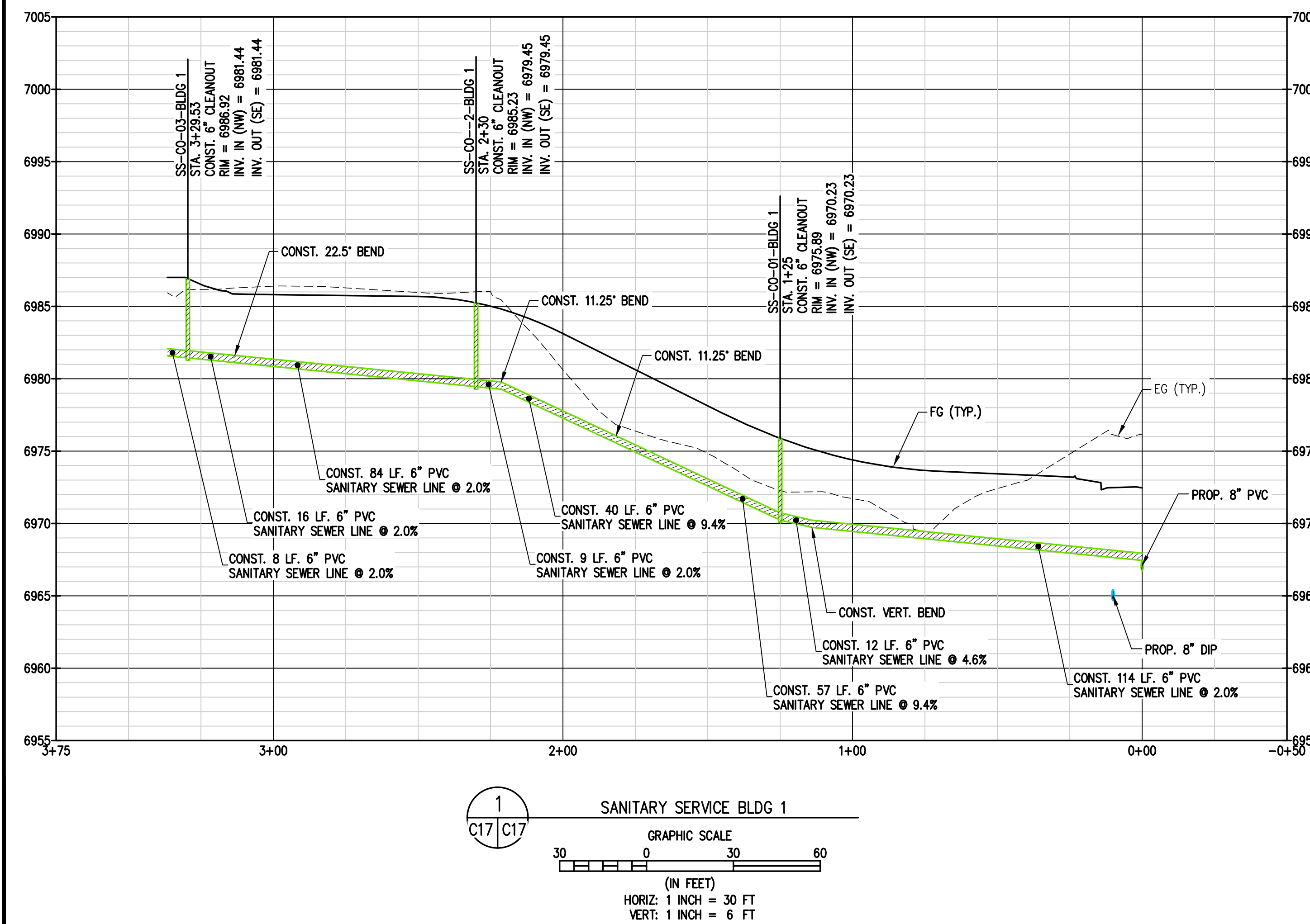
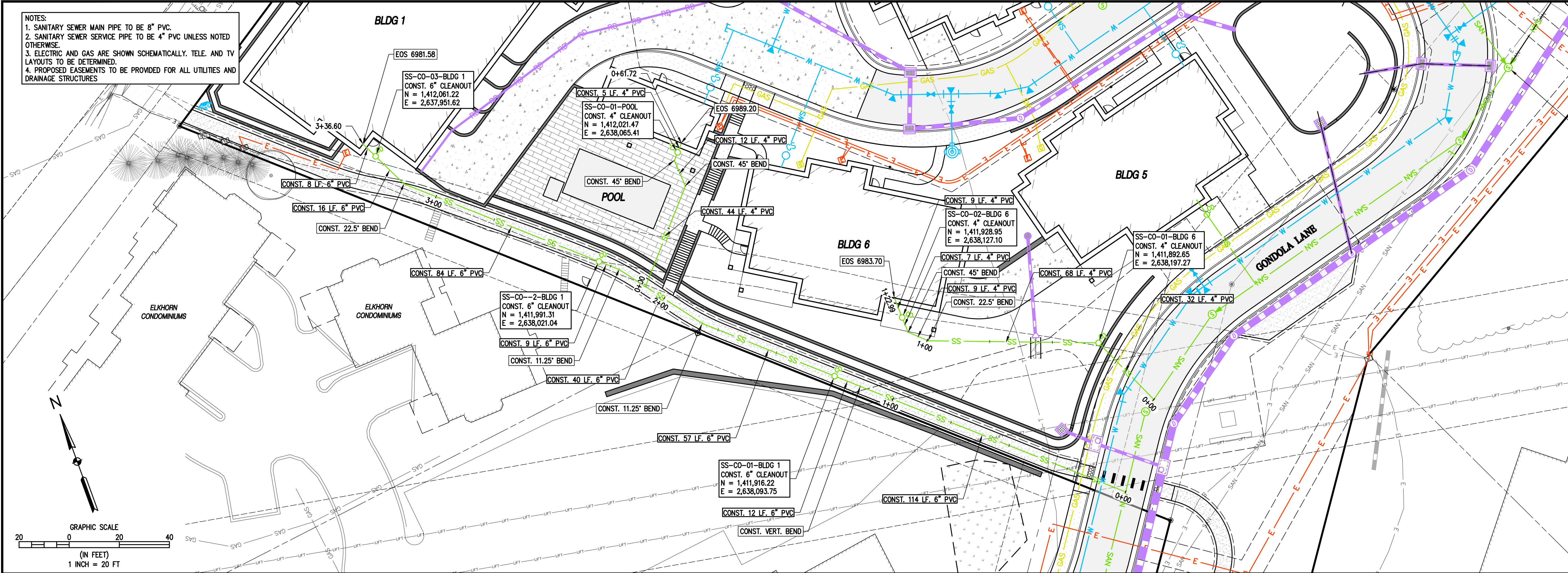
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TJM	05/18/2023	SMG	1	COMMENTS
TJM	07/28/2023	SMG	2	COMMENTS
MRB				

ROUTE COUNTY

STEAMBOAT ESQUIAR LP

THE ASTRID
2410 SKI TRAIL LANE
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DRAWING SIZE 24" X 36"

SURVEY FIRM LANDMARK, INC

SURVEY DATE 06/03/22

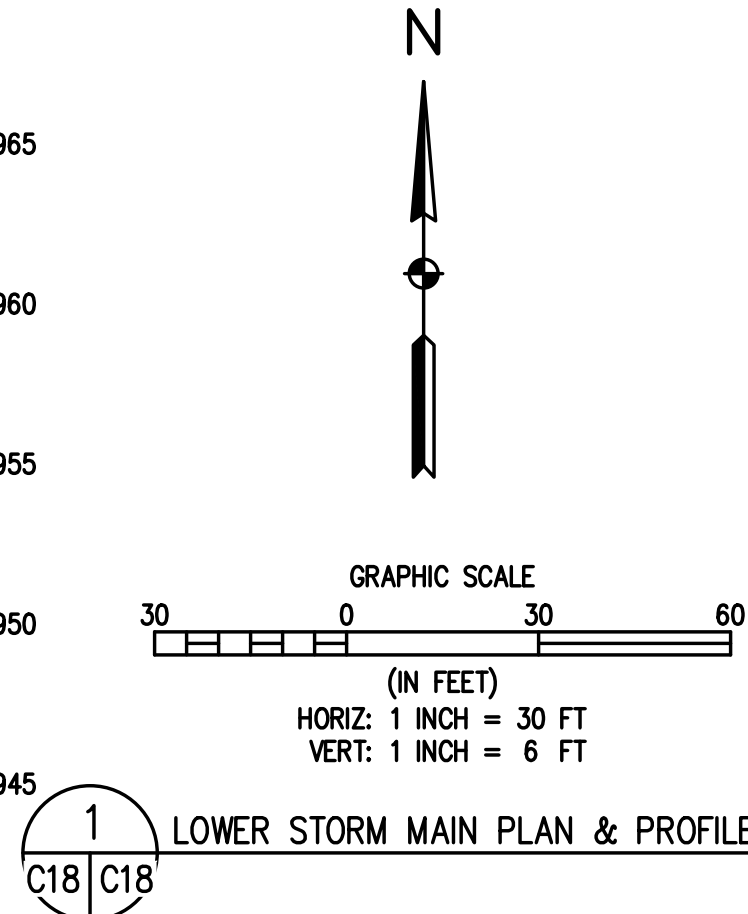
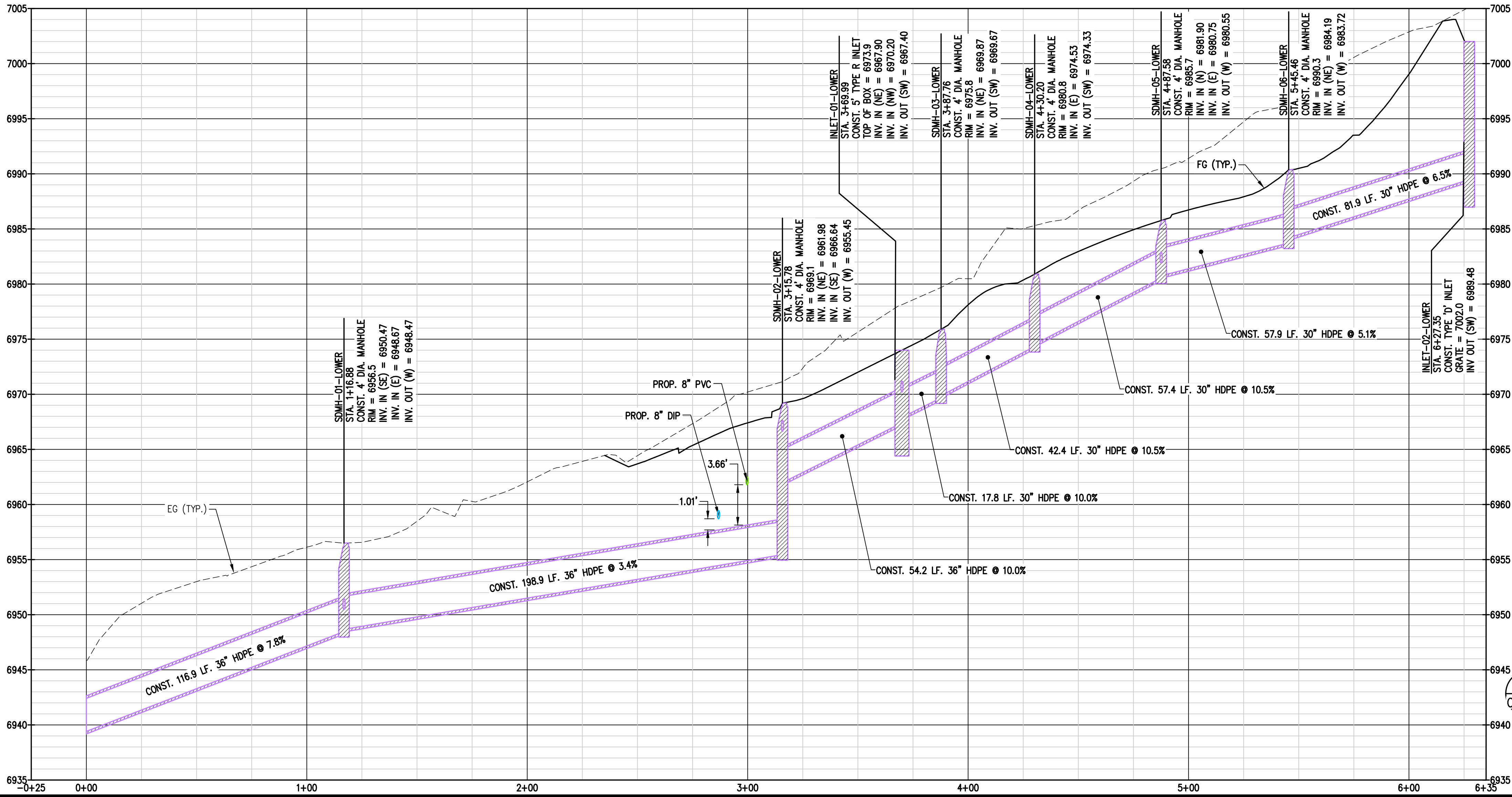
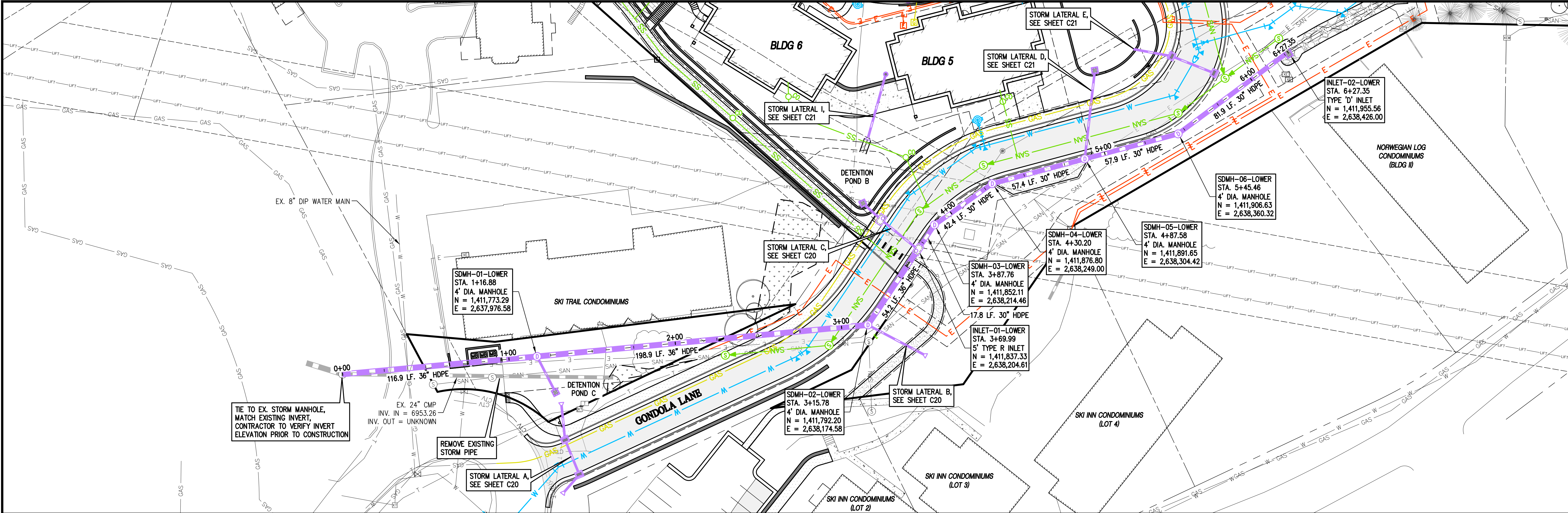
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REVISIONS PER DRT #

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SURVEY FIRM

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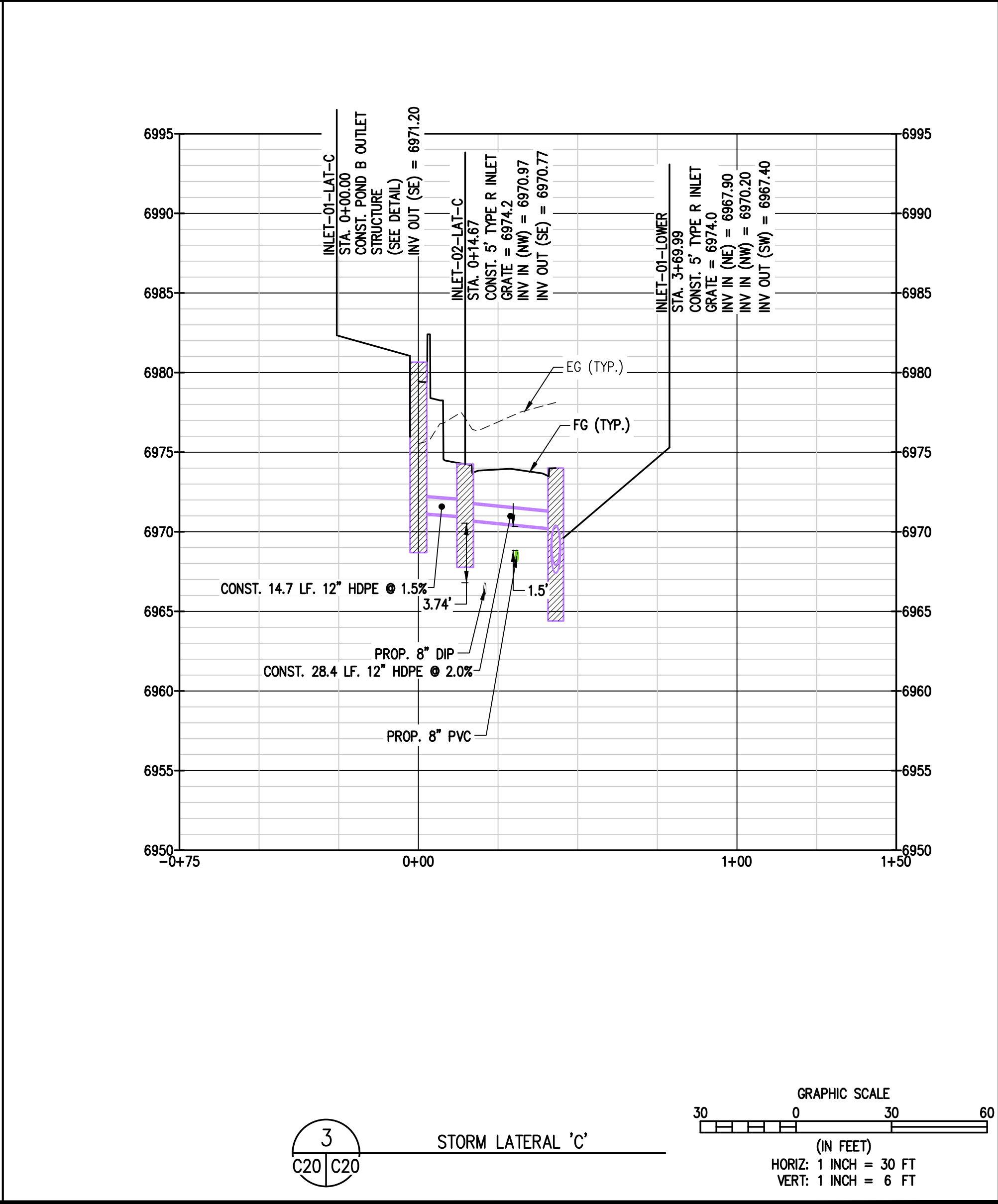
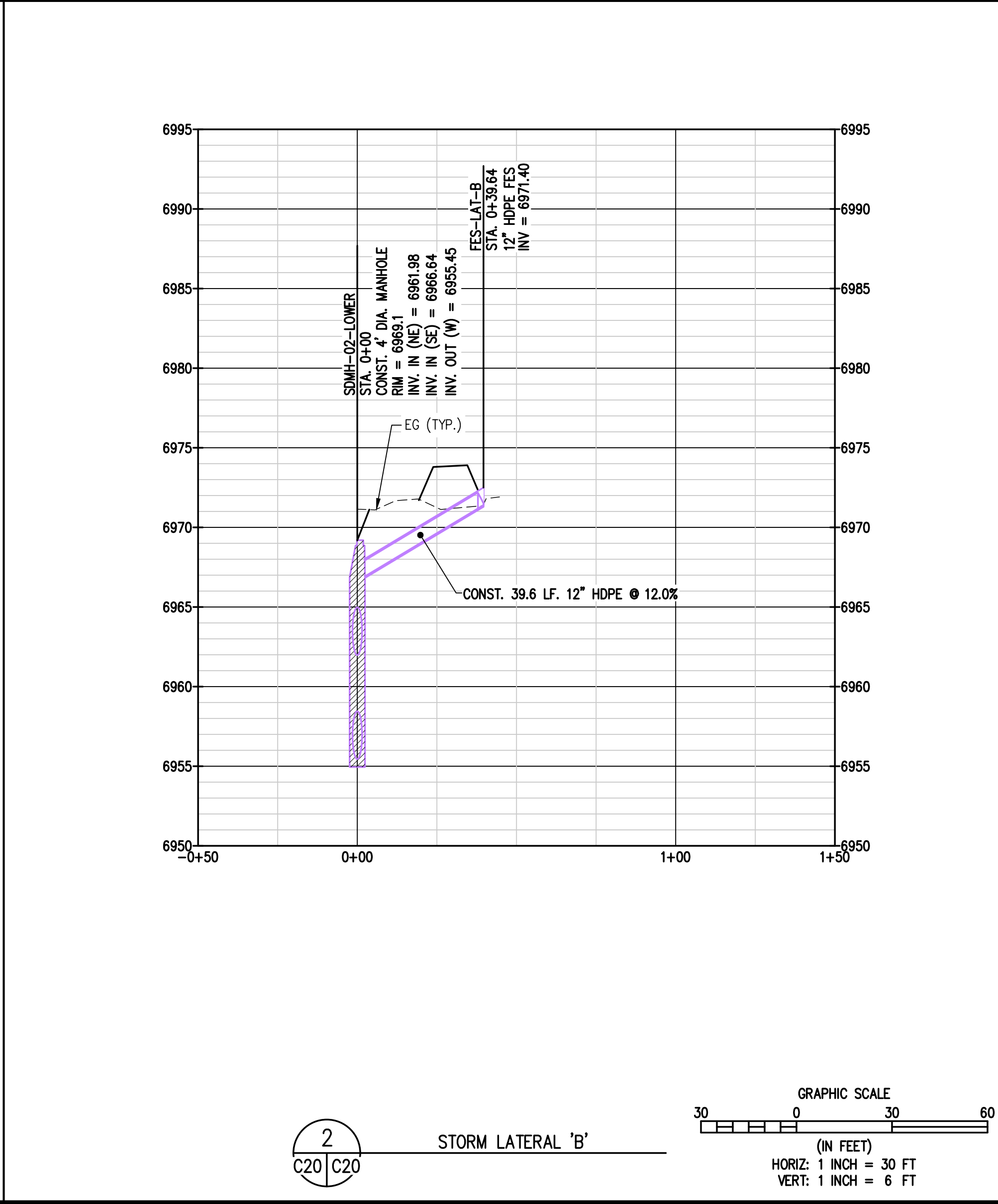
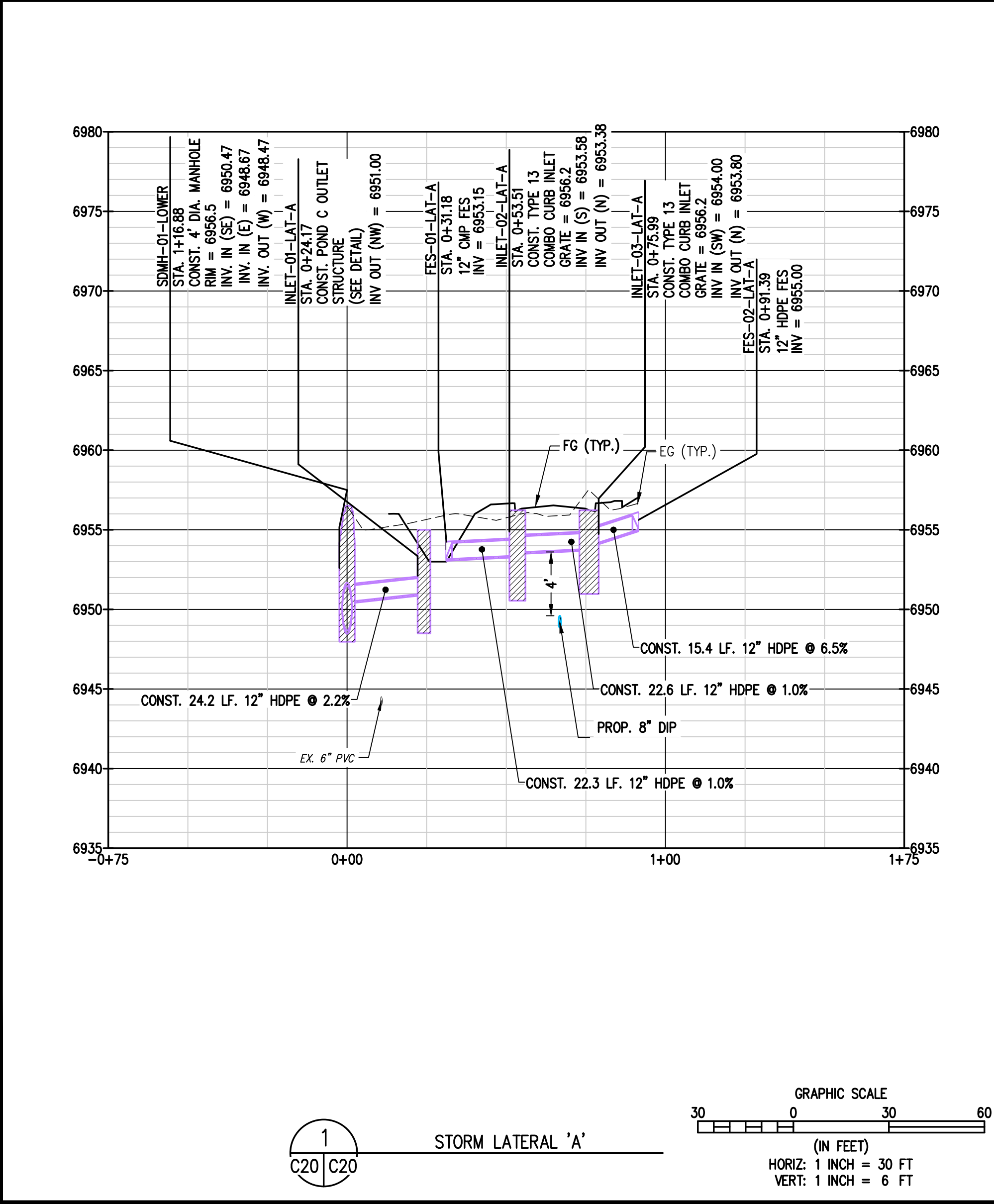
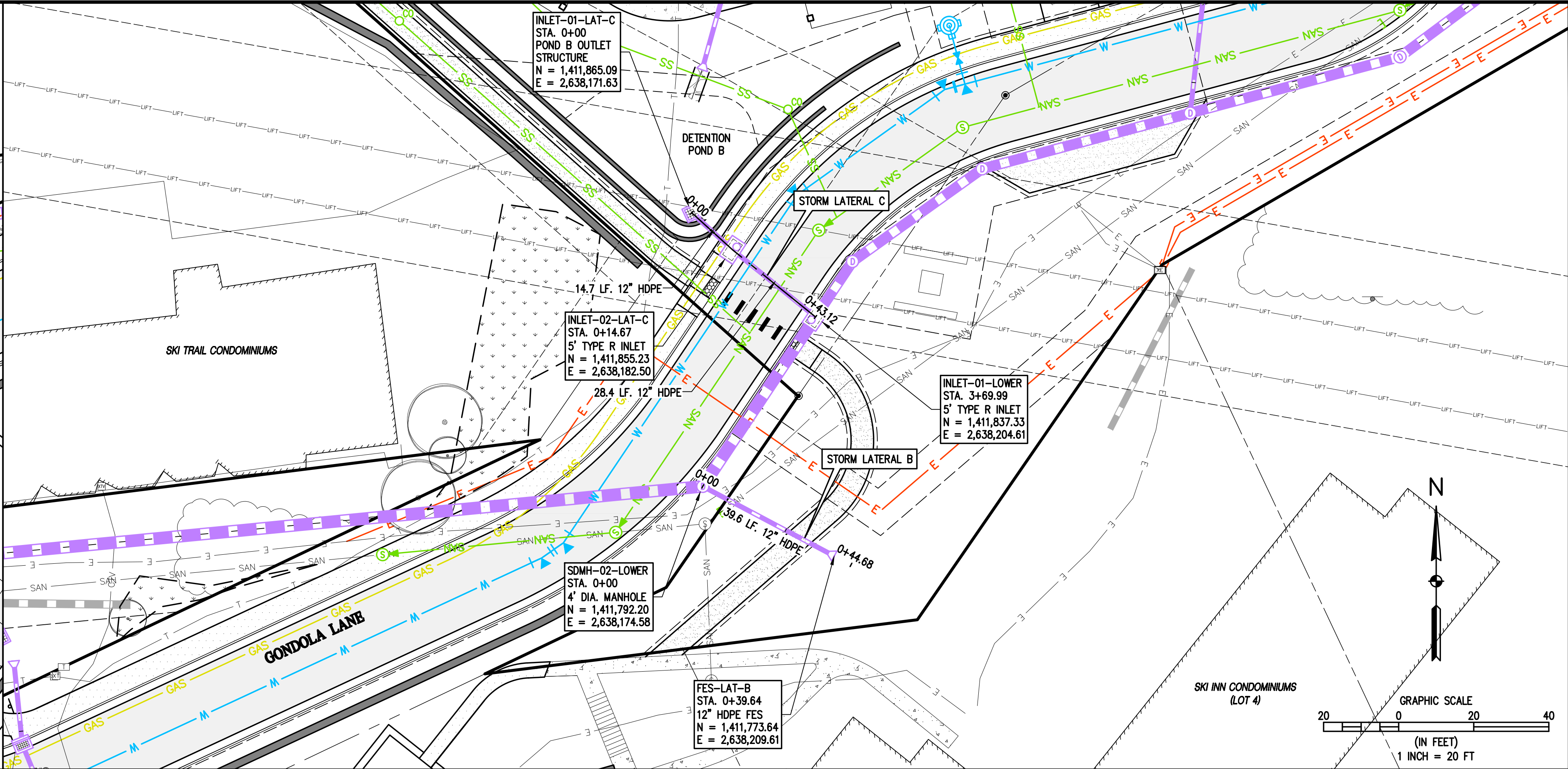
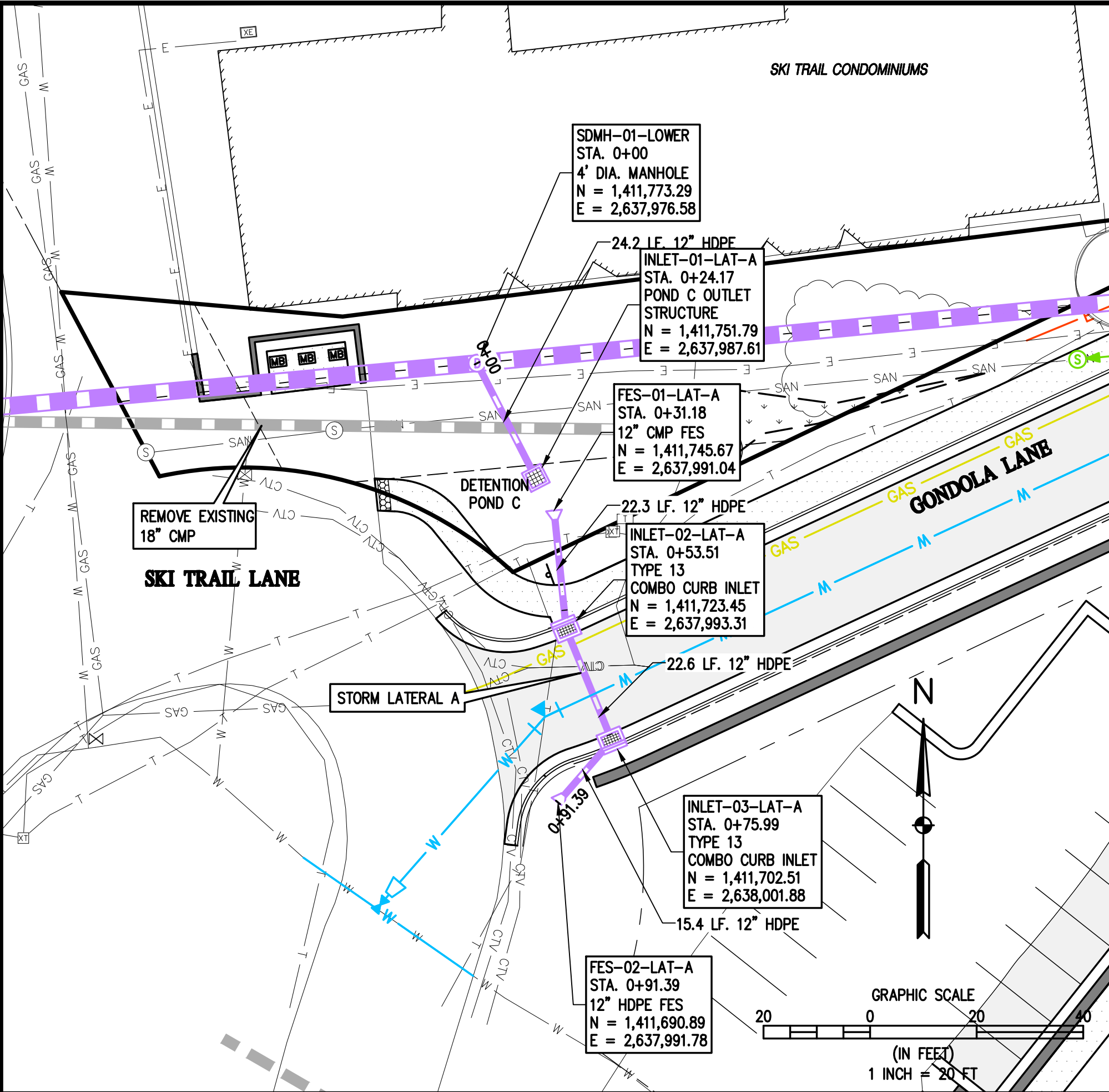
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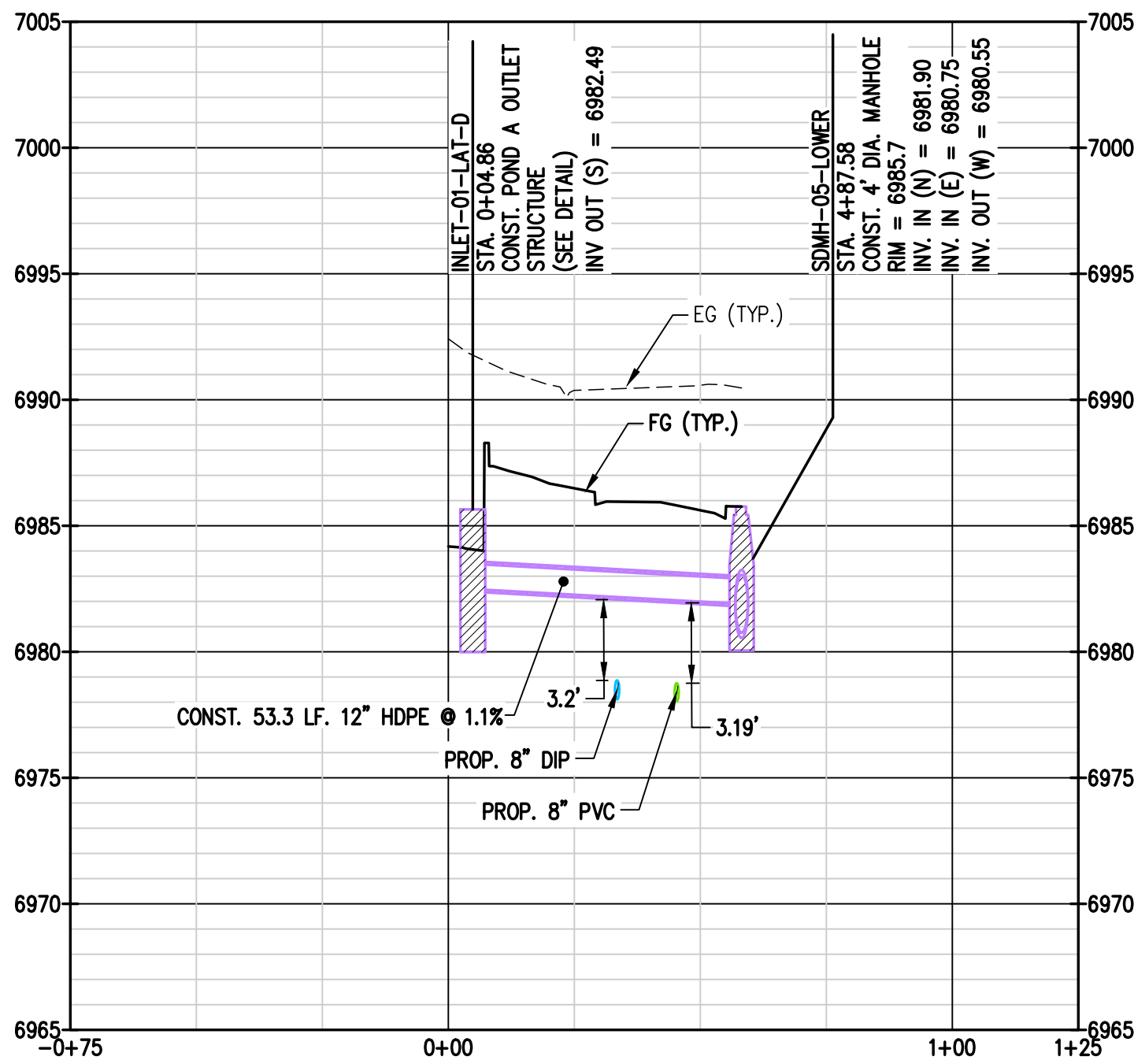
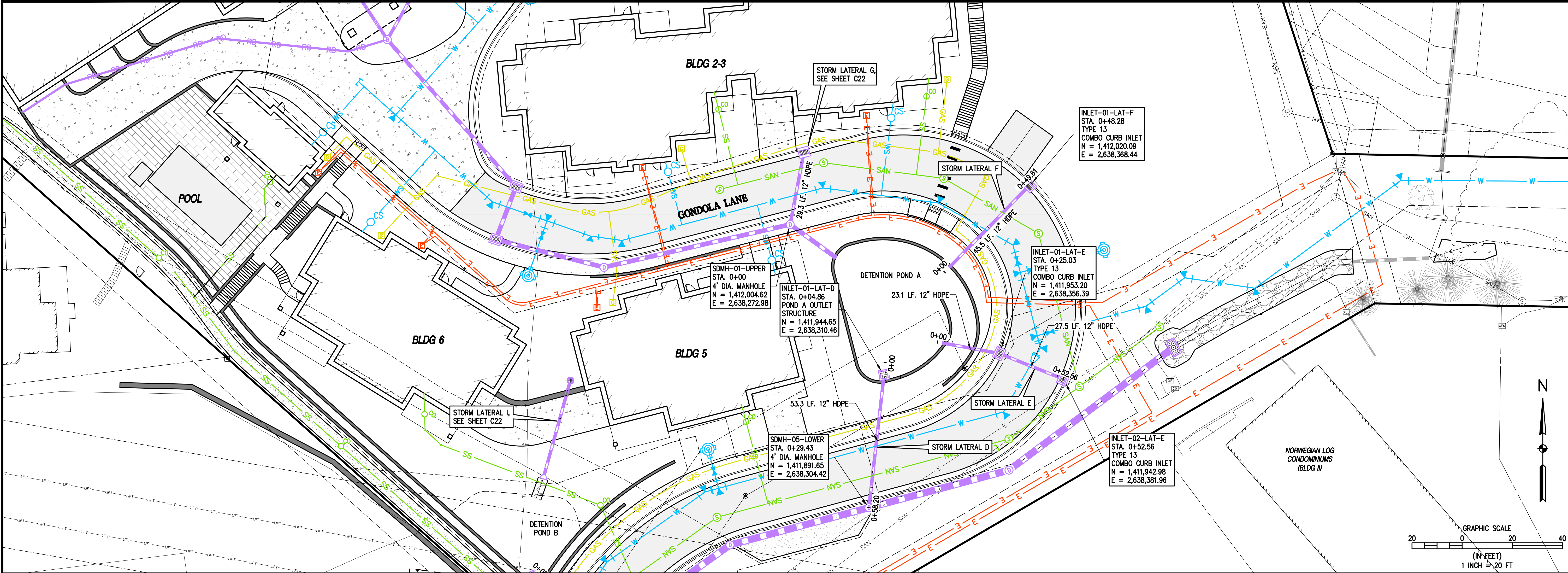
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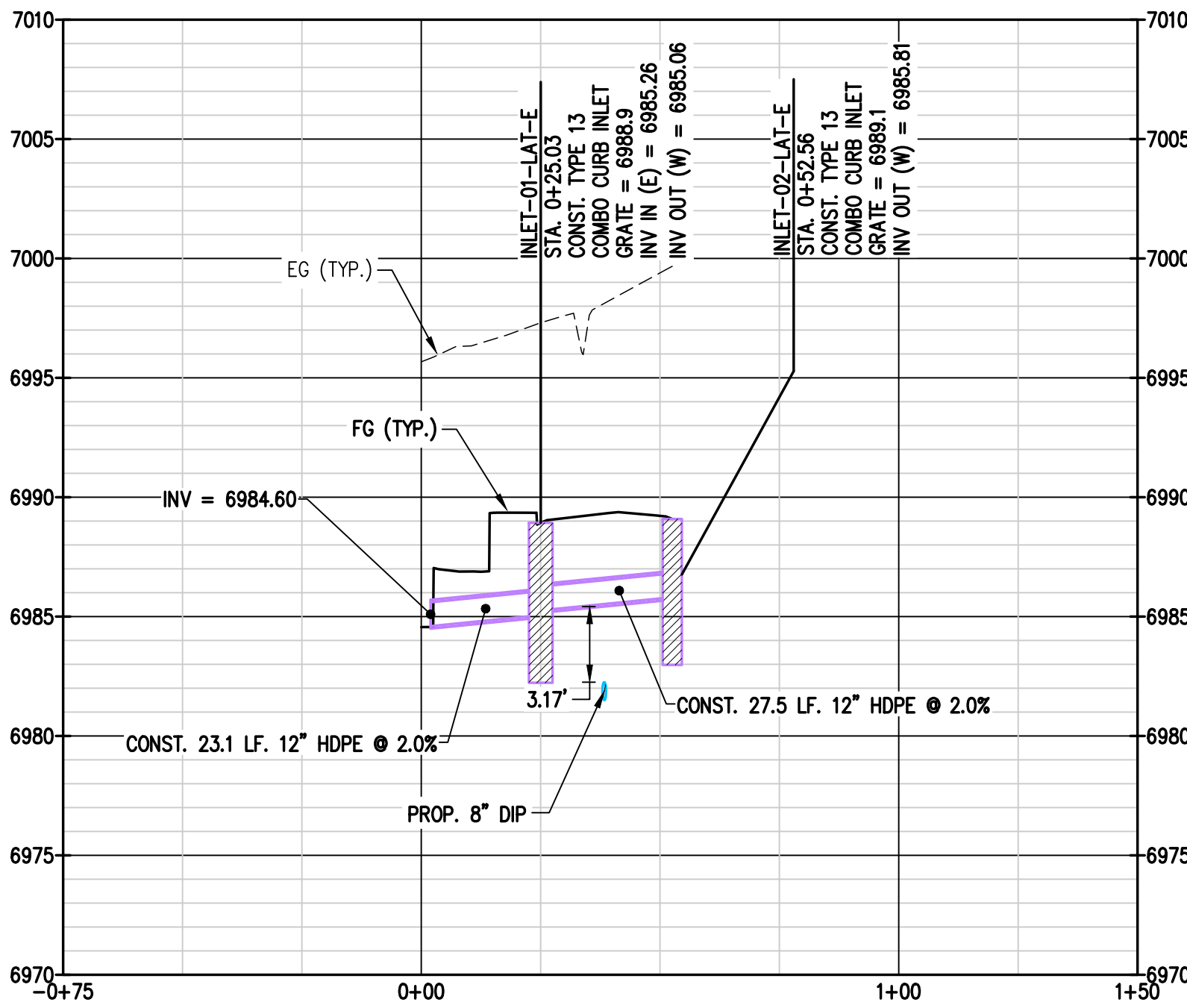
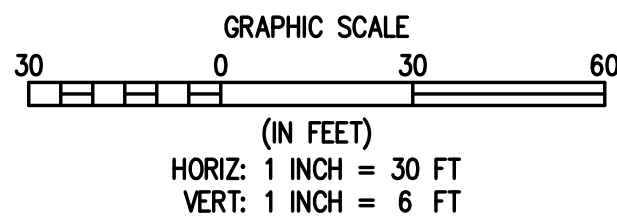
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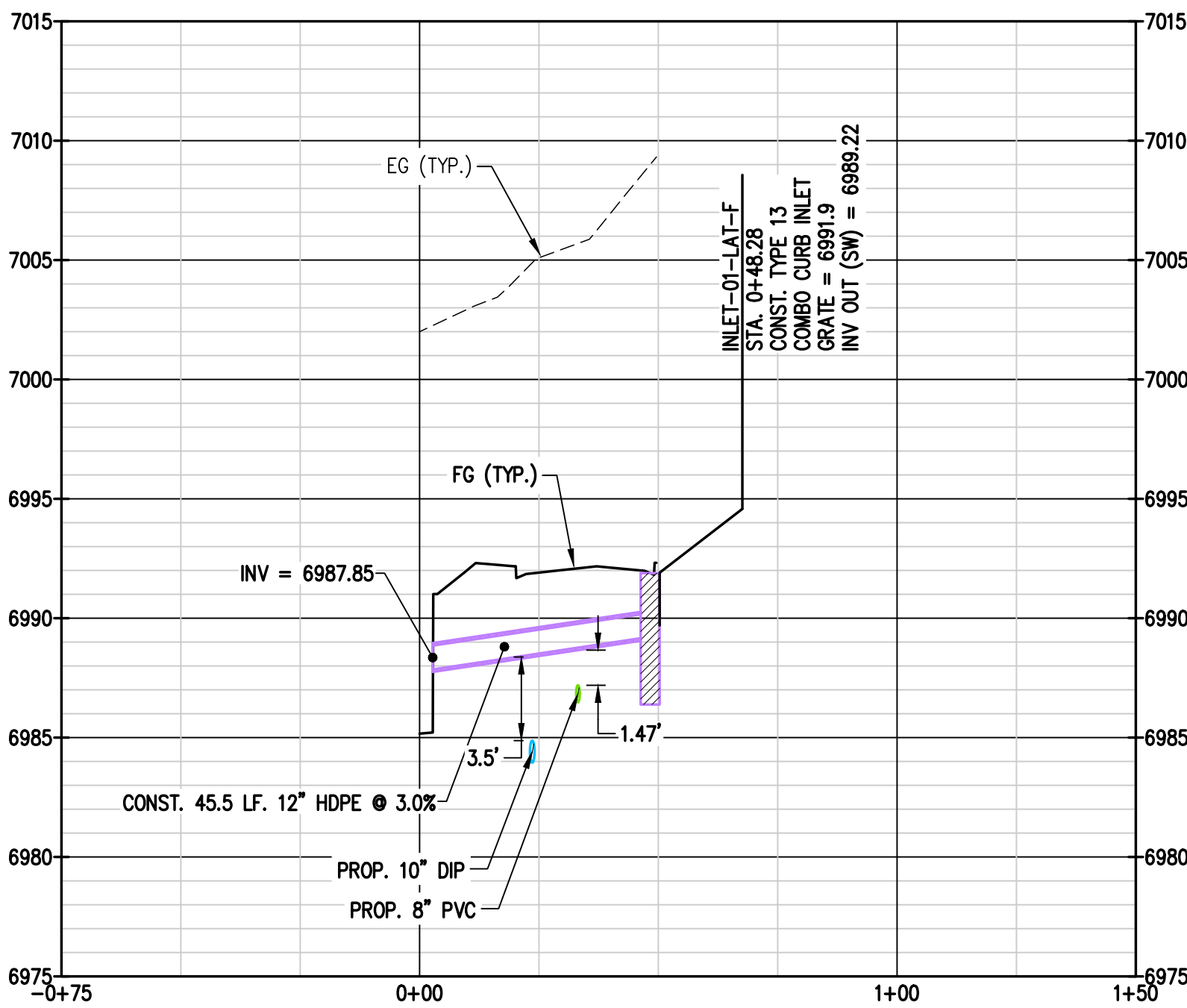
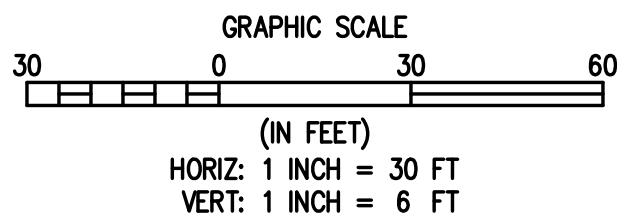
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C21 | C21

STORM LATERAL 'D'



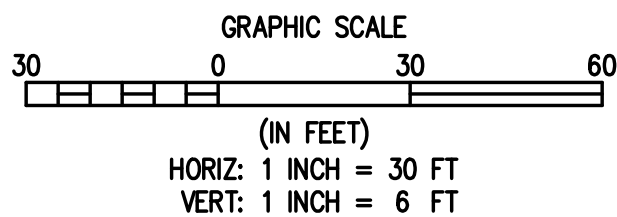
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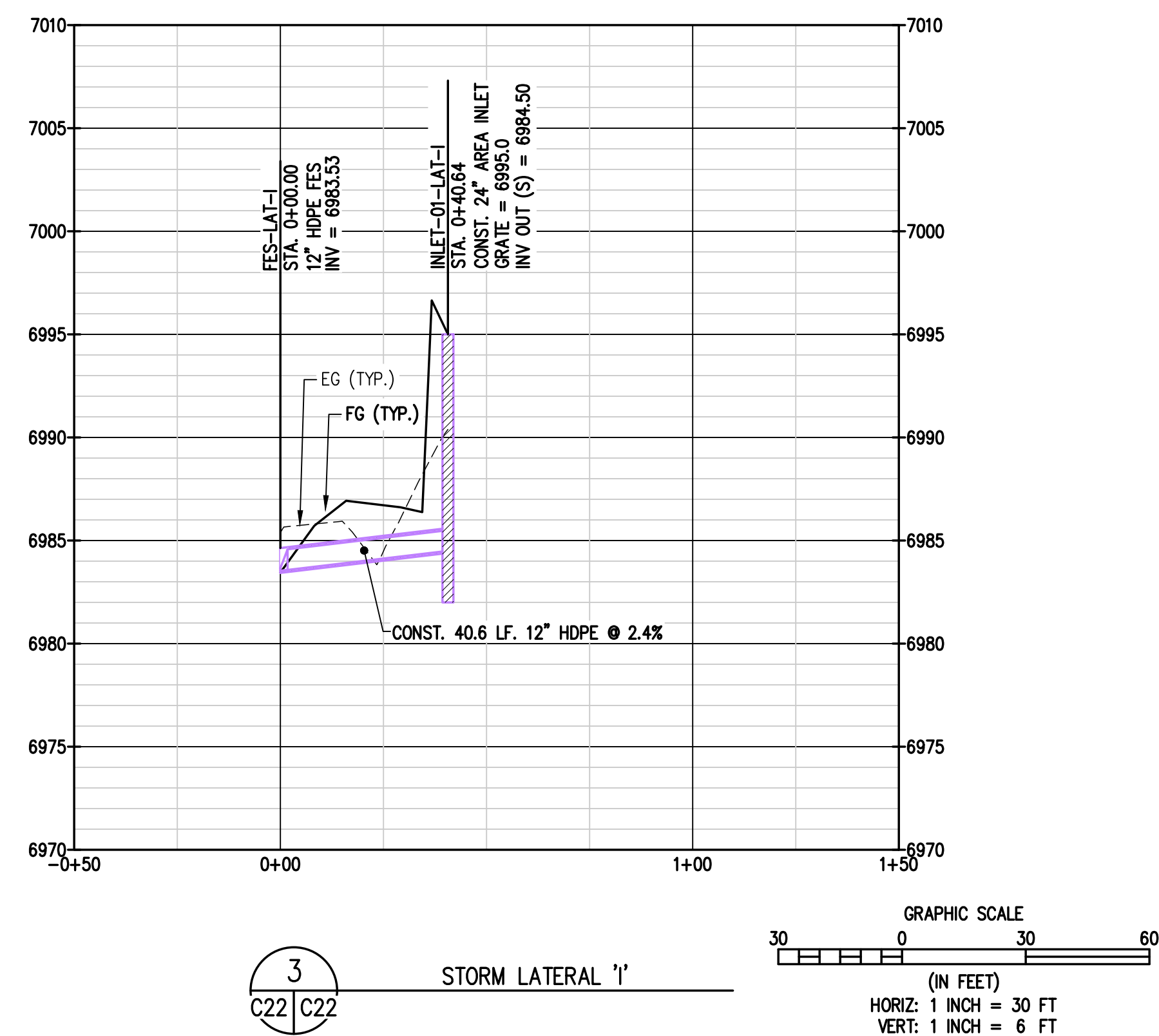
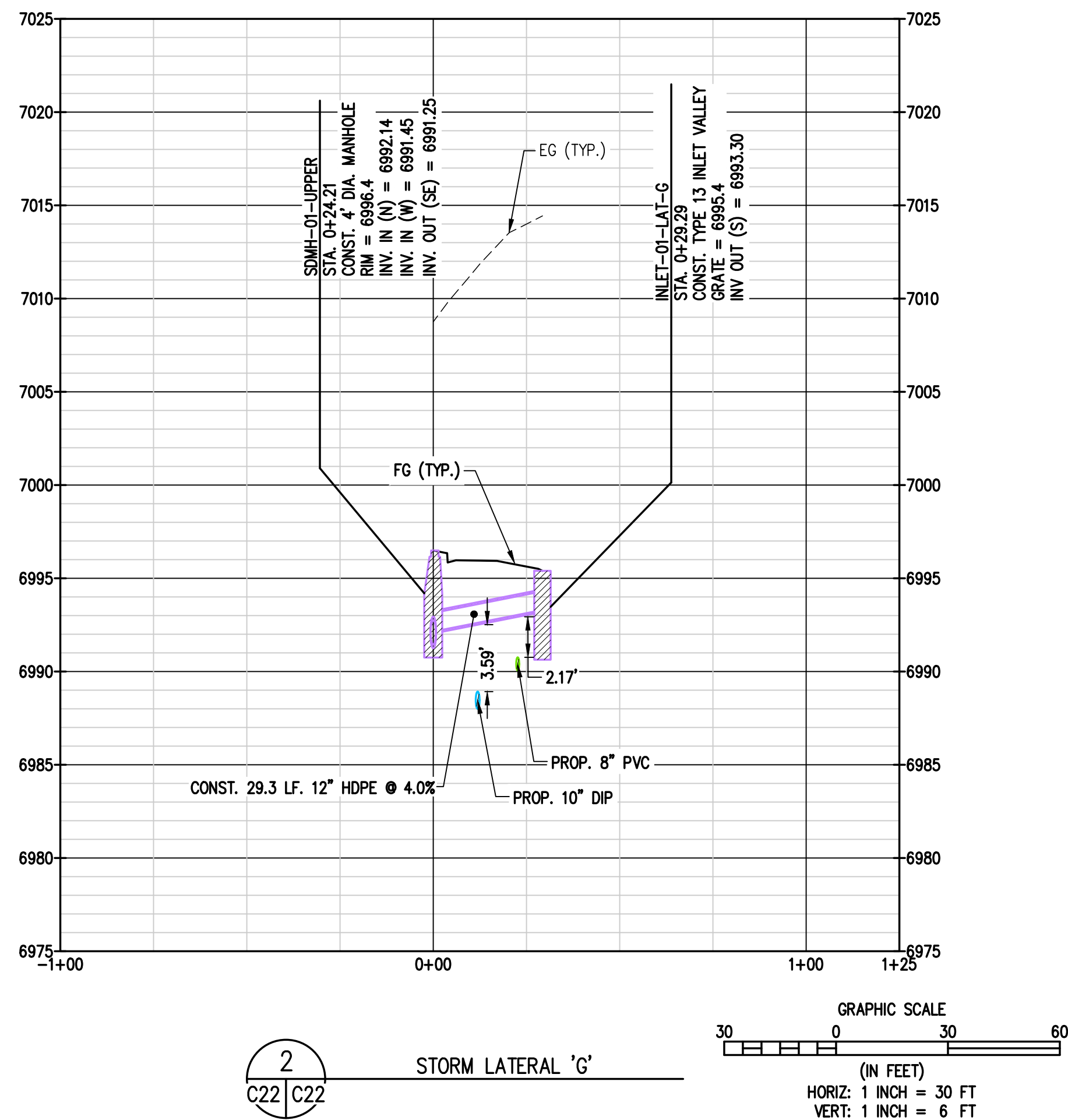
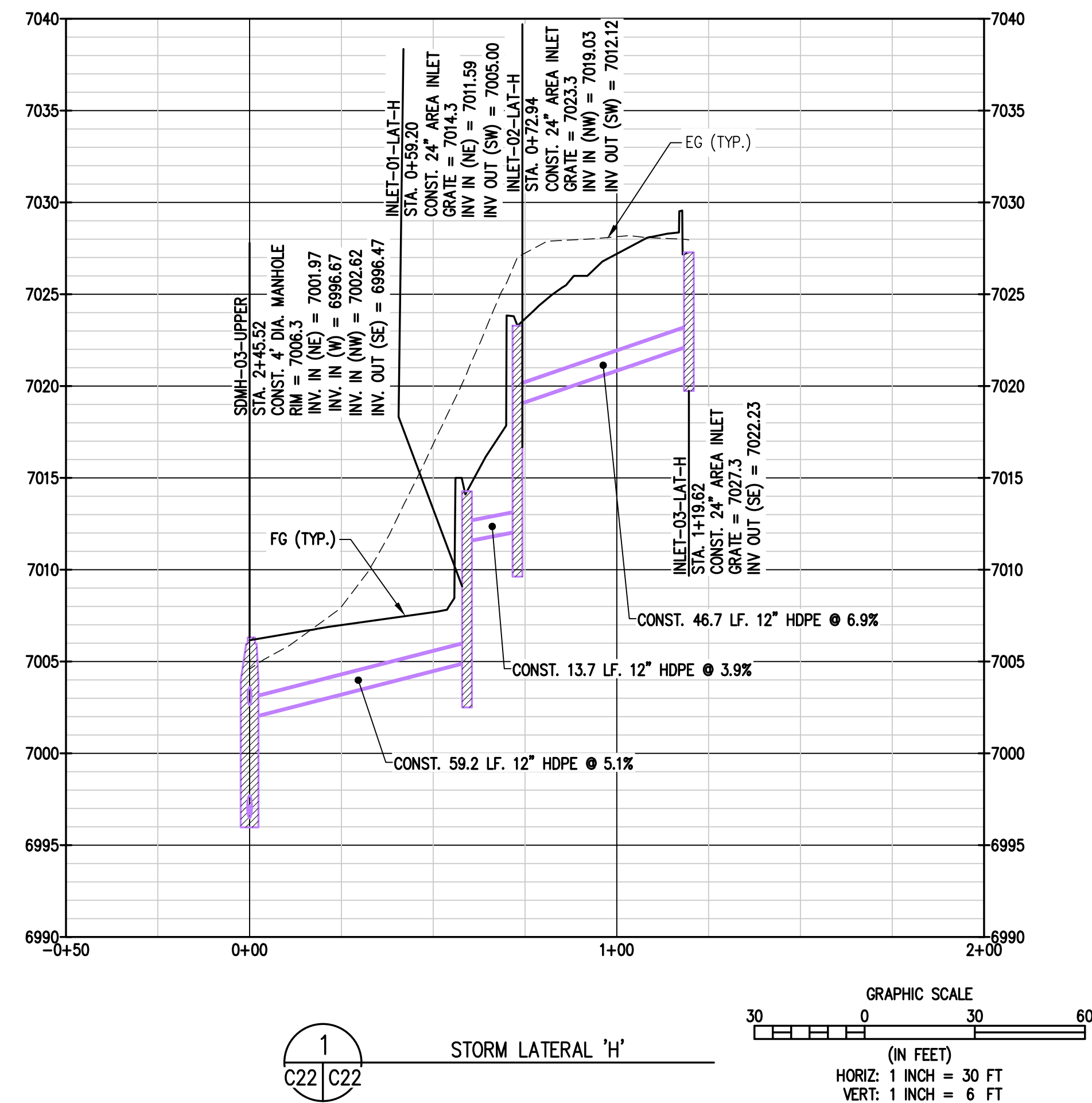
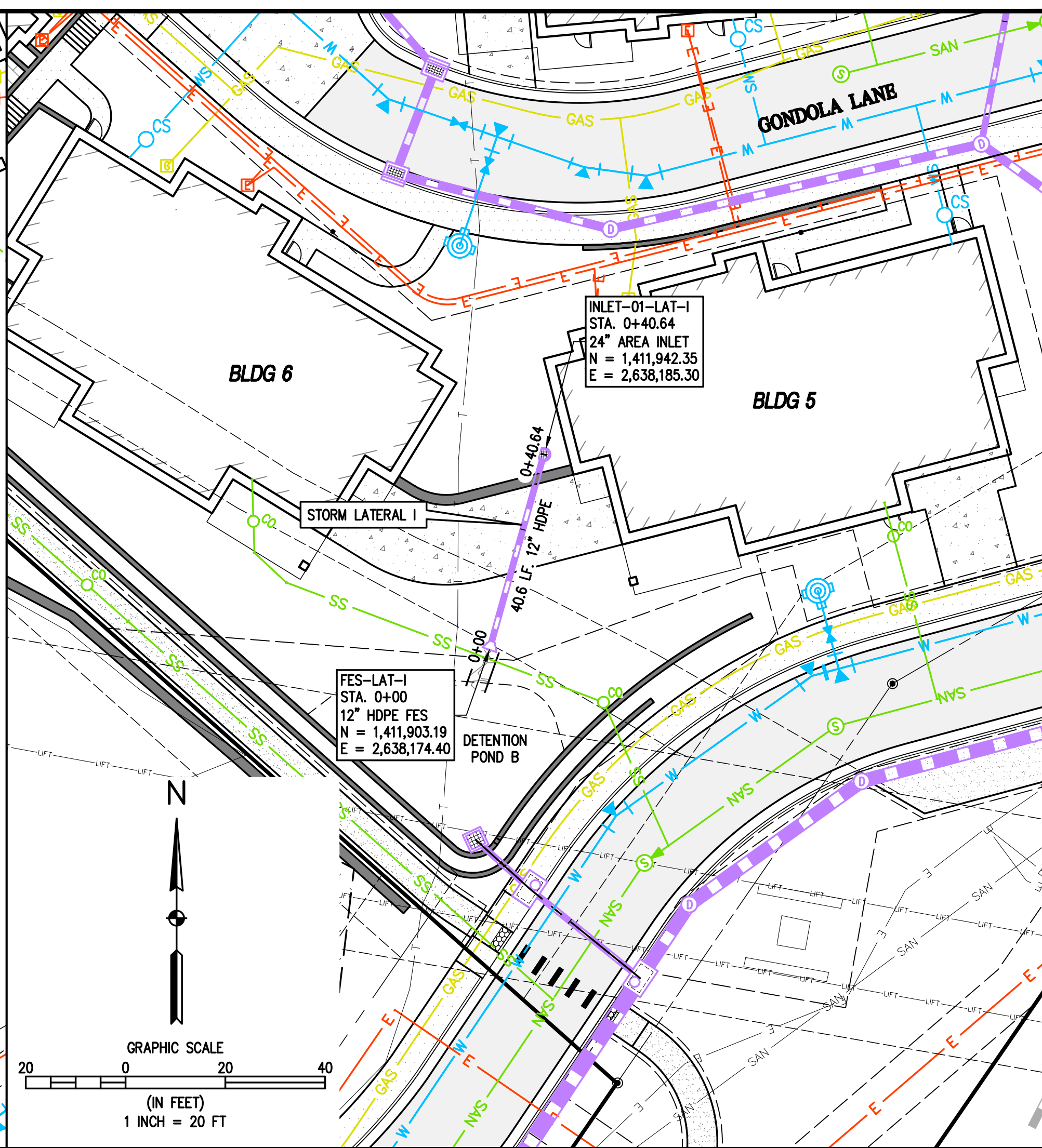
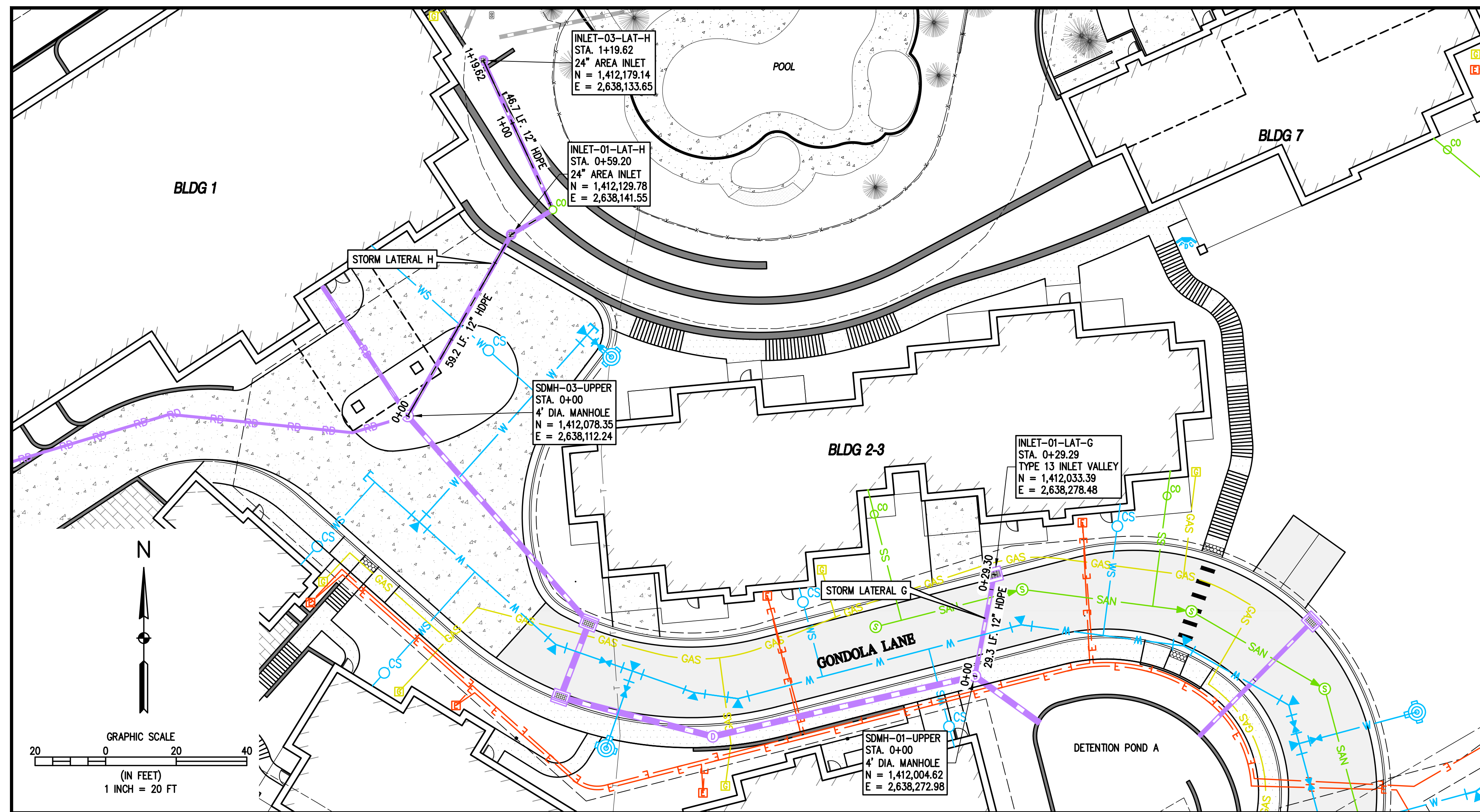


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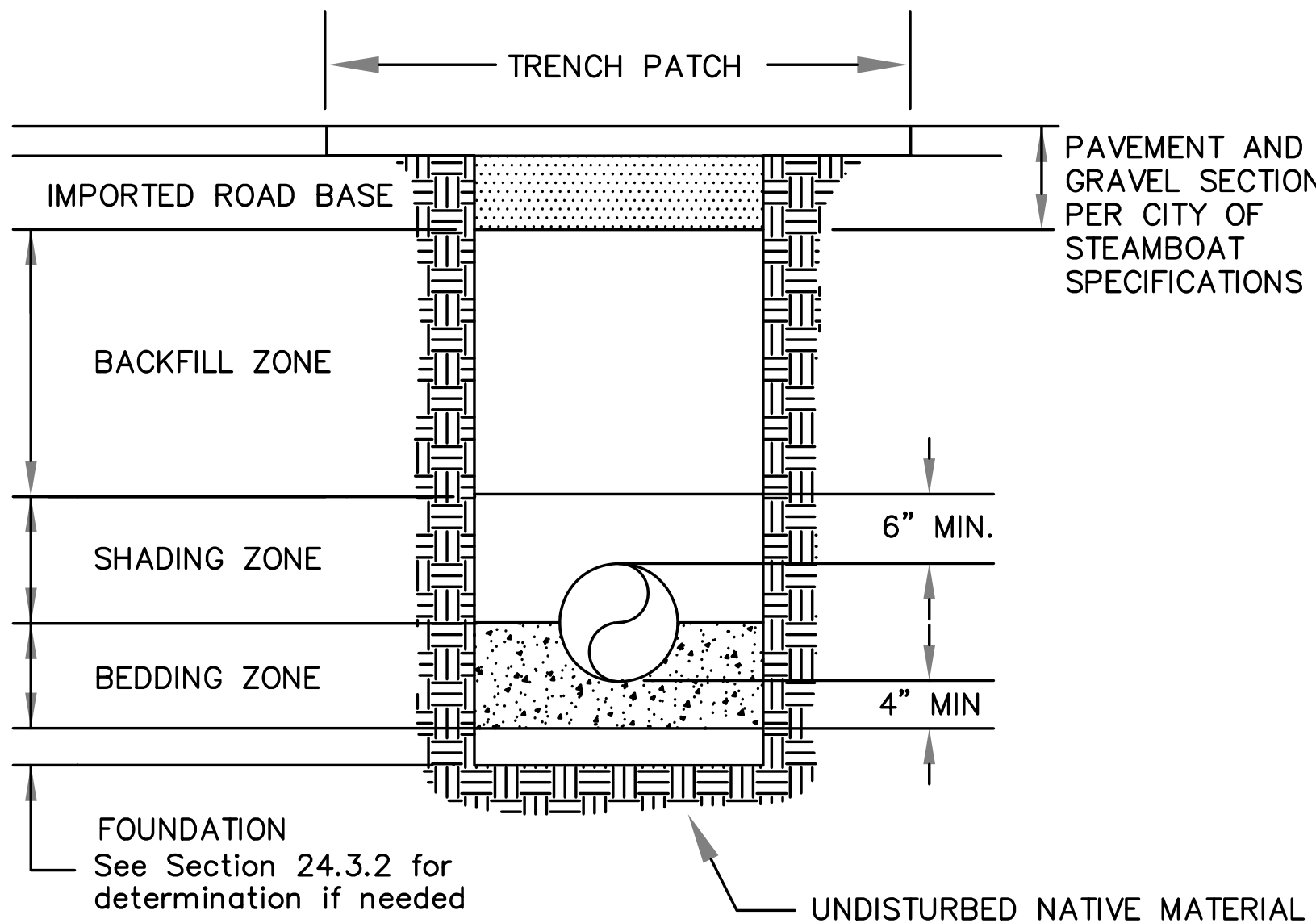


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THE ASTRID	
2410 SKI TRAIL LANE	
STORM LATERALS D, E, F PLAN & PROFILES	
ROUTE COUNTY	
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2. Added Pvm. Sect. Note: 11/08

1. Changed Company Name 1/00

REVISION HISTORY:

Mount Werner Water

P.O. Box 880339
3310 Clear Water Trail
Steamboat Springs, CO 80488
(970) 879-2424 fax (970) 879-8169

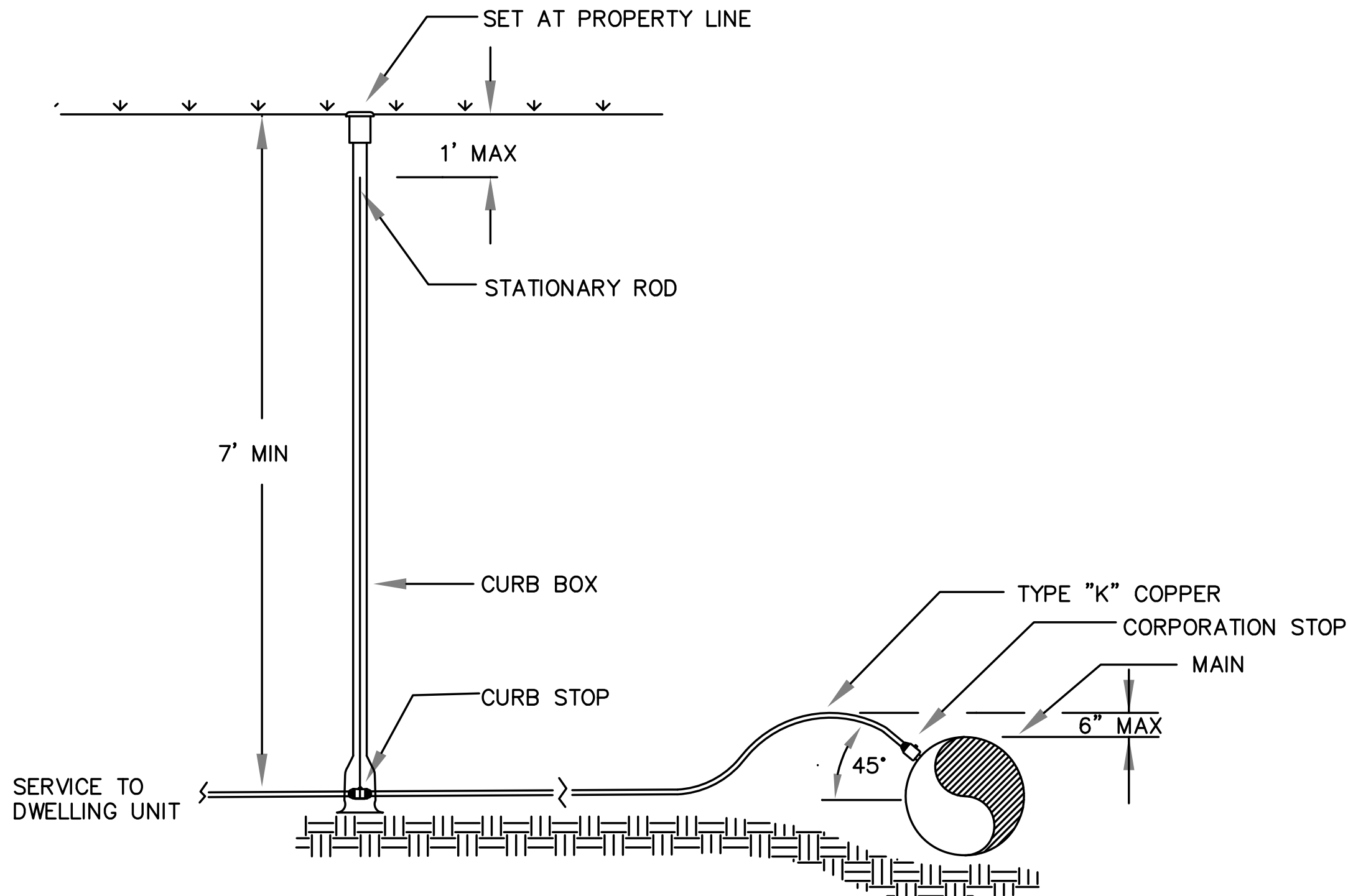
TRENCH CROSS SECTION
AND PIPE EMBEDMENT DETAIL

DRAWN BY: RBS

DATE: 2/2003

SCALE: NONE

SHEET: 1



2. Added Gooseneck Dim.: 11/08

1. Changed Company Name 1/00

REVISION HISTORY:

Mount Werner Water

P.O. Box 880339
3310 Clear Water Trail
Steamboat Springs, CO 80488
(970) 879-2424 fax (970) 879-8169

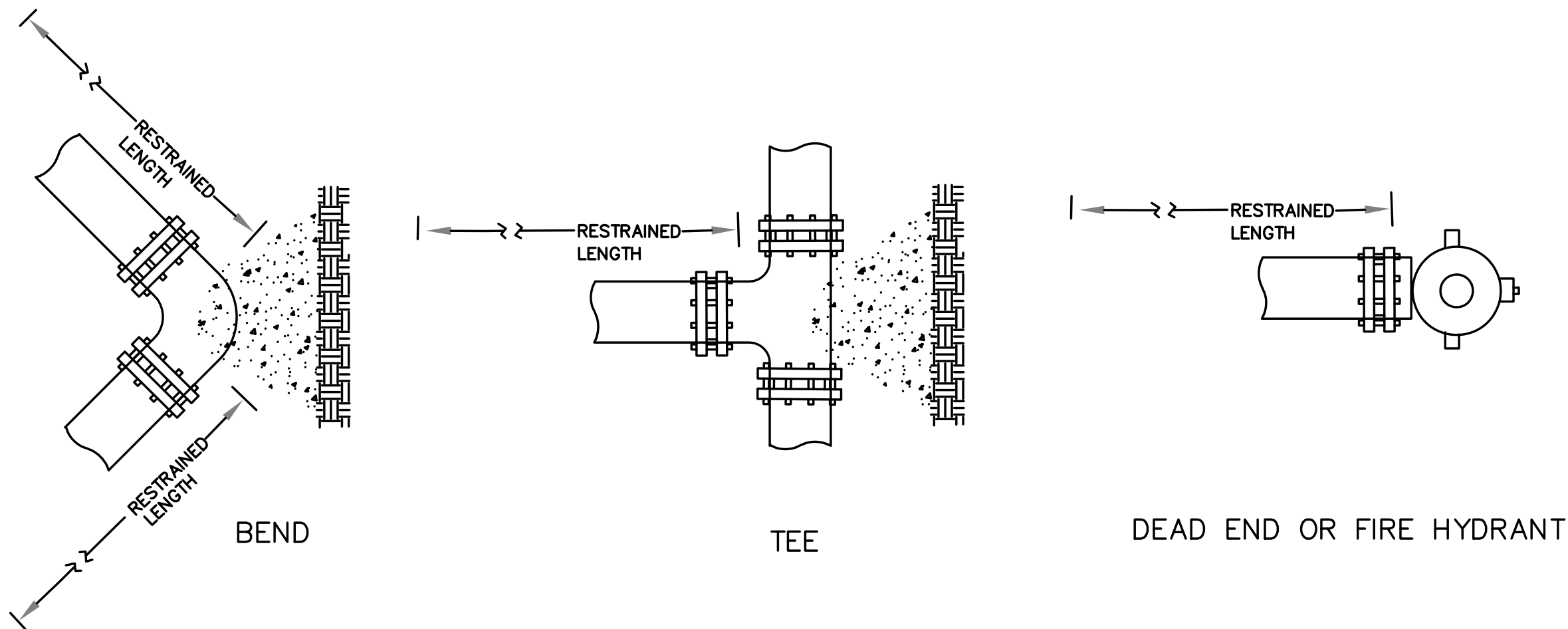
SERVICE LINE
DETAIL

DRAWN BY: RBS

DATE: 2/2003

SCALE: NONE

SHEET: 2



REQUIRED RESTRAINT LENGTH (FT)

FITTING TYPE	MAIN SIZE (INCHES)				
	4"	6"	8"	10"	12"
90° BEND, BRANCH OF TEE OR DEAD END	30'	45'	60'	73'	86'
45° BEND	18'	18'	18'	21'	25'
22 1/2° BEND	18'	18'	18'	18'	18'
11 1/4° BEND	18'	18'	18'	18'	18'

NOTE: THRUST BLOCKS ARE REQUIRED IN ADDITION TO JOINT RESTRAINT.

2. Changed Restraint Lengths: 11/08

1. Changed Company Name 1/00

REVISION HISTORY:

Mount Werner Water

P.O. Box 880339
3310 Clear Water Trail
Steamboat Springs, CO 80488
(970) 879-2424 fax (970) 879-8169

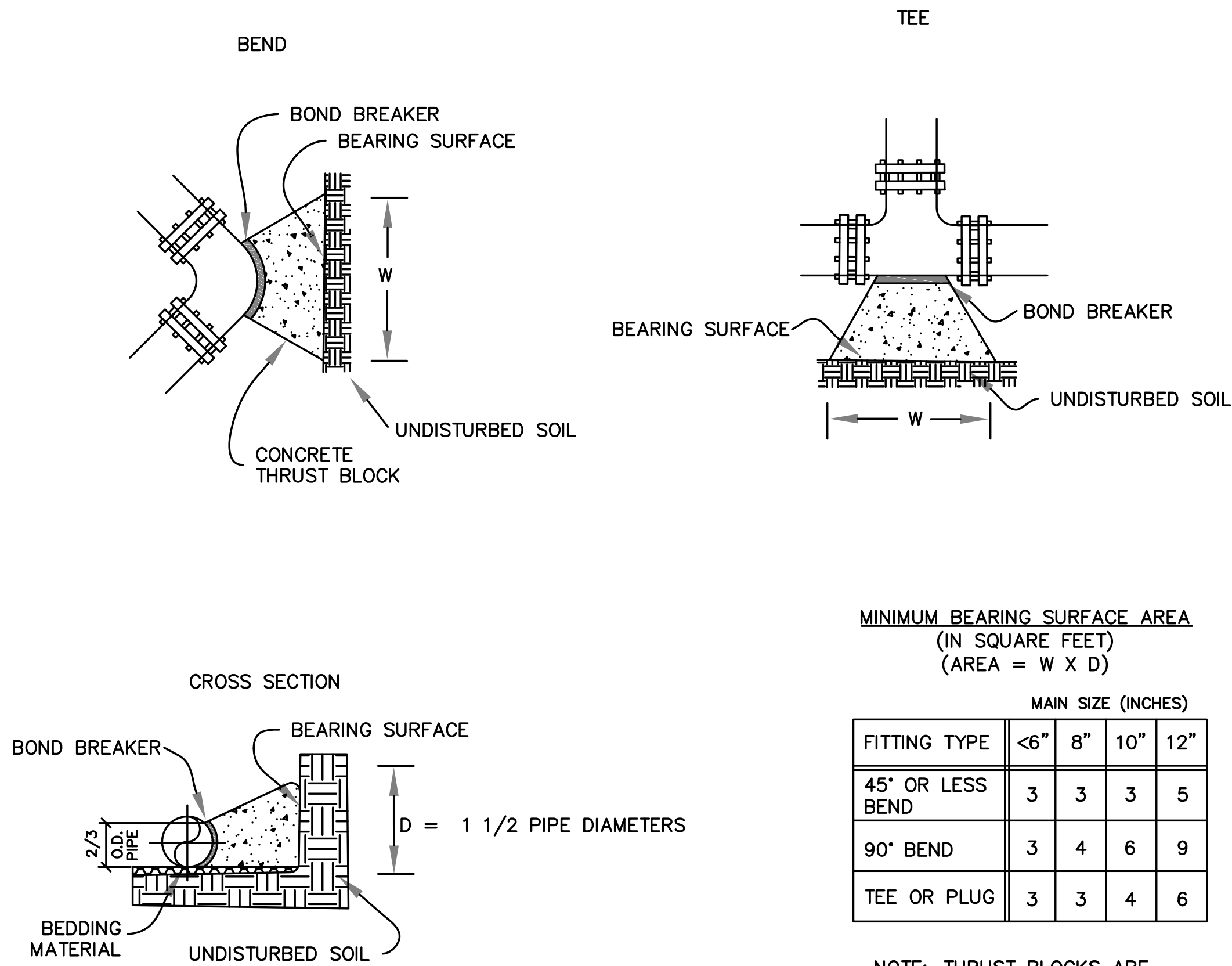
PIPE RESTRAINT
DETAIL

DRAWN BY: RBS

DATE: 2/2003

SCALE: NONE

SHEET: 3



MINIMUM BEARING SURFACE AREA
(IN SQUARE FEET)
(AREA = W X D)

FITTING TYPE	MAIN SIZE (INCHES)			
	<6"	8"	10"	12"
45° OR LESS BEND	3	3	3	5
90° BEND	3	4	6	9
TEE OR PLUG	3	3	4	6

NOTE: THRUST BLOCKS ARE REQUIRED IN ADDITION TO JOINT RESTRAINT.

- NOTES:
- THRUST BLOCKS ARE REQUIRED IN ADDITION TO JOINT RESTRAINTS.
 - ALL THRUST BLOCKS TO BE SUITABLY FORMED. EARTH EXCAVATED FORMS WILL NOT BE ACCEPTED.
 - WRAP FITTINGS WITH POLYETHYLENE PRIOR TO POURING THRUST BLOCKS SO THAT CONCRETE DOES NOT COME IN CONTACT WITH JOINT BOLTS.
 - THRUST BLOCKS SHALL BE INSTALLED SO THAT ALL JOINTS ARE ACCESSIBLE.

2. Added Notes: 11/08

1. Changed Company Name 1/00

REVISION HISTORY:

Mount Werner Water

P.O. Box 880339
3310 Clear Water Trail
Steamboat Springs, CO 80488
(970) 879-2424 fax (970) 879-8169

THRUST BLOCK
DETAIL

DRAWN BY: RBS

DATE: 2/2003

SCALE: NONE

SHEET: 4

BASELINE

Engineering · Planning · Surveying

169 HILLTOP PKWY, SUITE 204 • STEAMBOAT SPRINGS, CO 80477
P. 970.879.825 • F. 970.879.869 • www.baselinecorp.com

DESIGNED BY

TJM

DATE

05/18/2023

PREPARED BY

SMB

REVISIONS PER DRT #

COMMENTS

REVISIONS PER DRT #

COMMENTS

CHECKED BY

MRB

STEAMBOAT ESQUIAR LP

THE ASTRID

2410 SKI TRAIL LANE

MOUNT WERNER WATER DETAILS 1

ROUTT COUNTY

STEAMBOAT SPRINGS

FOR AND ON BEHALF OF
BASELINE CORPORATION

INITIAL SUBMITTAL

12/22/2022

DRAWING SIZE

24" X 36"

SURVEY FIRM

LANDMARK, INC

SURVEY DATE

06/03/22

JOB NO.

C020235

DRAWING NAME

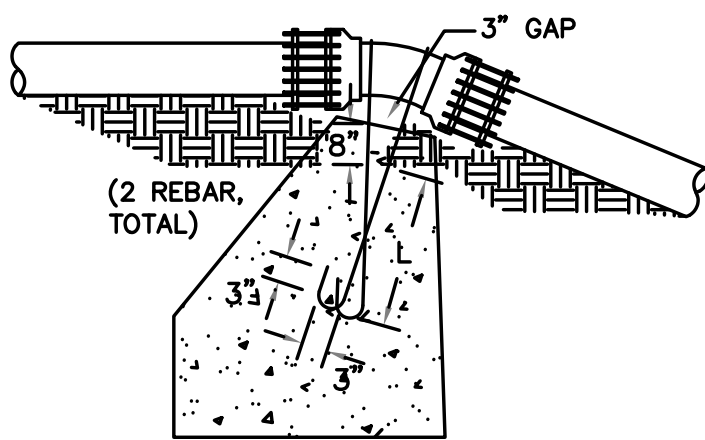
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SHEET

34 OF 68

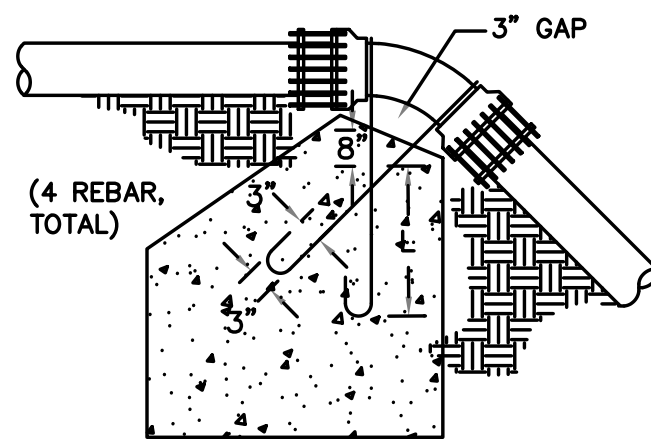
C32

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TYPE A RESTRAINT
11-1/4" & 22-1/2" VERTICAL OVER-BENDS

PIPE SIZE NOMINAL DIAMETER - INCH	VERTICAL BEND DEGREES	NO. OF CU. FT. OF CONC. BLOCKING	DIAMETER OF REBAR, "d" INCH	DEPTH OF RODS IN CONCRETE, "L" FT.
4"	11-1/4"	5	5/8"	1.5
	22-1/2"	10	5/8"	2.0
6"	11-1/4"	11	5/8"	2.0
	22-1/2"	22	5/8"	2.0
8"	11-1/4"	20	5/8"	2.0
	22-1/2"	39	5/8"	2.0
12"	11-1/4"	45	3/4"	2.0
	22-1/2"	88	3/4"	3.0
16"	11-1/4"	79	3/4"	3.0
	22-1/2"	156	3/4"	4.0
20"	11-1/4"	123	3/4"	3.5
	22-1/2"	243	1"	4.0
24"	11-1/4"	177	3/4"	4.0
	22-1/2"	350	1"	4.0
30"	11-1/4"	277	1"	4.0
	22-1/2"	546	1-1/4"	4.0

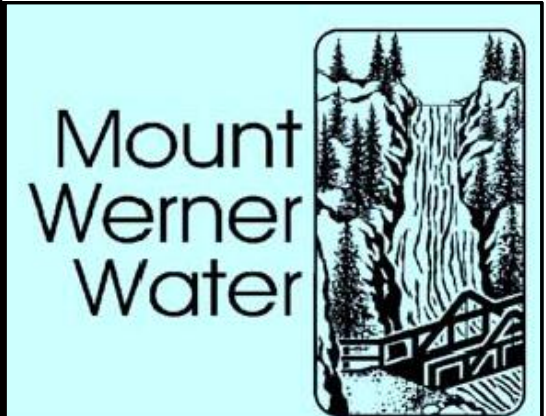


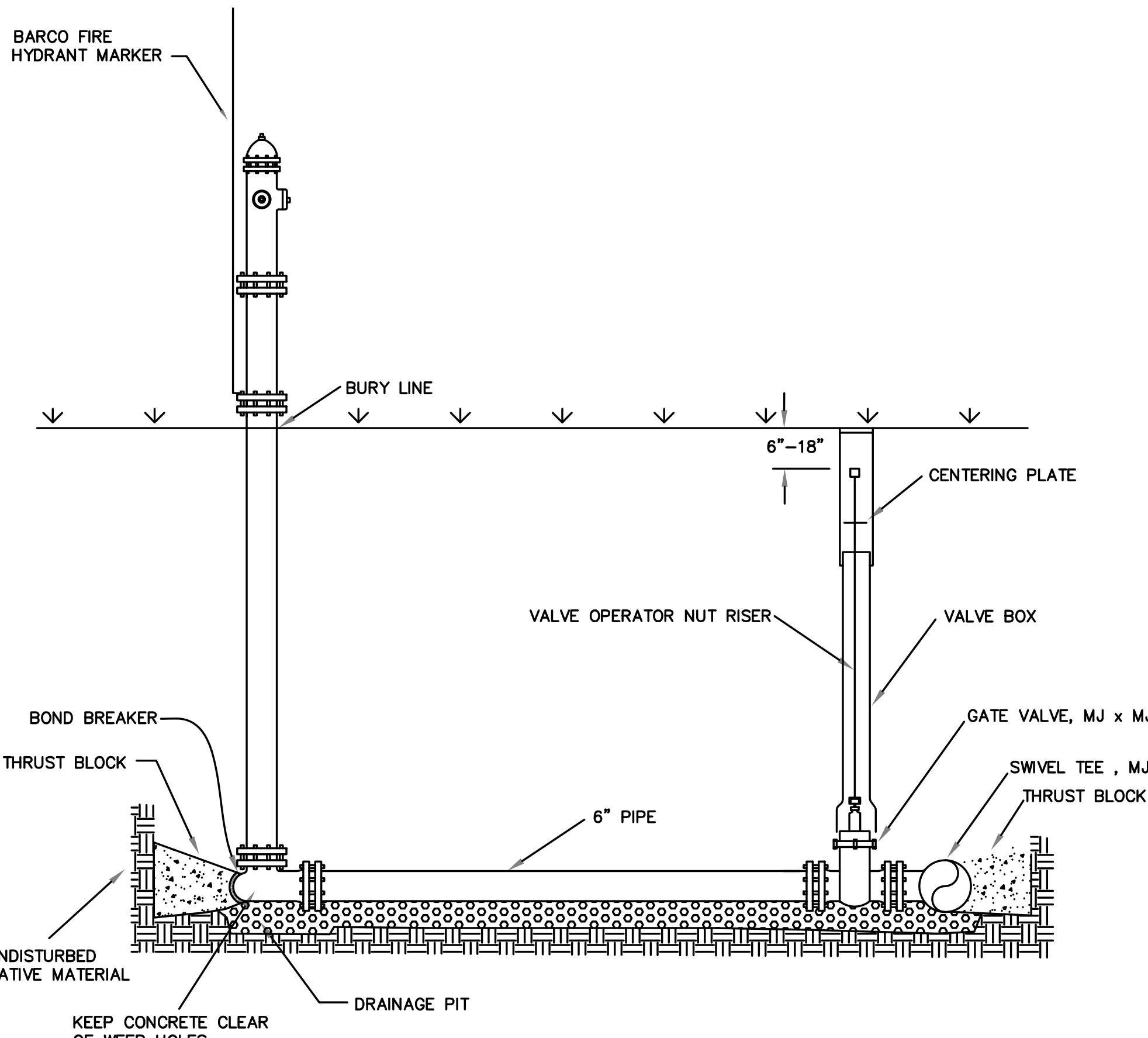
TYPE B RESTRAINT
45° VERTICAL OVER-BENDS

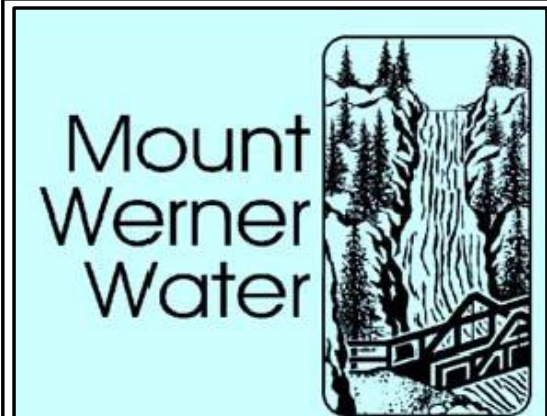
PIPE SIZE NOMINAL DIAMETER - INCH	VERTICAL BEND DEGREES	NO. OF CU. YD. OF CONC. BLOCKING	DIAMETER OF REBAR, "d" INCH	DEPTH OF RODS IN CONCRETE, "L" FT.
4"	45°	0.7	5/8"	2.0
6"	45°	1.5	5/8"	2.5
8"	45°	2.7	5/8"	3.0
12"	45°	6.1	3/4"	4.0
16"	45°	10.9	3/4"	4.0
20"	45°	17.1	1"	4.0
24"	45°	24.6	1"	4.0
30"	45°	38.4	1-1/4"	4.0

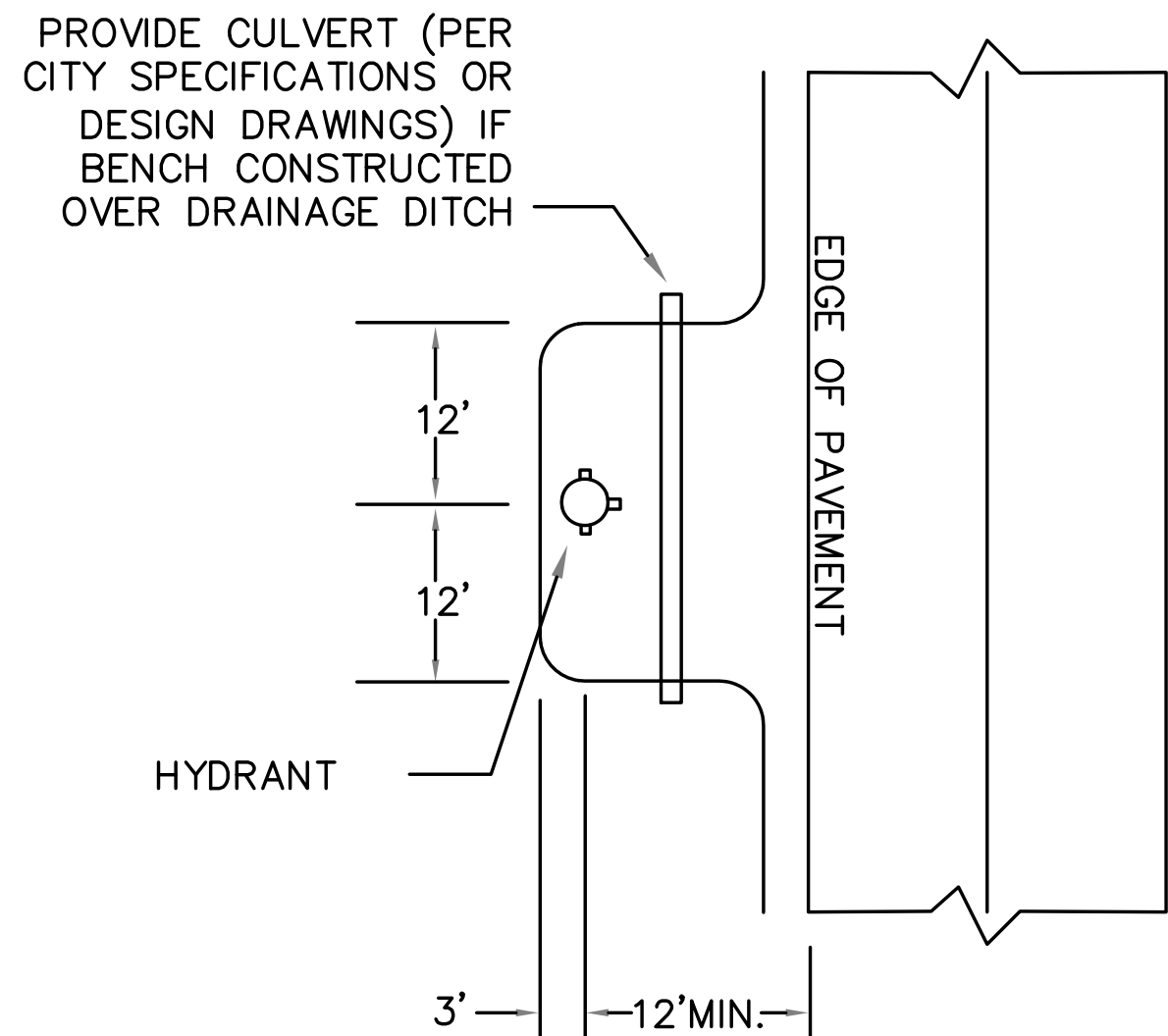
NOTES:

- THRUST BLOCKS ARE REQUIRED IN ADDITION TO JOINT RESTRAINT.
- SPECIAL REQUIREMENTS:
 - THRUST BLOCKS FOR PIPE SIZES OR CONFIGURATIONS NOT SHOWN REQUIRE SPECIAL DESIGN.
 - BEARING AREAS, VOLUMES, AND SPECIAL THRUST BLOCKING DETAILS SHOWN ON DRAWINGS TAKE PRECEDENCE OVER THIS TYPICAL DETAIL.
 - REINFORCING STEEL BARS TO BE EPOXY COATED, AT LEAST 15 MILS THICK. MINIMUM YIELD STRENGTH OF REBAR IS 60,000 PSI.
 - RESTRAINT SIZING IS BASED UPON A MAXIMUM OPERATING PRESSURE OF 150 PSI, A TEST PRESSURE OF 200 PSI, AND A MINIMUM SOIL BEARING STRENGTH OF 2000 PSF. OPERATING PRESSURES IN EXCESS OF 150 PSI OR SOILS WITH LESS THAN 2000 PSF BEARING WILL REQUIRE SPECIAL DESIGN.
- FOR VERTICAL UNDER-BEND FOLLOW HORIZONTAL THRUST BLOCK DETAIL

1. Initial Release 3/07	
REVISION HISTORY:	
	
P.O. Box 880339 3310 Clear Water Trail Steamboat Springs, CO 80488 (970) 879-2424 fax (970) 879-8169	
VERTICAL THRUST BLOCK DETAIL	
DRAWN BY: CL, RM	DATE:2/2003
SCALE: NONE	
SHEET: 5	

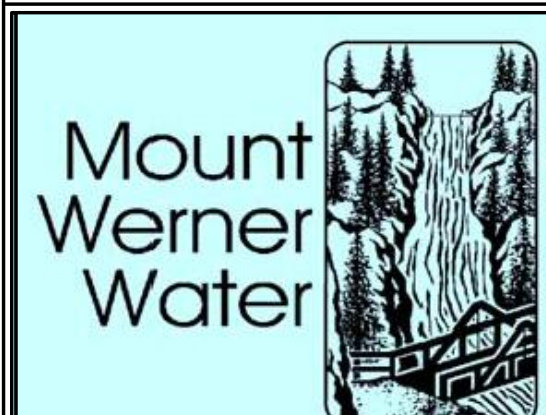


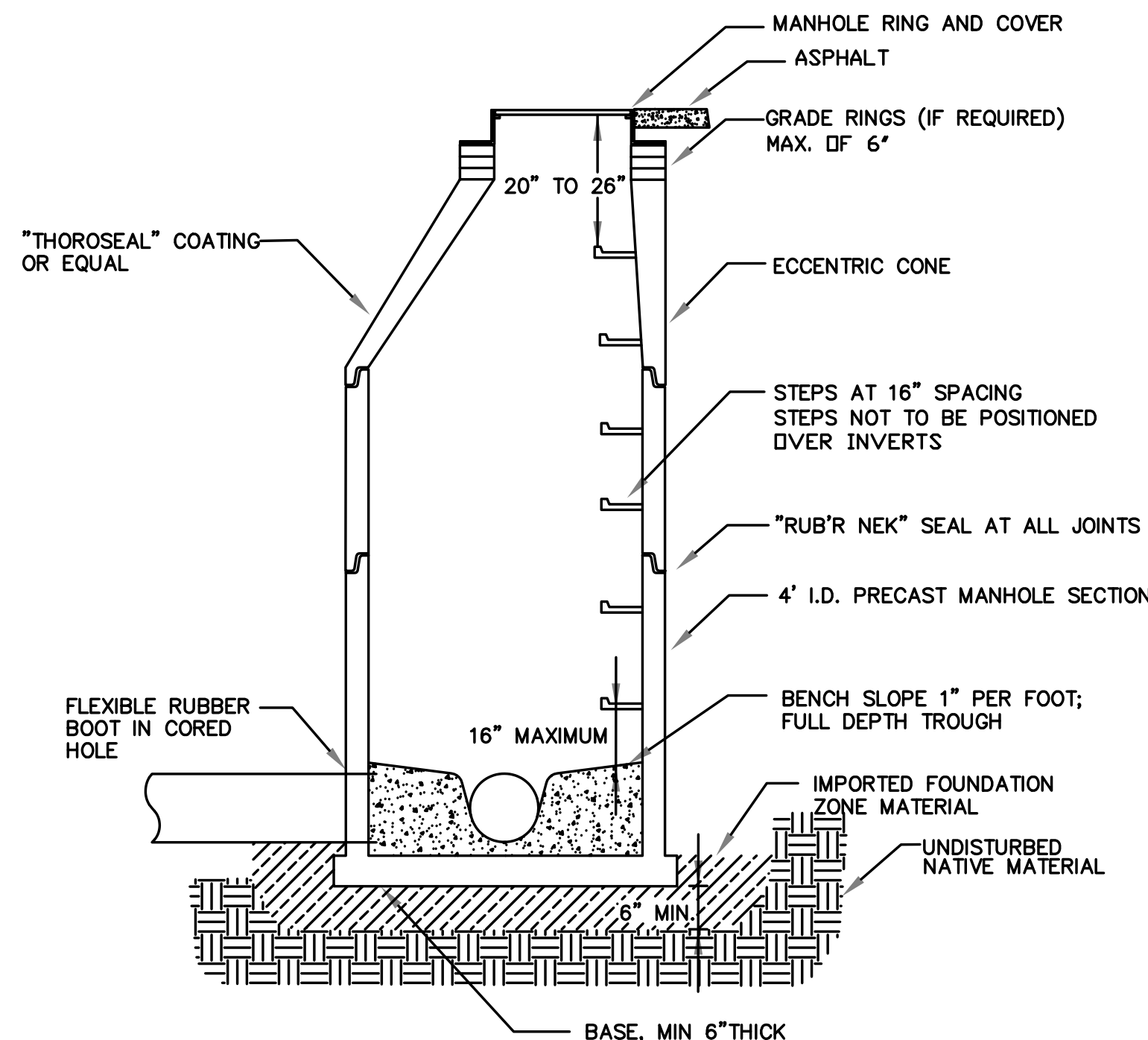
2. Added Riser Length: 11/08	
1. Changed Company Name 1/00	
REVISION HISTORY:	
	
P.O. Box 880339 3310 Clear Water Trail Steamboat Springs, CO 80488 (970) 879-2424 fax (970) 879-8169	
FIRE HYDRANT DETAIL	
DRAWN BY: RBS	DATE:2/2003
SCALE: NONE	
SHEET: 6	



NOTES:

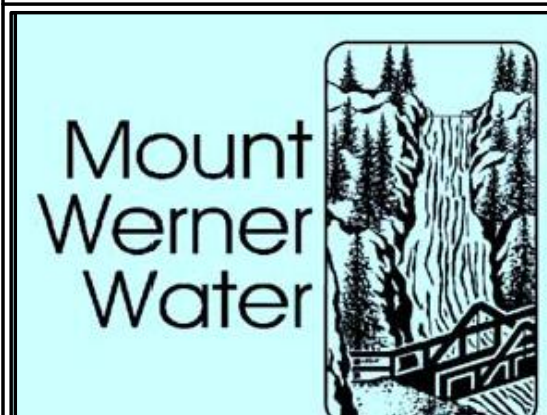
NO OBSTRUCTIONS SUCH AS TREES, PEDESTALS, FENCES OR OTHER OBJECTS MAY BE PLACED WITHIN A 15-FOOT RADIUS OF A HYDRANT.

1. Changed Notes: 11/08	
REVISION HISTORY:	
	
P.O. Box 880339 3310 Clear Water Trail Steamboat Springs, CO 80488 (970) 879-2424 fax (970) 879-8169	
FIRE HYDRANT BENCH DETAIL	
DRAWN BY: RBS	DATE:2/2003
SCALE: NONE	
SHEET: 7	



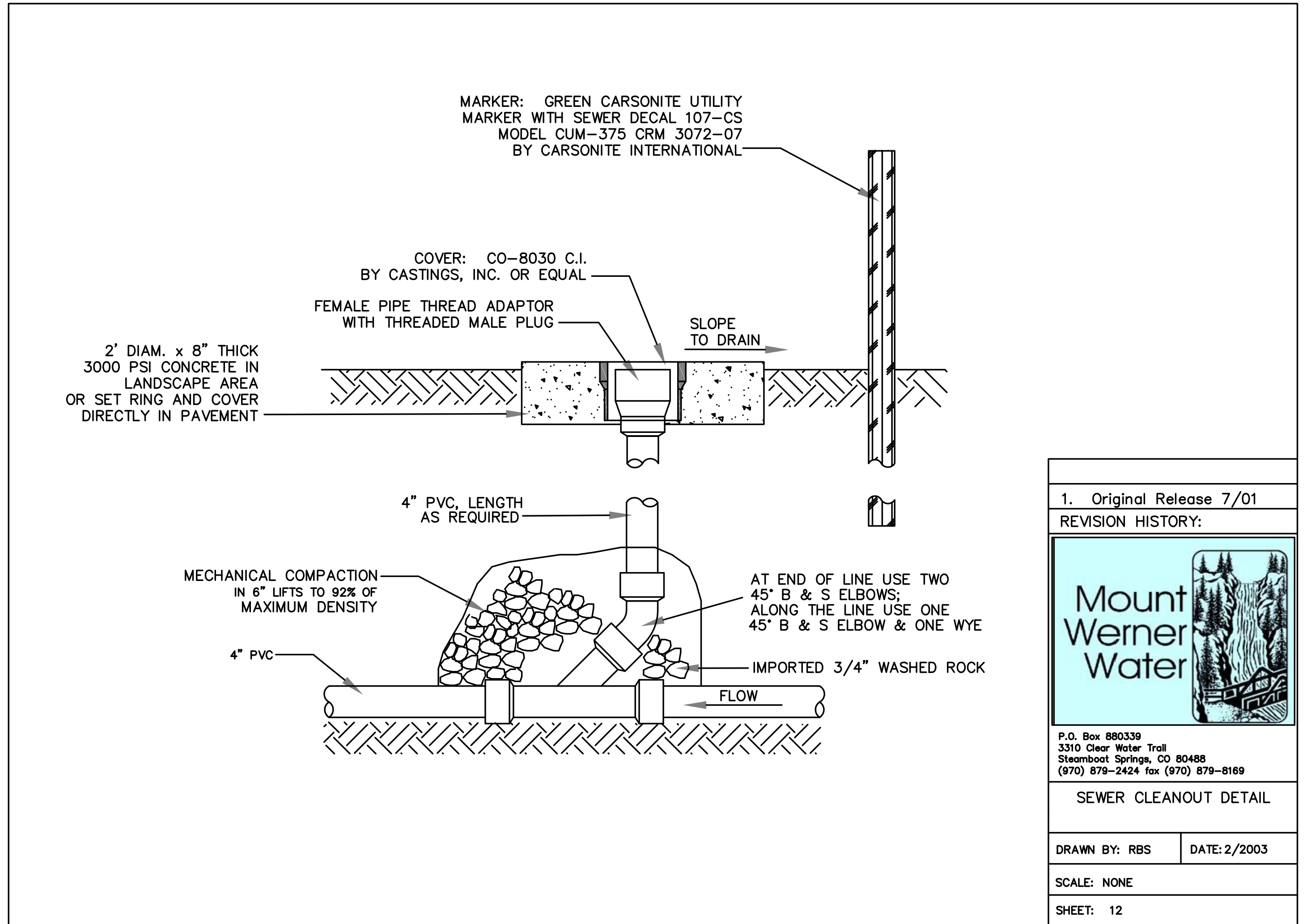
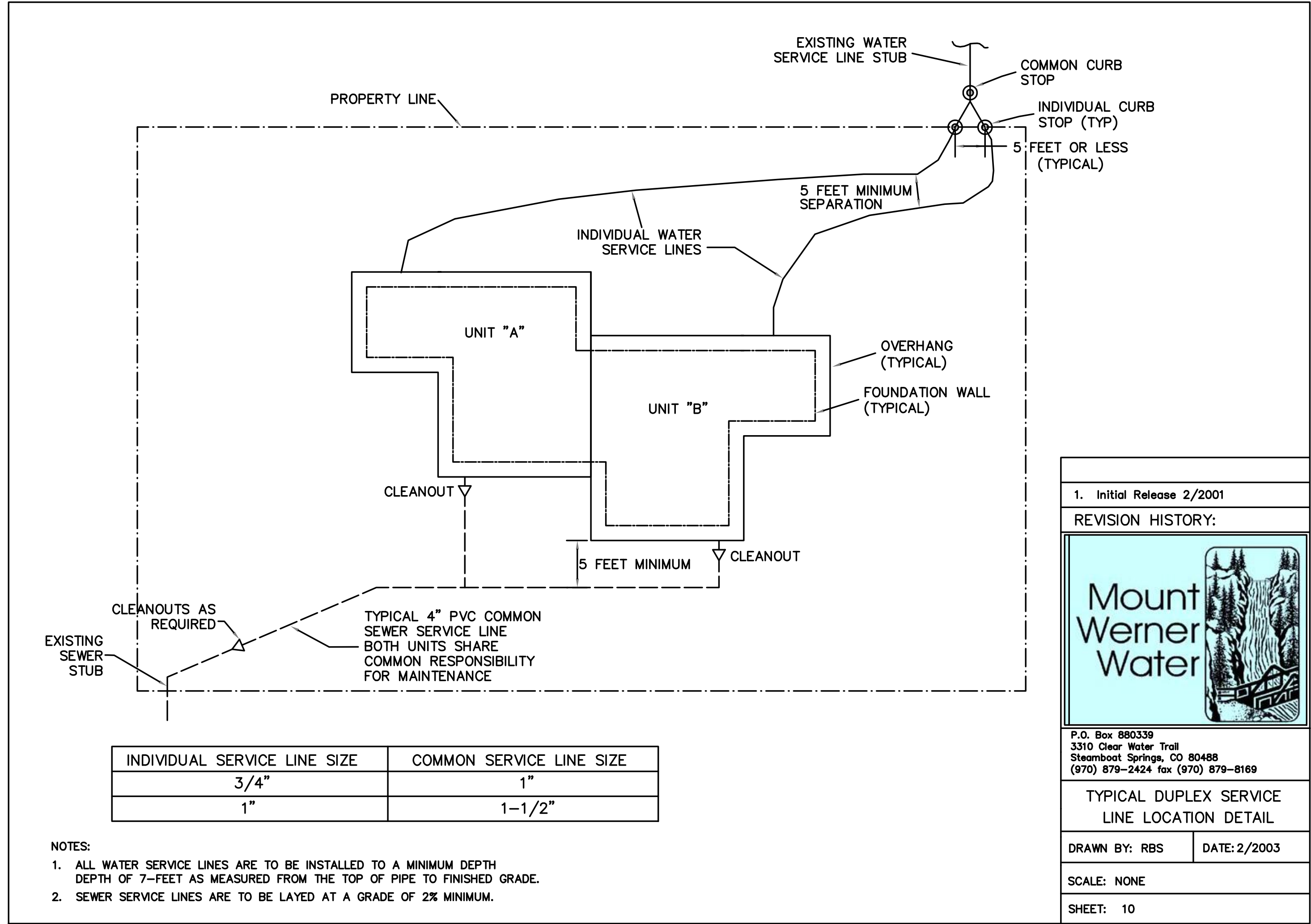
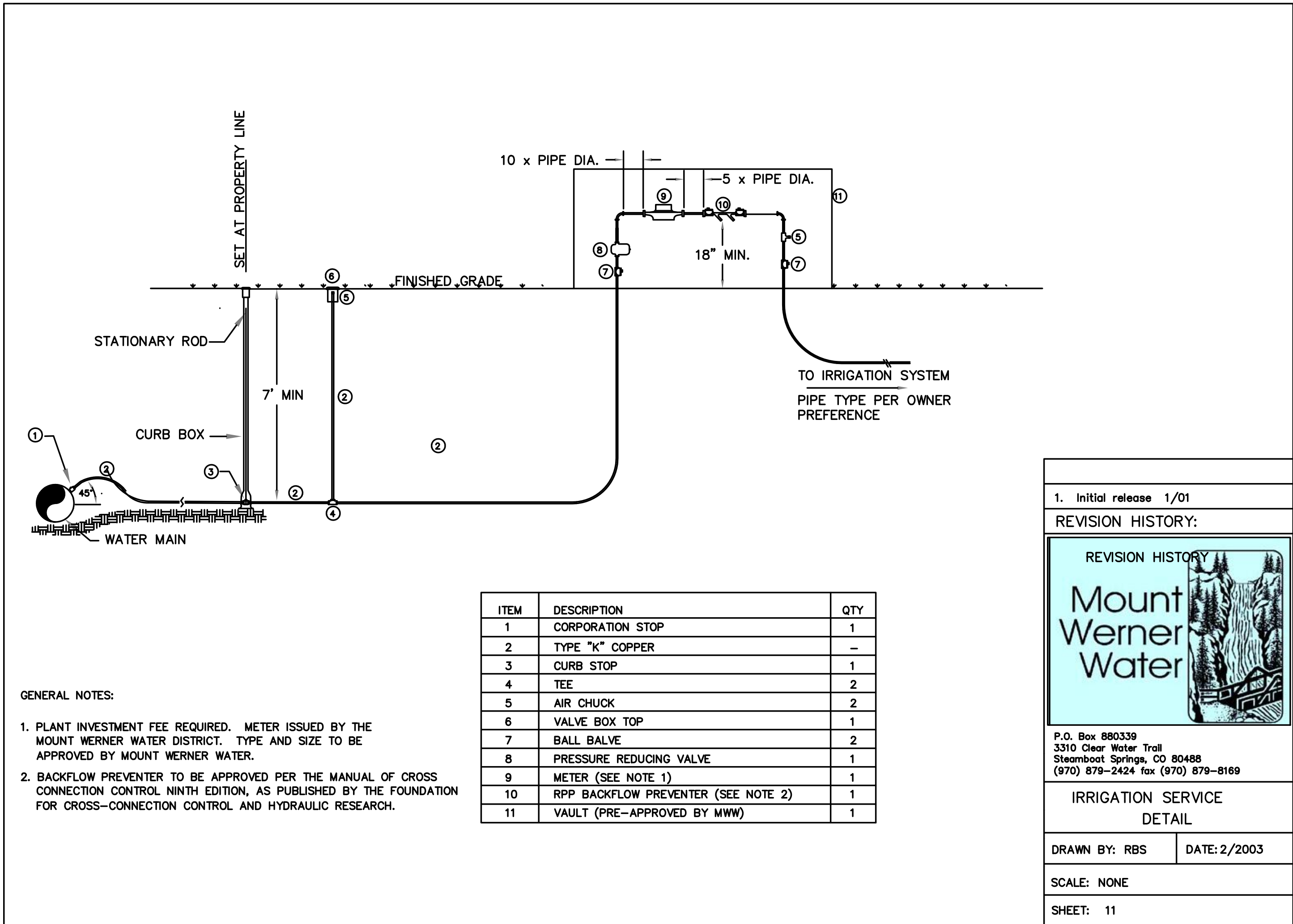
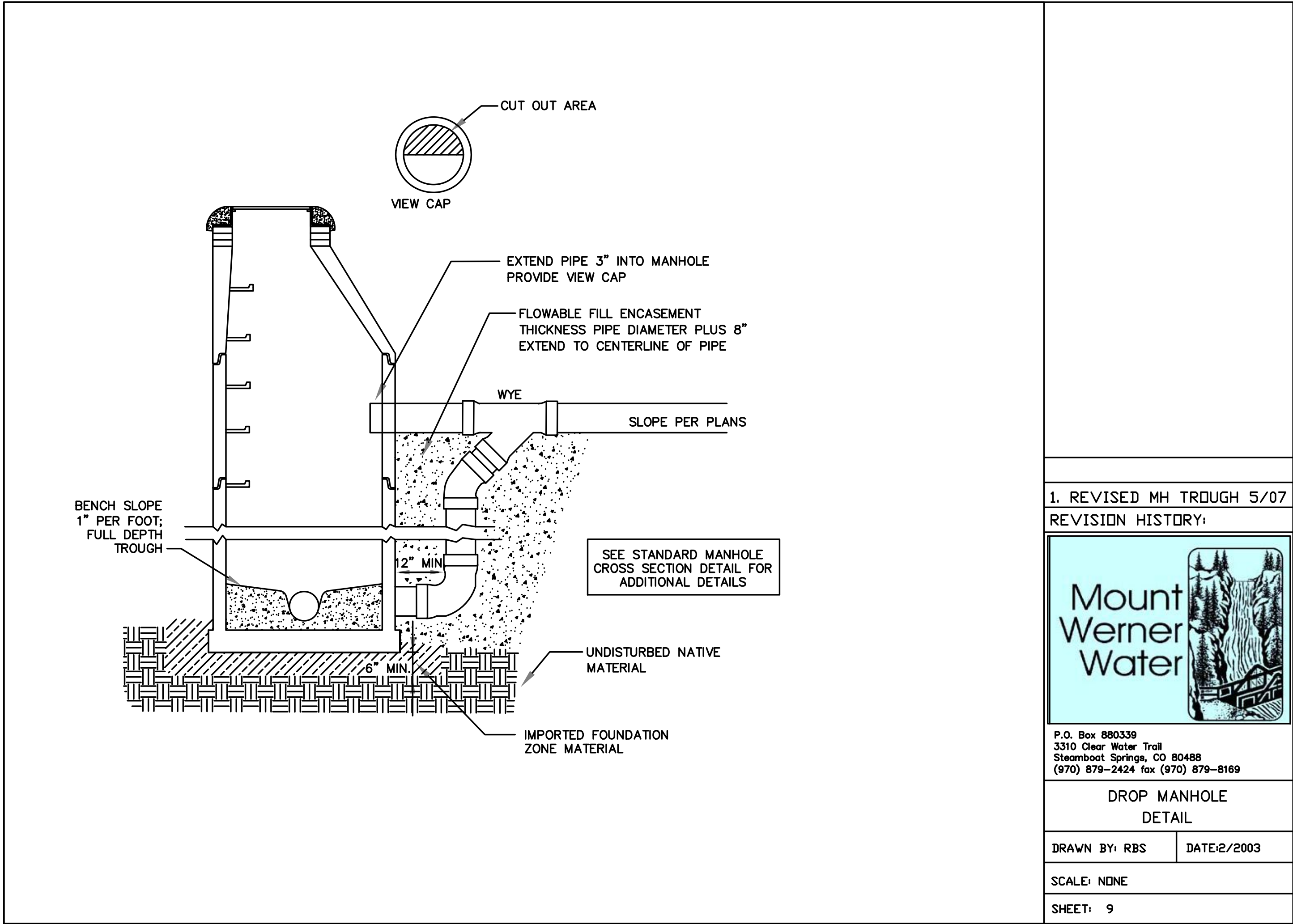
NOTE:

RUB'R NECK SEALS AT ALL JOINTS; INCLUDING CASTING TO GRADE RING, BETWEEN ALL GRADE RINGS AND AT ALL PRECAST JOINTS.

2. Added Note: 11/08	
1. Revised MH Trough: 5/07	
REVISION HISTORY:	
	
P.O. Box 880339 3310 Clear Water Trail Steamboat Springs, CO 80488 (970) 879-2424 fax (970) 879-8169	
STANDARD MANHOLE CROSS SECTION DETAIL	
DRAWN BY: RBS	DATE:2/2003
SCALE: NONE	
SHEET: 8	

DESIGNED BY	TJM
DRAWN BY	TJM
CHECKED BY	MRB
DATE	05/18/2023
PREPARED BY	SMB
REVISIONS PER DRT #	COMMENTS
REVISIONS PER DRT #	COMMENTS

c:\co20235 astrid-edgemont ph2\Drawings\CONCEPT\20235 DETAILS.dwg, 7/28/2023 10:58:04 AM, Steve Batchelder



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P. 970.879.825 • F. 303.940.9859 • www.baselinecorp.com

DESIGNED BY	DATE	PREPARED BY	REVISION DESCRIPTION	REVISIONS PER DRT #	COMMENTS	CHECKED BY
TJM	05/18/2023	SMG	1. Initial Release 2/2001	1		MRB
TJM	07/28/2023	SMG	REVISION HISTORY:			
			Mount Werner Water			
			P.O. Box 880339 3310 Clear Water Trail Steamboat Springs, CO 80488 (970) 879-2424 fax (970) 879-8169			
			TYPICAL DUPLEX SERVICE LINE LOCATION DETAIL			
			DRAWN BY: RBS DATE: 2/2003			
			SCALE: NONE			
			SHEET: 10			

STEAMBOAT ESQUIAR LP

THE ASTRID
2410 SKI TRAIL LANE
MOUNT WERNER WATER DETAILS 3

STEAMBOAT SPRINGS

ROUTE COUNTY

PRELIMINARY
NOT FOR
CONSTRUCTION

FOR AND ON BEHALF OF
BASELINE CORPORATION

INITIAL SUBMITTAL 12/22/2022

DRAWING SIZE 24" X 36"

SURVEY FIRM LANDMARK, INC

SURVEY DATE 06/03/22

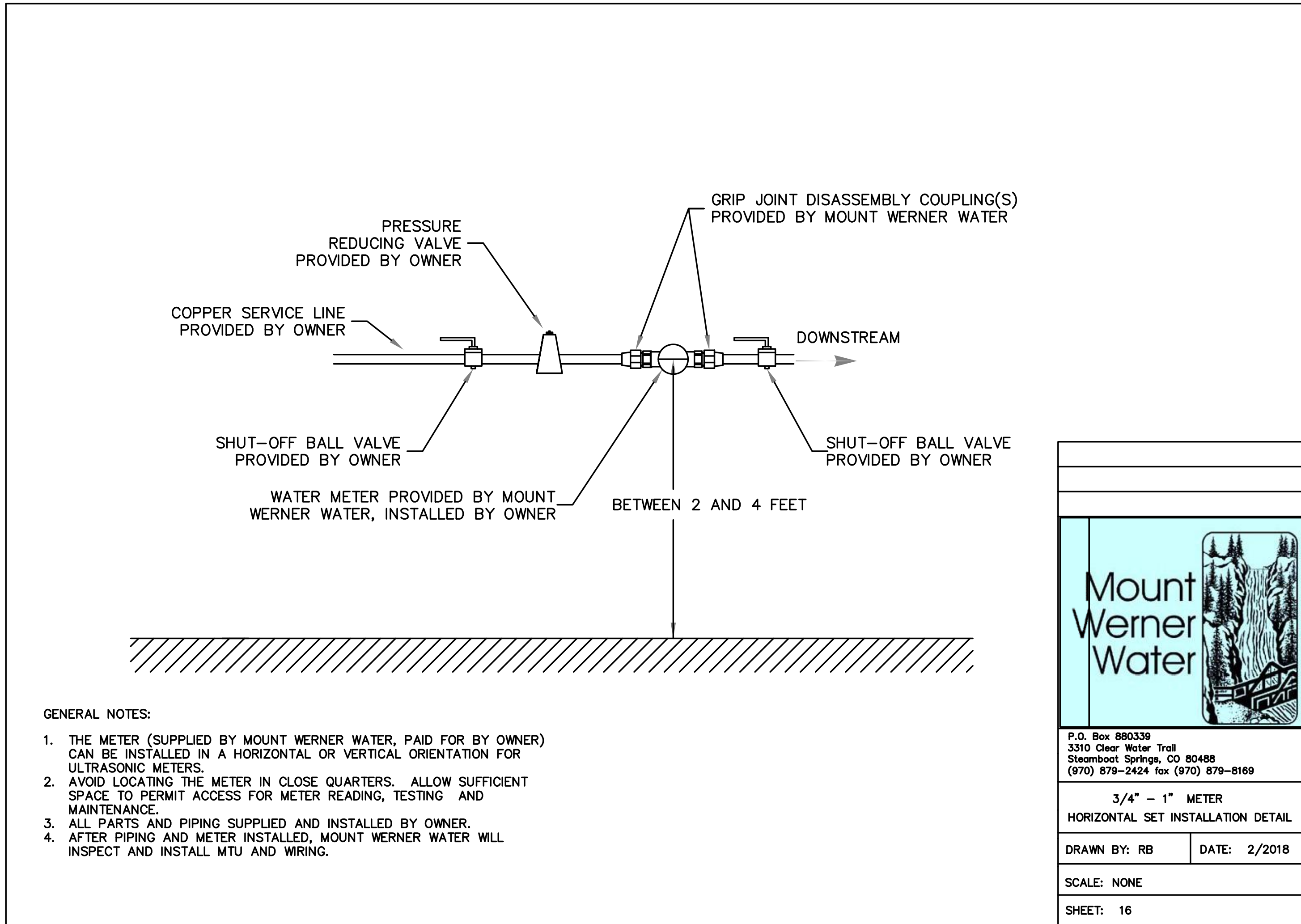
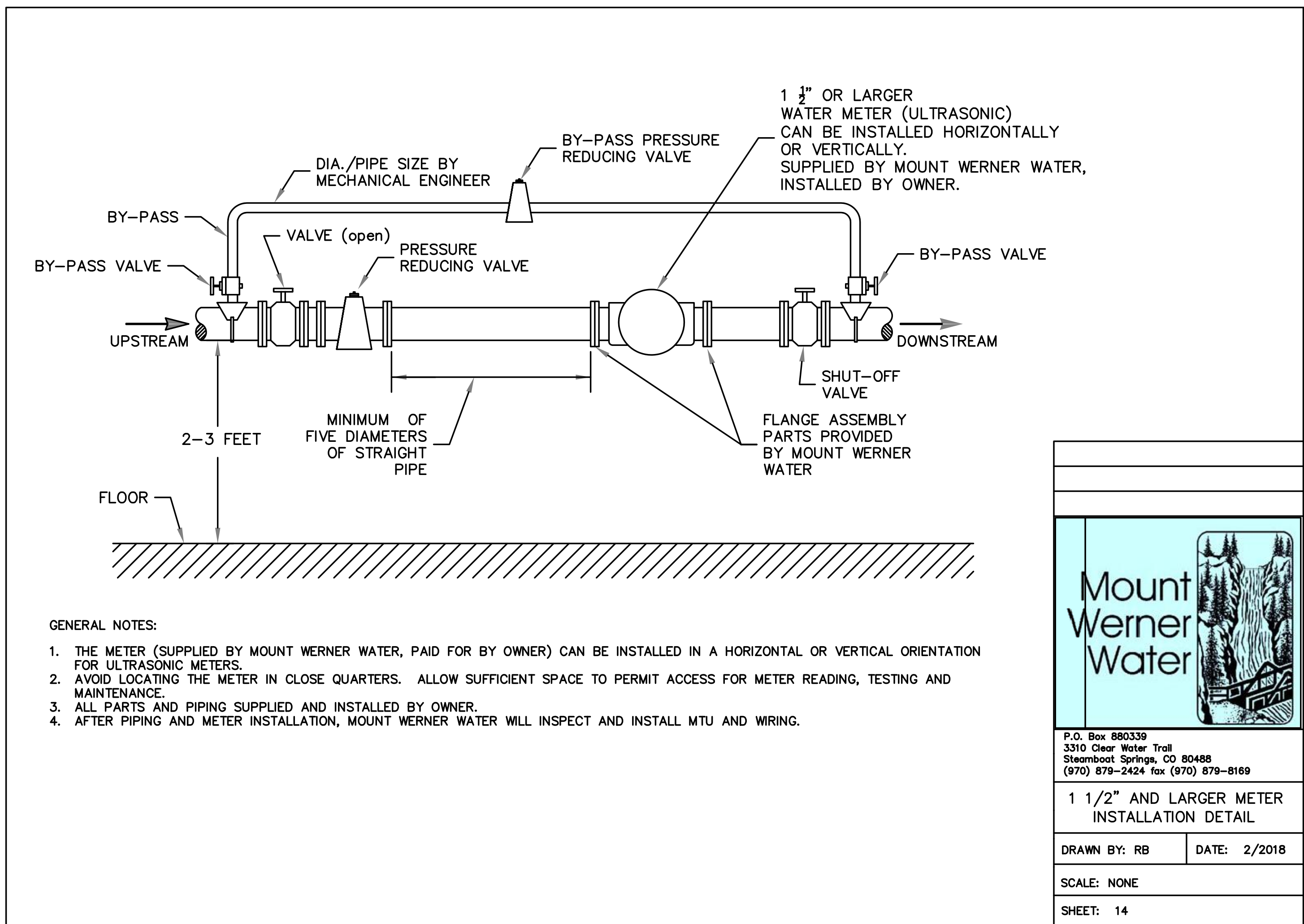
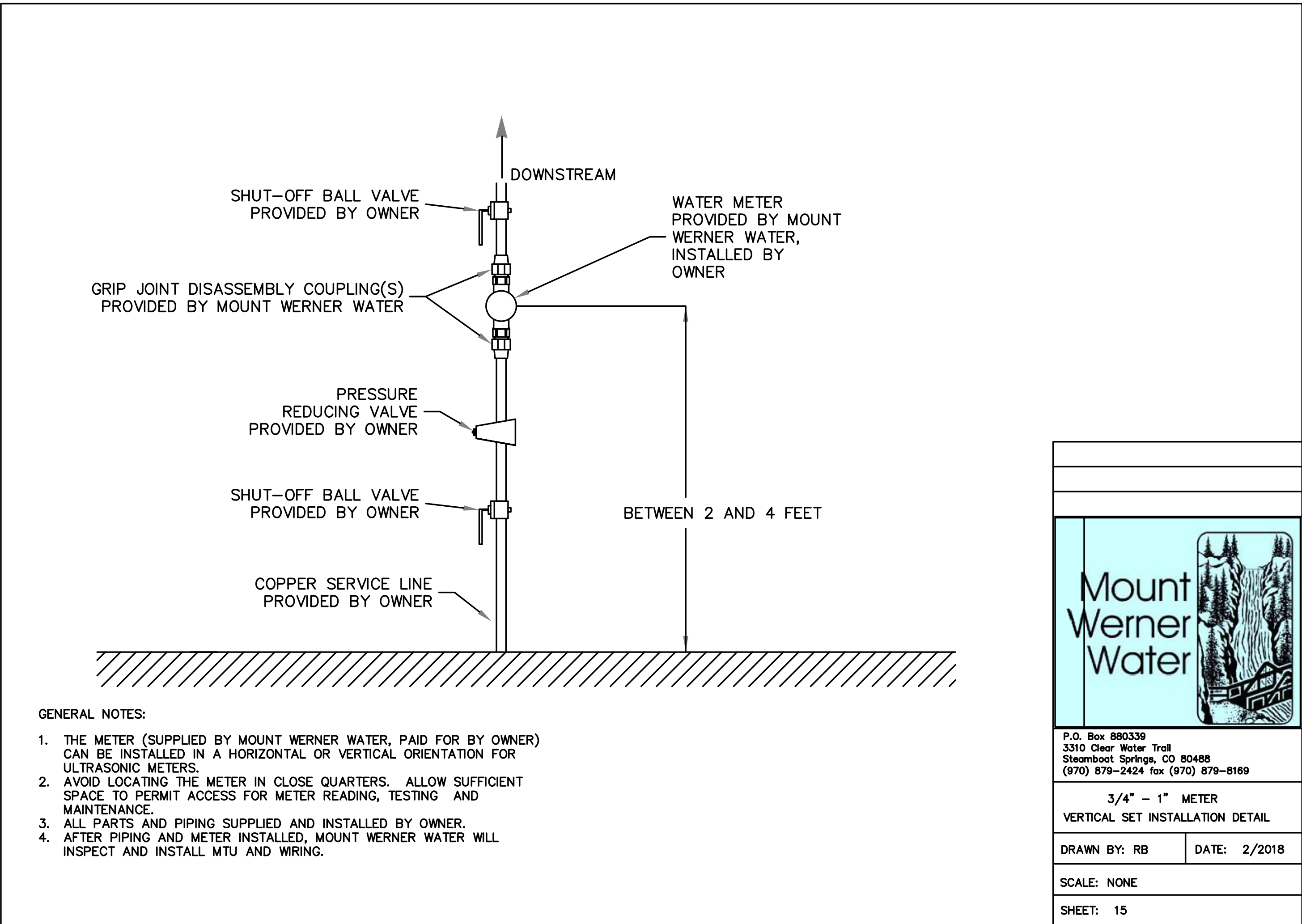
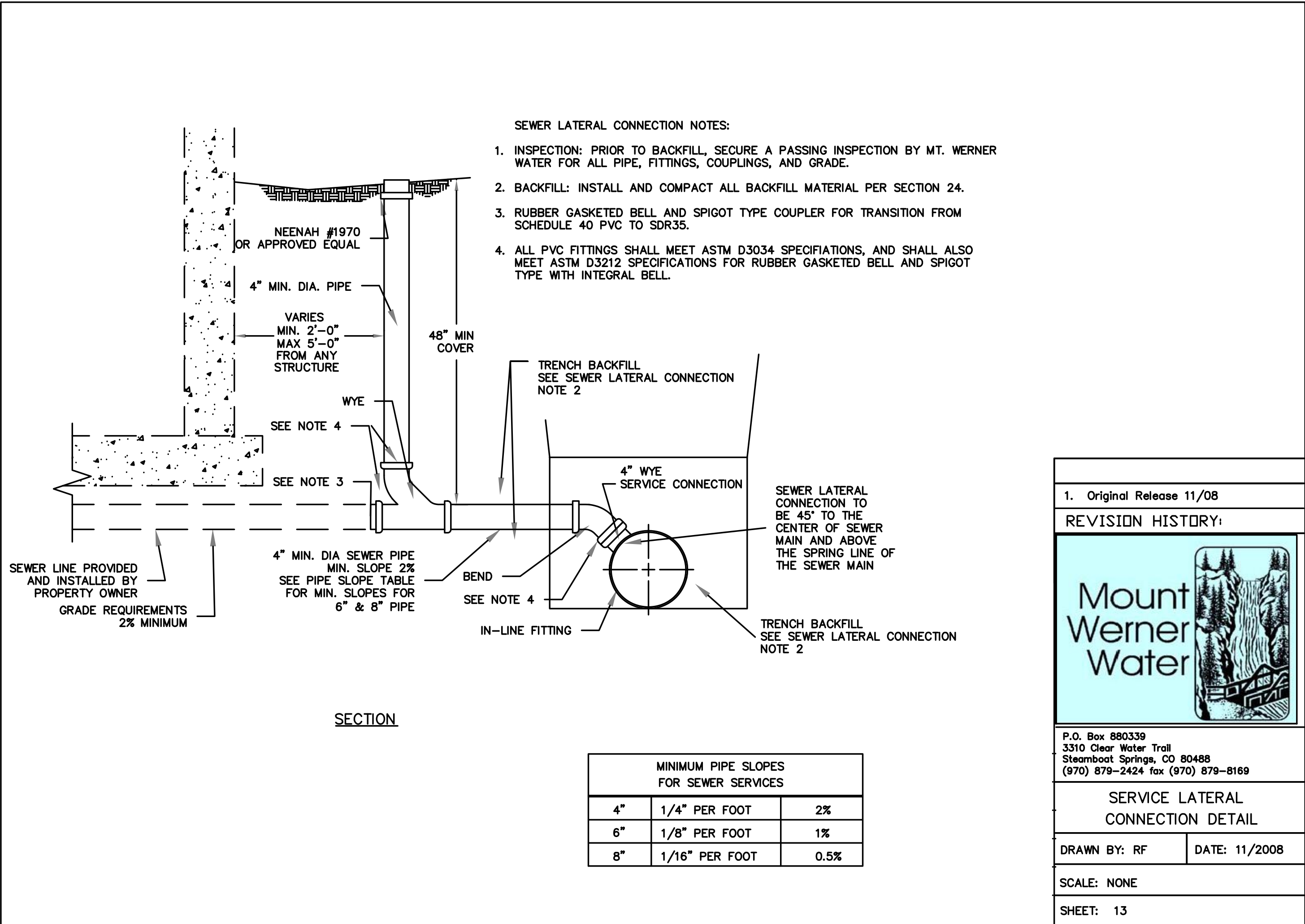
JOB NO. C020235

DRAWING NAME 20235 DETAILS.dwg

SHEET 36 OF 68

C34

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DESIGNED BY	DATE	PREPARED BY	DATE	REVISION DESCRIPTION
TJM	05/18/2023	SMB	05/18/2023	REVISIONS PER DRT #1 COMMENTS
TJM	07/28/2023	SMB	07/28/2023	REVISIONS PER DRT #1 COMMENTS
MRB				

ROUTT COUNTY

STEAMBOAT ESQUIAR LP

THE ASTRID
2410 SKI TRAIL LANE
MOUNT WERNER WATER DETAILS 4

STEAMBOAT SPRINGS

PRELIMINARY
NOT FOR
CONSTRUCTION

FOR AND ON BEHALF OF
BASELINE CORPORATION

INITIAL SUBMITTAL 12/22/2022

DRAWING SIZE 24" X 36"

SURVEY FIRM LANDMARK, INC. SURVEY DATE 06/03/22

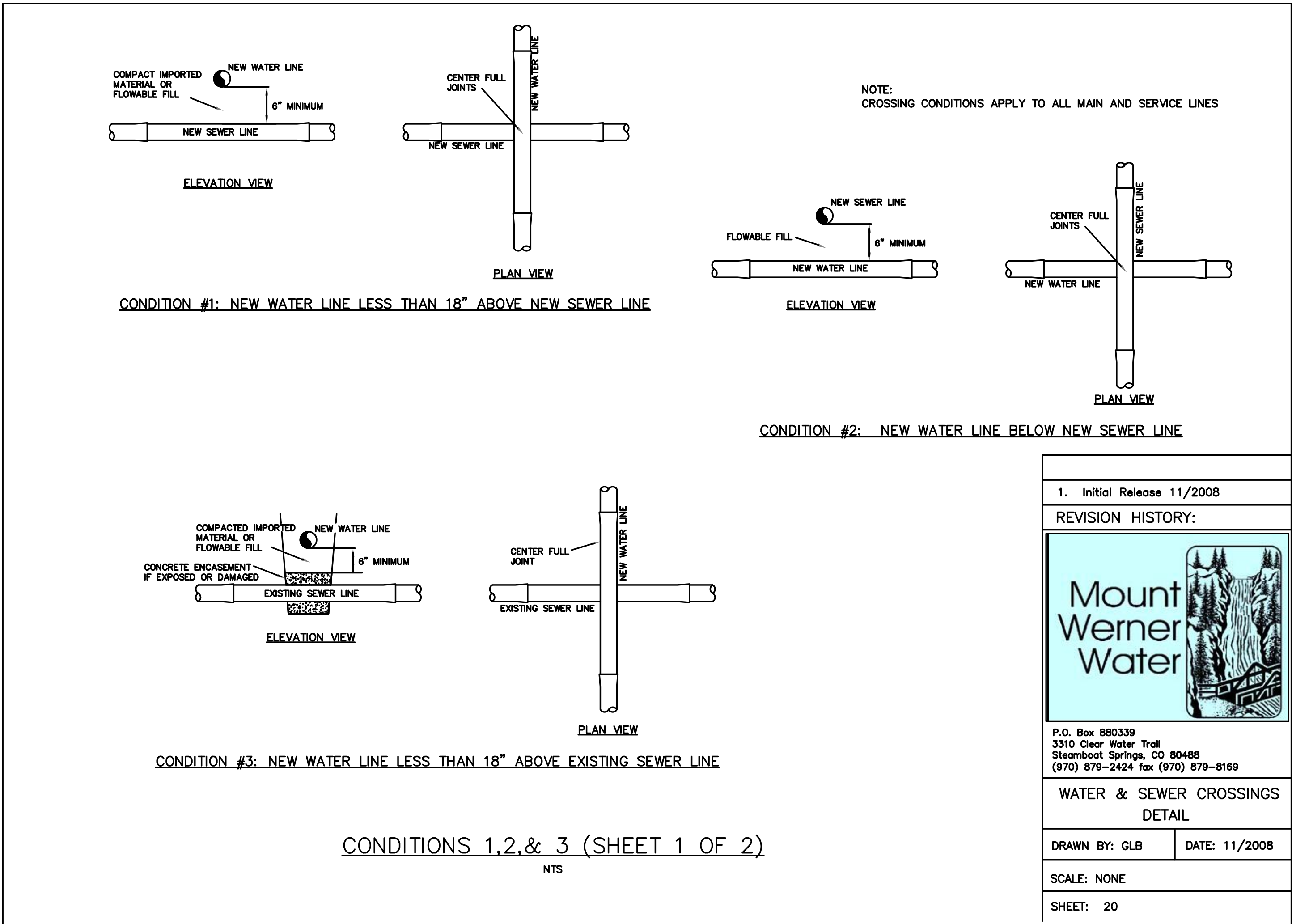
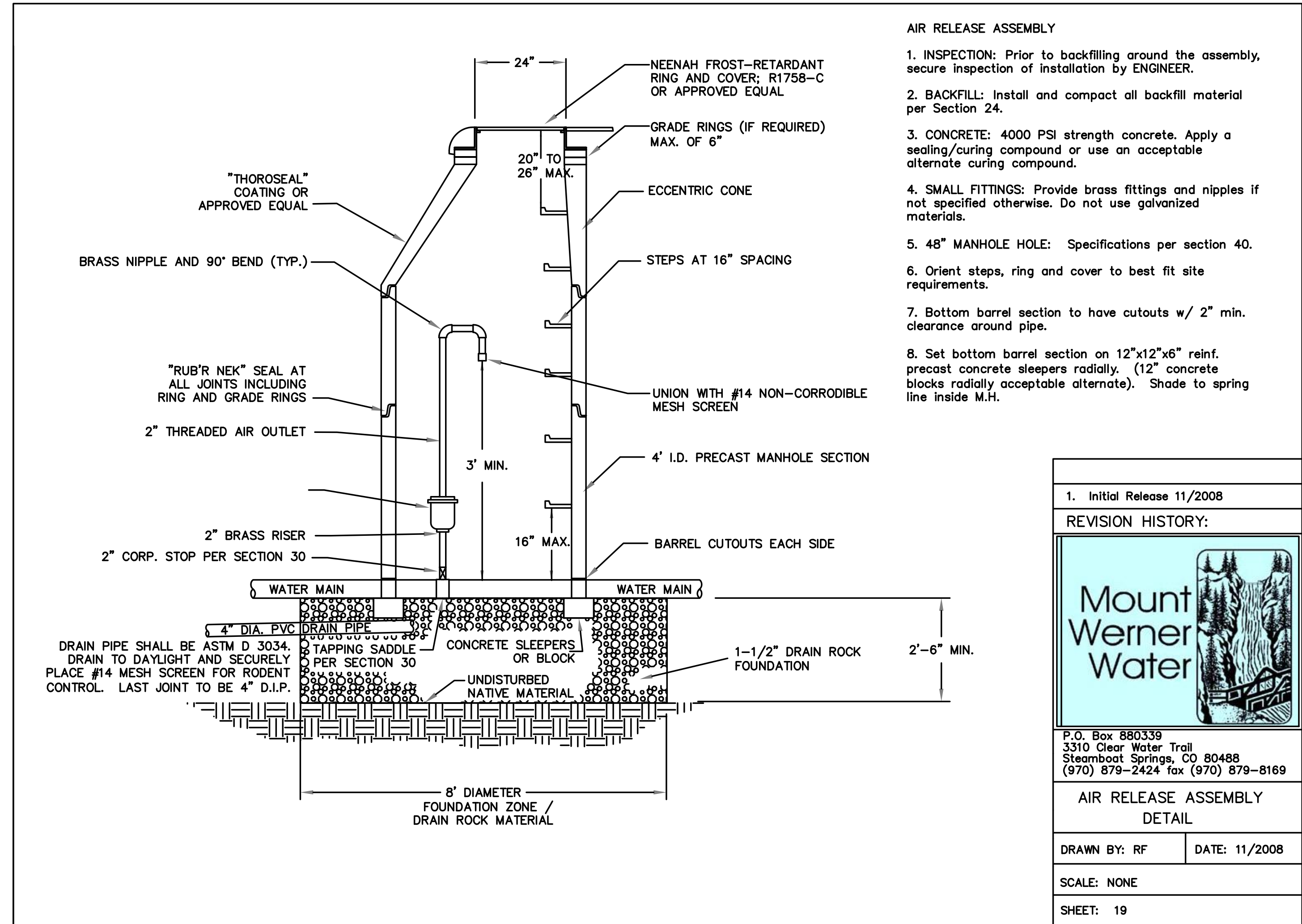
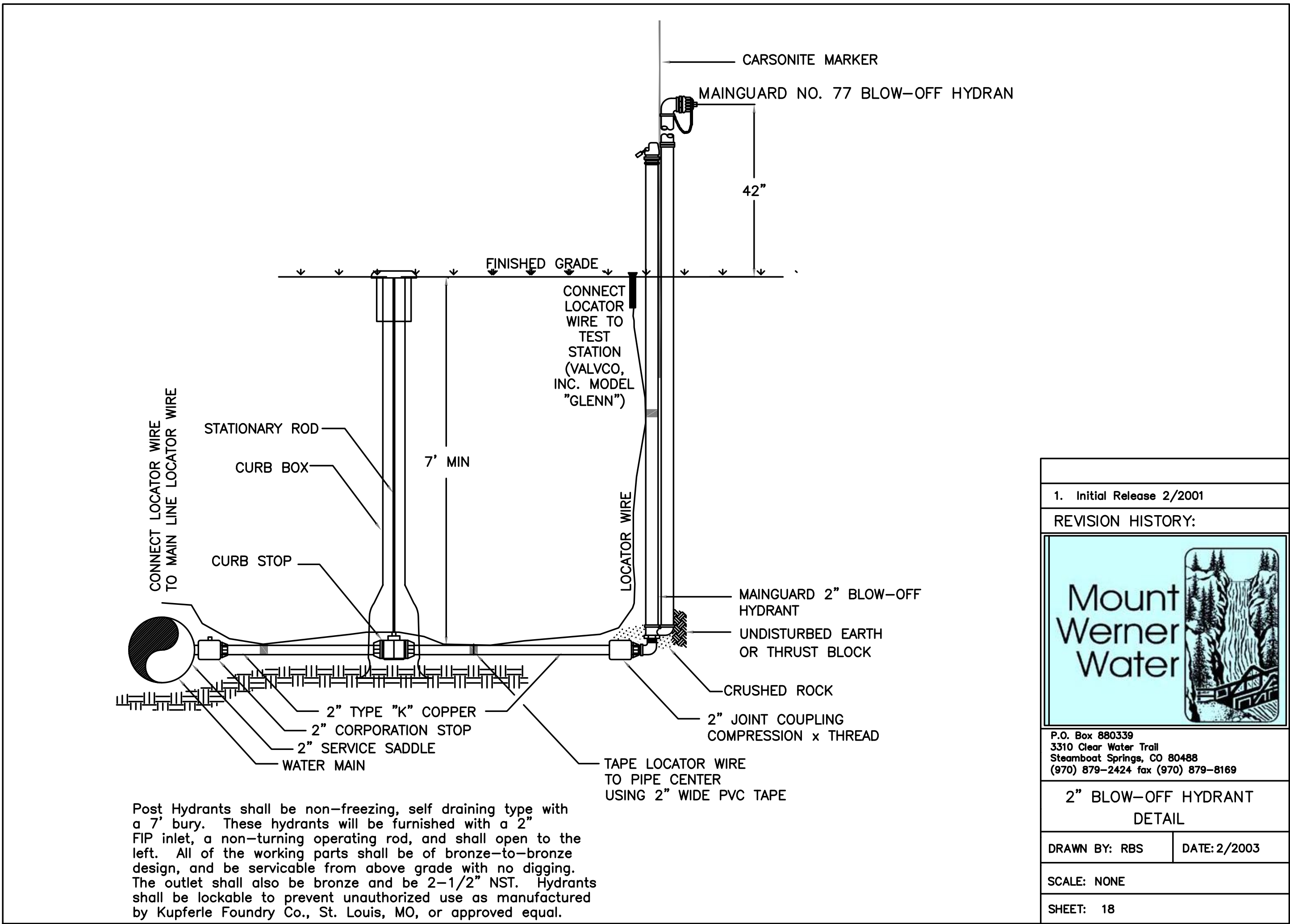
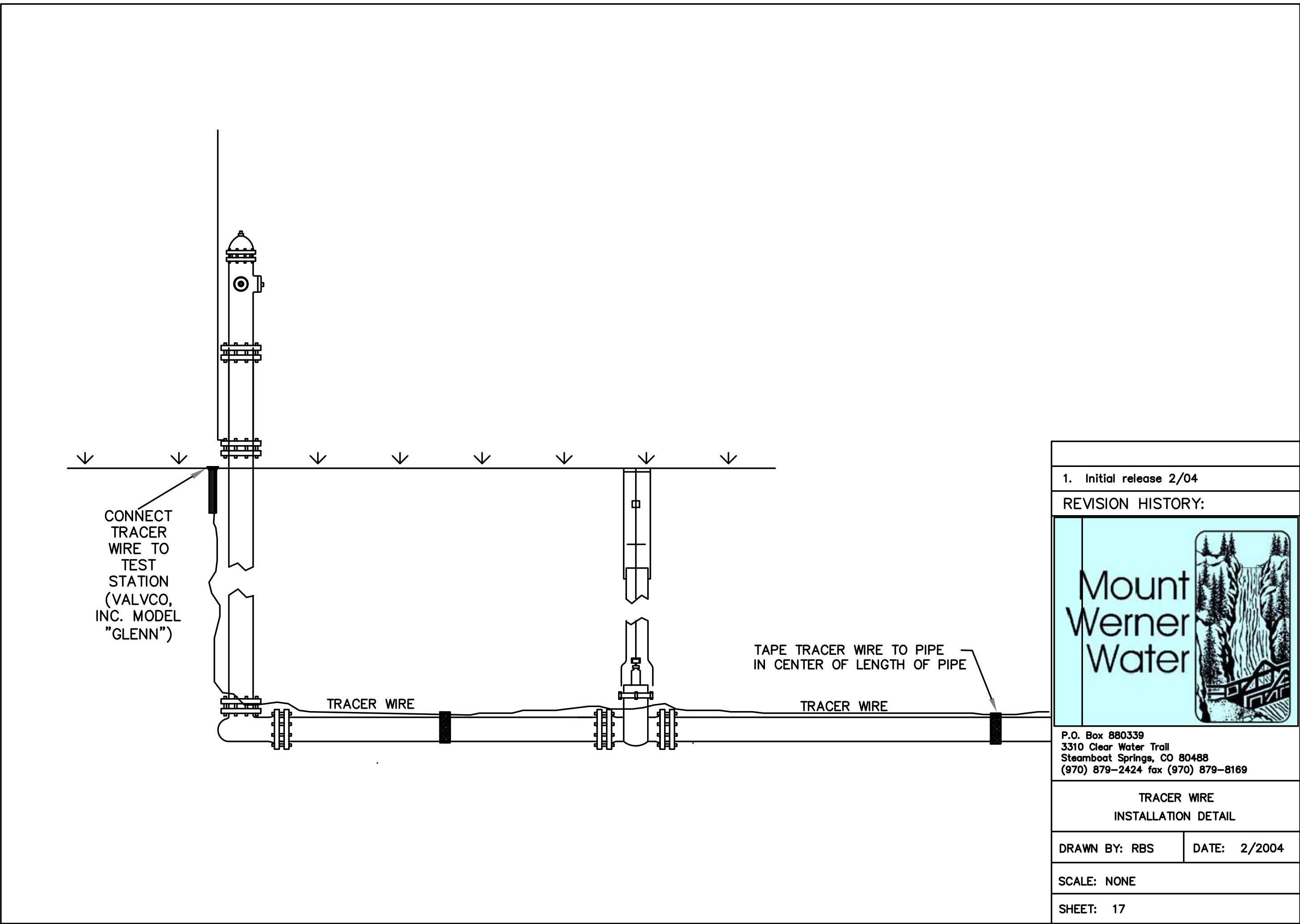
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SHEET 37 OF 68

C35

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DESIGNED BY
TJM

DATE
05/18/2023

PREPARED BY
SMG

REVISIONS PER DRT #1
COMMENTS

CHECKED BY
MRB

REVISIONS PER DRT #2
COMMENTS

STEAMBOAT ESQUIAR LP

THE ASTRID

2410 SKI TRAIL LANE

MOUNT WERNER WATER DETAILS 5

ROUTT COUNTY

STEAMBOAT SPRINGS

FOR AND ON BEHALF OF
BASELINE CORPORATION

INITIAL SUBMITTAL 12/22/2022

DRAWING SIZE 24" X 36"

SURVEY FIRM LANDMARK, INC

SURVEY DATE 06/03/22

JOB NO. C020235

DRAWING NAME 20235 DETAILS.dwg

SHEET 38 OF 68

PRELIMINARY
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CONSTRUCTION

FOR AND ON BEHALF OF
BASELINE CORPORATION

INITIAL SUBMITTAL 12/22/2022

DRAWING SIZE 24" X 36"

SURVEY FIRM LANDMARK, INC

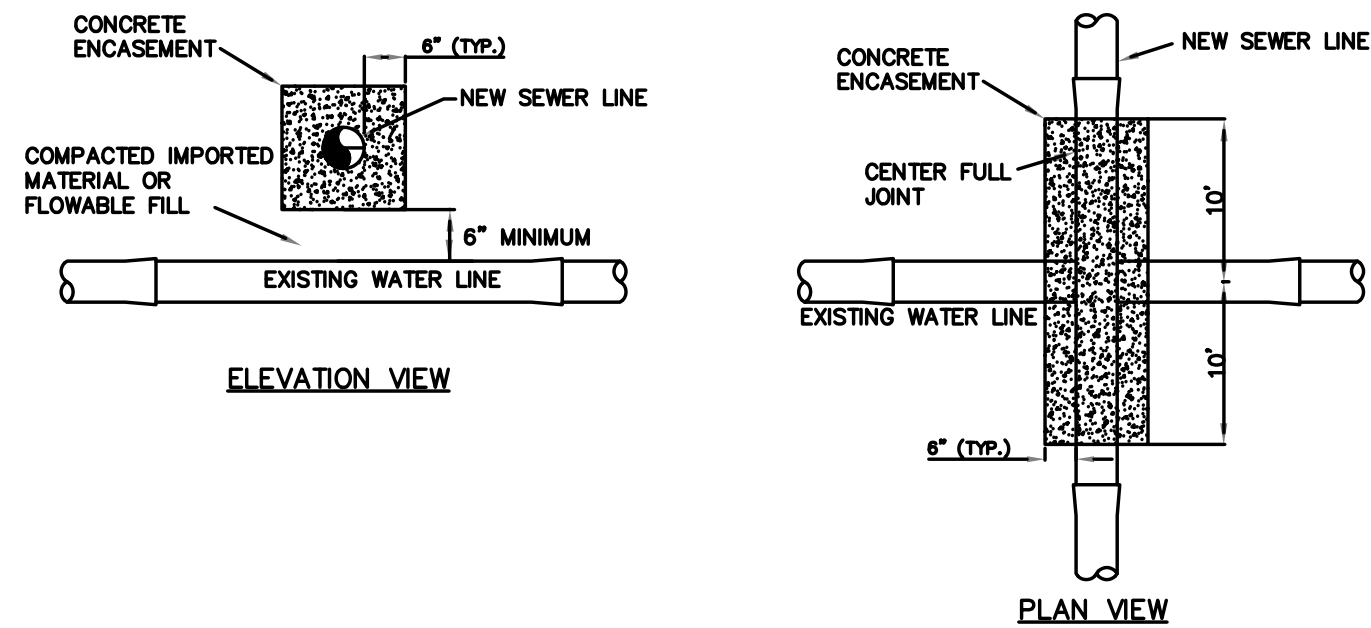
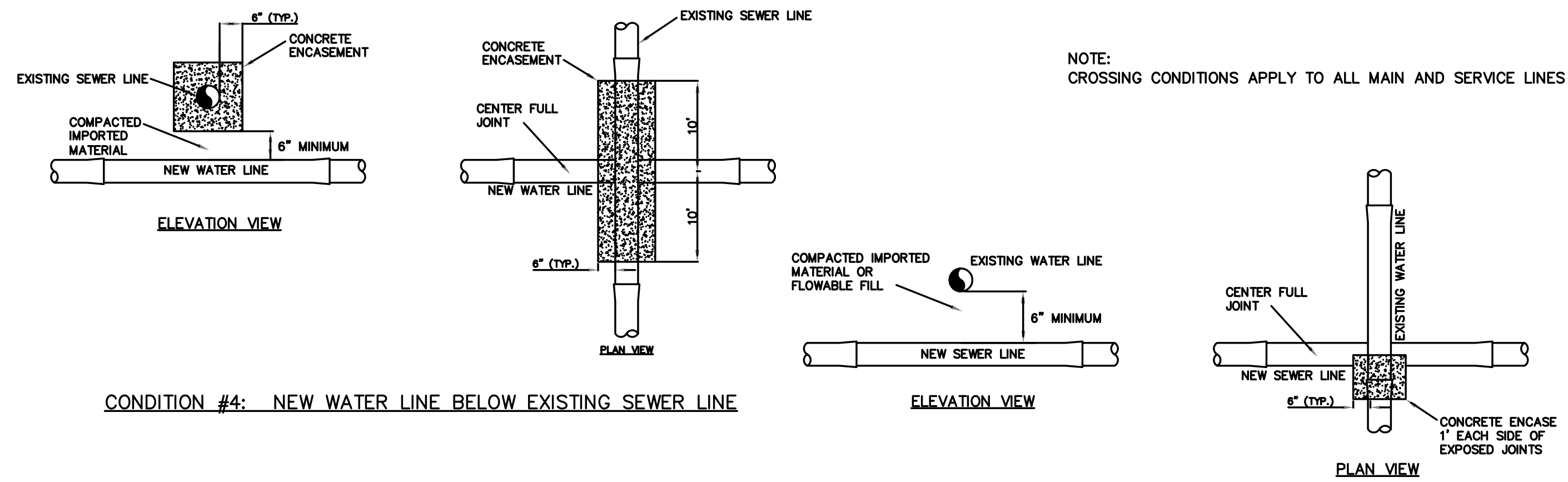
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SHEET 38 OF 68

C36




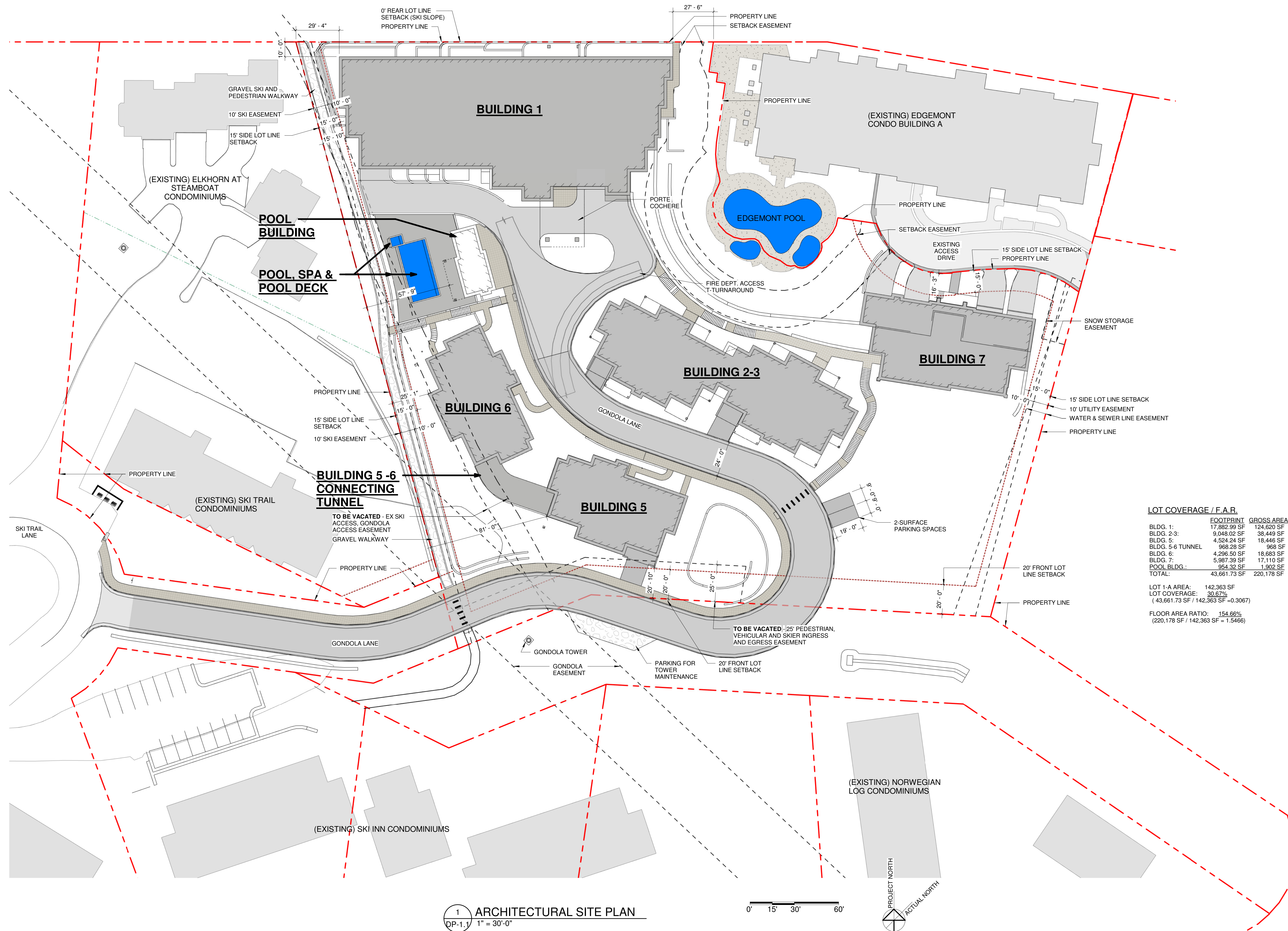
CONDITION #6: NEW SEWER LINE ABOVE EXISTING WATER LINE

CONDITIONS 4,5,& 6 (SHEET 2 OF 2)

NTS

NOTE:
CROSSING CONDITIONS APPLY TO ALL MAIN AND SERVICE LINES

1. Initial Release 11/2008	
REVISION HISTORY:	
<div><div>Mount Werner Water</div><div></div></div>	
P.O. Box 680339 3310 Clear Water Trail Steamboat Springs, CO 80488 (970) 879-2424 fax (970) 879-8169	
WATER & SEWER CROSSINGS DETAIL	
DRAWN BY: GLB	DATE: 11/2008
SCALE: NONE	
SHEET: 21	



NOTICE: DUTY OF COOPERATION

Release of these plans contemplates full cooperation among the owner, his contractor and the architect. Design and construction are complex tasks. The architect is not to be held responsible for performing their services with due care and diligence, they cannot guarantee perfection. Communication is imperfect and every contingency cannot be anticipated. Any written or oral disagreement or dispute in the use of these plans shall be reported immediately to the architect. Failure to notify the architect compounds the problem and increases the risk of a claim. The architect's failure to cooperate by a simple notice to the architect shall relieve the architect from responsibility for the consequences. Changes to the design and construction, without the architect's consent of the architect are unauthorized and shall relieve the architect of responsibility for all consequences arising out of such changes.

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Eric Smith Associates, P.C.

[illegible]

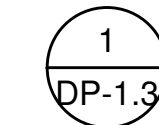
THE ASTRID
SKI TRAIL LANE
STEAMBOAT SPRINGS, CO 80487



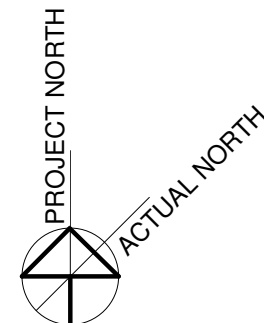
Job Number:	22014.00
Date:	2023-07-22
Drawn By:	-
Checked By:	Checker

Project Phase
PLANNING SUBMITTAL
Sheet Title
ARCHITECTURAL SITE PLAN

Sheet Number
DP-1.1


$$1'' = 30'-0''$$

0' 15' 30' 60'
SCALE: 1" = 30'-0"



Area Schedule (Open Space - ...)		
Area	Number	Name
9745 SF	OS-1	OS
24493 SF	OS-2	OS
15100 SF	OS-3	OS
49338 SF		
49338 SF		

LOT 1-A AREA: 142,363 SF

OPEN SPACE REQUIRED: 15%
 142,363 SF X 15% = 21,354.45 SF

OPEN SPACE PROVIDED: 49,338 SF
 49,338 SF / 142,363 SF = 34.66%

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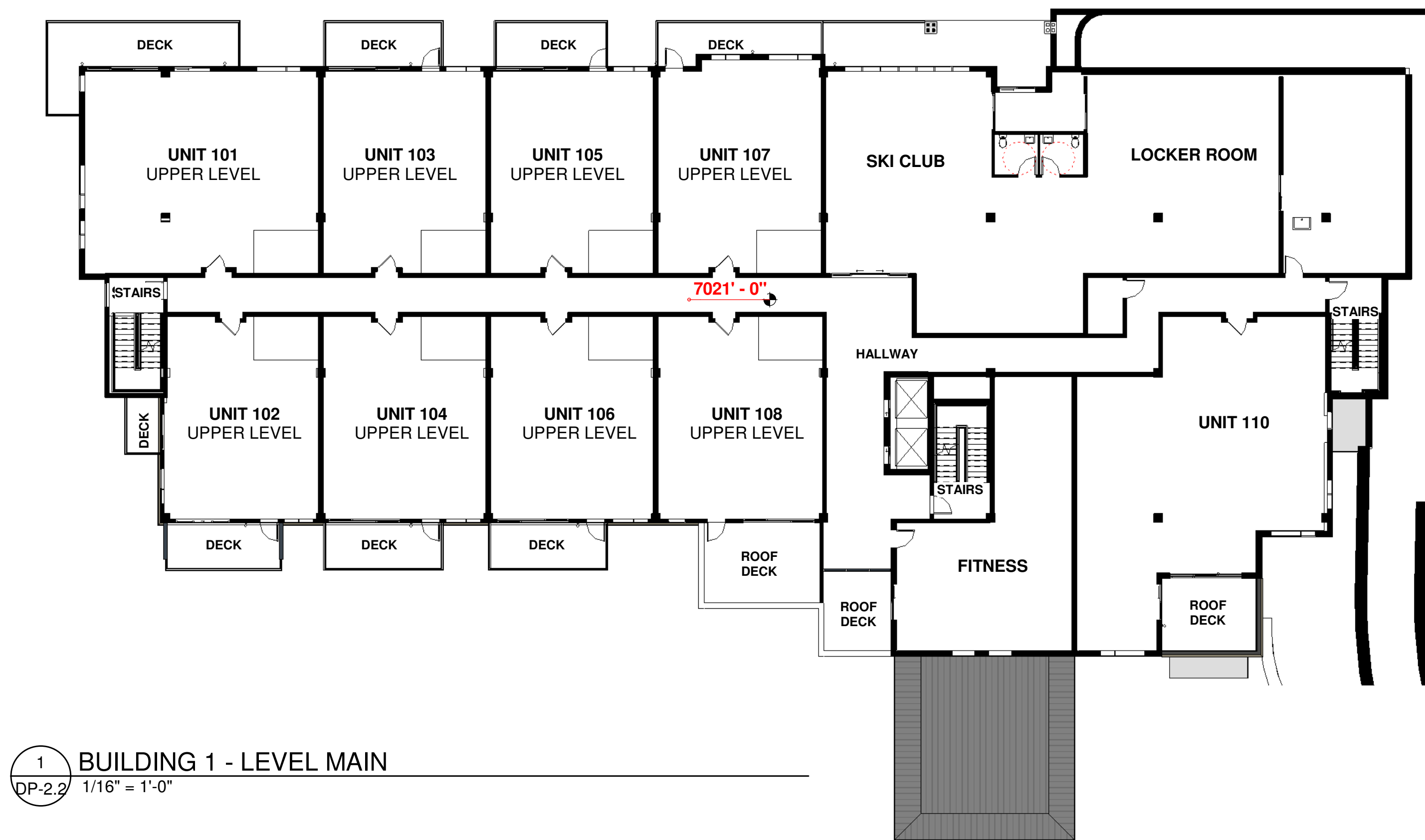
Job Number:	22014.00
Date:	2023-07-2
Drawn By:	Author
Checked By:	Checker

Project Phase
PLANNING SUBMITTAL
Sheet Title
OPEN SPACE PLAN 
Sheet Number
DP-1.3

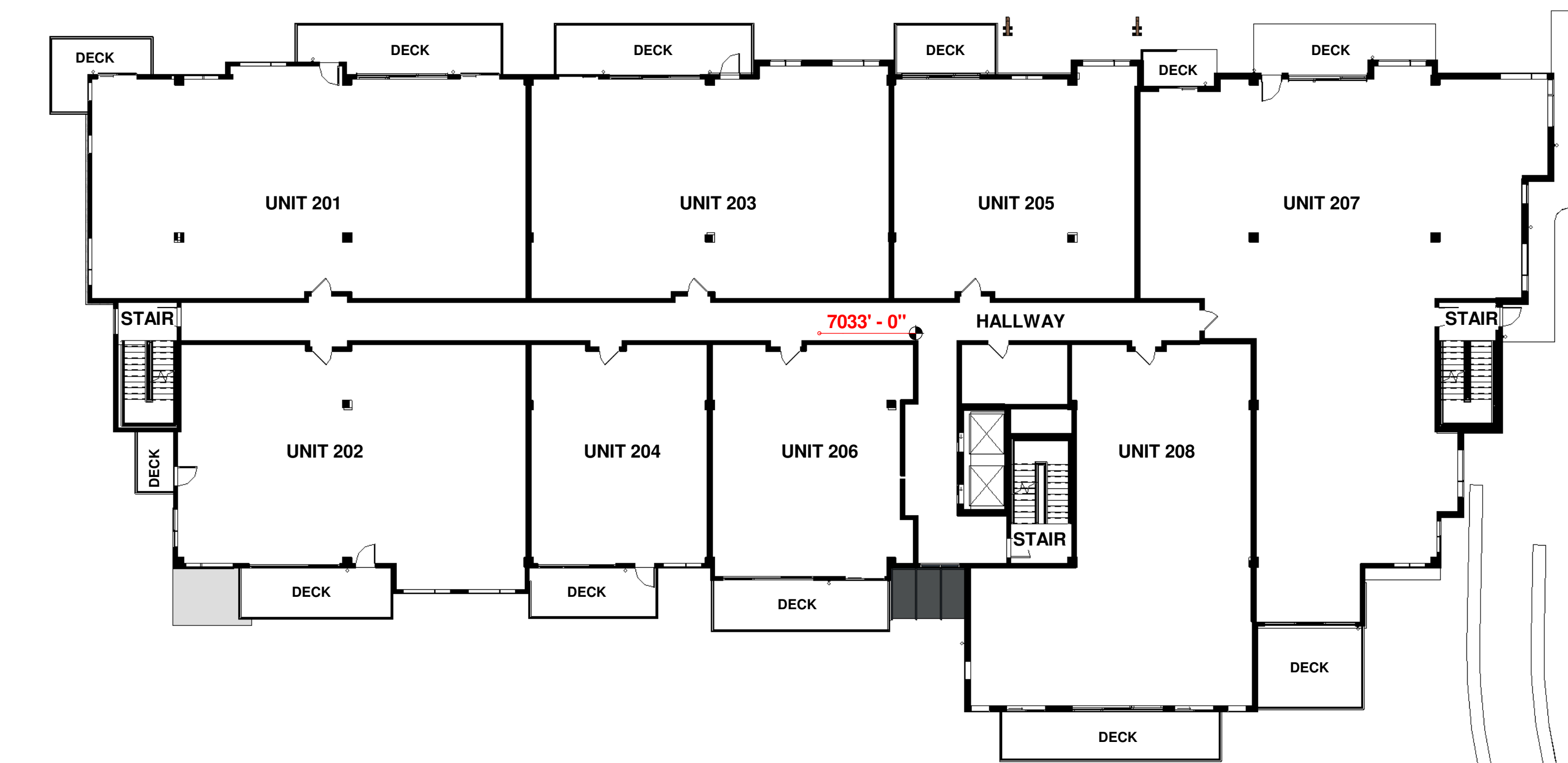
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The floor plan illustrates the layout of the Lower Level. It features eight residential units (101-108) arranged in a grid, each with a deck. A central staircase provides access to the units. To the right, there is a large garage area (7009' - 0") and a mechanical room (MECH.). Other areas include an office, trash enclosure, exit enclosure, and various stairwells. The plan also shows a deck area at the bottom left and a set of stairs at the bottom right.

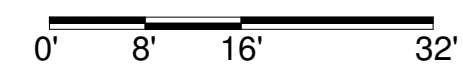
Sheet Number
DP-2.1



1 BUILDING 1 - LEVEL MAIN
DP-2.2 1/16" = 1'-0"



2 BUILDING 1 - LEVEL 2
DP-2.2 1/16" = 1'-0"



NOTICE: DUTY OF COOPERATION

Release of these plans contemplates further cooperation among the owner, his contractor and the architect. Design and construction are complex. The architect, his architect and contractor must perform their services with due care and diligence, they cannot guarantee perfection. Communication is imperfect and every contingency cannot be anticipated. Any arbitrary or capricious decision by the use of these plans shall be reported immediately to the architect. Failure to notify the architect compounds the problem and increases the cost of the project. A failure to cooperate by a simple notice to the architect shall relieve the architect from responsibility for the consequences. Changes to the plans without the consent of the architect are unauthorized and shall relieve the architect of responsibility for all consequences arising out of such changes.

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STEAMBOAT SPRINGS, CO 80487

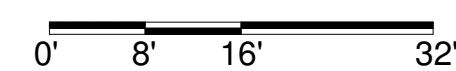
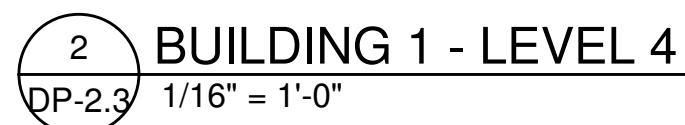
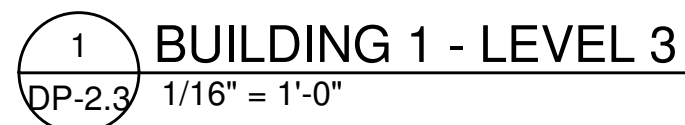


Job Number:	22014.00
Date:	2023-07-2
Drawn By:	Author
Checked By:	Checker

Project Phase
PLANNING SUBMITTAL

Sheet Title
FLOOR PLANS - BUILDING 1

Sheet Number
DP-2.2



NOTICE: DUTY OF COOPERATION

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Eric Smith Associates, P.C.

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STEAMBOAT SPRINGS, CO 80487

ESA

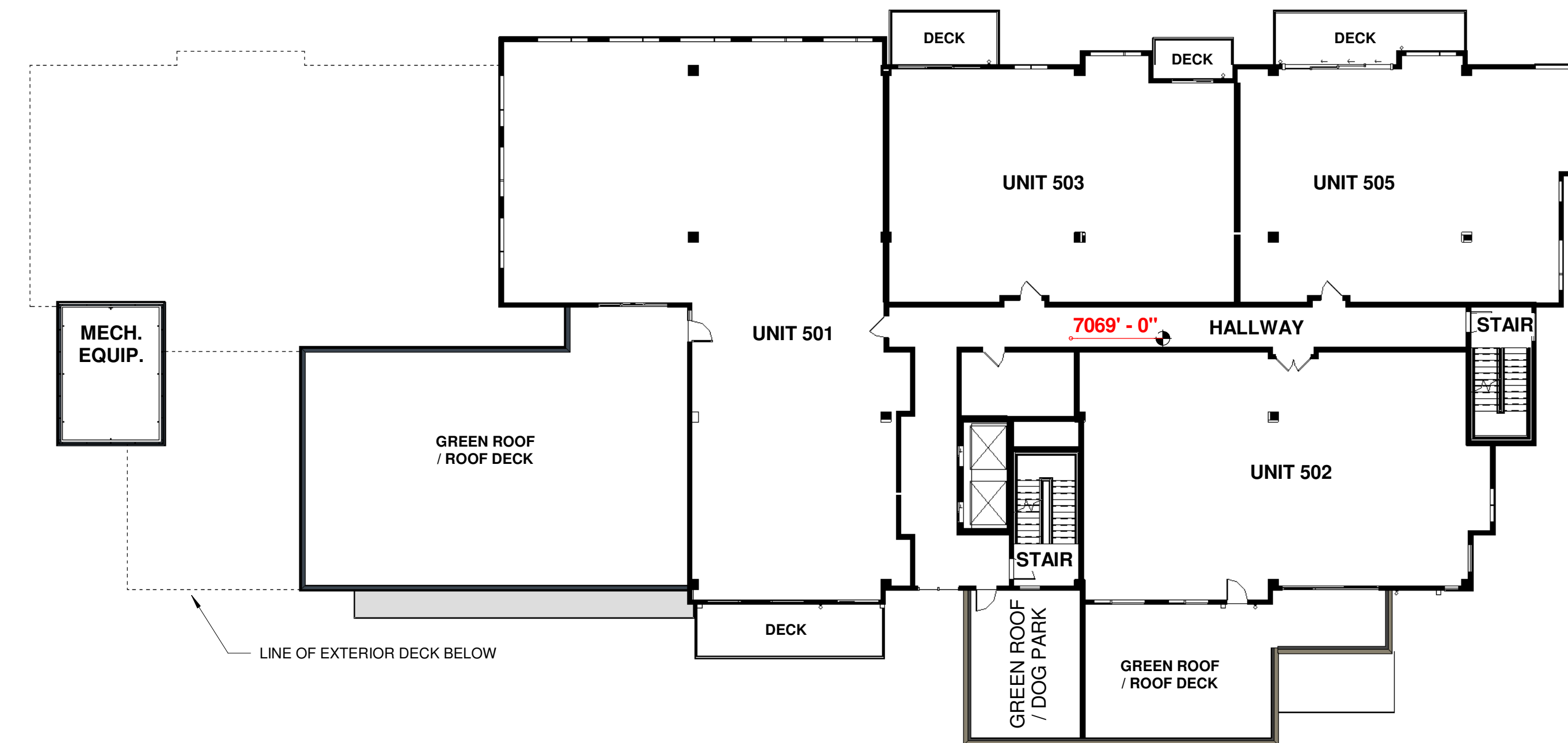
ERIC SMITH ASSOCIATES, P.C.
1919 SEVENTH STREET
BOULDER, COLORADO, 80302
(303) 442-5458, (303) 442-4745 FAX

Job Number:	22014.00
Date:	2023-07-2
Drawn By:	Author
Checked By:	Checker

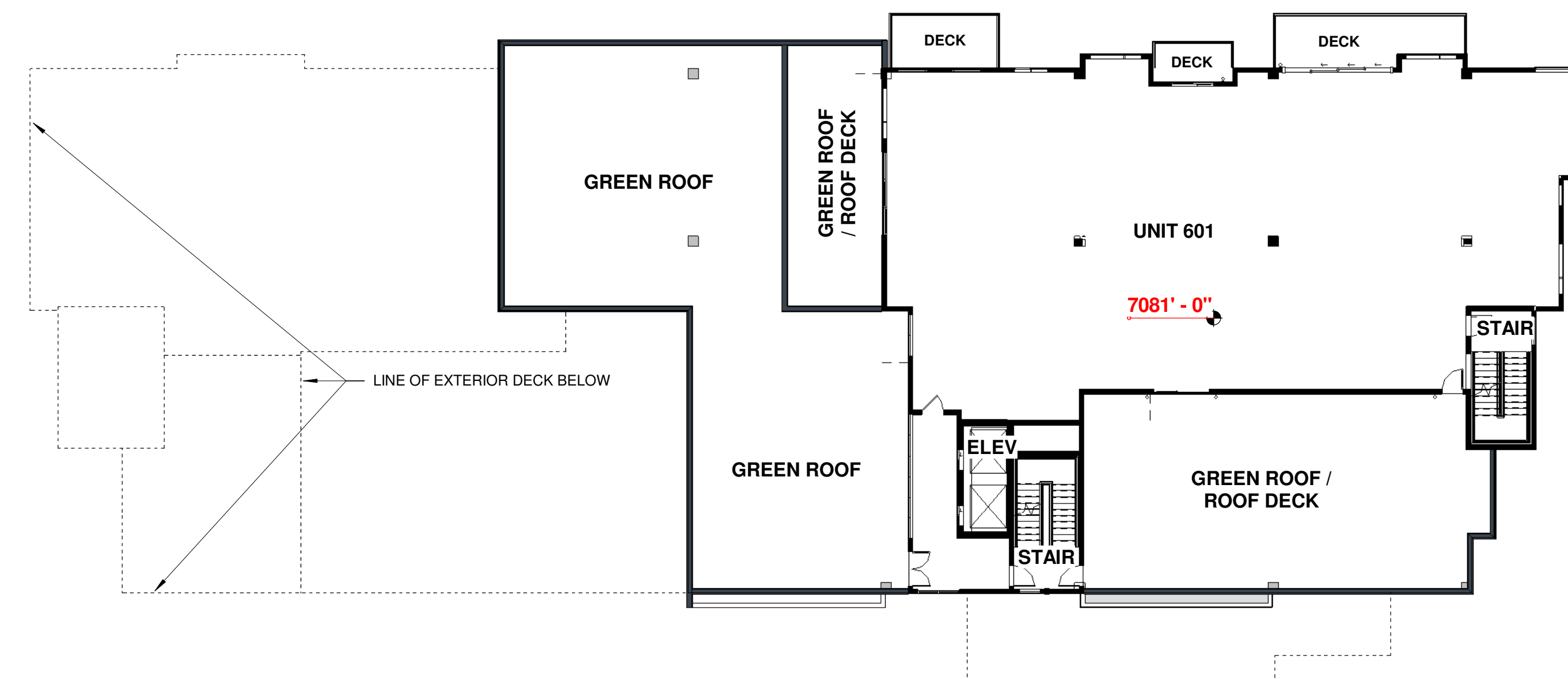
Project Phase
PLANNING SUBMITTAL

Sheet Title	
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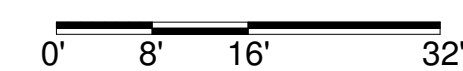
Sheet Number
DP-2.3



1 BUILDING 1 - LEVEL 5
DP-2.4 1/16" = 1'-0"



2 BUILDING 1 - LEVEL 6
DP-2.4 1/16" = 1'-0"



DP SUBMITTAL 12-23-22 (2023-07-31 - DP RESUBMITTAL)

NOTICE: DUTY OF COOPERATION


Release of these plans contemplates further cooperation among the owner, his contractor and the architect. Design and construction are complex. Any failure by the architect to perform the services with due care and diligence, they cannot guarantee perfection. Communication is imperfect and every contingency cannot be anticipated. Any arbitrary or discretionary decisions by the use of these plans shall be reported immediately to the architect. Failure to notify the architect compounds mistakes and increases the risk of disputes. A failure to cooperate by a simple notice to the architect shall relieve the architect from responsibility for the consequences of changes made by the owner without the consent of the architect are unauthorized and shall relieve the architect of responsibility for all consequences arising out of such changes.

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STEAMBOAT SPRINGS, CO 80487



ERIC SMITH ASSOCIATES, P.C.
 1919 SEVENTH STREET
 BOULDER, COLORADO, 80302
 (303) 442-5456, (303) 442-4745 FAX

Job Number:	22014.00
Date:	2023-07-26
Drawn By:	Author
Checked By:	Checker

Project Phase

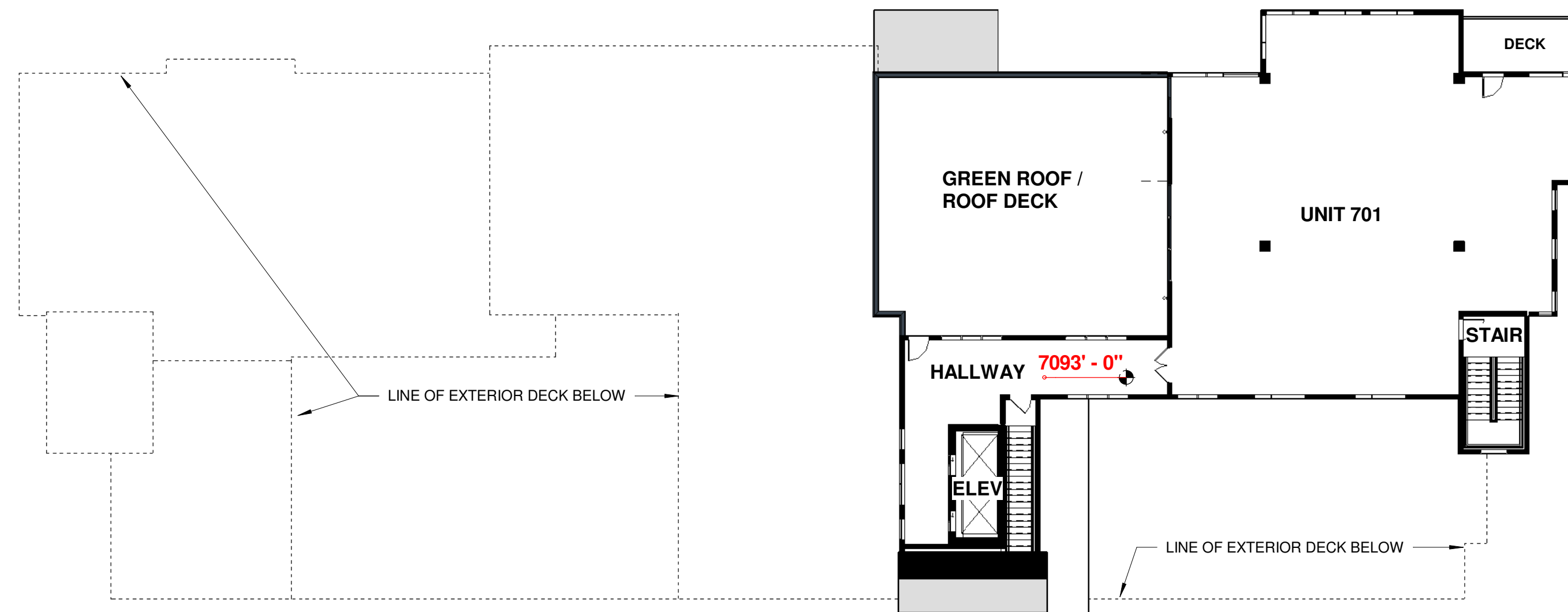
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Sheet Title

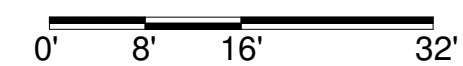
FLOOR PLANS - BUILDING I

Sheet Number

DP-2.4



1 BUILDING 1 - LEVEL 7
DP-2.5 1/16" = 1'-0"



DP SUBMITTAL 12-23-22 (2023-07-31 - DP RESUBMITTAL)

NOTICE: DUTY OF COOPERATION

Release of these plans contemplates further cooperation among the owner, his contractor and the architect. Design and construction are complex. Although the architect and his consultants have performed their services with due care and diligence, they cannot guarantee perfection. Communication is imperfect and every contingency cannot be anticipated. Any ambiguity or discrepancy discovered by the use of the plans shall be the responsibility of the contractor and the architect. Failure to notify the architect compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to the architect shall relieve the architect from responsibility for the consequences. Changes made from the plans without consent of the architect are unauthorized and shall relieve the architect of responsibility for all consequences arising out of such changes.

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REVISIONS

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STEAMBOAT SPRINGS, CO 80487

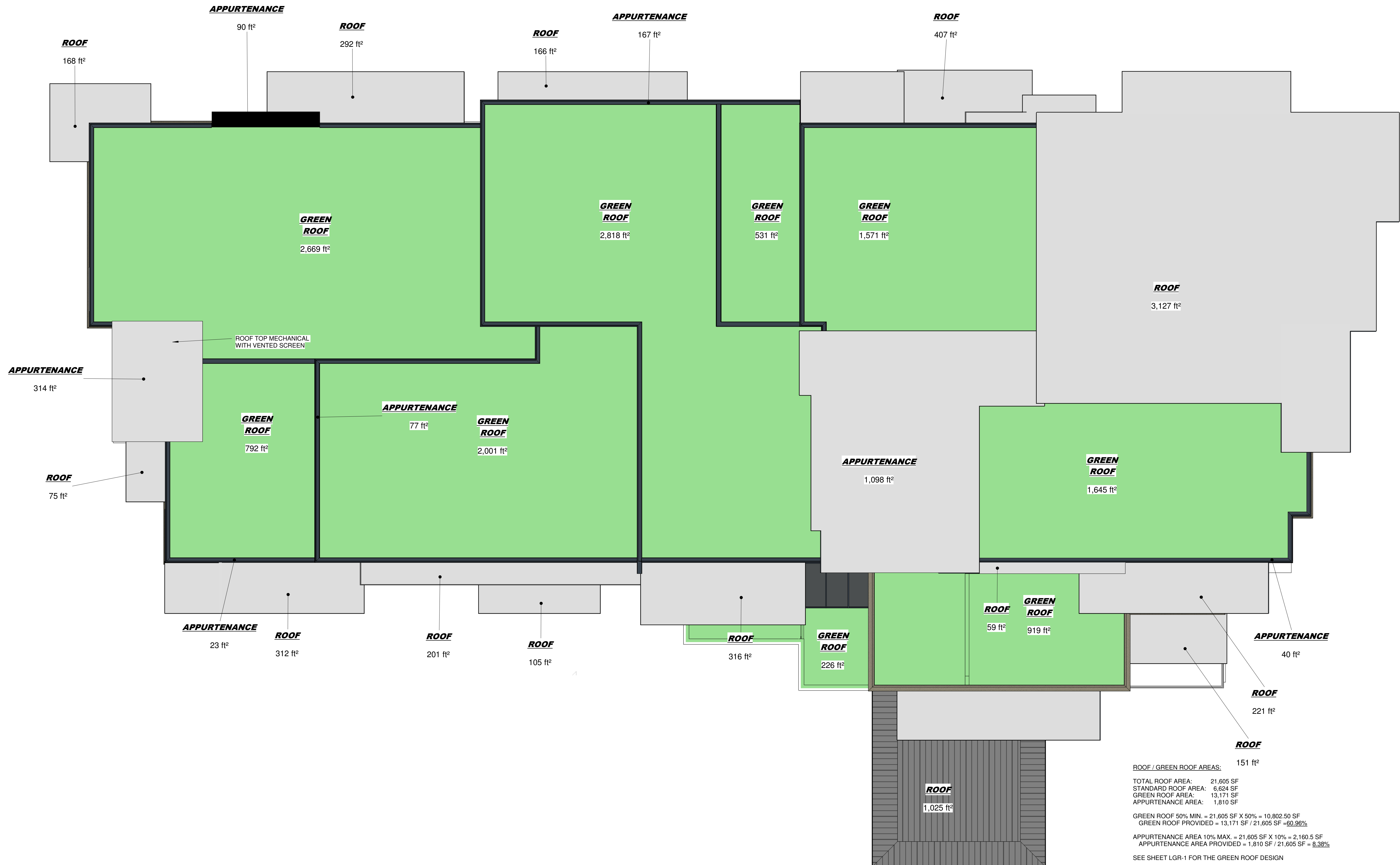


Job Number:	22014.00
Date:	2023-07-28
Drawn By:	Author
Checked By:	Checker

Project Phase
PLANNING SUBMITTAL

Sheet Title
FLOOR PLANS - BUILDING 1

Sheet Number
DP-2.5



ROOF / GREEN ROOF AREAS: 151 ft²

TOTAL ROOF AREA:	21,605 SF
STANDARD ROOF AREA:	6,624 SF
GREEN ROOF AREA:	13,171 SF
APURTENANCE AREA:	1,810 SF

GREEN ROOF 50% MIN. = 21,605 SF X 50% = 10,802.50 SF
GREEN ROOF PROVIDED = 13,171 SF / 21,605 SF = 60.96%

APURTENANCE AREA 10% MAX = 21,605 SF X 10% = 2,160.5 SF
APURTENANCE AREA PROVIDED = 1,810 SF / 21,605 SF = 8.38%

SEE SHEET LGR-1 FOR THE GREEN ROOF DESIGN

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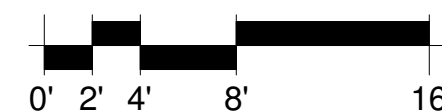


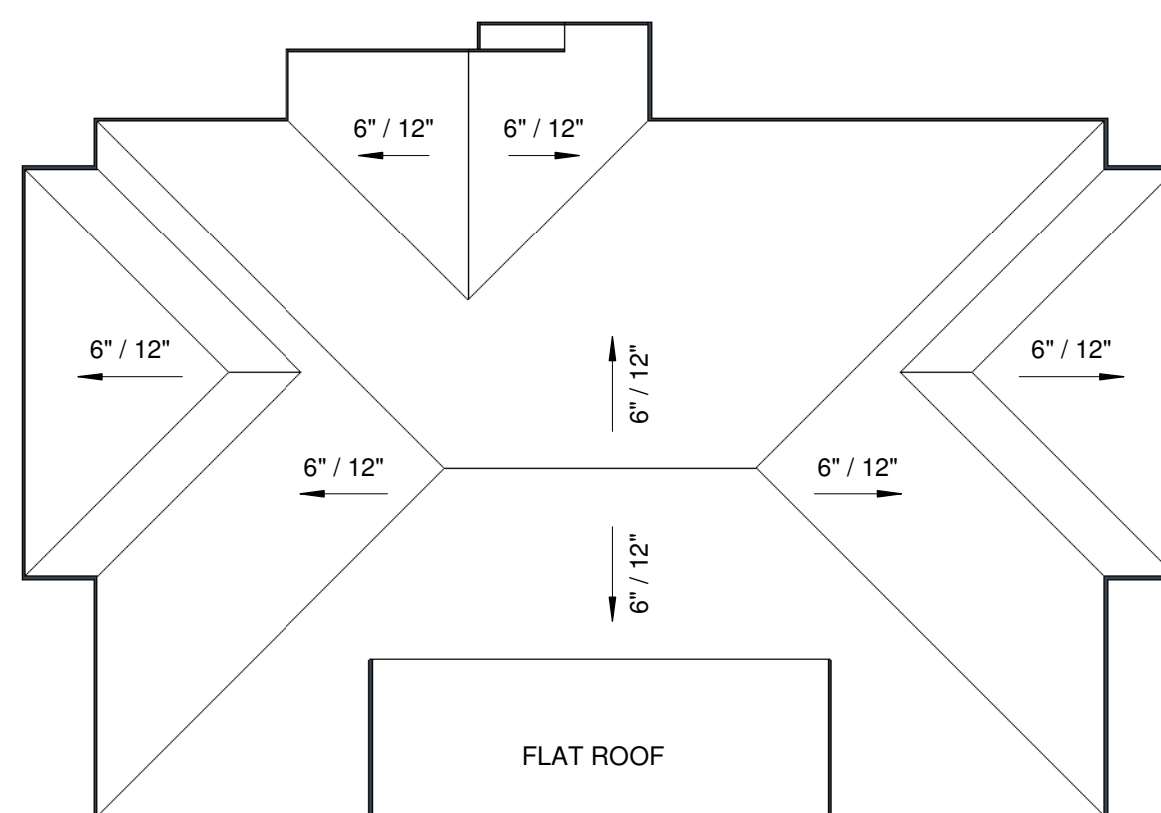
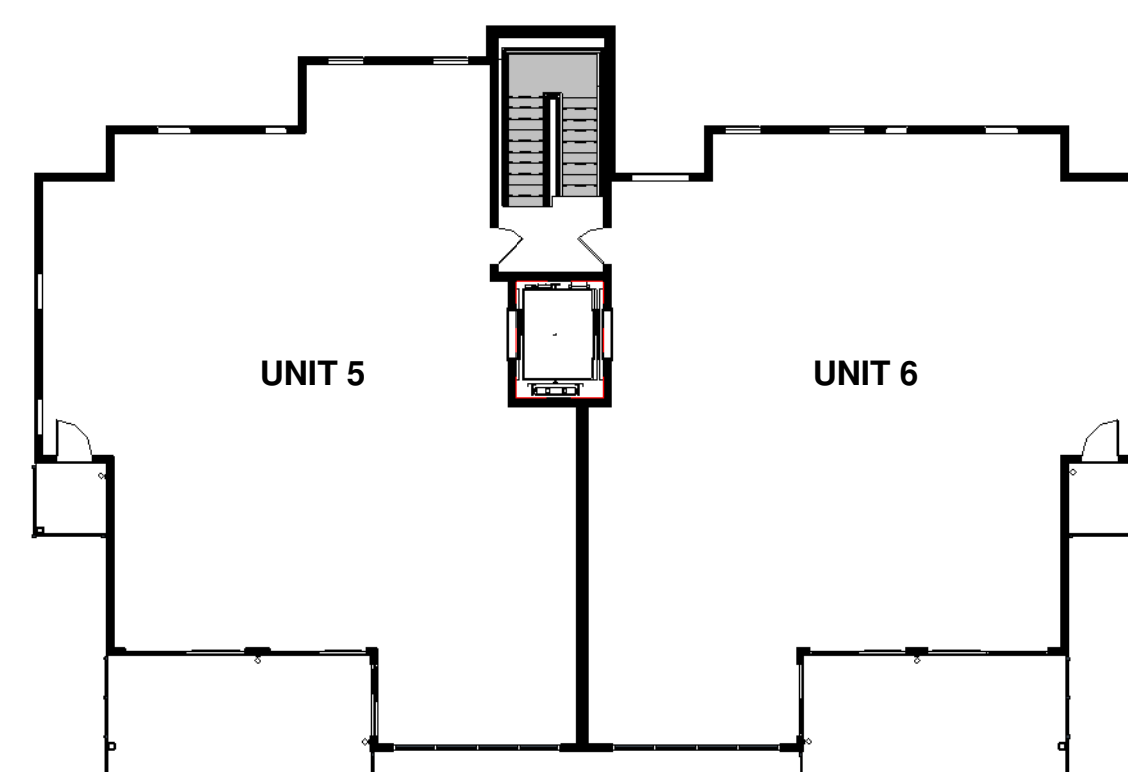
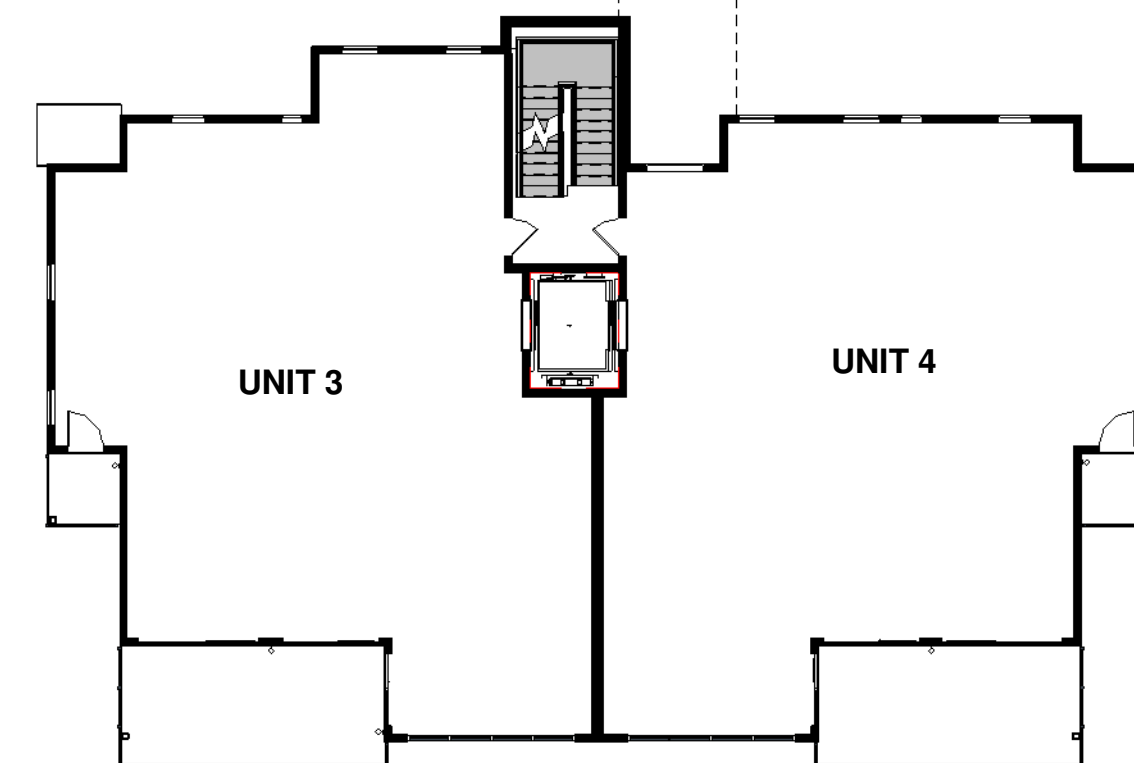
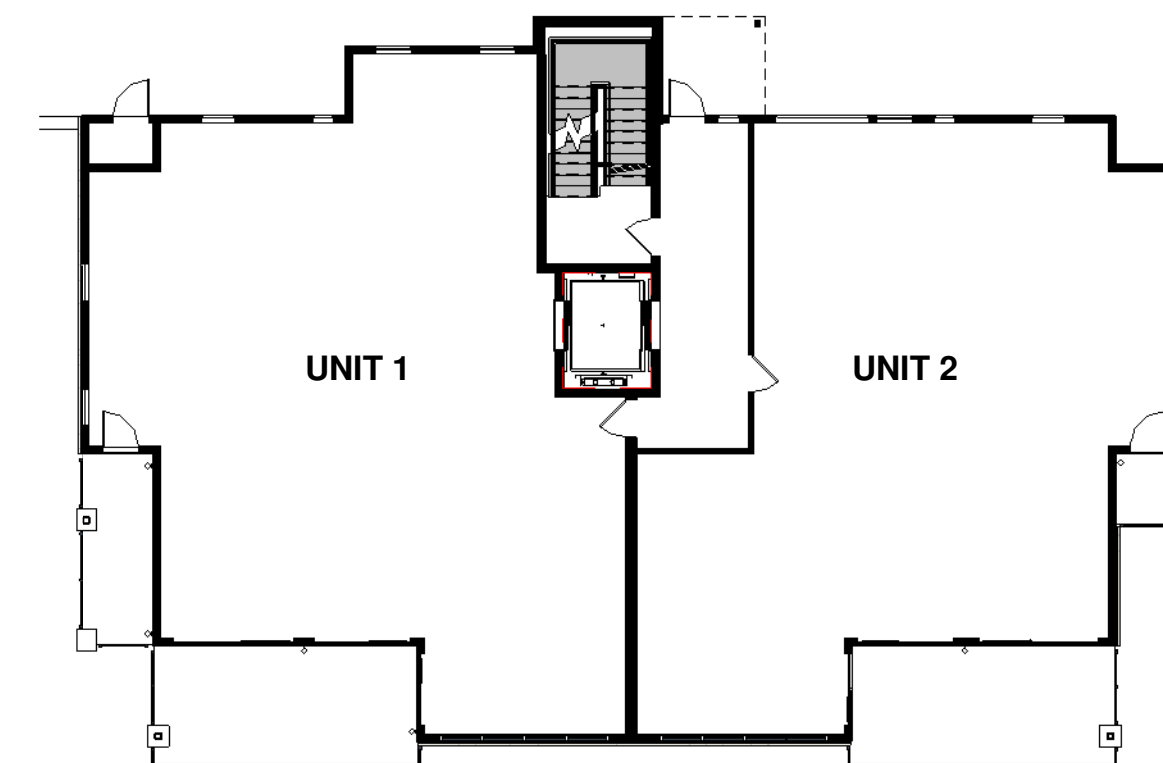
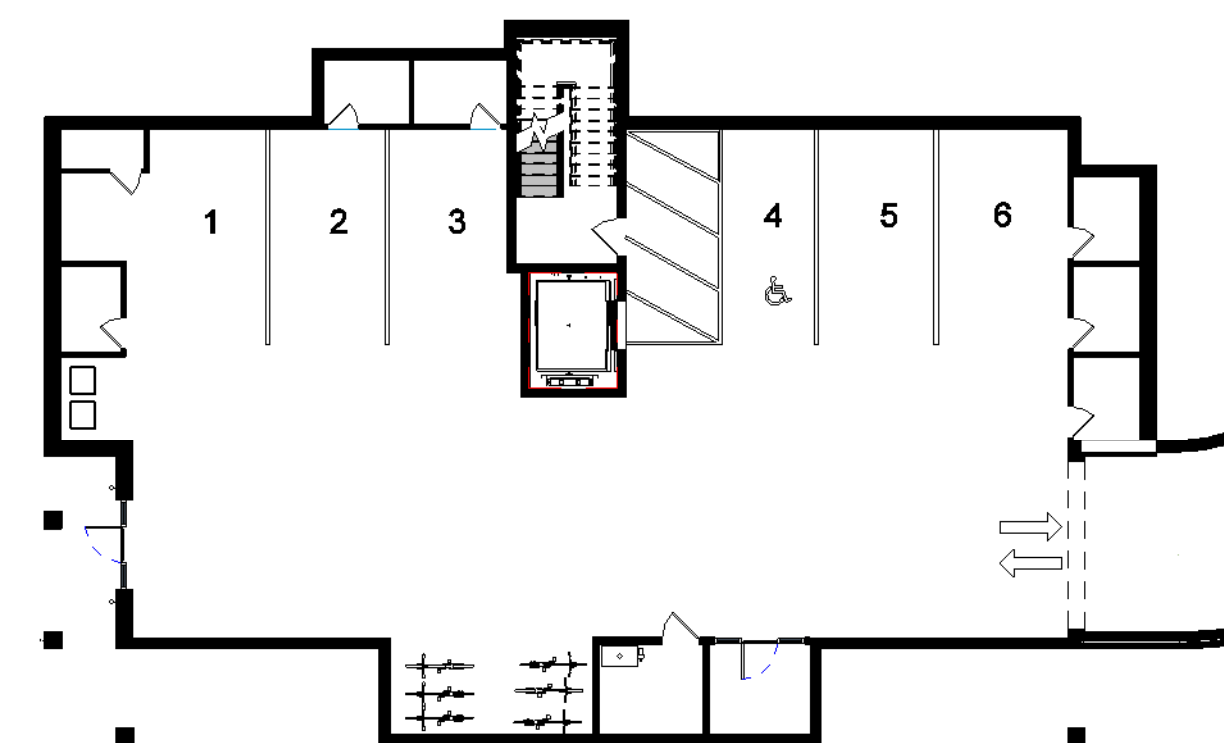
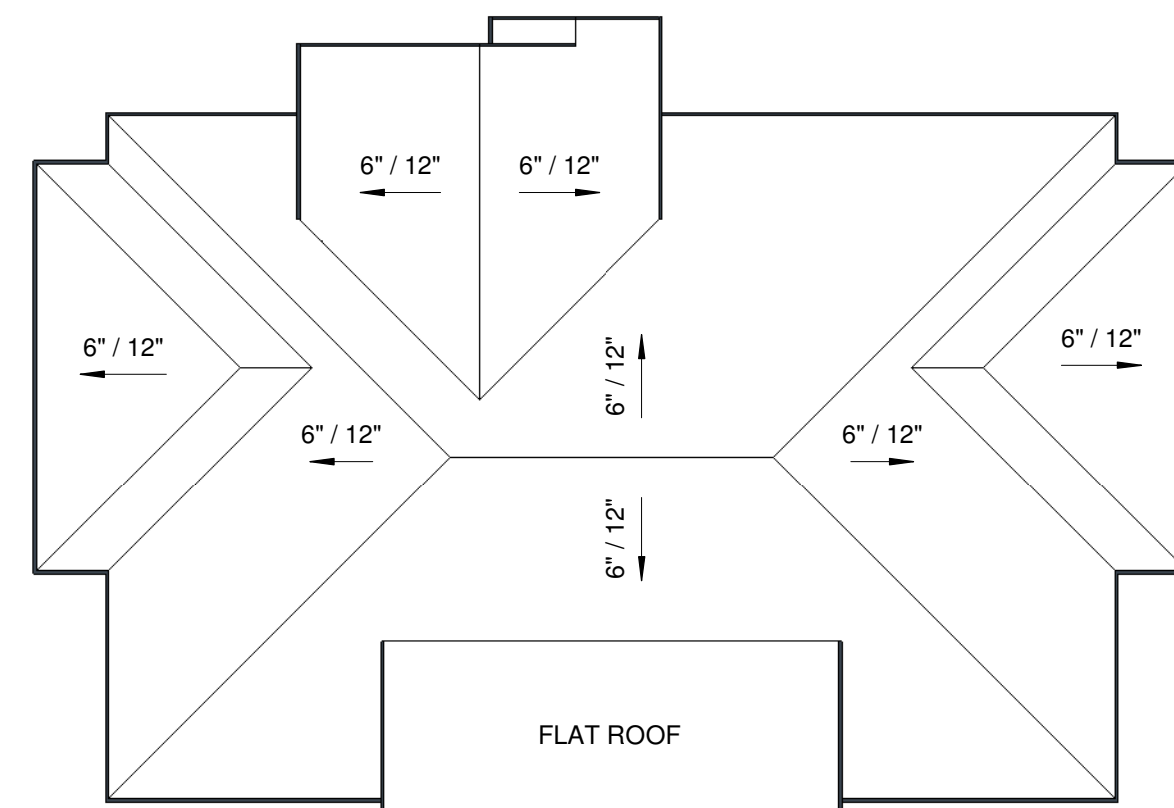
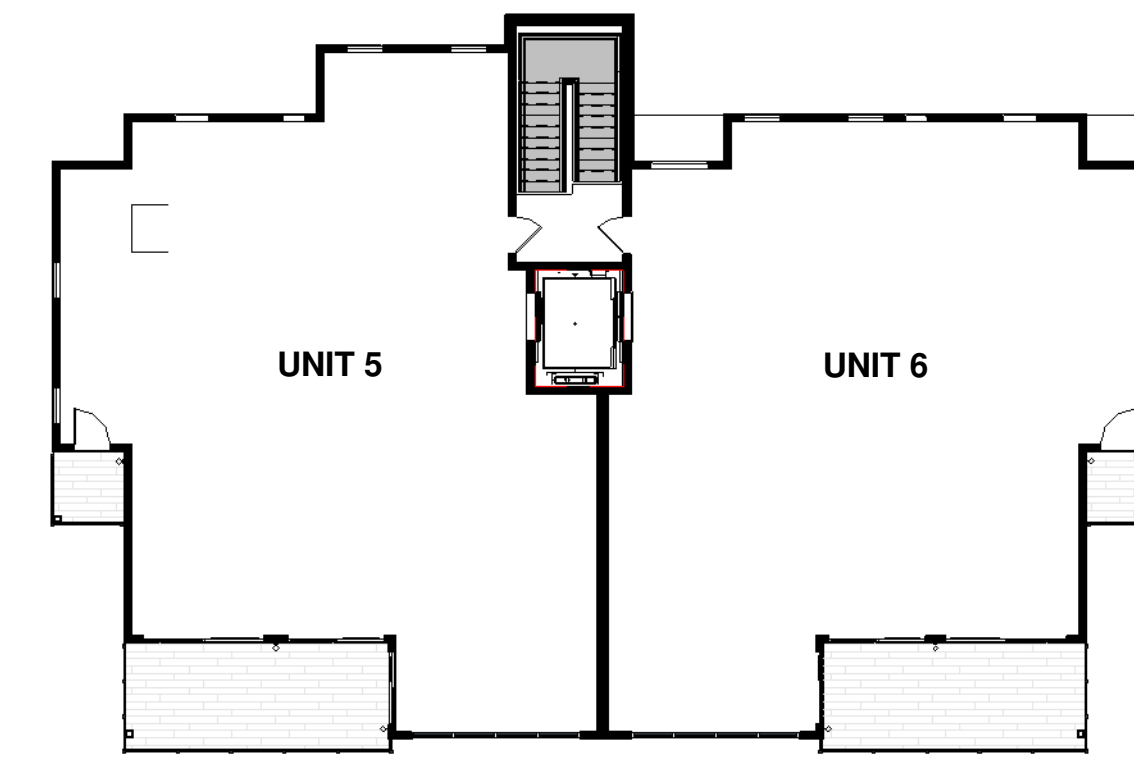
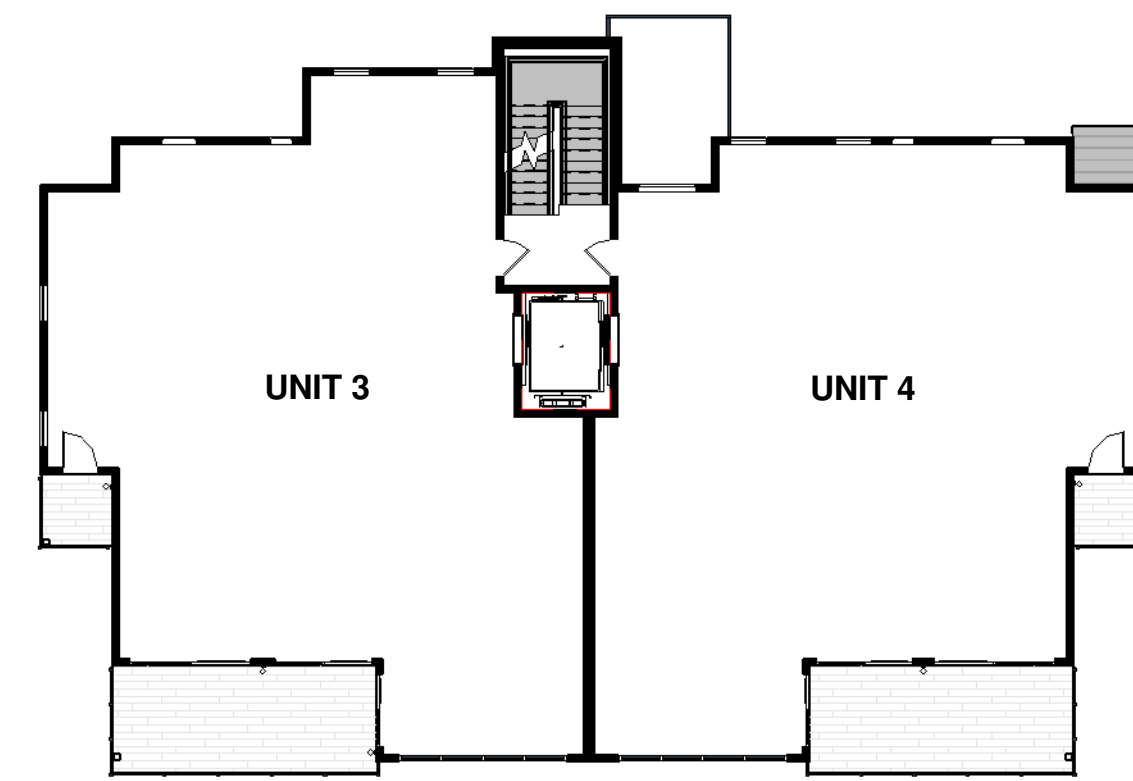
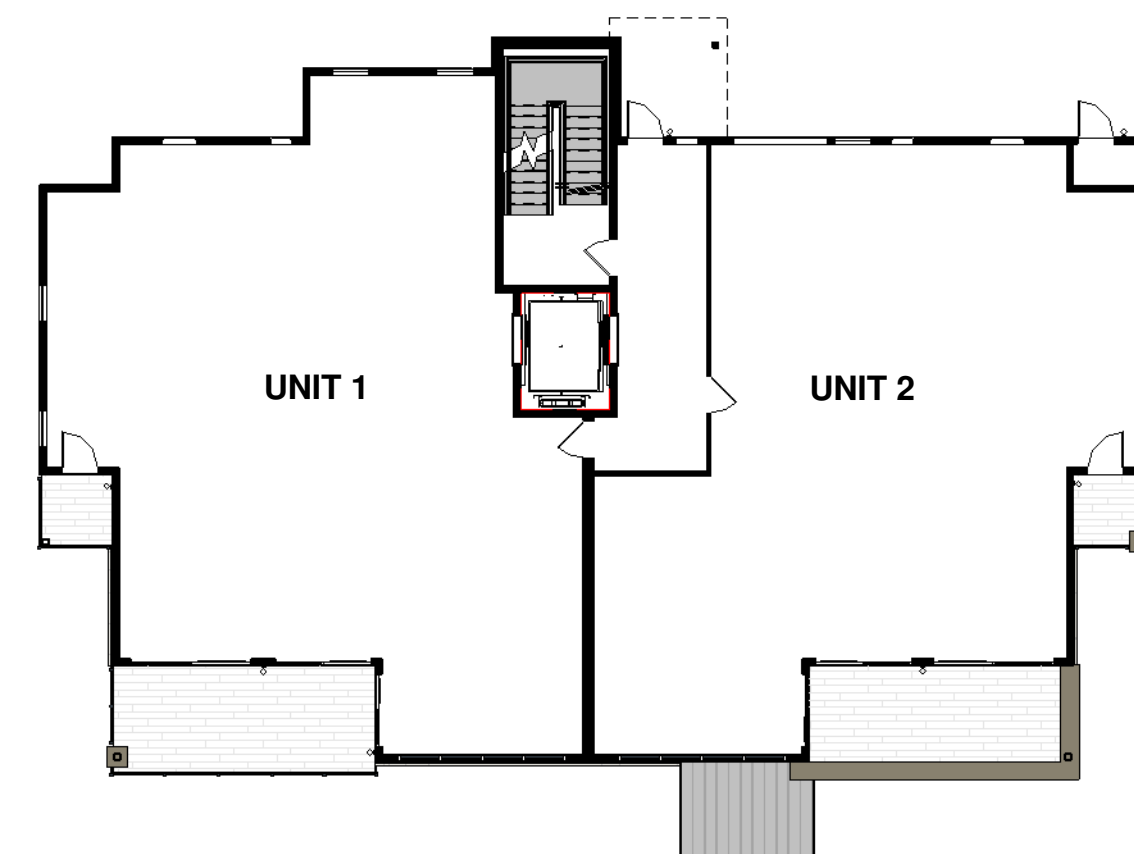
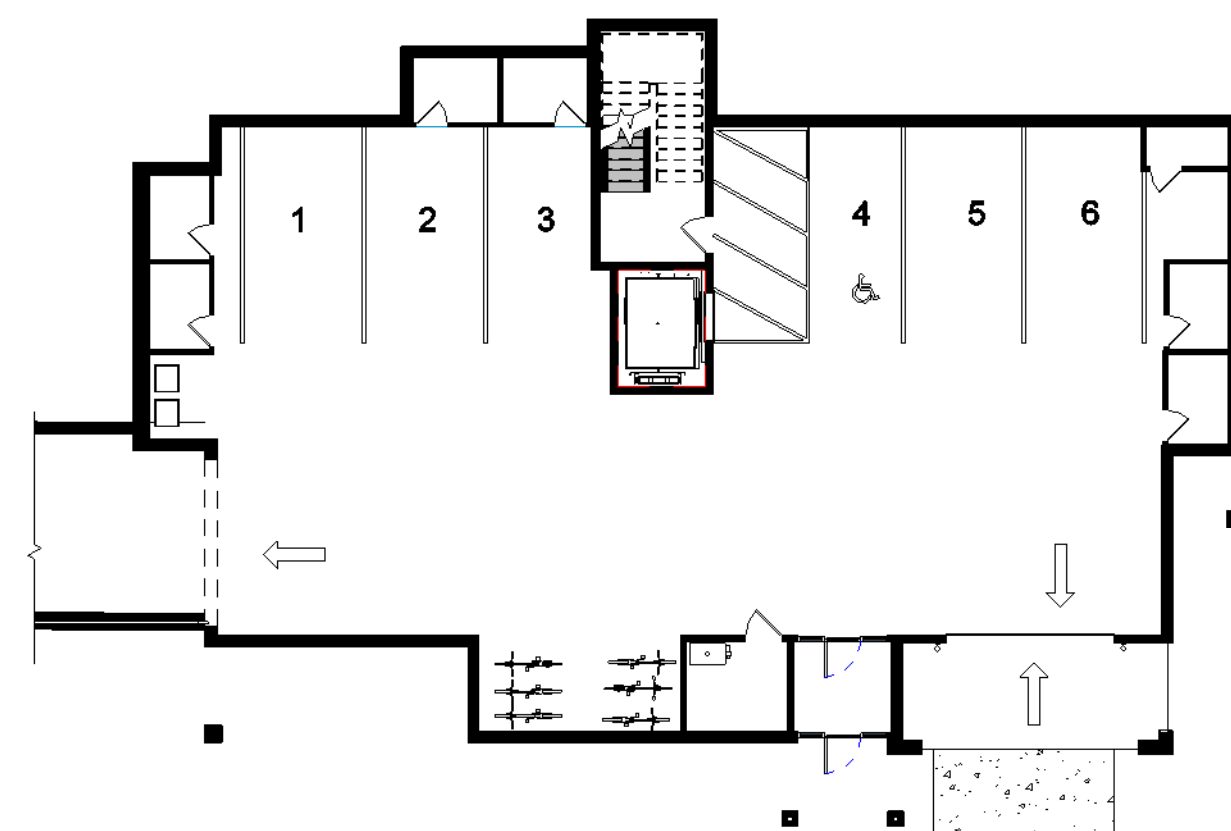
Job Number:	22014.00
Date:	2023-07-2
Drawn By:	Author
Checked By:	Checker

Project Phase
PLANNING SUBMITTAL

Sheet Title
FLOOR PLANS - BUILDING 1

Sheet Number
DP-2.6





NOTICE: DUTY OF COOPERATION

Release of these plans contemplates further cooperation among the owner, his contractor and the architect. Design and construction are complex. Although the architect and his consultants have performed their services with due care and diligence, they cannot guarantee perfection. Communication is imperfect and every contingency cannot be anticipated. Any amendment or discontinuance of the use of these plans shall be reported immediately to the architect. Failure to notify the architect compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to the architect shall relieve the architect from responsibility for the consequences. Changes made from the plans without consent of the architect are unauthorized and shall relieve the architect of responsibility for all consequences arising out of such changes.

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REVISIONS

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THE ASTRID
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STEAMBOAT SPRINGS, CO 80487



Job Number:	22014.00
Date:	2023-07-2

Date: 2023-07-2

Drawn By:	Author
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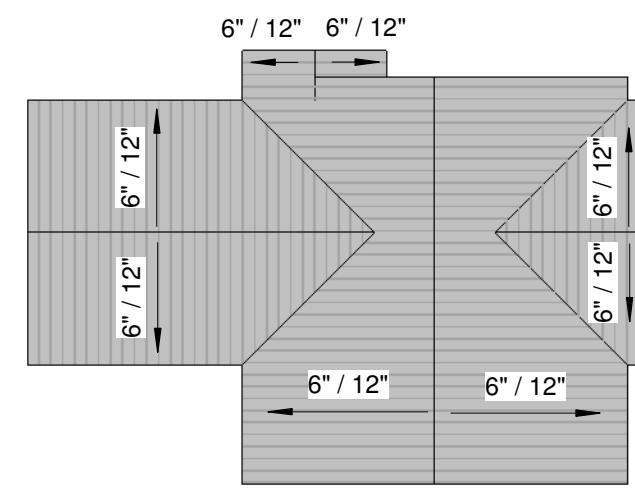
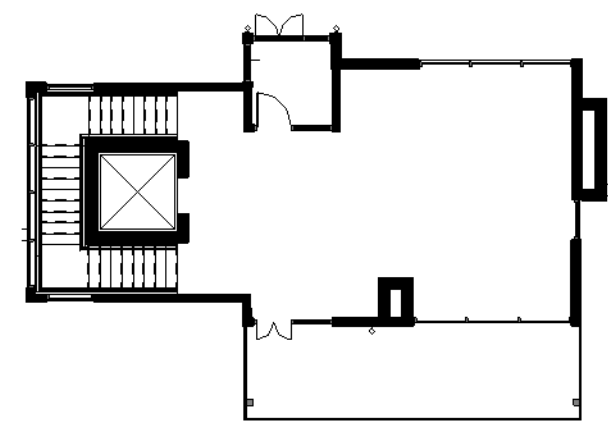
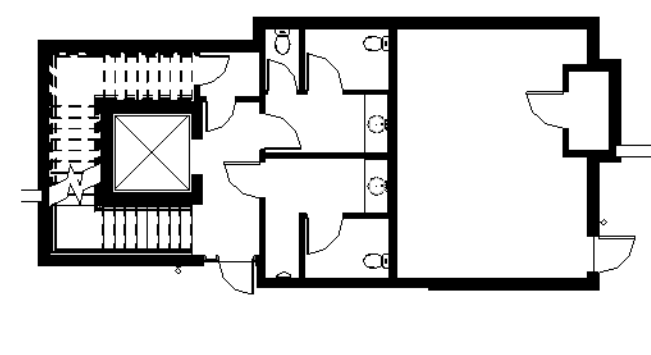
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Project Phase
PLANNING SUBMITTAL

Sheet Title
FLOOR PLANS - BUILDING 5 & 6

Sheet Number

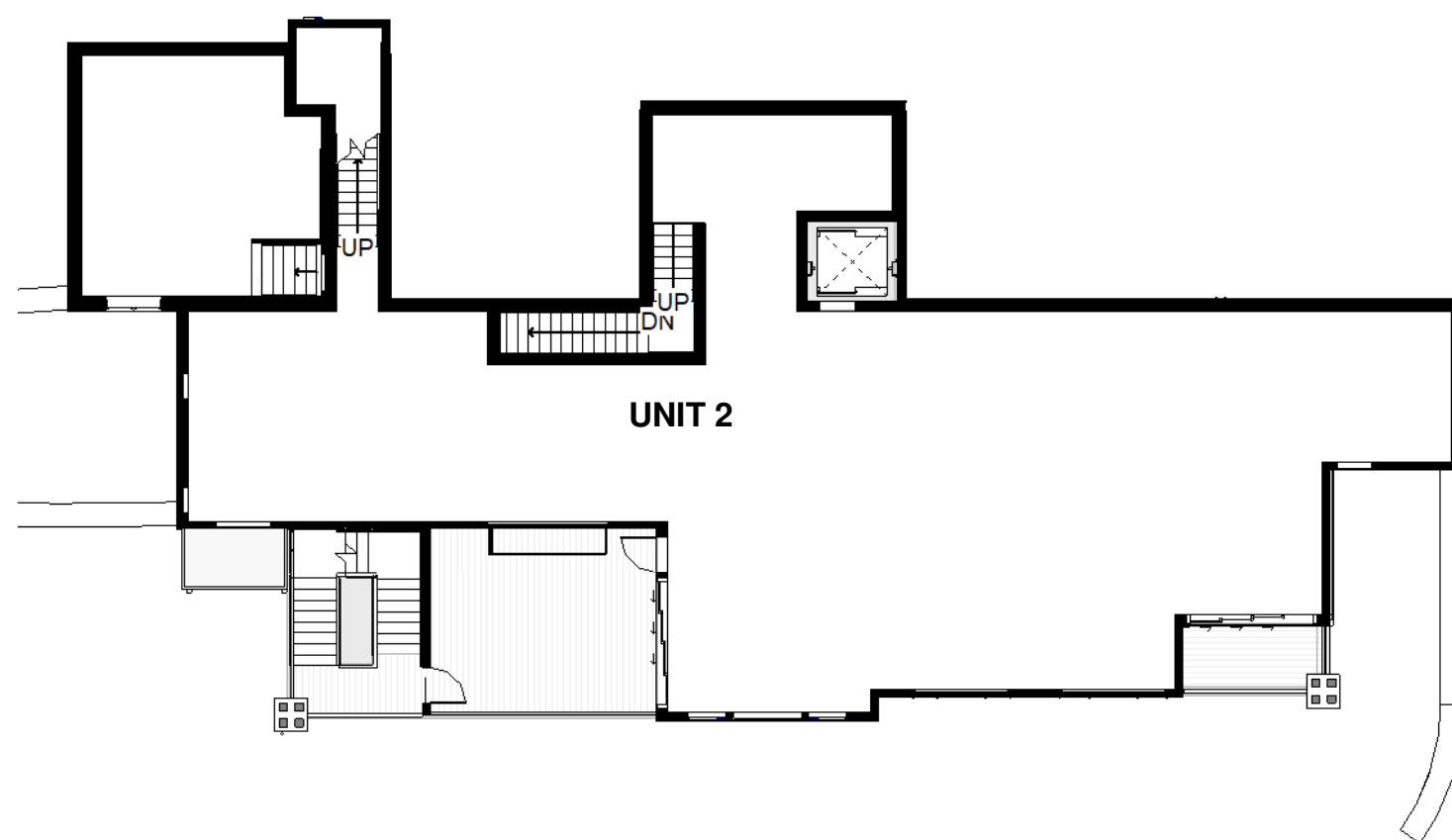
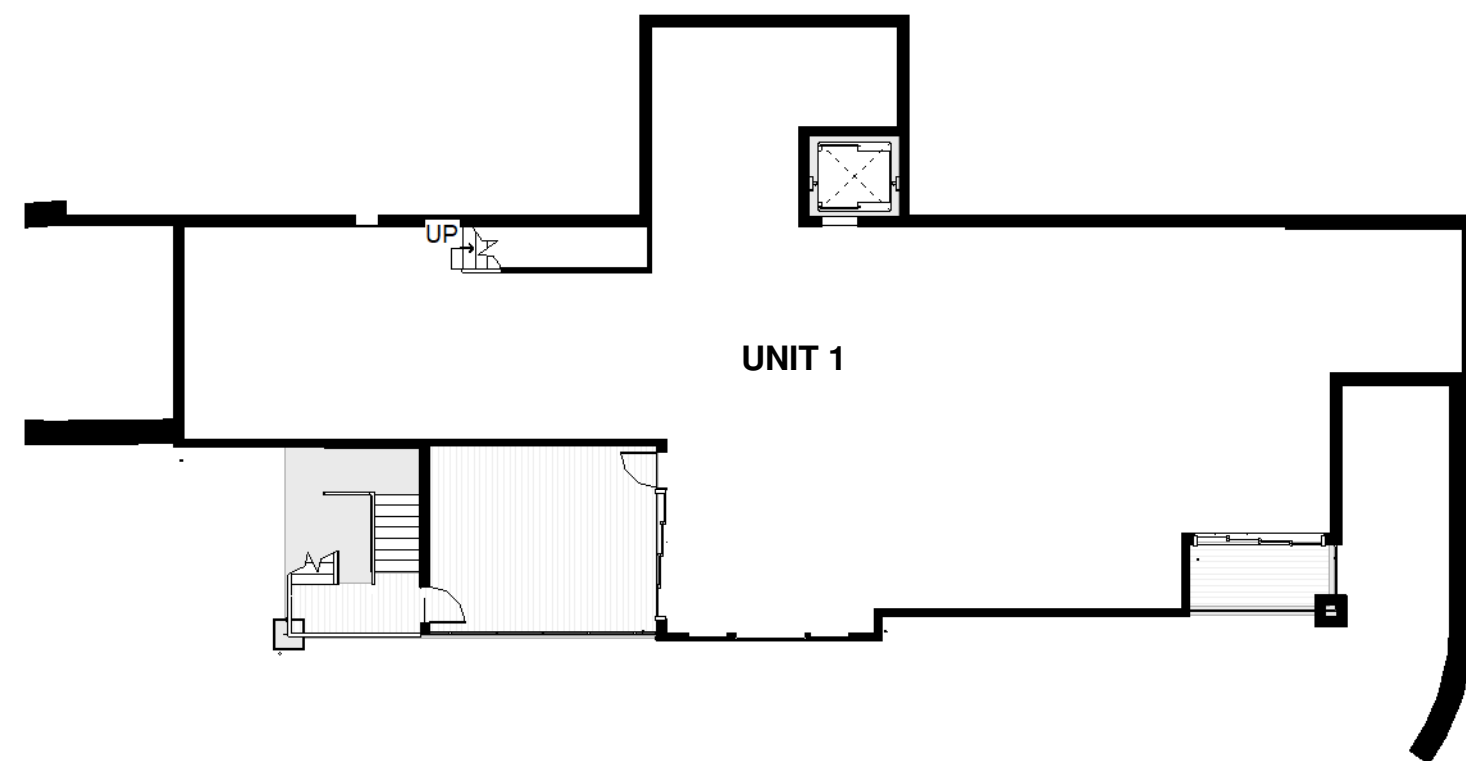
DP-2.8



1 POOL BUILDING - LEVEL 1
DP-2.9 1/16" = 1'-0"

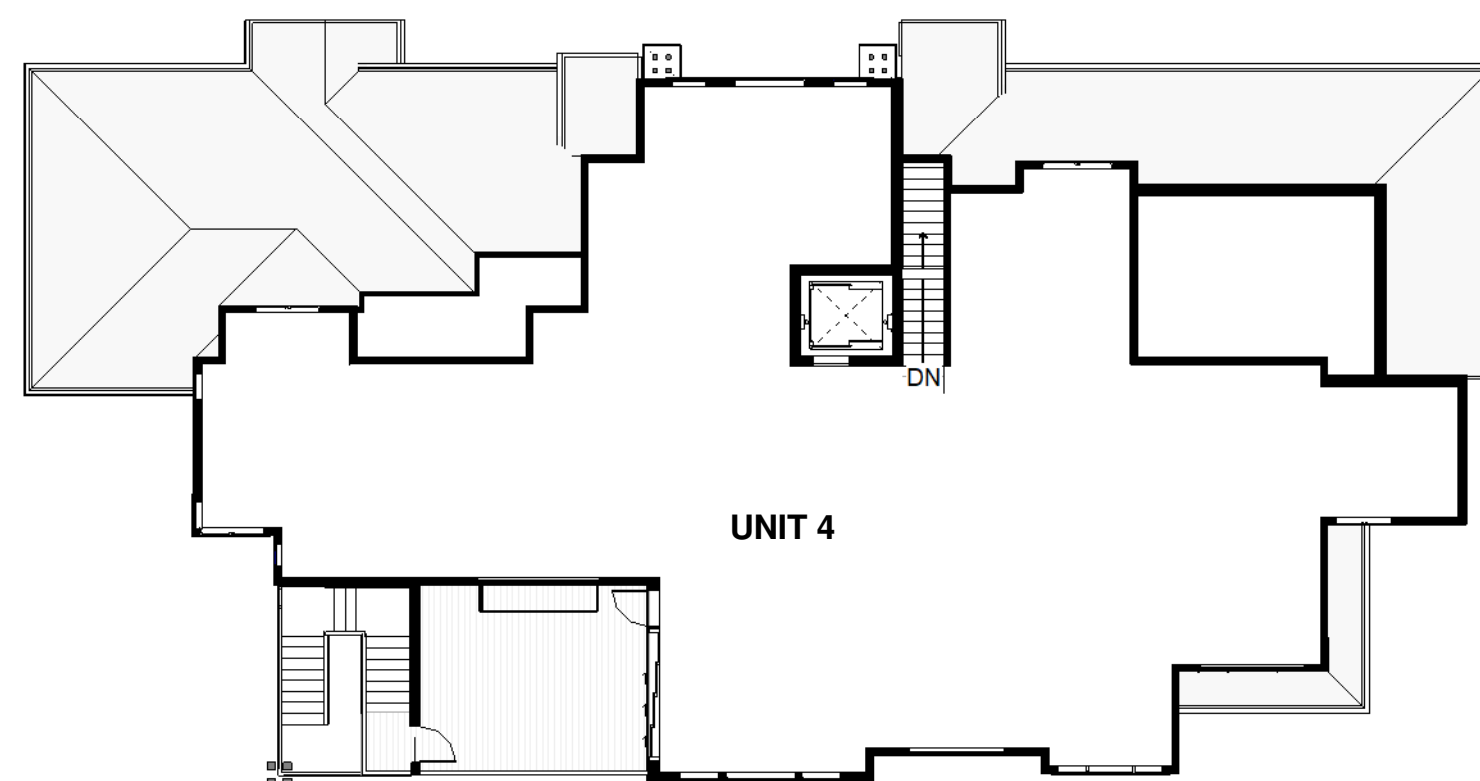
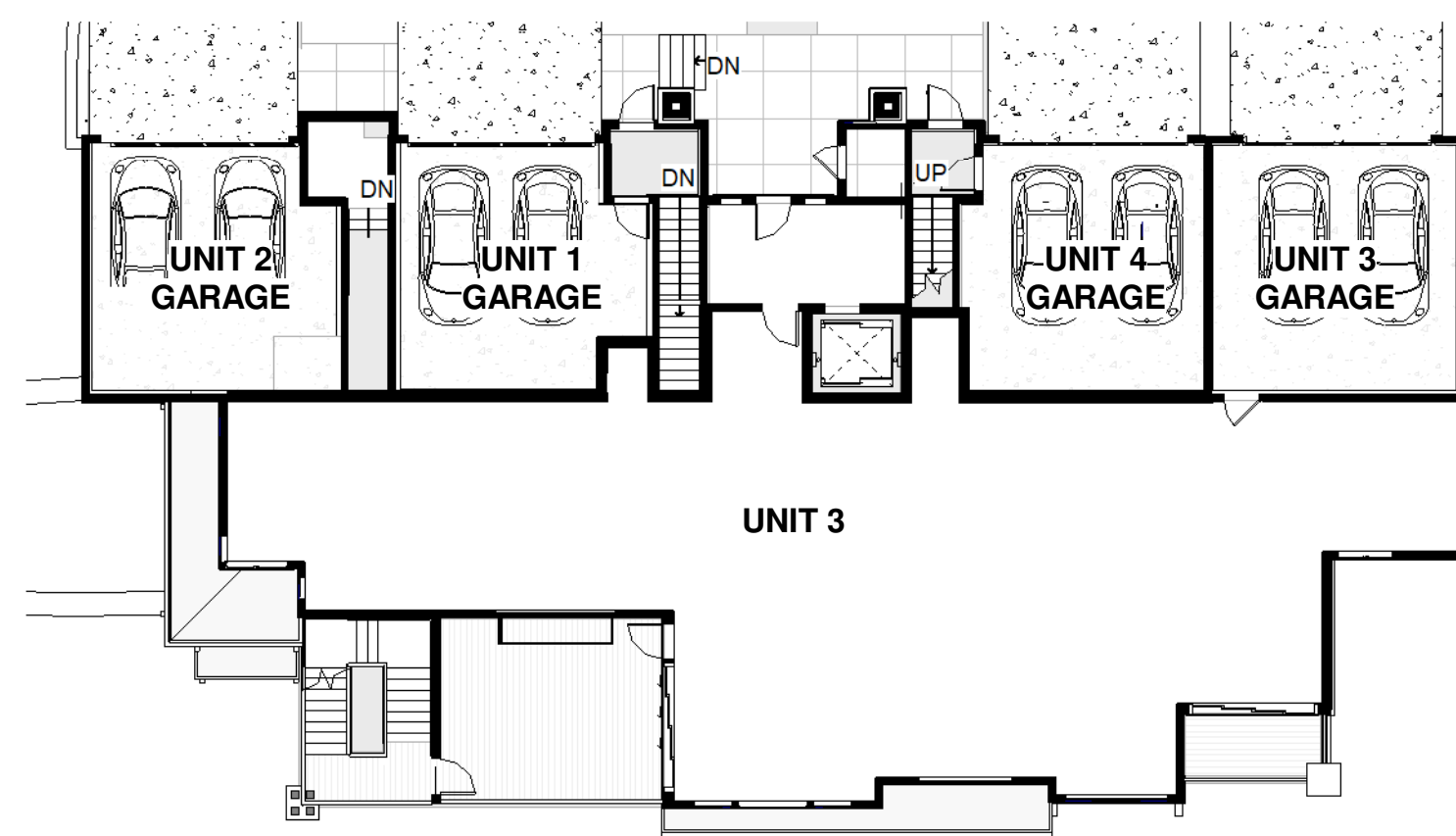
2 POOL BUILDING - LEVEL 2
DP-2.9 1/16" = 1'-0"

3 POOL BUILDING - ROOF PLAN
DP-2.9 1/16" = 1'-0"



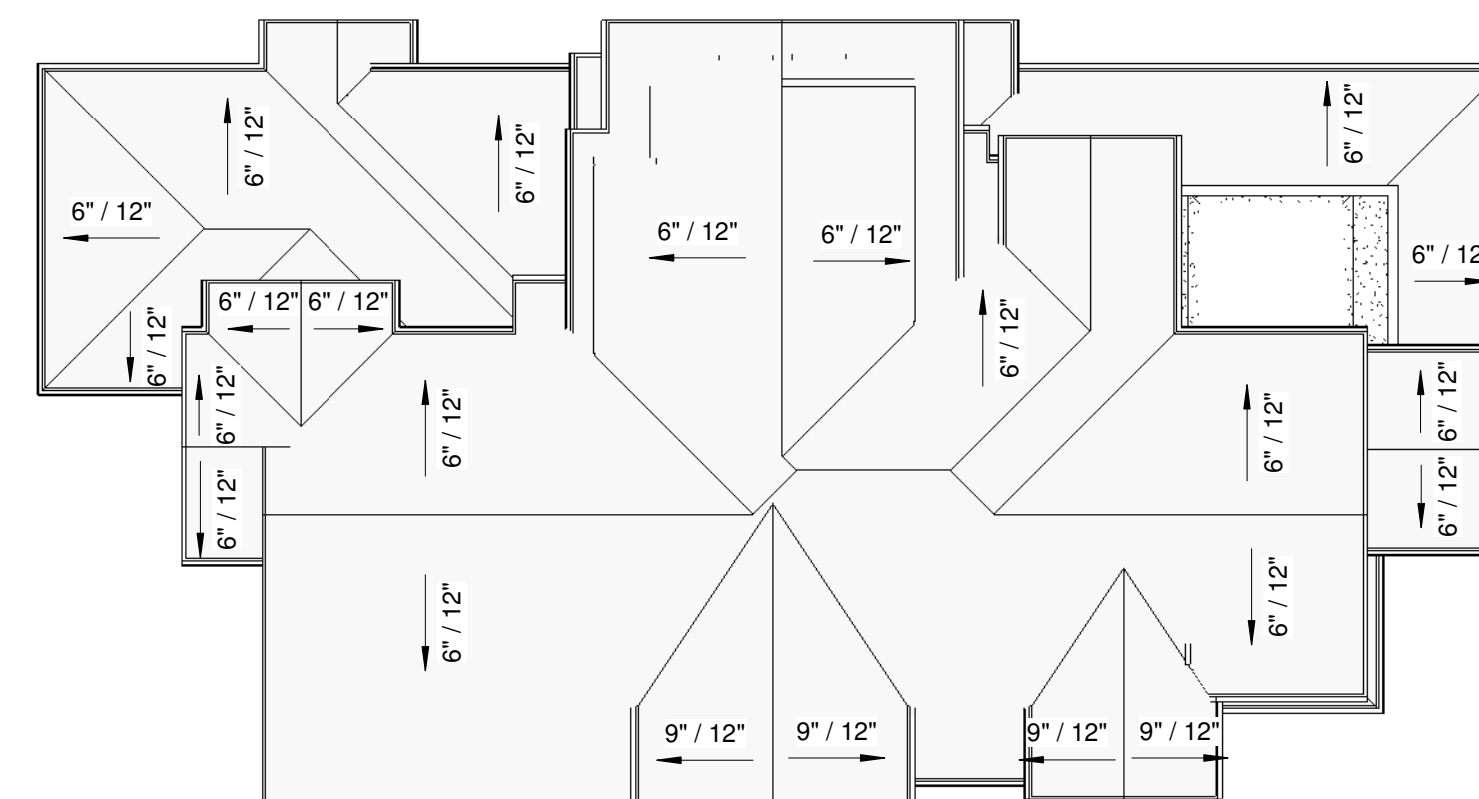
4 BUILDING 7 - LOWER LEVEL 1
DP-2.9 $1/16" = 1'-0"$

5 BUILDING 7 - LOWER LEVEL 2
DP-2.9 1/16" = 1'-0"



6 BUILDING 7 - MAIN LEVEL
DP-2.9 1/16" = 1'-0"

7 BUILDING 7 - UPPER LEVEL
DP-2.9 1/16" = 1'-0"



8 BUILDING 7 - ROOF
DP-2.9 1/16" = 1'-0"

0' 8' 16' 32'

NOTICE: DUTY OF COOPERATION

Release of these plans contemplates further cooperation by the architect, his assistants and the architect's design and construction are complex. Although the architect and his consultants have performed their services with due care and diligence, they cannot guarantee perfection. Communication is imperfect and every contingency cannot be anticipated. Any architect's release of these plans is the use of these plans shall be reported immediately to the architect. Failure to notify the architect compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to the architect shall not constitute a release of the architect's consequences. Changes made from the plans without the consent of the architect are unauthorized and shall relieve the architect of responsibility for all consequences arising out of such changes.

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STEAMBOAT SPRINGS, CO 80487



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Date:	2023-07-2
Drawn By:	Author
Checked By:	Checker

Project Phase
PLANNING SUBMITTAL

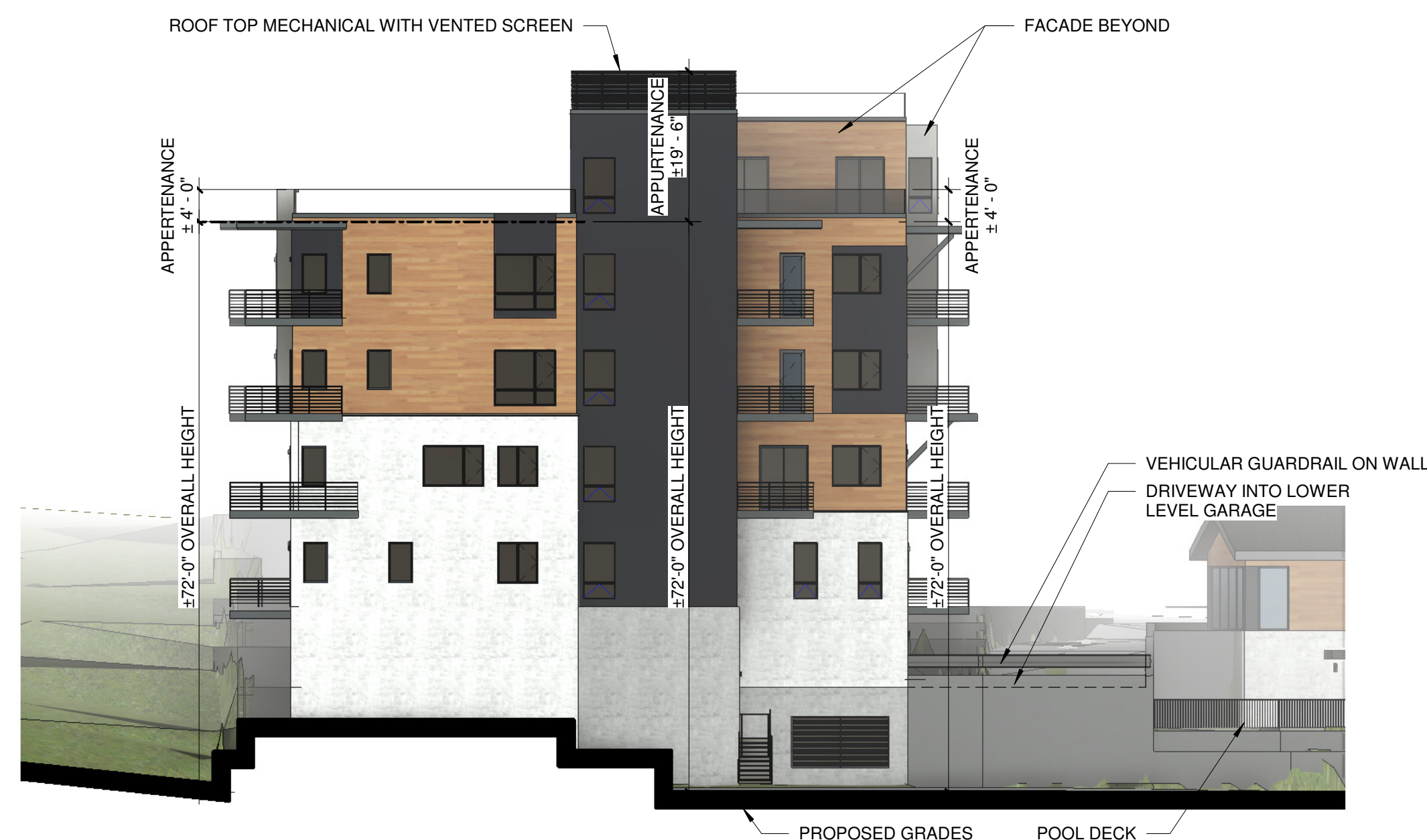
Sheet Title
FLOOR PLANS - BUILDING 1 & 2
POOL BUILDING

Sheet Number

DP-2.9



1 BUILDING 1 - NORTH ELEVATION
DP-3.1 1/16" = 1'-0"



2 BUILDING 1 - WEST ELEVATION
DP-3.1 1/16" = 1'-0"

<u>BUILDING 1 - GLAZING & TRANSPARENCY</u>			
ELEVATION	WALL AREA	WINDOW AREA	PERCENTAGE
FRONT (SOUTH)	17047.49 SF	4841.37 SF	28.4%
RIGHT (EAST)	6802.53 SF	1121.38 SF	16.5%
BACK (WEST)	15485.91 SF	5307.46 SF	34.3%
LEFT (WEST)	9025.49 SF	1739.43 SF	19.3%
TOTAL	48361.42 SF	13009.64 SF	26.9%

0' 8' 16' 32'
SCALE: 1/16" = 1'-0"

NOTICE: DUTY OF COOPERATION

Release of these plans contemplates further cooperation among the owner, his contractor and the architect. Design and construction are complex. Although the architect is not responsible for the work performed by the contractor, the architect must have performed their services with due care and diligence, they cannot guarantee perfection. Communication is imperfect and every contingency cannot be anticipated. Any written or oral discrepancy or disagreement of these plans shall be reported immediately to the architect. Failure to notify the architect compounds the problem and may result in a claim for damages. A failure to cooperate by a simple notice to the architect shall relieve the architect from responsibility for the consequences. Changes to the plans made without the consent of the architect are unauthorized and shall relieve the architect of responsibility for all consequences arising out of such changes.

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STEAMBOAT SPRINGS, CO 80487



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Date:	2023-07-2
Drawn By:	Author
Checked By:	Checker

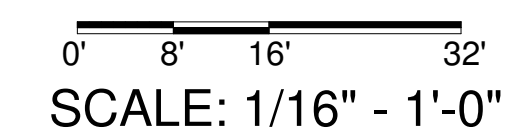
Project Phase PLANNING SUBMITTAL
Sheet Title BUILDING ELEVATIONS - BUILDING 1
Sheet Number DP-3.1



1 BUILDING 1 - SOUTH ELEVATION
DP-3.2 1/16" = 1'-0"



2 BUILDING 1 - EAST ELEVATION
DP-3.2 1/16" = 1'-0"



NOTICE: DUTY OF COOPERATION

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Eric Smith Associates, P.C.

[illegible]

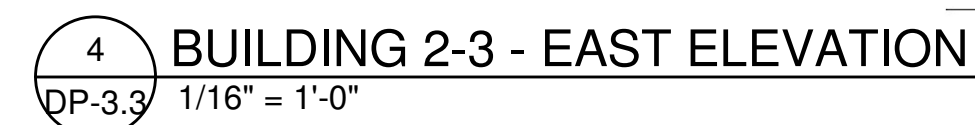
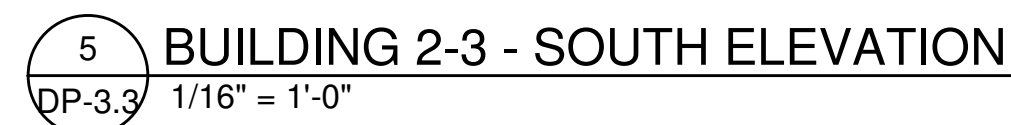
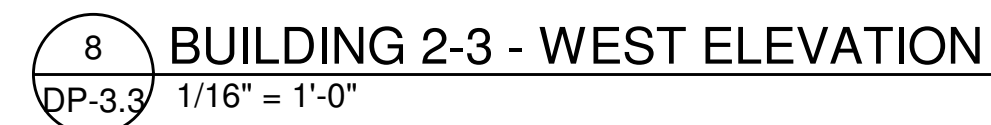
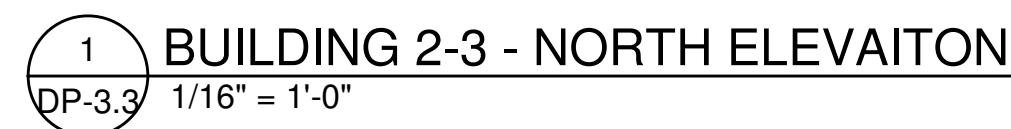
THE ASTRID
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STEAMBOAT SPRINGS, CO 80487

ESA

ERIC SMITH ASSOCIATES, P.C.
1919 SEVENTH STREET
BOULDER, COLORADO, 80302
(303) 442-5459, (303) 442-4745 FAX

Job Number:	22014.00
Date:	2023-07-2
Drawn By:	Author
Checked By:	Checker

Project Phase PLANNING SUBMITTAL
Sheet Title BUILDING ELEVATIONS - BUILDING 1
Sheet Number DP-3.2



0' 8' 16' 32'

SCALE: 1/16" = 1'-0"

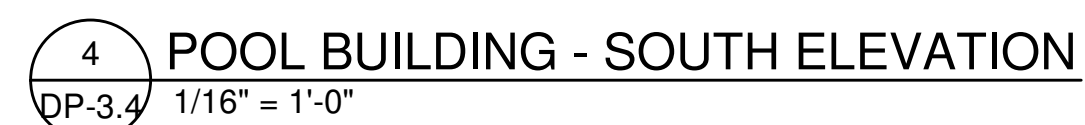
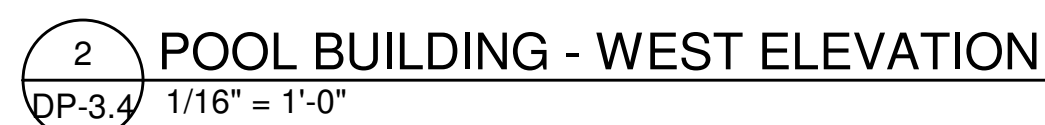
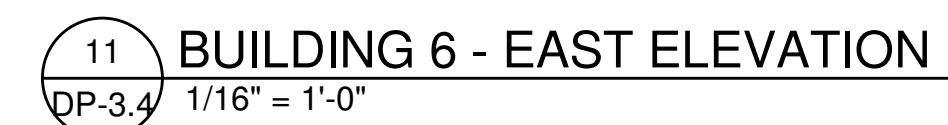
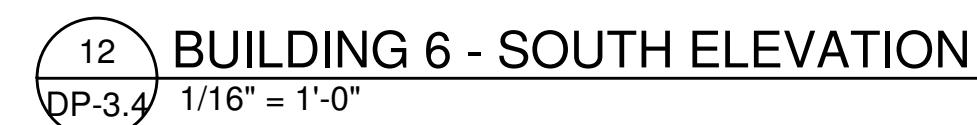
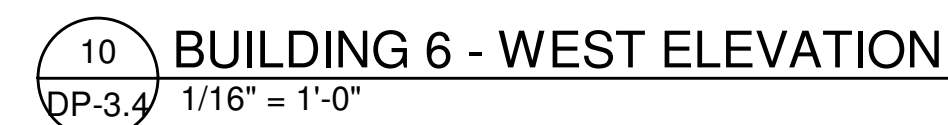
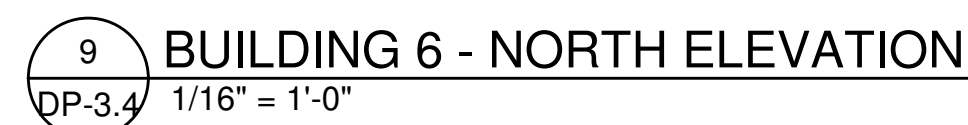
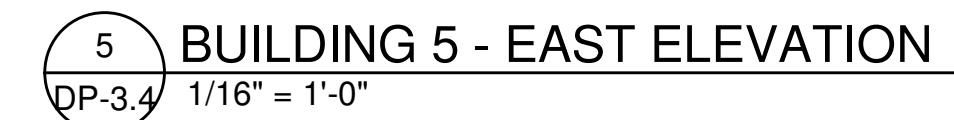
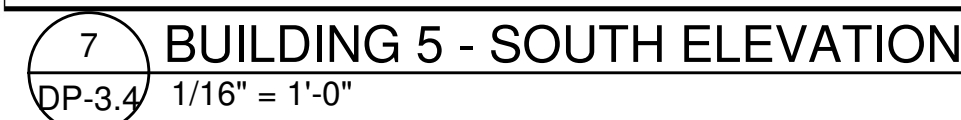
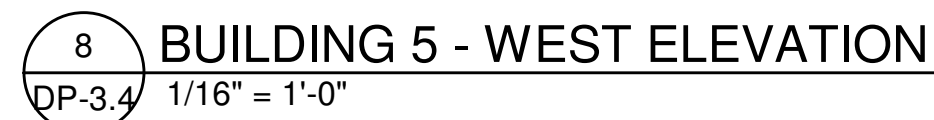
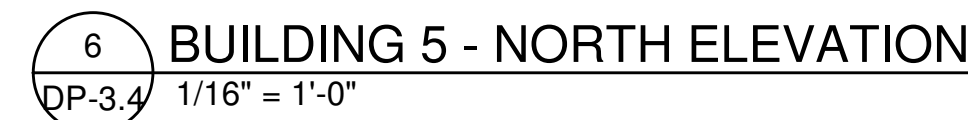
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THE ASTRID
SKI TRAIL LANE
STEAMBOAT SPRINGS, CO 80487



Job Number:	22014.00
Date:	2023-07-28
Drawn By:	Author
Checked By:	Checker

Project Phase PLANNING SUBMITTAL
Sheet Title BUILDING ELEVATIONS - BUILDING 2-3
Sheet Number DP-3.3



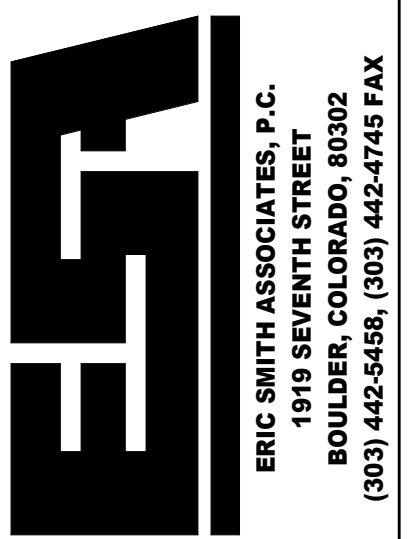
ELEVATION	WALL AREA	WINDOW AREA	PERCENTAGE
FRONT	4634.45 SF	2156.27 SF	46.5%
RIGHT	2614.62 SF	307.67 SF	11.8%
BACK	3339.59 SF	641.23 SF	19.2%
LEFT	2242.98 SF	306.94 SF	13.7%
TOTAL	12831.64 SF	3412.11 SF	26.6%

ELEVATION	WALL AREA	WINDOW AREA	PERCENTAGE
FRONT	4668.26 SF	2085.68 SF	44.7%
RIGHT	2278.71 SF	307.38 SF	13.5%
BACK	3227.61 SF	615.19 SF	19.1%
LEFT	2520.18 SF	382.38 SF	15.2%
TOTAL	12694.76 SF	3390.63 SF	26.7%

ELEVATION	WALL AREA	WINDOW AREA	PERCENTAGE
FRONT	375.14 SF	63.04 SF	16.8%
RIGHT	462.86 SF	198.82 SF	43.0%
BACK	320.20 SF	149.33 SF	46.6%
LEFT	1062.53 SF	293.41 SF	27.6%
TOTAL	2220.73 SF	704.60 SF	31.7%

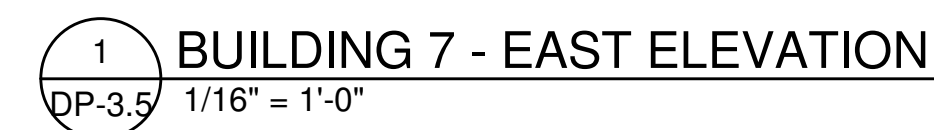
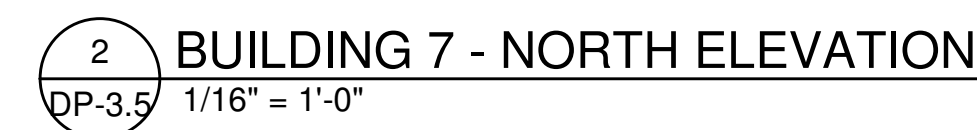
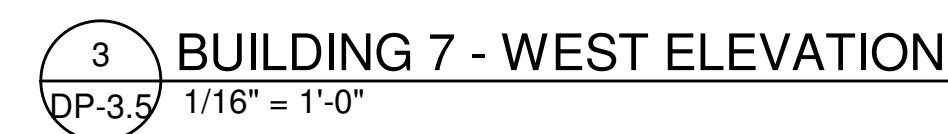
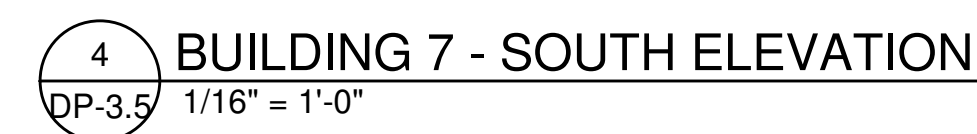
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SKI TRAIL LANE
STEAMBOAT SPRINGS, CO 80487



Job Number:	22014.00
Date:	2023-07-28
Drawn By:	Author
Checked By:	Checker

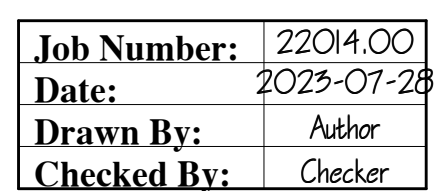
Project Phase PLANNING SUBMITTAL
Sheet Title BUILDING ELEVATIONS - BUILDING 5, 6 & POOL HOUSE
Sheet Number DP-3.4



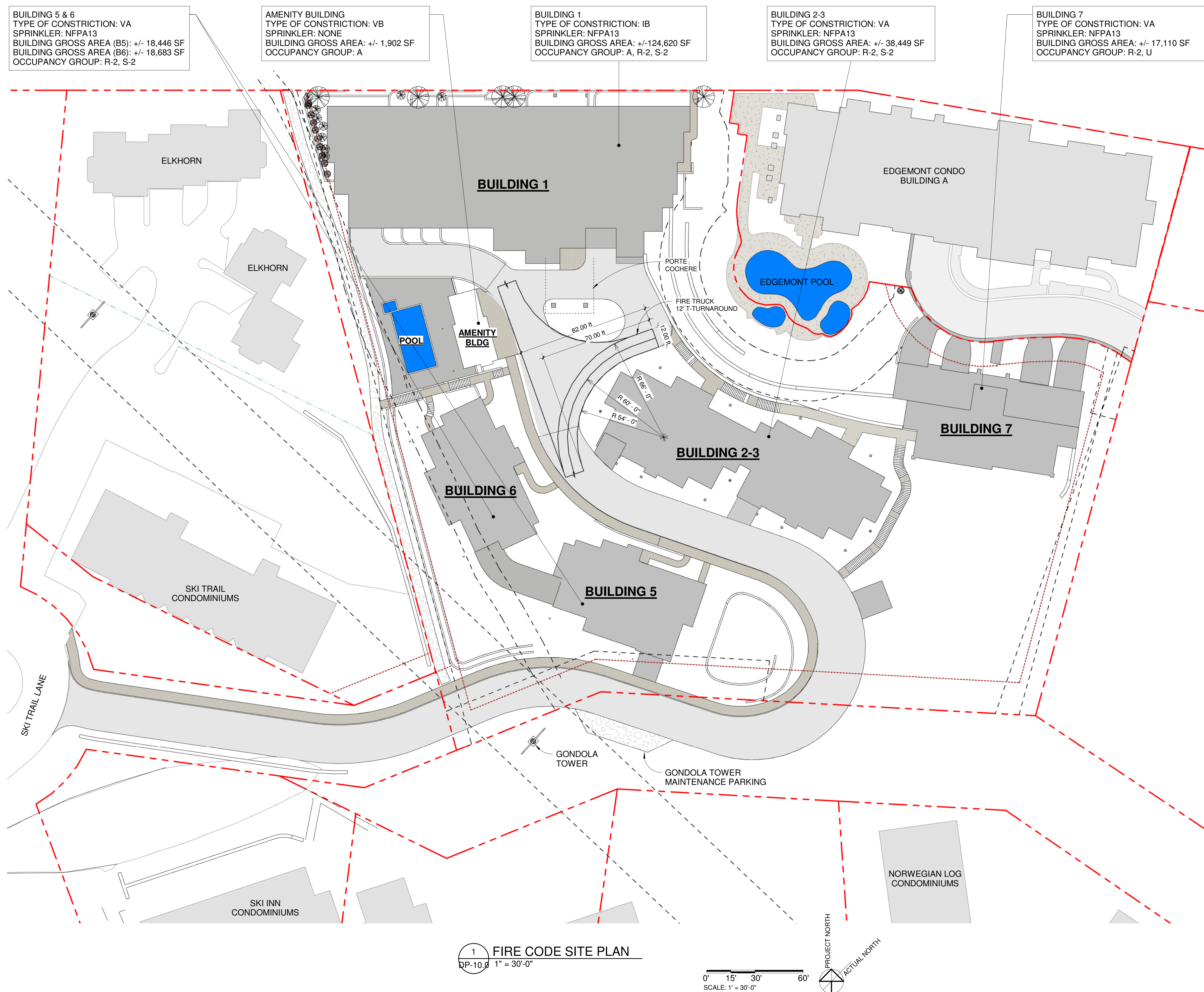
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SCALE: 1/16" = 1'-0"

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THE ASTRID
SKI TRAIL LANE
STEAMBOAT SPRINGS, CO 80487



Project Phase	
PLANNING SUBMITTAL	
Sheet Title	
BUILDING ELEVATIONS - BUILDING 7	
Sheet Number	
DP-3.5	



NOTICE: DUTY OF COOPERATION

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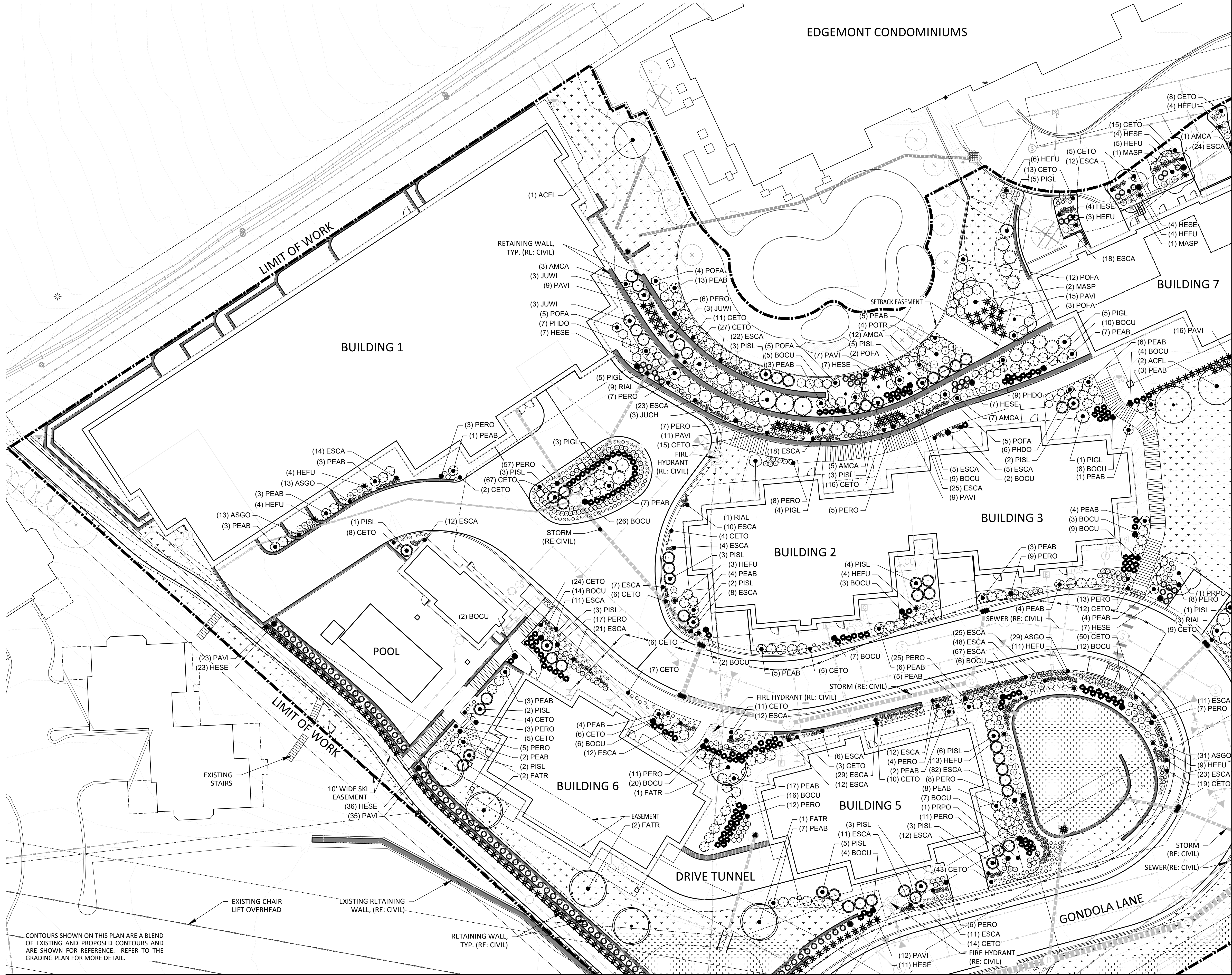
ESA

ERIC SMITH ASSOCIATES, P.C.
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(303) 442-5459, (303) 442-4745 FAX

Job Number:	22014.00
Date:	2023-07-2
Drawn By:	Author
Checked By:	Checker

<div> <div>Project Phase</div> <div>PLANNING SUBMITTAL</div> </div>	<div> <div>Sheet Title</div> <div>CDC CODE REVIEW</div> </div>
<div> <div>Sheet Number</div> <div>DP-10.0</div> </div>	

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CONTOURS SHOWN ON THIS PLAN ARE A BLEND OF EXISTING AND PROPOSED CONTOURS AND ARE SHOWN FOR REFERENCE. REFER TO THE GRADING PLAN FOR MORE DETAIL.

RETAINING WALL, TYP. (RE: CIVIL)

EXISTING RETAINING WALL, (RE: CIVIL)

EXISTING CHAIR LIFT OVERHEAD

10' WIDE SKI EASEMENT (36) HESE (35) PAVI

LIMIT OF WORK

EXISTING STAIRS

POOL

BUILDING 6

BUILDING 2

BUILDING 3

BUILDING 7

EDGEMONT CONDOMINIUMS

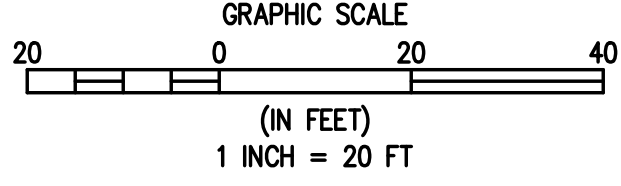
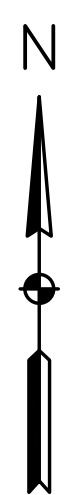
LIMIT OF WORK

RETAINING WALL, TYP. (RE: CIVIL)

SETBACK EASEMENT

DRIVE TUNNEL

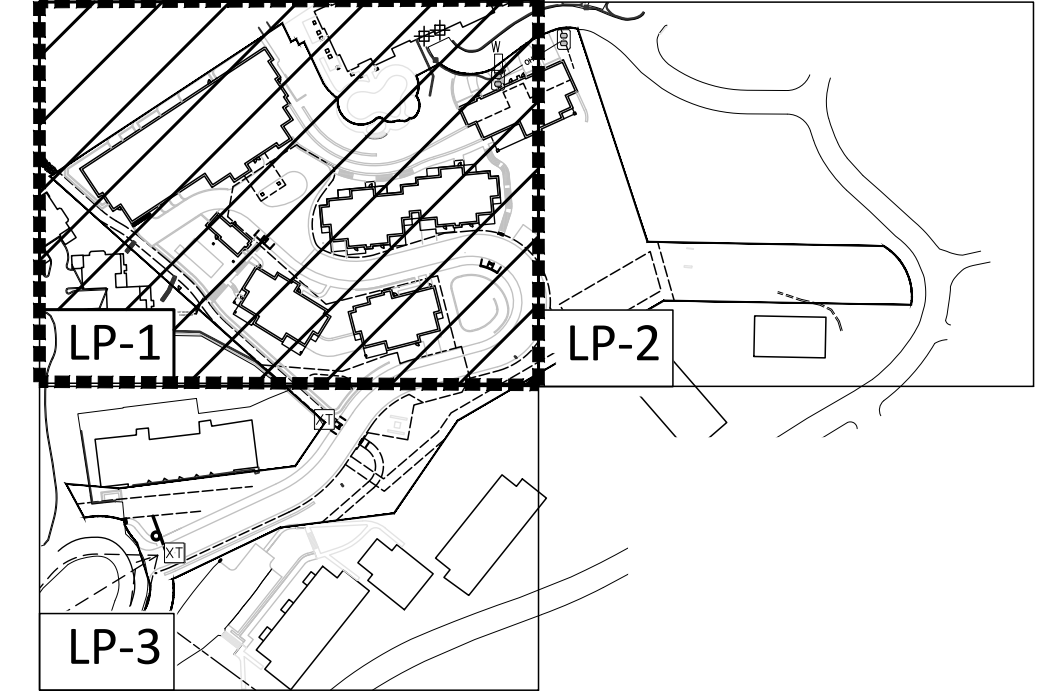
GONDOLA LANE



LEGEND

EXISTING TREES		
TREES TO REMAIN		
TREES TO REMOVE		
DECIDUOUS TREES	ABBV	BOTANICAL NAME
ACFL	ACER GINNALA 'FLAME'	FLAME AMUR MAPLE
FATR	FAGUS SYLVATICA 'TRICOLOR'	TRICOLOR EUROPEAN BEECH
POTR	POPULUS TREMULOIDES	QUAKING ASPEN
ORNAMENTAL TREES	ABBV	BOTANICAL NAME
MASP	MALLUS X 'SPRING SNOW'	SPRING SNOW CRABAPPLE
PRPO	PRUNUS X 'P002S'	SUCKER PUNCH® CHOKECHERRY
UPRIGHT EVERGREEN SHRUBS	ABBV	BOTANICAL NAME
JUCH	JUNIPERUS CHINENSIS 'BLUE POINT'	BLUE POINT JUNIPER
JUSK	JUNIPERUS SCOPULORUM 'SKYROCKET'	SKYROCKET JUNIPER
JUWI	JUNIPERUS SCOPULORUM 'WICHITA BLUE'	WICHITA BLUE JUNIPER
JUVI	JUNIPERUS VIRGINIANA 'CUPRESSIFOLIA'	HILLSPIRE® EASTERN REDCEDAR
SHRUBS	ABBV	BOTANICAL NAME
AMCA	AMORPHIA CANESCENS	LEADPLANT
COAL	CORNUS ALBA	TATARIAN DOGWOOD
PEAB	PEROVSKIA ABROTANOIDES	RUSSIAN SAGE
PHDO	PHYSCOCARPUS OPULIFOLIUS 'CONNA MAY'	LITTLE DEVIL™ DWARF NINEBARK
PIGL	PICEA PUNGENS 'GLAUCO' 'GLOBOSA'	BLUE GLOBE COLORADO SPRUCE
PISL	PINUS MUGO 'SLOVMOUND'	SLOWMOUND MUGO PINE
POFA	POTENTILLA FRUTICOSA 'TARGO'	DAKOTA SUNSPOT® BUSH CINQUEFOIL
RIAL	RIBES ALPINUM	ALPINE CURRANT
GRASSES	ABBV	BOTANICAL NAME
BOCU	BOULELOUA CURTIPENDULA	SIDE OATS GRAMA
HESE	HELICOTRICHON SEMPERVIRENS	BLUE OAT GRASS
PAVI	PANICUM VIRGATUM	SWITCH GRASS
PERENNIALS	ABBV	BOTANICAL NAME
ASGO	ASTER ALPINUS 'GOLIATH'	GOLIATH ALPINE ASTER
CETO	CERASTIUM TOMENTOSUM	SNOW IN SUMMER
ESCA	ESCHSCHOLZIA CALIFORNICA	CALIFORNIA POPPY
HEFU	HEMEROCALLIS FULVA	ORANGE DAYLILY
PERO	PENSTEMON ROSTRIFLORUS	BRIDGE PENSTEMON
GROUND COVER		
	MULTI-COLOR NATIVE SEED	
	NATIVE SEED MIX	
	WOOD MULCH	
	EDGER	

NOTE: ALL SHRUB AND PERENNIAL BEDS SHALL BE MULCHED WITH 3" DEPTH WOOD MULCH. NO WEED CONTROL FABRIC IN GROUND COVER OR SHRUB BED AREAS. WHEN FULLY MATURE, ALL DECIDUOUS TREES WITHIN DEVELOPMENT SHALL PROVIDE AN UNOBSTRUCTED VERTICAL CLEARANCE OF 8 FEET MINIMUM.



KEY MAP

DESIGNED BY
TJM

DATE
05/18/2023

PREPARED BY
SMB

REVISIONS PER DRT #/ COMMENTS

DRAWN BY
TJM

DATE
07/28/2023

REVISIONS PER DRT #/ COMMENTS

ROUTT COUNTY

CHECKED BY
MRB

DATE

REVISIONS PER DRT #/ COMMENTS

STEAMBOAT ESQUIAR LP

THE ASTRID
2410 SKI TRAIL LANE
LANDSCAPE PLAN

STEAMBOAT SPRINGS

PREPARED UNDER THE DIRECT SUPERVISION OF

PRELIMINARY
NOT FOR CONSTRUCTION

FOR AND ON BEHALF OF
BASELINE CORPORATION

INITIAL SUBMITTAL 12/22/2022

DRAWING SIZE 24" X 36"

SURVEY FIRM LANDMARK, INC

SURVEY DATE 06/03/22

JOB NO. C020235

DRAWING NAME 20235_LANDSCAPE-PLAN.dwg

SHEET 40 OF 68

LP-1

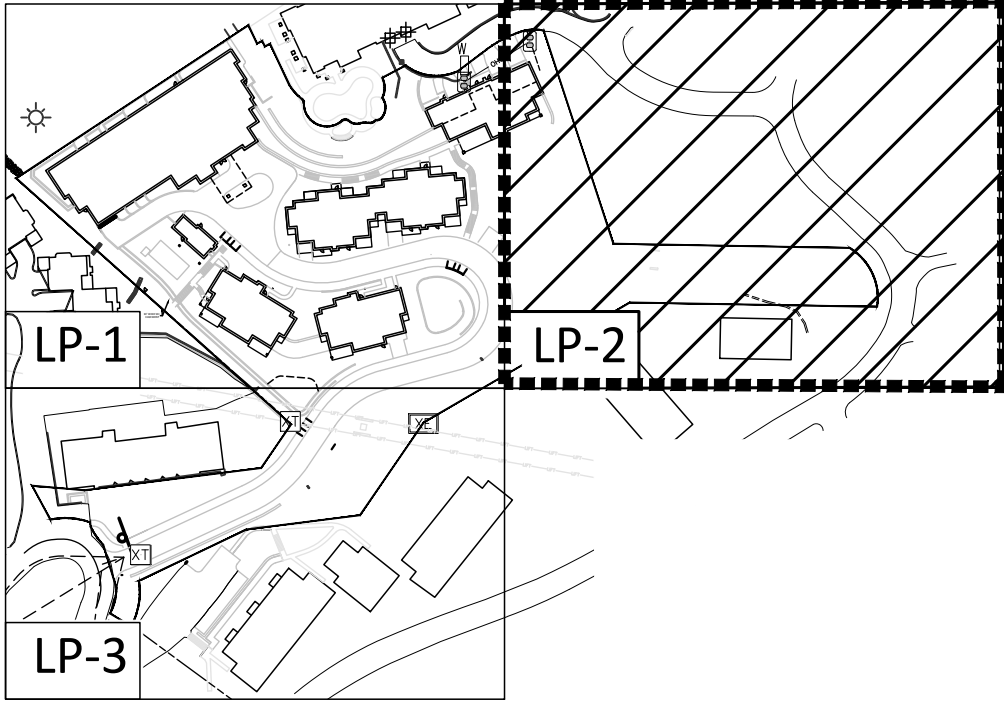
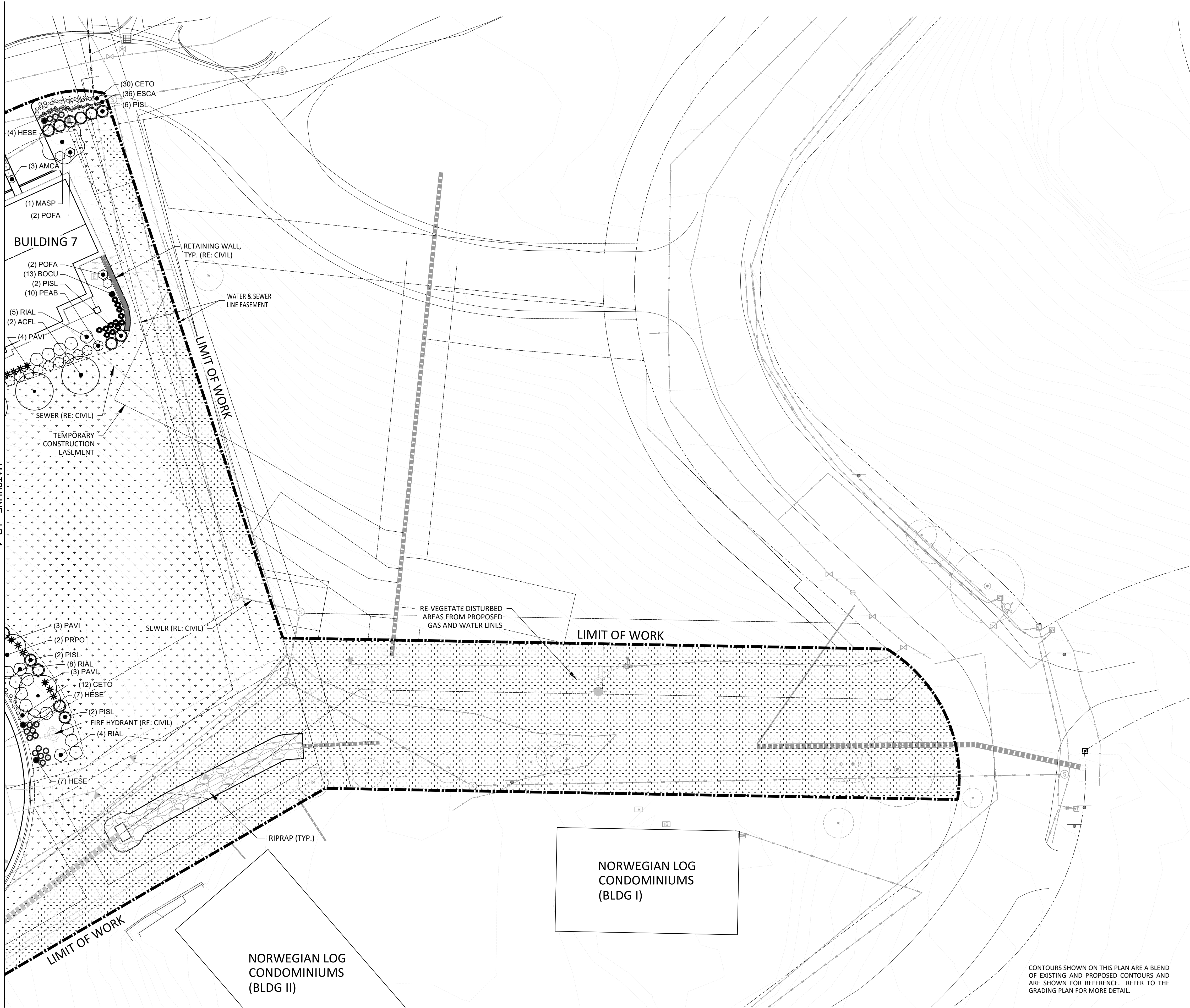
BASELINE

Engineering • Planning • Surveying

169 HILLTOP PKWY, SUITE 204 • STEAMBOAT SPRINGS, CO 80477

P. 970.678.825 • F. 303.940.9569 • www.basellncorp.com

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KEY MAP

LEGEND

EXISTING TREES

TREES TO REMAIN

TREES TO REMOVE

DECIDUOUS TREES

ABBV	BOTANICAL NAME	COMMON NAME
ACFL	ACER GINNALA 'FLAME'	FLAME AMUR MAPLE
FATR	FAGUS SYLVATICA 'TRICOLOR'	TRICOLOR EUROPEAN BEECH
POTR	POPULUS TREMULOIDES	QUAKING ASPEN

ORNAMENTAL TREES

ABBV	BOTANICAL NAME	COMMON NAME
MASP	MALUS X 'SPRING SNOW'	SPRING SNOW CRABAPPLE
PRPO	PRUNUS X 'P0025'	SUCKER PUNCH® CHOKECHERRY

UPRIGHT EVERGREEN SHRUBS

ABBV	BOTANICAL NAME	COMMON NAME
JUCH	JUNIPERUS CHINENSIS 'BLUE POINT'	BLUE POINT JUNIPER
JUSK	JUNIPERUS SCOPULORUM 'SKYROCKET'	SKYROCKET JUNIPER
JUWI	JUNIPERUS SCOPULORUM 'WICHITA BLUE'	WICHITA BLUE JUNIPER
JUVI	JUNIPERUS VIRGINIANA 'CUPRESSIFOLIA'	HILLSPIRE EASTERN REDCEDAR

SHRUBS

ABBV	BOTANICAL NAME	COMMON NAME
AMCA	AMORPHIA CANESCENS	LEADPLANT
COAL	CORNUS ALBA	TATARIAN DOGWOOD
PEAB	PEROVSKIA ABROTANOIDES	RUSSIAN SAGE
PHDO	PHYSCALPUS OPULIFOLIUS 'CONNA MAY'	LITTLE DEVIL™ DWARF NINEBARK
PIGL	PICEA PUNGENS 'GLAUCOA' 'GLOBOSA'	BLUE GLOBE COLORADO SPRUCE
PISL	PINUS MUGO 'SLOVMOUND'	SLOWMOUND MUGO PINE
POFA	POTENTILLA FRUTICOSA 'TARGO'	DAKOTA SUNSPOT® BUSH CINQUEFOIL
RIAL	RIBES ALPINUM	ALPINE CURRANT

GRASSES

ABBV	BOTANICAL NAME	COMMON NAME
BOCU	BOUTELOUA CURTIPENDULA	SIDE OATS GRAMA
HESE	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS
PAVI	PANICUM VIRGATUM	SWITCH GRASS

PERENNIALS

ABBV	BOTANICAL NAME	COMMON NAME
ASGO	ASTER ALPINUS 'GOLIATH'	GOLIATH ALPINE ASTER
CETO	CERASTIUM TOMENTOSUM	SNOW IN SUMMER
ESCA	ESCHSCHOLZIA CALIFORNICA	CALIFORNIA POPPY
HEFU	HEMEROCALLIS FULVA	ORANGE DAYLILY
PERO	PENSTEMON ROSTRIFLORUS	BRIDGE PENSTEMON

NOTE: ALL SHRUB AND PERENNIAL BEDS SHALL BE MULCHED WITH 3" DEPTH WOOD MULCH. NO WEED CONTROL FABRIC IN GROUND COVER OR SHRUB BED AREAS. WHEN FULLY MATURE, ALL DECIDUOUS TREES WITHIN DEVELOPMENT SHALL PROVIDE AN UNOBSTRUCTED VERTICAL CLEARANCE OF 8 FEET MINIMUM.

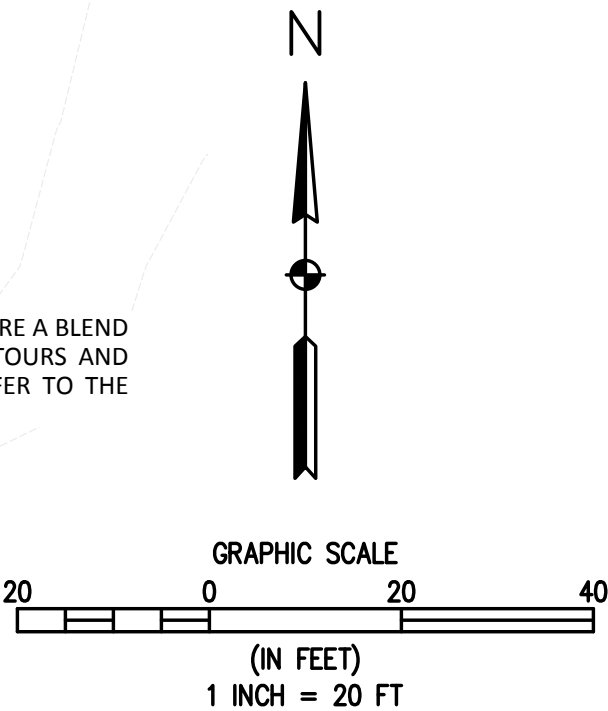
GROUND COVER

MULTI-COLOR NATIVE SEED

NATIVE SEED MIX

WOOD MULCH

EDGER



CONTOURS SHOWN ON THIS PLAN ARE A BLEND OF EXISTING AND PROPOSED CONTOURS AND ARE SHOWN FOR REFERENCE. REFER TO THE GRADING PLAN FOR MORE DETAIL.

DESIGNED BY	TJM
DRAWN BY	TJM
CHECKED BY	MRB

DATE	05/18/2023
PREPARED BY	SMB
DATE	07/28/2023
PREPARED BY	SMB

REVISION DESCRIPTION	REVISIONS PER DRT #	COMMENTS

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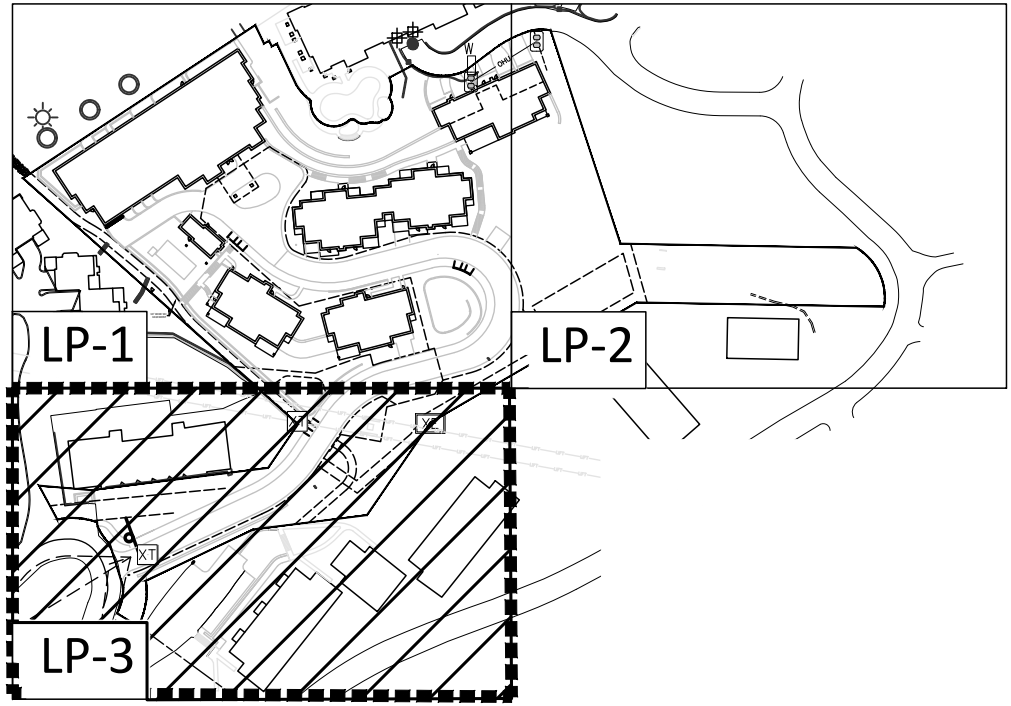
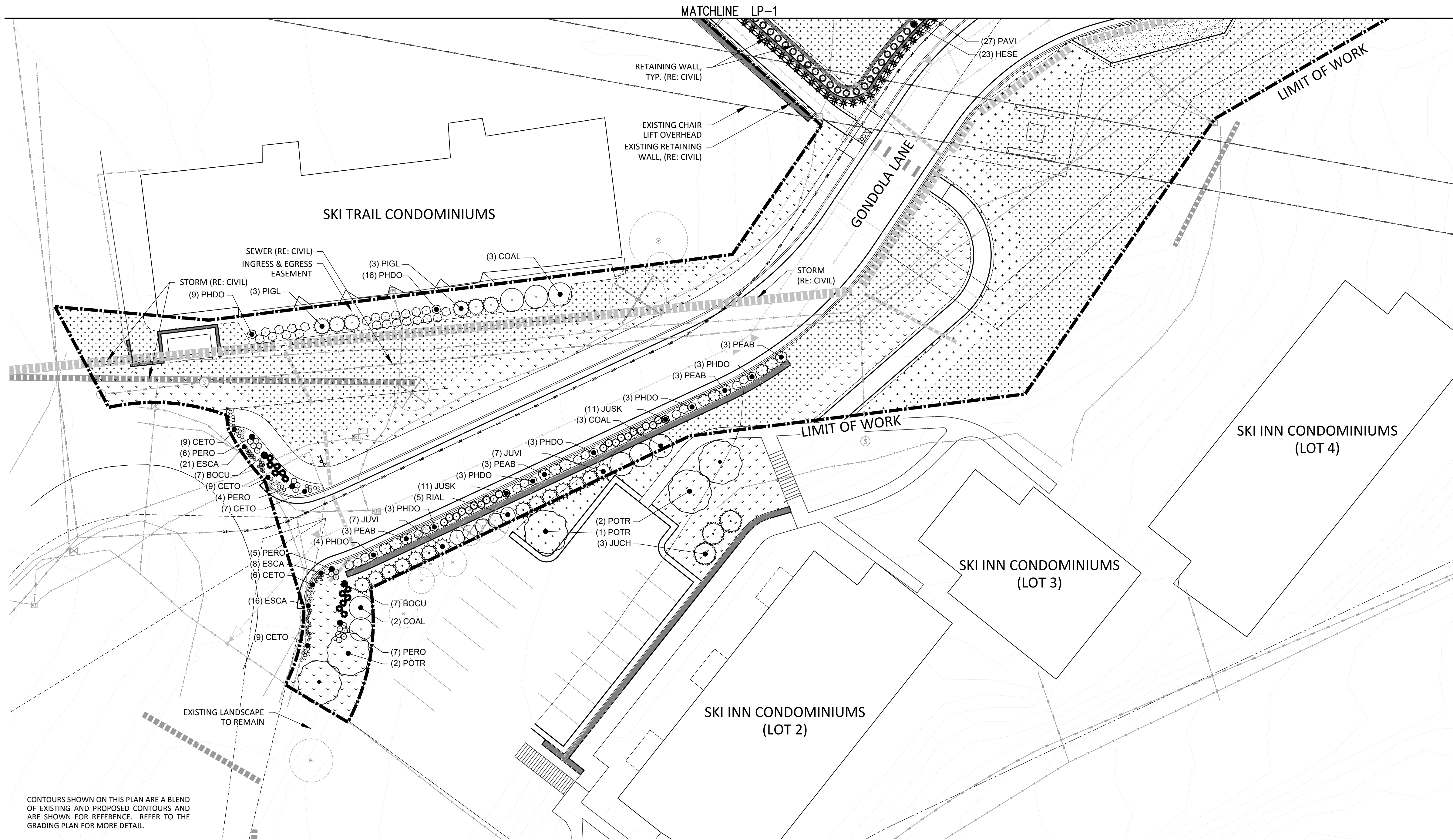
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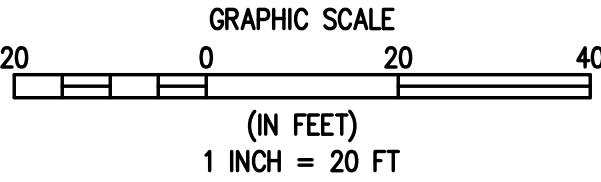


KEY MAP

LEGEND

EXISTING TREES		
TREES TO REMAIN		
TREES TO REMOVE		
DECIDUOUS TREES	ABBV	BOTANICAL NAME
ACFL	ACER GINNALA 'FLAME'	FLAME AMUR MAPLE
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AMCA	AMORPHA CANESCENS	LEADPLANT
COAL	CORNUS ALBA	TATARIAN DOGWOOD
PEAB	PEROVSKIA ABROTANOIDES	RUSSIAN SAGE
PHDO	PHYSOCARPUS OPULIFOLIUS 'CONNA MAY'	LITTLE DEVIL™ DWARF NINEBARK
PIGL	PICEA PLUNGENS 'GLAUCOA' 'GLOBOSA'	BLUE GLOBE COLORADO SPRUCE
PISL	PINUS MUGO 'SLOWMOUND'	SLOWMOUND MUGO PINE
POFA	POTENTILLA FRUTICOSA 'FARGO'	DAKOTA SUNSPOT® BUSH CINQUEFOIL
RIAL	RIBES ALPINUM	ALPINE CURRANT
GRASSES	ABBV	BOTANICAL NAME
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GROUND COVER		
	MULTI-COLOR NATIVE SEED	
	NATIVE SEED MIX	
	WOOD MULCH	
	EDGER	

NOTE: ALL SHRUB AND PERENNIAL BEDS SHALL BE MULCHED WITH 3" DEPTH WOOD MULCH. NO WEED CONTROL FABRIC IN GROUND COVER OR SHRUB BED AREAS. WHEN FULLY MATURE, ALL DECIDUOUS TREES WITHIN DEVELOPMENT SHALL PROVIDE AN UNOBSTRUCTED VERTICAL CLEARANCE OF 8 FEET 6 INCHES.



DESIGNED BY	TJM
DRAWN BY	TJM
CHECKED BY	MRB

REVISION	DESCRIPTION	DATE	PREPARED BY	DATE
1	REVISIONS PER DRT #1	05/18/2023	SMB	05/18/2023
2	REVISIONS PER DRT #2	07/28/2023	SMB	07/28/2023

ROUTT COUNTY

STEAMBOAT ESQUIAR LP

THE ASTRID
2410 SKI TRAIL LANE
LANDSCAPE PLAN

STEAMBOAT SPRINGS

PREPARED UNDER THE DIRECT SUPERVISION OF

**PRELIMINARY
NOT FOR
CONSTRUCTION**

FOR AND ON BEHALF OF
BASELINE CORPORATION

INITIAL SUBMITTAL 12/22/2022

DRAWING SIZE 24" X 36"

SURVEY FIRM LANDMARK, INC SURVEY DATE 06/03/22

JOB NO. C020235

DRAWING NAME 20235_LANDSCAPE-PLAN.dwg

SHEET 42 OF 68

LANDSCAPE NOTES

- GENERAL
- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL PLANT QUANTITIES. THE PLANT LIST IS INTENDED AS A REFERENCE ONLY.
 - OWNER'S REPRESENTATIVE IS TO APPROVE ALL PLANT MATERIAL PRIOR TO INSTALLATION WITH PRIOR NOTICE OF 48 HOURS.
 - PLANT MATERIAL IS TO HAVE IDENTIFICATION TAGS ON 10 OF EACH SPECIES SHOWING GENUS, SPECIES AND VARIETY, ETC. PLANT TAGS TO REMAIN ON TREES AND SHRUBS UNTIL TOWN INSPECTION.
 - ALL PLANT MATERIALS SHALL BE IN ACCORDANCE WITH AAN SPECIFICATIONS FOR NUMBER ONE GRADE.
 - ALL TREES TO BE BALLED AND BURLAPPED, ROOT CONTROL BAGS OR CONTAINERIZED.
 - MINOR CHANGES IN SPECIES AND PLANT LOCATIONS MAY BE MADE DURING CONSTRUCTION, AS REQUIRED BY SITE CONDITIONS OR PLANT AVAILABILITY. OVERALL QUANTITY AND DESIGN CONCEPT TO BE CONSISTENT WITH APPROVED PLANS.
 - PRIOR TO INSTALLATION OF PLANT MATERIALS AND SOD, AREAS THAT HAVE BEEN COMPACTED SHALL BE THOROUGHLY LOOSENEED.
 - ALL LANDSCAPE AREAS ARE TO RECEIVE ORGANIC SOIL PREPARATION AT THE RATE OF 4 CUBIC YARDS PER 1000 SF ROTO-TILLED TO A DEPTH OF 6". NO ORGANIC SOIL PREPARATION WITHIN THE FIRST 5 FEET ADJACENT TO BUILDINGS.
 - ALL BUILDING STRUCTURES SHALL HAVE A MINIMUM 5' WIDE PLANT FREE BUFFER AROUND THE BUILDING FOUNDATION. FOUNDATION BUFFERS ARE TO BE MULCHED WITH MIN. 3" DEPTH ROCK MULCH OVER SPECIFIED GEO-TEXTILE WEED CONTROL FABRIC. ROCK MULCH SHALL BE 1-1/2" COLORADO ROSE CRUSHED ROCK OR APPROVED EQUAL. CONTRACTOR SHALL PROVIDE SAMPLES OF ROCK MULCH FOR LANDSCAPE ARCHITECT'S APPROVAL, PRIOR TO PURCHASE OR INSTALLATION. FINAL SELECTION SHALL BE MADE FROM SAMPLES. ALL SHRUB, ORNAMENTAL GRASS AND PERENNIAL FLOWER BEDS SHALL BE MULCHED WITH 4" DEPTH SHREDDED CEDAR MULCH. CHIPPER MULCH IS NOT ACCEPTABLE. NO WEED CONTROL FABRIC IS REQUIRED IN SHRUB, ORNAMENTAL GRASS AND PERENNIAL AREAS.
 - SHRUB BEDS ARE TO BE CONTAINED BY COYOTE PRODUCTS. PERFEDGE 16 GA, PERFORATED, 4" DEPTH, GALVANIZED ROLLTOP EDGER WITH DRAIN HOLES. EDGER IS NOT REQUIRED WHEN ADJACENT TO CURBS, WALLS, OR WALKS. MATERIAL TO BE APPROVED BY OWNER.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO ANY EXCAVATION.
 - THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, PRIOR TO CONTINUING WITH THAT PORTION OF WORK.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
 - LANDSCAPE TO BE INSTALLED PER CITY STANDARDS AND SPECIFICATIONS. IN CASES WHERE DISCREPANCIES EXIST BETWEEN PLANS AND CITY STANDARDS, CONTACT LANDSCAPE ARCHITECT FOR CLARIFICATION.
 - ALL AREAS SHALL BE GRADED TO ACHIEVE POSITIVE DRAINAGE.
 - ALL SODDED, TURF SEEDED AREAS SHALL BE WATERED BY AN UNDERGROUND, AUTOMATIC IRRIGATION SYSTEM, AND SHALL PROVIDE 100% COVERAGE TO ALL AREAS. ALL SHRUB BEDS TO BE IRRIGATED WITH AUTOMATIC DRIP IRRIGATION SYSTEM OR ACCEPTABLE ALTERNATIVE. THE IRRIGATION SYSTEM IS TO BE ADJUSTED TO MEET THE NEEDS OF THE INDIVIDUAL PLANT MATERIAL.
 - KEEP ALL TREES MINIMUM 10 FEET BETWEEN TREES AND WATER OR SEWER MAINS, 6 FEET BETWEEN TREES AND WATER OR SEWER SERVICE LINES, 4 FEET BETWEEN TREES AND GAS LINES. STREET TREES PLANTED WITHIN THE UTILITY EASEMENT MAY CONFLICT WITH UTILITIES & ADDITIONAL CONDUIT MAY BE REQUIRED TO PROTECT UNDERGROUND ELECTRIC LINES.
 - LANDSCAPES SHALL BE MAINTAINED TO ENSURE WATER EFFICIENCY. A REGULAR MAINTENANCE SCHEDULE SHALL INCLUDE BUT NOT BE LIMITED TO CHECKING, ADJUSTING, AND REPAIRING IRRIGATION EQUIPMENT; RESETTNG THE AUTOMATIC CONTROLLER; AERATING AND DE-THATCHING TURF AREAS (ONLY IF NEEDED); REPLENISHING MULCH; FERTILIZING; PRUNING, AND WEEDING IN ALL LANDSCAPED AREAS.
 - SINGLE TRUNK TREES WITHIN THE SIGHT TRIANGLE AREAS SHALL BE MAINTAINED & TRIMMED FROM THE GROUND TO A LINE AT LEAST SEVEN (7) FEET ABOVE THE LEVEL OF THE INTERSECTION.
 - ALL EXISTING TREES & SHRUBS ON SITE SHALL BE REMOVED.
 - REFER TO THE NORTHWEST COLORADO CONSULTANTS, INC. PROJECT JOB NO. 21-12805, DECEMBER 7, 2022 SURFACE DRAINAGE, PARAGRAPH 5: "LANDSCAPING, WHICH REQUIRES EXCESSIVE WATERING AND LAWN SPRINKLER HEADS, SHOULD BE LOCATED A MINIMUM OF 10 FEET FROM THE FOUNDATION WALLS OF THE STRUCTURES"
 - TOE OF SLOPE ADJACENT TO SIDEWALKS SHALL HAVE A MINIMUM TWO FOOT (2') LANDING TO MITIGATE WATER RUNOFF AND SHALL NOT EXCEED 6:1.
 - CONTRACTOR SHALL TILL OR REPLACE COMPACTED SOIL IN VEHICLE LOT PLANTING AREAS TO A DEPTH OF 30 INCHES.

SEED NOTES

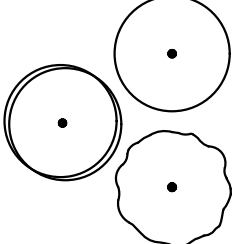
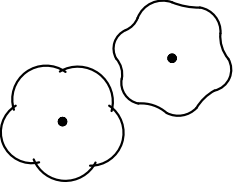
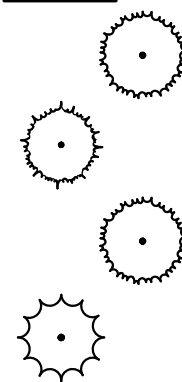
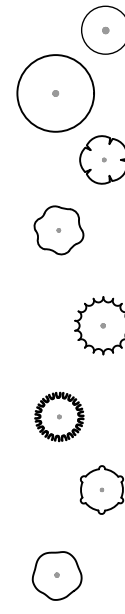
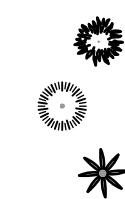
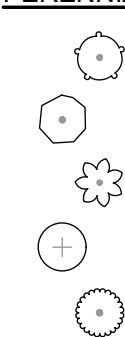
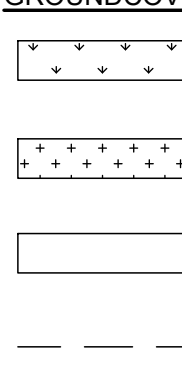
- SEED SHALL BE INSTALLED WHEN AT LEAST 3 MONTHS REMAIN IN THE GROWING SEASON. IF LESS THAN 3 MONTHS REMAIN IN THE GROWING SEASON AT THE TIME OF SEEDING, THE LANDSCAPE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT AND OWNER.
- ALL SEED APPLICATIONS SHALL BE DRILL SEEDED, WITH HYDROMULCH APPLIED OVER THE SEED BED AFTER SEEDING.

HYDROMULCH MIX	
WOOD FIBER MULCH	46
15-15-15 ORGANIC FERTILIZER	9
ORGANIC BINDER/TACKIFIER	4

CITY OF STEAMBOAT SPRINGS NOTES

- PERMITS ARE REQUIRED FOR WORK WITHIN ROW FROM MAY 1ST THROUGH NOVEMBER 1ST.
- ALL LANDSCAPE WORK SHALL OCCUR BETWEEN MAY 1ST THROUGH NOVEMBER 1ST.

PLANT SCHEDULE

DECIDUOUS TREES	ABBV	BOTANICAL NAME	COMMON NAME	SIZE	QTY	WATER USE	MATURE HEIGHT	MATURE WIDTH
	ACFL	ACER GINNALA 'FLAME'	FLAME AMUR MAPLE	2" CAL.	5	MEDIUM	25 FT. HT.	20 FT. W.
	FATR	FAGUS SYLVATICA 'TRICOLOR'	TRICOLOR EUROPEAN BEECH	2" CAL.	6	MEDIUM	35 FT. HT.	20 FT. W.
	POTR	POPULUS TREMULOIDES	QUAKING ASPEN	2" CAL.	9	MEDIUM	40 FT. HT.	15 FT. W.
ORNAMENTAL TREES	ABBV	BOTANICAL NAME	COMMON NAME	SIZE	QTY	WATER USE	MATURE HEIGHT	MATURE WIDTH
	MASP	MALUS X 'SPRING SNOW'	SPRING SNOW CRABAPPLE	2" CAL.	5	MEDIUM	25 FT. HT.	20 FT. W.
	PRPO	PRUNUS X 'P002S'	SUCKER PUNCH® CHOKECHERRY	2" CAL.	4	LOW - MEDIUM	25 FT. HT.	20 FT. W.
UPRIGHT EVERGREEN SHRUBS	ABBV	BOTANICAL NAME	COMMON NAME	SIZE	QTY	WATER USE	MATURE HEIGHT	MATURE WIDTH
	JUCH	JUNIPERUS CHINENSIS 'BLUE POINT'	BLUE POINT JUNIPER	6' HT.	6	LOW - MEDIUM	12 FT. HT.	8 FT. W.
	JUSK	JUNIPERUS SCOPULORUM 'SKYROCKET'	SKYROCKET JUNIPER	6' HT.	22	LOW - MEDIUM	15 FT. HT.	3 FT. W.
	JUWI	JUNIPERUS SCOPULORUM 'WICHITA BLUE'	WICHITA BLUE JUNIPER	6' HT.	9	LOW - MEDIUM	15 FT. HT.	6 FT. W.
	JUVI	JUNIPERUS VIRGINIANA 'CUPRESSIFOLIA'	HILLSPIRE EASTERN REDCEDAR	6' HT.	14	LOW - MEDIUM	15 FT. HT.	10 FT. W.
SHRUBS	ABBV	BOTANICAL NAME	COMMON NAME	SIZE	QTY	WATER USE	MATURE HEIGHT	MATURE WIDTH
	AMCA	AMORPHA CANESCENS	LEADPLANT	5 GAL	31	MEDIUM	3 FT. HT.	3 FT. W.
	COAL	CORNUS ALBA	TATARIAN DOGWOOD	5 GAL	8	MEDIUM	8 FT. HT.	8 FT. W.
	PEAB	PEROVSKIA ABROTANOIDES	RUSSIAN SAGE	5 GAL	155	LOW	5 FT. HT.	4 FT. W.
	PHDO	PHYSOCARPUS OPULIFOLIUS 'DONNA MAY'	LITTLE DEVIL™ DWARF NINEBARK	5 GAL	66	LOW - MEDIUM	5 FT. HT.	5 FT. W.
	PIGL	PICEA PUNGENS 'GLAUCA 'GLOBOSA'	BLUE GLOBE COLORADO SPRUCE	5 GAL	29	MEDIUM	5 FT. HT.	6 FT. W.
	PISL	PINUS MUGO 'SLOWMOUND'	SLOWMOUND MUGO PINE	5 GAL	63	LOW	3 FT. HT.	2 FT. W.
	POFA	POTENTILLA FRUTICOSA 'FARGO'	DAKOTA SUNSPOT® BUSH CINQUEFOIL	5 GAL	40	MEDIUM	3 FT. HT.	4 FT. W.
	RIAL	RIBES ALPINUM	ALPINE CURRANT	5 GAL	35	LOW - MEDIUM	3 FT. HT.	5 FT. W.
	BOCU	BOUTELOUA CURTIPENDULA	SIDE OATS GRAMA	1 GAL	202	VERY LOW - LOW	2'-6" HT.	2 FT. W.
	HESE	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	1 GAL	151	LOW	3 FT. HT.	2 FT. W.
GRASSES	ABBV	BOTANICAL NAME	COMMON NAME	SIZE	QTY	WATER USE	MATURE HEIGHT	MATURE WIDTH
	PAVI	PANICUM VIRGATUM	SWITCH GRASS	1 GAL	177	LOW - HIGH	5 FT. HT.	2 FT. W.
	ASGO	ASTER ALPINUS 'GOLIATH'	GOLIATH ALPINE ASTER	#1 CON.	86	LOW	1 FT. HT.	1'-6" W.
	CETO	CERASTIUM TOMENTOSUM	SNOW IN SUMMER	#1 CON.	507	LOW	1 FT. HT.	1 FT. W.
PERENNIALS	ABBV	BOTANICAL NAME	COMMON NAME	SIZE	QTY	WATER USE	MATURE HEIGHT	MATURE WIDTH
	ESCA	ESCHSCHOLZIA CALIFORNICA	CALIFORNIA POPPY	#1 CON.	658	VERY LOW	2 FT. HT.	2 FT. W.
	HEFU	HEMEROCALLIS FULVA	ORANGE DAYLILY	#1 CON.	70	MEDIUM	2 FT. HT.	2 FT. W.
	PERO	PENSTEMON ROSTRIFLORUS	BRIDGE PENSTEMON	#1 CON.	254	LOW	1'-6" HT.	1'-6" W.
GROUND COVER								
	32,860 SQ. FT.	MULTI-COLOR NATIVE SEED MIX	MULTI-COLOR HIGH ALTITUDE MIX (ARKANSAS VALLEY SEED OR APPROVED EQUAL)					
	69,320 SQ. FT.	NATIVE SEED MIX	FOOTHILLS SEED MIX (ARKANSAS VALLEY SEED OR APPROVED EQUAL)					
	20,115 SQ. FT.	WOOD MULCH	CASCADE CEDAR MULCH (COLORADO MATERIALS INC. OR APPROVED EQUAL)					
	1,025 LN. FT.	EDGER	4"x14" GAUGE GALVANIZED, ROLL TOP, INTERLOCKING TYPE EDGER (SURE-LOC OR APPROVED EQUAL)					

FOOTHILLS SEED MIX	
20%	ANNUAL RYEGRASS
15%	SLENDER WHEATGRASS
12%	CRESTED WHEATGRASS
10%	MOUNTAIN BROOM
10%	HARD FESCUE
10%	CANADA BLUEGRASS
6%	SIDEOATS GRAMA
6%	BIG BLUESTEM
5%	BLUE GRAMAM (COATED)
5%	SWITCHGRASS
1%	SAND DROPSEED

MULTI-COLOR HIGH ALTITUDE MIX	
30%	EPHRAIM CRESTED WHEATGRASS
25%	SHEEP FESCUE
15%	PERENNIAL RYE
15%	CHEWING FESCUE
10%	CANADA BLUEGRASS
5%	ROCKY MOUNTAIN WILDFLOWER MIX

ROCKY MOUNTAIN WILDFLOWER MIX*	
BOTANIC NAME	COMMON NAME
CENTAUREA CYANUS	CORNFLOWER
DIMORPHOTHECA SINUATA	AFRICAN DAISY
RUDBECKIA HIRTA	BLACK-EYED SUSAN
GYPSOPHILA ELEGANS	BABY'S BREATH
LINUM LEWISII	BLUE FLAX
LOBULARIA MARITIMA	SWEET ALYSSUM
ESCHSCHOLZIA CALIFORNICA	CALIFORNIA POPPY
CHERIANTHUS ALLIONII	SIBERIAN WALLFLOWER
RATIBIDA COLUMNIFERA	PRAIRIE CONEFLOWER
CHRYSANTHEMUM CORONARIUM	GARLAND DAISY
GAILLARDIA ARISTATA	PERENNIAL GAILLARDIA
GAILLARDIA PULCHELLA	ANNUAL GAILLARDIA
OENOTHERA BIENNIS	EVENING PRIMROSE
DIANTHUS BARBATUS	SWEET WILLIAM PINKS
LEUCANTHEMUM X SUPERBUM	SHASTA DAISY
PAPAVER RHOEAS	CORN POPPY
SILENE ARMERIA	CATCHFLY
PENSTEMON STRICTUS	ROCKY MOUNTAIN PENSTEMON
ANTIRRHINUM CORNUTUM	SPURRED SNAPDRAGON
ECHINACEA PURPUREA	PURPLE CONEFLOWER
*FORMULATION AND VARIETIES SUBJECT TO AVAILABILITY	

BASELINE

Engineering • Planning • Surveying

169 HILLTOP PKWY, SUITE 204 • STEAMBOAT SPRINGS, CO 80477
P. 970.678.025 • F. 303.940.9569 • www.baselinecorp.com

DESIGNED BY
TJM

DATE
05/18/2023

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LANDSCAPE NOTES

STEAMBOAT SPRINGS

FOR AND ON BEHALF OF
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INITIAL SUBMITTAL 12/22/2022

DRAWING SIZE 24" X 36"

SURVEY FIRM LANDMARK, INC

SURVEY DATE 06/03/22

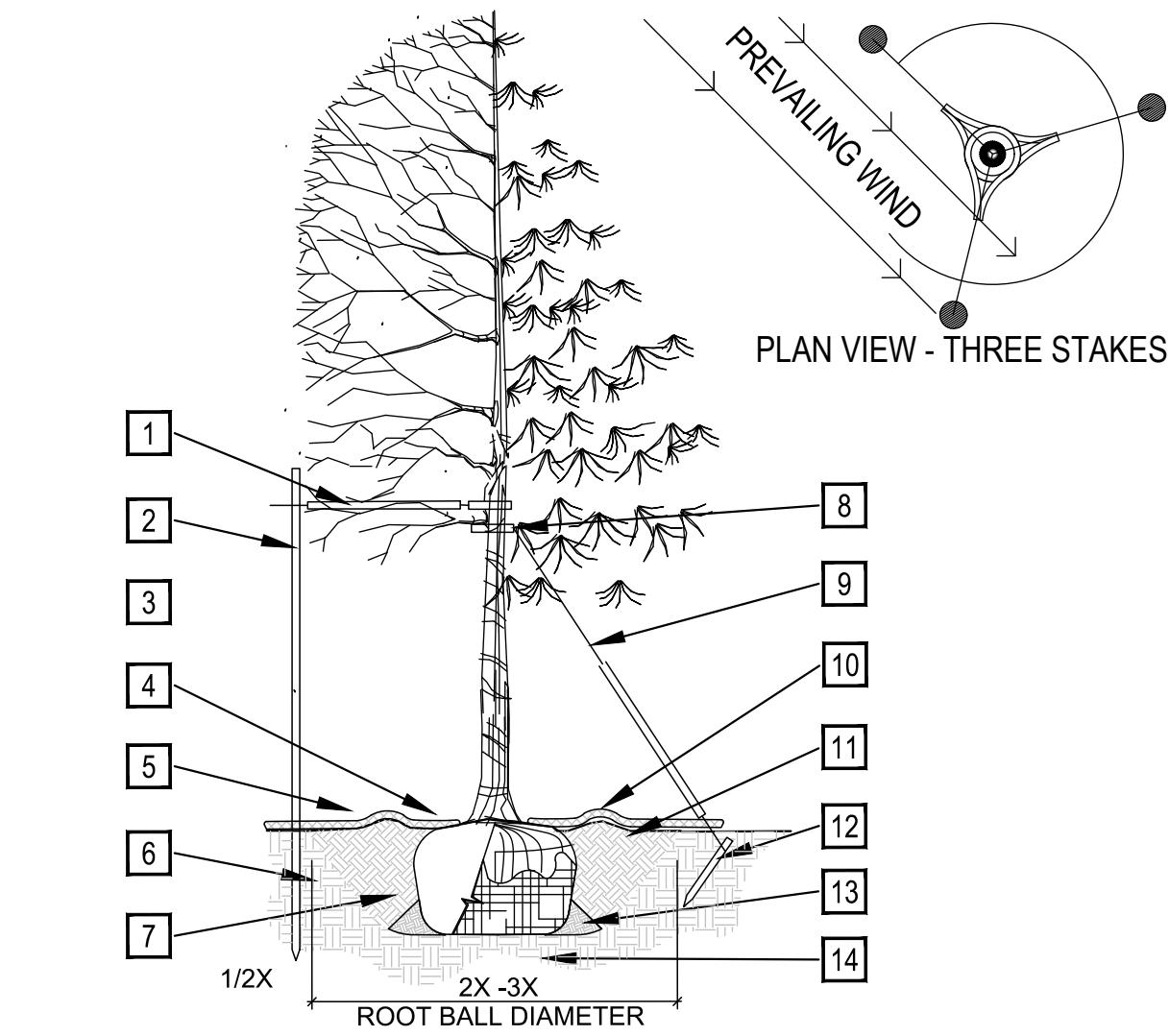
JOB NO. C020235

DRAWING NAME 202355_LANDSCAPE-DETAILS.dwg

SHEET 43 OF 68

LD1

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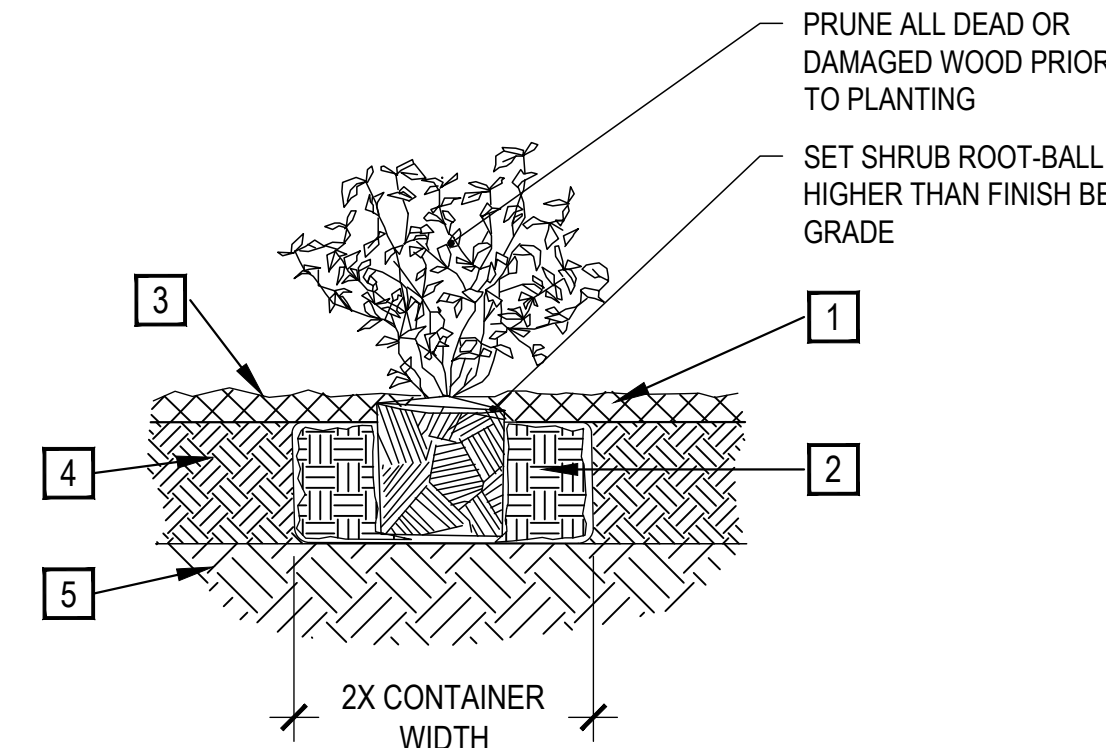


A TREE PLANTING DETAIL

SCALE: NTS

- PRUNING NOTES:**
- ALL PRUNING SHALL COMPLY WITH ANSI A300 STANDARDS.
 - DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS AND BROKEN BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
- STAKING NOTES:**
- STAKE TREES PER FOLLOWING SCHEDULE, THEN REMOVE AT END OF FIRST GROWING SEASON.
 - 1-1/2" CALIPER SIZE - MIN. 1 STAKE ON SIDE OF PREVAILING WIND (GENERALLY N.W. SIDE)
 - 1-3/4" - 3" CALIPER SIZE - MIN. 2 STAKES - ONE ON N.W. SIDE, ONE ON S.W. SIDE (OR PREVAILING WIND SIDE AND 180° FROM THAT SIDE)
 - 3" CALIPER SIZE AND LARGER - 3 STAKES PER DIAGRAM
 - WIRE OR CABLE SHALL BE MIN. 12 GAUGE, TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. NYLON STRAPS SHALL BE LONG ENOUGH TO ACCOMMODATE 1-1/2" OF GROWTH AND BUFFER ALL BRANCHES FROM WIRE.

- PLACE MIN. 1/2" PVC PIPE AROUND EACH WIRE. EXPOSED WIRE SHALL BE MAX. 2" EACH SIDE
- 6 FT. UNTREATED WOOD POST (MIN. 1.5" DIAMETER). ALL SHALL BE DRIVEN OUTSIDE ROOTBALL AND IN UNDISTURBED SOIL.
- TREE WRAP TO BE INSTALLED ONLY FROM OCTOBER 1 THROUGH APRIL 30. (DECIDUOUS ONLY)
- PLANT TREE SO THAT FIRST ORDER MAJOR ROOT IS 1"-2" ABOVE FINAL GRADE.
- 3" DEEP WOOD MULCH RING PLACED A MINIMUM OF 4 FT. IN DIAMETER. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK (FINISHED GRADE REFERENCES TOP OF MULCH).
- 1:1 SLOPE ON SIDES OF PLANTING HOLE.
- REMOVE ALL TWINE, ROPE, BURLAP AND WIRE FROM ENTIRE ROOT BALL AND TRUNK
- GROMMETED NYLON STRAPS
- GALVANIZED WIRE, MIN. 12 GAUGE CABLE - TWIST WIRE ONLY TO KEEP FROM SLIPPING.
- 4-6" HIGH WATER SAUCER IN NON-TURF AREAS.
- BACKFILL WITH BLEND OF EXISTING SOIL AND A MAXIMUM 20% (BY VOLUME) ORGANIC MATERIAL. WATER THOROUGHLY WHEN BACKFILLING
- 2 FT. STEEL T-POST. ALL SHALL BE DRIVEN BELOW GRADE AND OUTSIDE ROOTBALL IN UNDISTURBED SOIL.
- PLACE SOIL AROUND ROOT BALL FIRMLY, DO NOT COMPACT OR TAMP. SETTLE SOIL WITH WATER TO FILL ALL AIR POCKETS.
- PLACE ROOT BALL ON UNDISTURBED SOIL TO PREVENT SETTLEMENT.

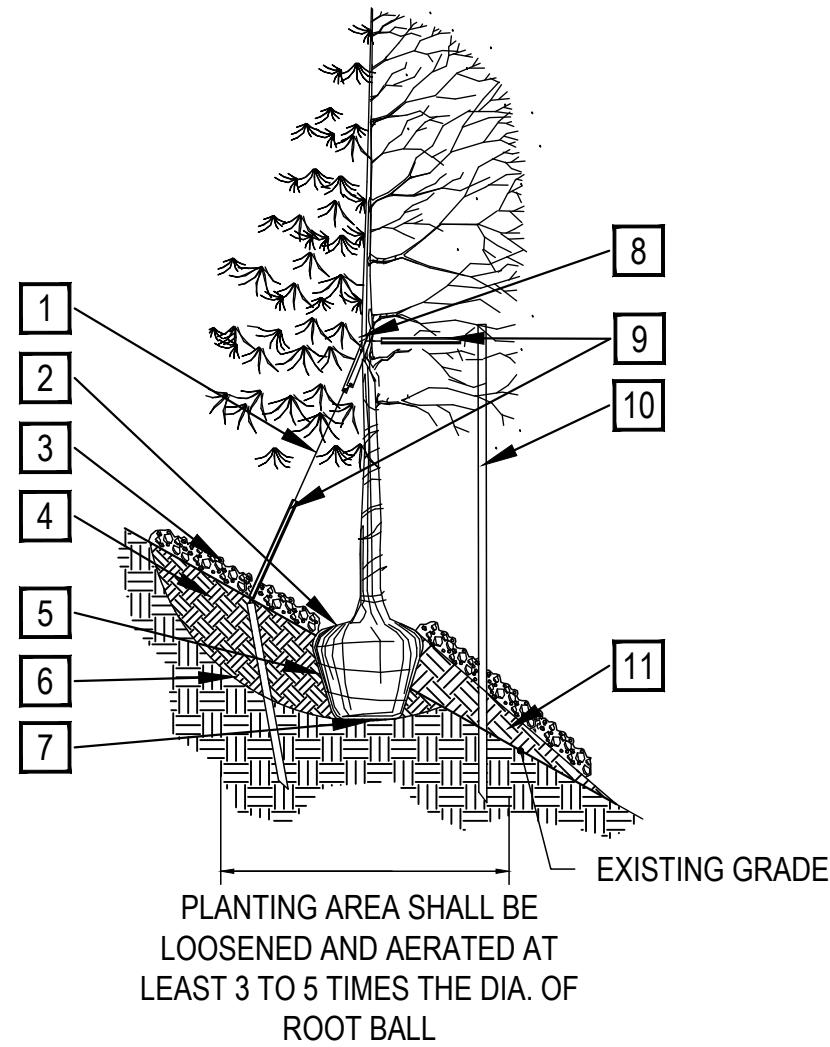


B SHRUB PLANTING

SCALE: 1-1/2" = 1'-0"

- SPECIFIED MULCH
 - AMENDED SOIL IN PLANTING BED PER SPECIFICATIONS. TILL SOIL TO A DEPTH OF EIGHT INCHES.
 - FINISH GRADE (TOP OF MULCH)
 - AMENDED TOPSOIL
 - EXISTING SUBGRADE
- NOTE:**
- BROKEN OR CRUMBLING ROOT-BALLS WILL BE REJECTED
 - CARE SHOULD BE TAKEN NOT TO DAMAGE THE SHRUB OR ROOT-BALL WHEN REMOVING IT FROM ITS CONTAINER
 - ALL JUNIPERS SHOULD BE PLANTED SO THE TOP OF THE ROOT-BALL OCCURS ABOVE THE FINISH GRADE OF THE MULCH LAYER
 - DIG PLANT PIT TWICE AS WIDE AND HIGH AS THE CONTAINER

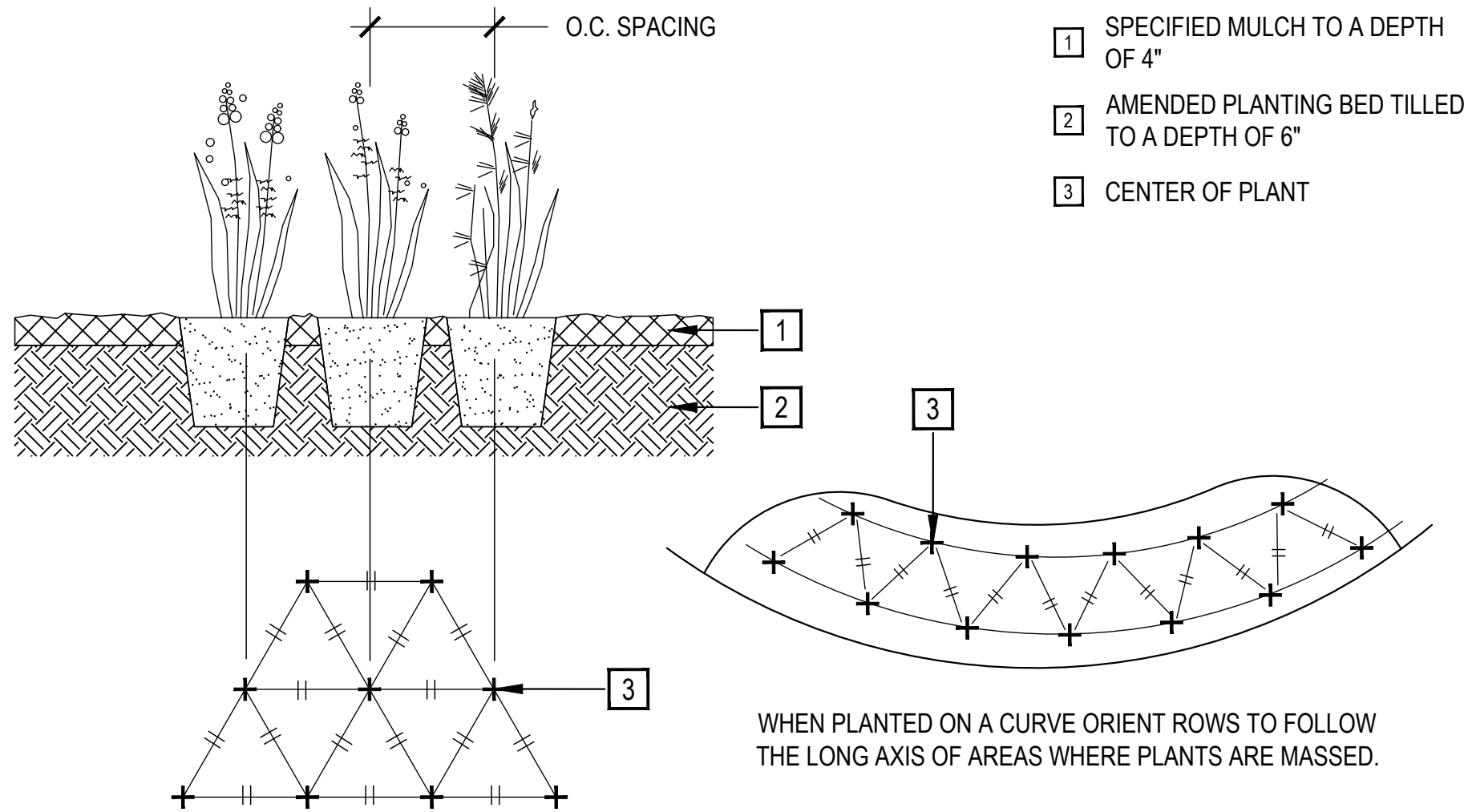
- NOTES:**
- EXCAVATE PLANTING HOLES WITH SLOPING SIDES. DO NOT DISTURB SOIL AT BOTTOM OF PLANTING HOLES, BUT DO SCORE THE SIDES OF THE PLANTING HOLE. MAKE EXCAVATIONS AT LEAST THREE TIMES AS WIDE AS THE ROOT BALL DIAMETER AND LESS (THREE TO FIVE INCHES) THAN THE DISTANCE FROM THE TOP MOST ROOT IN THE ROOT BALL AND THE BOTTOM OF THE ROOT BALL. THE PLANTING AREA SHALL BE LOOSENEED AND AERATED AT LEAST THREE TO FIVE TIMES THE DIAMETER OF THE ROOT BALL. BACKFILL SHALL CONSIST OF EXISTING ON SITE SOIL - NO AMENDMENTS SHALL BE USED UNLESS OTHERWISE SPECIFIED.
 - TREES SHALL BE PLANTED WITH THE TOP MOST ROOT IN THE ROOT BALL 3" TO 5" HIGHER THAN THE FINISHED LANDSCAPE GRADE. THIS INCLUDES TREES THAT ARE SET ON SLOPES. SET ROOT BALL ON UNDISTURBED SOIL. TREES WHERE THE TRUNK FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE ROOTBALL WITH SOIL.
 - FORM SOIL INTO A 3" TO 5" TALL WATERING RING (SAUCER) AROUND PLANTING AREA. THIS IS NOT NECESSARY IN IRRIGATED TURF AREAS. APPLY 4" DEPTH OF SPECIFIED MULCH INSIDE WATERING RING.
 - STAKING AND GUYING OF TREES IS OPTIONAL IN MOST PLANTING SITUATIONS. IN AREAS OF EXTREME WINDS, OR ON STEEP SLOPES, STAKING MAY BE NECESSARY TO STABILIZE THE TREES. STAKING AND GUYING MUST BE REMOVED WITHIN 1 YEAR OR LESS OF PLANTING DATE.
 - TREE WRAP IS NOT TO BE USED ON ANY NEW PLANTINGS, EXCEPT IN LATE FALL PLANTING SITUATIONS.
 - PRUNE ALL DEAD OR DAMAGED WOOD AFTER PLANTING
 - INSTALL SAUCER IN NATIVE AREAS



C TREE PLANTING ON SLOPE

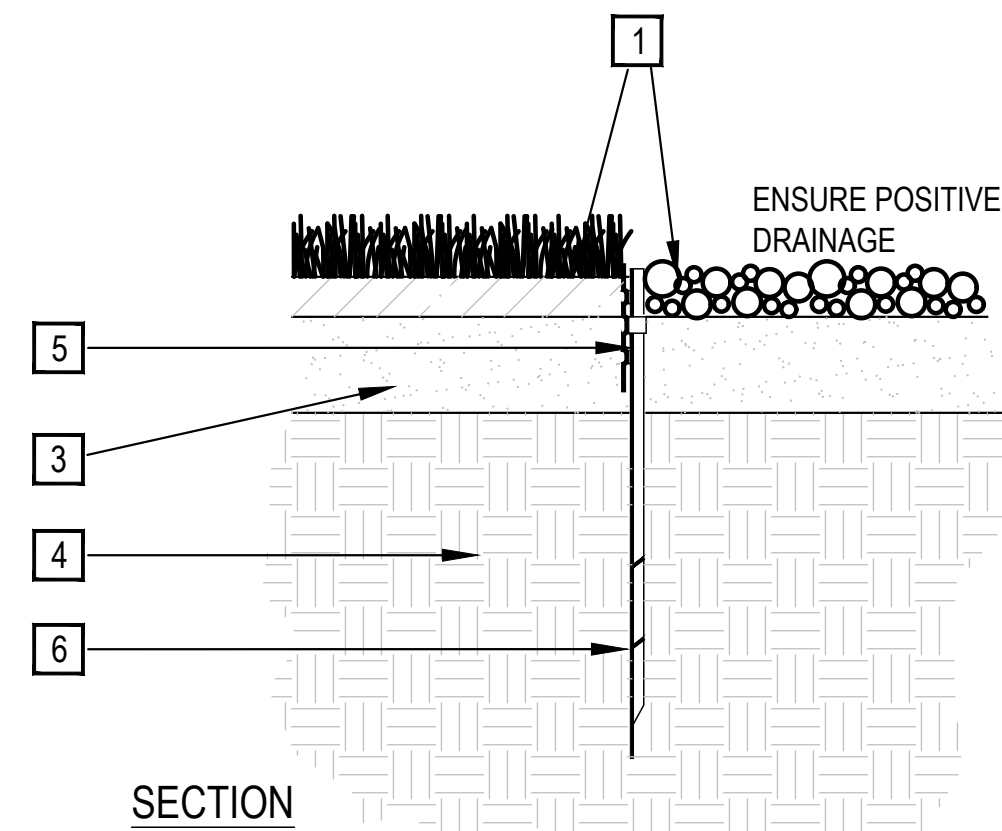
SCALE: 1/4" = 1'-0"

- USE GUY ASSEMBLIES FOR EVERGREENS AND TREES OVER 3" CAL. ALL WIRE TO BE 12 GAUGE GALVANIZED
- TOP MOST ROOT IN ROOTBALL: ABOVE EXISTING GRADE, UPHILL SIDE
- 24" OF ORGANIC MULCH APPLIED OVER PLANTING AREA AND AWAY FROM THE TRUNK
- BACKFILL WITH UNAMENDED TOPSOIL FROM HOLE
- BURLAP, ROPE, AND WIRE REMOVED FROM TOP 1/2 OF ROOT BALL AT MINIMUM
- SLOPE SIDED HOLE IS 3 TIMES AS WIDE AS THE ROOTBALL DIA.
- ROOTBALL SITTING DIRECTLY ON TOP OF UNDISTURBED SOIL
- ROOTBALL SITTING DIRECTLY ON TOP OF UNDISTURBED SOIL
- 24" x 3/4" P.V.C. MARKERS (TYPICAL) OVER WIRES
- TREATED WOOD POST W/ GROMMETED NYLON STRAPS. USE 2 GUY WIRES
- UNAMENDED TOPSOIL ADDED TO EXISTING GRADE ON DOWN HILL SIDE



D PERENNIAL / ORNAMENTAL GRASS LAYOUT

SCALE: 1" = 1'-0"

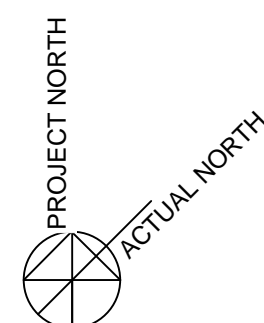


E METAL EDGER

SCALE: 1" = 1'-0"

- FINISHED GRADE - TOP OF SOD THATCH LAYER AND TOP OF MULCH OR CRUSHER FINES SHALL BE FLUSH WITH TOP OF EDGER
 - TURF THATCH
 - AMENDED SOIL PER SPECIFICATIONS
 - SUBGRADE
 - STEEL EDGER SHALL BE COYOTE PRODUCTS PERFEDGE 16 GA, PERFORATED, 4" DEPTH, GALVANIZED ROLLTOP EDGER WITH DRAIN HOLES
 - EDGER STAKE - 12"
- NOTES:**
- THERE SHALL BE NO EXPOSED SHARP / JAGGED EDGES.
 - CONTRACTOR SHALL INSTALL STAKES AS REQUIRED BY THE MANUFACTURER.

DESIGNED BY	DATE	PREPARED BY	REVISION	DESCRIPTION
TJM	05/18/2023	SMB	REVISIONS PER DRT #1	COMMENTS
TJM	07/28/2023	SMB	REVISIONS PER DRT #1	COMMENTS
MRB				

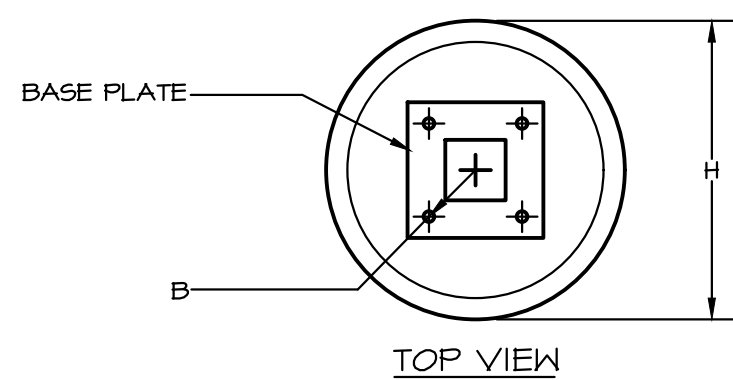


KEYNOTE LEGEND	
KEY VALUE	
◇	AREA IS PART OF INTERIOR SCOPE AND DOES NOT HAVE SITE LIGHTING

ESA

ERIC SMITH ASSOCIATES, P.C.
1919 SEVENTH STREET
BOULDER, COLORADO 80302
(303) 442-5458, (303) 442-4745 FAX

Project Phase
PLANNING SUBMITTAL
Sheet Title
LIGHTING PLAN
Sheet Number
DP-LI



POLE KEY	OVERALL HEIGHT	A	ANCHOR BOLT DATA			D	E	F	G	H	I
			B	SIZE	C						
EAI	14'4"	4"	PER MANUFACTURER			0'-4"	6'0"	10'0"	18"	36"	

1 | EA1 POLE BASE DETAIL

DP- L2	SCALE: NTS
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LIGHTING FIXTURE SCHEDULE																
TYPE	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	VOLTAGE	SOURCE				MAX WATTS	LUMEN OUTPUT	IESNA CUTOFF	DIMMING	FIXTURE FINISH	MOUNTING LOCATION	INFORMATION BOF/ARD/OFH	NOTES
					QTY	WATT	TYPE	CCT/CRI								
EA1	14'-0" L-SHAPED SQUARE POLE LED LIGHT TYPE III DISTRIBUTION	LUMINIS	BVA31-LIL40-TYP3	277V	1	33.7	LED	2700K	33.7	3484 LMS	FULL CUTOFF	NA	BLACK	EXTERIOR POLE	14'-0" POLE HEIGHT	
EA2	14'-0" L-SHAPED SQUARE POLE LED LIGHT TYPE II DISTRIBUTION	LUMINIS	BVA31-LIL40-TYP2	277V	1	33.7	LED	2700K	33.7	3484 LMS	FULL CUTOFF	NA	BLACK	EXTERIOR POLE	14'-0" POLE HEIGHT	
ED1	4" RECESSED LED DOWNLIGHT	DMF LIGHTING	M4-NC-R-S-DRD24-15-4-2T-6A-O-M41-R-BK	277V	1	15	LED	2700K	15	1500 LMS	FULL CUTOFF	NA	BLACK	EXTERIOR RECESSED CANOPY	16'-0" AFF	
EN1	LED WALL MOUNTED SCONCE SYMMETRIC NARROW BEAM	WE-EF	VLS410-1313-4524	277V	1	0.5	LED	2700K	0.5	649 LMS	FULL CUTOFF	NA	BLACK	EXTERIOR WALL	7'-6" OFH	
EN2	LED WALL MOUNTED SCONCE WITH ASYMMETRIC FORWARD THROW	WE-EF	VLS420 - 131-4332	277V	1	15	LED	2700K	15	1340 LMS	FULL CUTOFF	NA	BLACK	EXTERIOR WALL	7'-6" OFH	
EN2EM	LED WALL MOUNTED SCONCE ASYMMETRIC FORWARD THROW WITH INTEGRAL B.B. BATTERY	WE-EF	VLS420 - 131-4332	277V	1	15	LED	2700K	15	1340 LMS	FULL CUTOFF	NA	BLACK	EXTERIOR WALL	7'-6" OFH	

ABBREVIATIONS: BOF - BOTTOM OF FIXTURE, RFD - RECESSED FIXTURE DEPTH, OFH - OVERALL FIXTURE HEIGHT, AFF(AFG) - ABOVE FINISHED FLOOR (GRADE), RFD - HALL FIXTURE DEPTH
GENERAL NOTES:

- A. ALL LED LAMPS AND/OR FIXTURES SHALL BE 3000K COLOR TEMPERATURE AND A MINIMUM OF 82CRI, UCN.
- B. ALL REFLECTOR LAMPS SHALL BE PROVIDED AS WIDE FLOOD DISTRIBUTION, UCN.
- C. PROVIDE LUMINAIRES SHOWN AS SHADED WITH FACTORY INSTALLED 90 MINUTE EMERGENCY BATTERY OR OTHER REMOTE POWER SOURCE, UCN. EMERGENCY LUMINAIRES SHALL SENSE UN-SWITCHED POWER TO THE SPACE AND OPERATE AUTOMATICALLY UPON LOSS OF NORMAL POWER. ALL EMERGENCY LUMINAIRES SHALL HAVE AN INTEGRAL TEST SWITCH AND VISIBLE INDICATOR LIGHT. DISCONNECT THE EMERGENCY BATTERY TO THE UN-SHARED LEG OF THE LIGHTING CIRCUIT INDICATED.
- D. LUMENS LISTED ARE DELIVERED LUMENS, NOT INITIAL.
- E. FOR ALL SPECIFIED LUMINAIRES, THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MOUNTING HARDWARE, ACCESSORIES, COMPONENTS, LEADER/JUMPER CABLES, WIRE FEED, AND CONNECTORS, ETC. SHALL BE LEFT AS REQUIRED TO BE USED FOR THE INSTALLATION OF THE FUNCTIONAL SYSTEM.
- F. THE CONTRACTOR SHALL VERIFY THE CEILING TYPE BEFORE ORDERING LIGHT FIXTURES TO ENSURE COMPATIBILITY WITH SPECIFIED FIXTURES, NOTIFY SPECIFIER OF ANY DISCREPANCIES.
- G. ALL FINISH SELECTIONS SHALL BE VERIFIED BY ARCHITECT/INTERIOR DESIGNER/OWNER AS PART OF THE SUBMITTAL PROCESS, UNLESS OTHERWISE NOTED, EC SHALL ASSUME STANDARD LUMINAIRE FINISH OPTION FOR PRICING.
- H. EC SHALL VERIFY ALL FIXTURE MOUNTING HEIGHTS WITH ARCHITECTURAL ELEVATIONS PRIOR TO ANY ROUGH-IN.
- I. TYPICAL FOR ALL LIGHT FIXTURES WITH DESIGNATION STARTING WITH 'M'; FIXTURES ARE SHOWN FOR REFERENCE ONLY. FIXTURE SELECTIONS AND SPECIFICATIONS SHALL BE PROVIDED BY THE ARCHITECT AND/OR INTERIOR DESIGNER. EC SHALL COORDINATE EXACT MOUNTING LOCATION, MOUNTING HEIGHT, NATTAGE, AND DIMMING PROTOCOL WITH ARCHITECT / INTERIOR DESIGNER, LIGHTING CONSULTANT, AND/OR ELECTRICAL ENGINEER PRIOR TO INSTALL.
- J. REMOVE DRIVERS/(TRANSFORMERS) SHALL BE LOCATED IN A CONCEALED, ACCESSIBLE, AND VENTILATED LOCATION AS PROPOSED BY THE EC AND APPROVED BY THE ARCHITECT. REFER TO THE MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR MINIMUM REQUIRED CLEARANCES FROM ADJACENT MATERIALS, AND WIRING REQUIREMENTS TO PREVENT VOLTAGE DROP. DO NOT EXCEED MANUFACTURER'S RECOMMENDATIONS REGARDING RISE GAGE AND MAXIMUM HIRE RUN LENGTHS.
- K. ALL LUMINAIRES SPECIFIED WITH ONLY DIMMING OR DIMMING CAPABLE ADDITIONAL LOW VOLTAGE CONTROL WIRES IN ADDITION TO STANDARD WIRING FOR POWER.
- L. EXTERIOR LUMINAIRES SHALL BE COLD WEATHER RATED FOR 0 DEG. F, -10 DEG. C, AND RATED FOR OUTDOOR USE.

SPECIFIC NOTES:

DRD Series

2500lm Downlighting System

4" Round

Project:	Type:
Product Code:	Date:

V107272

Modular System Flexibility during and after installation with interchangeable modules, optics and trims

Quick Install Integrated driver and plug-and-play connection require no wiring

High Performance Precise lighting control without sacrificing stellar efficiency

Enhanced Dimming Smooth, flicker-free dimming down to 1%

OPTICAL

Module

Fixed, Adjustable

Delivered Lumens (Power)

750 lm (8.5W), 1000 lm (12.5W),
1250 lm (14.3W), 1500 lm (16.5W)

Color Quality

93+ CRI, 2-step SDCM

Color Temperature

- 2700K ● 3000K ● 3500K
- 4000K ● Warm Dim (3000-1800K)

Beam Spread

- Narrow Spot (15°)
- General (90°+)
- Spot (25°)
- Linear
- Flood (40°)
- Soft Focus
- Wide Flood (60°)

PHYSICAL

Aperture

4"

Shape

New Construction, Remodel

Recess

Counting

Mounting Thickness

- 1/4" up to 1 1/8" (New Construction)
- 1/4" up to 1 1/4" (Remodel)

TRIMS

Aperture

4"

Shape

Round, Square Conversion

Style

Bevered, Hyperbolic, Pinhole, Beveled
Pinhole, Wall Wash, Decorative,
Flangeless, Dead Front

Finish

White, Black, Bronze, Clear Diffused,
Warm Diffused, Custom

ELECTRICAL & CONTROLS

Housing

120/277V

1% Dimming

TRAC/ELV, 0-10V, EcoSystem

RATINGS

HOUSING

- IC (Insulation Contact) Rated
- ASTM E283 Certified Air Tight
- A Code compliant for use in fire-rated assemblies up to a maximum of 2-hours
- STC/RC Sound Rated
- Chicago Plenum

Module and Trim

- UL Listed for Wet Location
(Rated Fixture with Fanged Trim Only)

Declare.

DML LIGHTING 1118 E. 223rd St. Carson, CA 90745 323.834.7779 info@dmlighting.com dmlighting.com

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LUMINIS.

BVG21/BVG31/BVG32 SERIES
Bellevue
POLE MOUNT

	TYPE	QUANTITY	PROJECT
CATALOG NUMBER	MODEL	LED LIGHT SELECTION	POLE VOLTAGE FEETSH OPTION OPTION OPTION

- 1 Front cover constructed of aluminum resistant cast aluminum
- 2 4.5" (114mm) x 6" (152mm) Extruded aluminum optical chamber
- 3 Modular LED boards with total external reflecting (TIR) acrylic lenses
- 4 Ruggedized battery trim provides High-on-off
- 5 Clear tempered glass
- 6 Heavy gauge steel mounting plate with leveling adjustment (3° total), lead mounting height can be customized upon request (contact factory)
- 7 6" (152mm) x 6" (152mm) 6061-T6 aluminum pole, 0.237" thick

All stainless steel hardware.

MATERIALS

Bellevue is made of 6063 T6 extruded aluminum alloy. Cast parts are made of aluminum-reinforced 556 aluminum alloy with a copper (Cu) content of less than 0.1%.
Designed and manufactured optical system comprised of a Total Internal Reflecting (TIR) optic used in conjunction with a primary light absorbing baffle that is set into a secondary ruggedized battery trim. System ensures low light spillage with choice of 50° Full-Half angle (half-angle from head) or 22° Full-Half angle.
The linear illuminated array in the pole accents drive (single head configuration) or in the pole top cap (P2, P300, P3, P4) for ease of maintenance.

ELECTRICAL

DRIVER: Standard driver is 120-277V multi-volt compatible (150-240V).
Optional dimming/dimmingless LEDs are available. Minimum 147/140K ambient temperatures of +40°C/+104°F up to 100°C/212°F, output over voltage protection, auto cut over current protection, short circuit protection (protection with autorecovery).

LED: Offered in 2700K, 3000K, 4000K or 5000 K DR. See the CCT ranges for details.

LIFETIME

(60,000 hrs @ L₈₀, based on LM-79 and LM-80 data).

FINISH

One-step preparation process includes preheating of cast aluminum parts for an extraction. Polyester powder coating is applied through an electrostatic process and oven cured for long term finish.

CERTIFICATION

Certified and approved as per CSA C22 No. 250 Canadian and ANSI/UL 1689 standard for wet location, labels rated.

Probationary testing performed by an independent laboratory in accordance with IES LM-79 standards at 25°C. Lumen depreciation in accordance with IESNA LM80 standards.

MOUNTING

Maximum height: 19' to (3.8 m)

Bellevue is designed for ease of access and installation.

The head is secured on the pole by a set of 4.5/14-16 x 3" long cast aluminum base plate is secured with a set of 4.5/14-16 x 3" long galvanized anchor bolts. Accessibility is done through a flush mount. It's 1" (25.4 mm) hand lock cover plate. See page 7 for pole lock mounting details.

LUMINIS | Toll free: 866.596.6647 Fax: 548.683.8872 Email: info@luminis.com
200 Alameda, Irvine, CA 92618-1000 USA Phone: 949.615.6156

Luminis may be altered if design improvements without prior notice.

LUMINIS.COM

July 2020 - Sheet 6

| 1

VLS410 LED

Surface Mounted Wall Luminaires

1/8"

The luminaire is a vertical, rectangular unit with a matte black finish. It has a slightly wider base and top section, suggesting mounting points or ventilation slots. The central body is narrower.

Description

R9B Class I, K87 Marine grade, die cast aluminum alloy, SCE superior corrosion protection including P23 hardware. Silicone GCRB Coated Compression Gasket. Safety glass view. Two cable entries. CO-optimized optics for superior illumination and glare control. Integral driver. OLOD One LED Concept. Factory-installed LED circuit board. D-900 Dimming system standard with luminaires. Specify product with 7 Digit product code – Finish Color Accessories, such as mounting, optical, and electrical, must be specified separately. Example: XXX-XXXX-S04 (Black) + XXX-XXXX (Accessory 1)

The technical drawings show three views of the luminaire:

- Front View:** A rectangle with a height of 10.94" and a width of 4.13".
- Side View:** A narrow profile with a depth of 2.67" and a total height of 10.94".
- Rear View:** A rectangle with a height of 10.94" and a width of 4.13". It shows two circular cable entry ports at the bottom, each with a diameter of 0.24".

we-e®

WE-E LIGHTING USA LLC
Sales Support: We@we-e.com | 415.782.0843 | 419 E Esplanade Drive | Millbrae, CA 94030 U.S.A. | Tel: (+1) 724.432.0000 | info.us@we-e.com | www.we-e.com | ISO 9001:2015 & ISO 14001:2015

Tactical install courses will always be accepted

VLS420 LED

Surface Mounted Wall Luminaires

we-e®

1/7

Technical drawing showing three views of the VLS420 LED luminaire with dimensions in inches:

- Front View:** Height is 9.5", Width is 5.9".
- Side View:** Depth is 8.2", Mounting bracket height is 7.8".
- Top View:** Width is 10.2", Depth is 8.2".
- Mounting Bracket:** Depth is 2.2", Mounting hole diameter is $\varnothing 0.24"$.

Description

#106, Class I, NEMA 1 Marine grade, die-cast aluminum alloy, SCE superior corrosion protection including PCB hardware. Silicone CGSB Controlled Compression Gasket. Safety glass lens. Two cable entries. CAD-optimized optics for superior illumination and glare control. Integral driver. 50,000 hrs. LED Corecept. Factory-installed LED circuit board. 0-10V Dimming comes standard with luminaires. Specify product with 7 Digit product code = Finish Color. Accessories, such as mounting, optical, and electrical, must be specified separately. Example: XXX-XXXX-9004 + XXX-XXXX (Accessory 1)

WE OF LIGHTING LLC

800-540-7611 • 415-762-3993 | 415 S. Bayshore Drive | Westborough, MA 01581 U.S.A. | Tel: +1 781-762-0022 | info@woflighting.com | www.weoflighting.com | (08-02-2022 14:12)

Sales, capacity, pricing and © 2022 Woflighting LLC
 Technical modifications and errors excepted

2 | TYPE ED1

DP- L2	SCALE: NTS
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3 | TYPE EA1, EA2

DP- L2	SCALE: NTS
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4 | TYPE EW1

DP- L2	SCALE: NTS
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4 | TYPE FW2 FW2EM

DP 12	SCALE: NTS
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DP SUBMITTAL 12-23-22

NOTICE: DUTY OF COOPERATION

Release of these plans contemplates further cooperation among the owner, his contractor and the architect. Design and construction are complex. Although the architect and his consultants have performed their services with due care and diligence, they cannot guarantee perfection. Communication is imperfect and every contingency cannot be anticipated. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the architect. Failure to notify the architect compounds the ambiguity and increases the risk of error. A failure to cooperate by a simple notice to the architect shall relieve the architect from responsibility for the consequences. Changes made from the plans without consent of the architect are unauthorized and shall relieve the architect of responsibility for all consequences arising out of such changes.

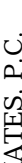
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REVISIONS

[illegible]

THE ASTRID
SKI TRAIL LANE
STEAMBOAT SPRINGS, CO 80487



ERIC SMITH ASSOCIATES, P.C.

Job Number:	2204.00
Date:	127.2023
Drawn By:	CMK
Checked By:	AS

Project Phase
PLANNING SUBMITAL

Sheet Title
LIGHTING PLAN

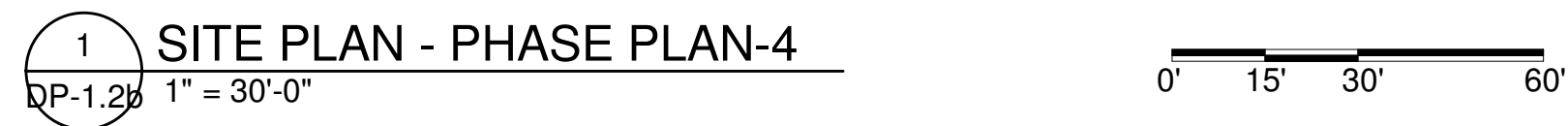
Sheet Number DD-1

DP-L2

GENERAL:


1. HATCHED AREAS SHOWN ARE A GENERAL REPRESENTATION OF THE PHASED AREAS. EXACT EXTENT OF EACH PHASE WILL BE DETERMINED IN THE FIELD DURING THE COURSE OF CONSTRUCTION.
2. ALL DISTURBED AREAS OF THE SITE WILL BE REVEGETATED FOR EACH PHASE
3. THE CONTRACTOR SHALL MEANS, METHODS AND SEQUENCING MAY REQUIRE MINOR REVISIONS TO THE PHASING PLAN DURING CONSTRUCTION.
4. LANDSCAPE SHOWN ON PHASE PLAN IS BASED ON THE LANDSCAPE PLANS SHEETS LP-1, LP-2, LP-3, LD1 & LD2.

1. BUILDING 1 (INCLUDING ACCESS INTO THE P2 GARAGE LEVEL) & POOL BUILDING
2. OUTDOOR POOL & SPA, SURROUNDING POOL APRON / DECK
3. SITE WALLS 9A, 9B, 10A, 10B AND 10C
4. UTILITY SERVICE LINES FOR BUILDING 1 AND POOL
5. STAIRS ALONG THE SOUTH FACE OF THE POOL DECK
6. SIDEWALK ADJACENT TO GONDOLA LANE WITHIN THE AREA OF THE POOL BUILDING
7. GRADING, DRAINAGE AND LANDSCAPING AROUND BUILDING 1 AND POOL
8. REPAIRS TO ANY DAMAGED SECTION OF GONDOLA LANE & FINAL PAVING

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ESA

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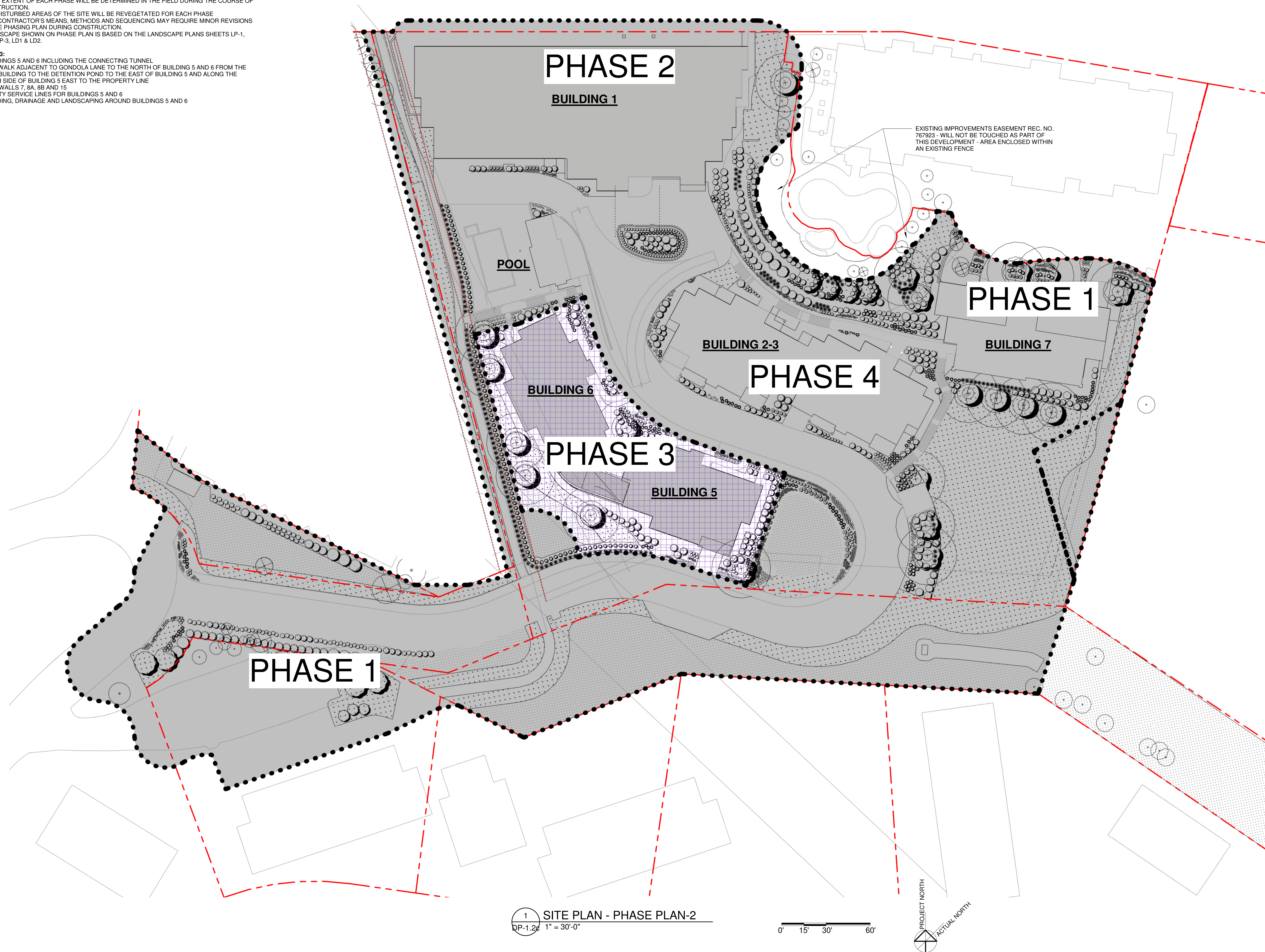
Project Phase
PLANNING SUBMITTAL
Sheet Title
PHASING PLAN 2 
Sheet Number
DP-1.2b

GENERAL:

- 1. HATCHED AREAS SHOWN ARE A GENERAL REPRESENTATION OF THE PHASED AREAS. EXACT EXTENT OF EACH PHASE WILL BE DETERMINED IN THE FIELD DURING THE COURSE OF CONSTRUCTION.
- 2. ALL DISTURBED AREAS OF THE SITE WILL BE REVEGETATED FOR EACH PHASE.
- 3. THE CONSTRUCTION AND MAINTENANCE OF THE PHASED AREAS MAY REQUIRE MINOR REVISIONS TO THE PHASING PLAN DURING CONSTRUCTION.
- 4. LANDSCAPE SHOWN ON PHASE PLAN IS BASED ON THE LANDSCAPE PLANS SHEETS LP-1, LP-2, LP-3, LD1 & LD2.

PHASE 3:

1. BUILDINGS 5 AND 6 INCLUDING THE CONNECTING TUNNEL
2. SIDEWALK ADJACENT TO GONDOLA LANE TO THE NORTH OF BUILDINGS 5 AND 6 FROM THE POOL BUILDING TO THE DETENTION POND TO THE EAST OF BUILDING 5 AND ALONG THE SOUTH SIDE OF BUILDING 5 EAST TO THE PROPERTY LINE
3. SITE WALLS 7, 8A, 8B AND 15
4. UTILITY SERVICE LINES FOR BUILDINGS 5 AND 6
5. GRADING, DRAINAGE AND LANDSCAPING AROUND BUILDINGS 5 AND 6



NOTICE: DUTY OF COOPERATION

Release of these plans contemplates further cooperation among the owner, his contractor and the architect. Design and construction are complex. Although the architect and his consultants have performed their services with due care and diligence, they cannot guarantee perfection. Communication is imperfect and every contingency cannot be anticipated. Any ambiguity or discrepancy uncovered by the use of these plans shall be the responsibility of the architect. Failure to notify the architect compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to the architect shall relieve the architect from responsibility for the consequences. Changes made from the plans without consent of the architect are unauthorized and shall relieve the architect of responsibility for all consequences arising out of such changes.

All design, documents and data prepared by Eric Smith Associates, P.C. as instruments of service shall remain property of Eric Smith Associates, P.C. and shall not be copied, changed or disclosed in any form whatsoever without first obtaining the express written consent of Eric Smith Associates, P.C.

REVISIONS

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THE ASTRID
SKI TRAIL LANE
STEAMBOAT SPRINGS, CO 80487



Job Number:	22014.00
Date:	2023-07-2
Drawn By:	Author
Checked By:	Checker

Project Phase
PLANNING SUBMITTAL

Sheet Title
PHASING PLAN 3

Sheet Number

DP-1.2c

GENERAL:

- 1. HATCHED AREAS SHOWN ARE A GENERAL REPRESENTATION OF THE PHASED AREAS. EXACT EXTENT OF EACH PHASE WILL BE DETERMINED IN THE FIELD DURING THE COURSE OF CONSTRUCTION.
- 2. ALL DISTURBED AREAS OF THE SITE WILL BE REVEGETATED FOR EACH PHASE.
- 3. THE CONTRACTOR MEANS, METHODS AND SEQUENCING MAY REQUIRE MINOR REVISIONS TO THE PHASING PLAN DURING CONSTRUCTION.
- 4. LANDSCAPE SHOWN ON PHASE PLAN IS BASED ON THE LANDSCAPE PLANS SHEETS LP-1, LP-2, LP-3, LD1 & LD2.

1. BUILDING 2-3
2. SIDEWALK AND DRIVEWAY CONNECTION FOR BUILDING 2-3
3. SIDEWALK FROM BUILDINGS 7 TO 1 (BETWEEN BUILDING 2-3 AND SITE WALL 11)
4. FINAL GRADING OF THE OF THE LOT TO THE SOUTHEAST OF BUILDING 2-3
5. UTILITY SERVICE LINES FOR BUILDING 2-3
6. GRADING, DRAINAGE AND LANDSCAPING AROUND BUILDING 2-3




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Project Phase PLANNING SUBMITTAL
Sheet Title PHASING PLAN 4 
Sheet Number DP-1.2d