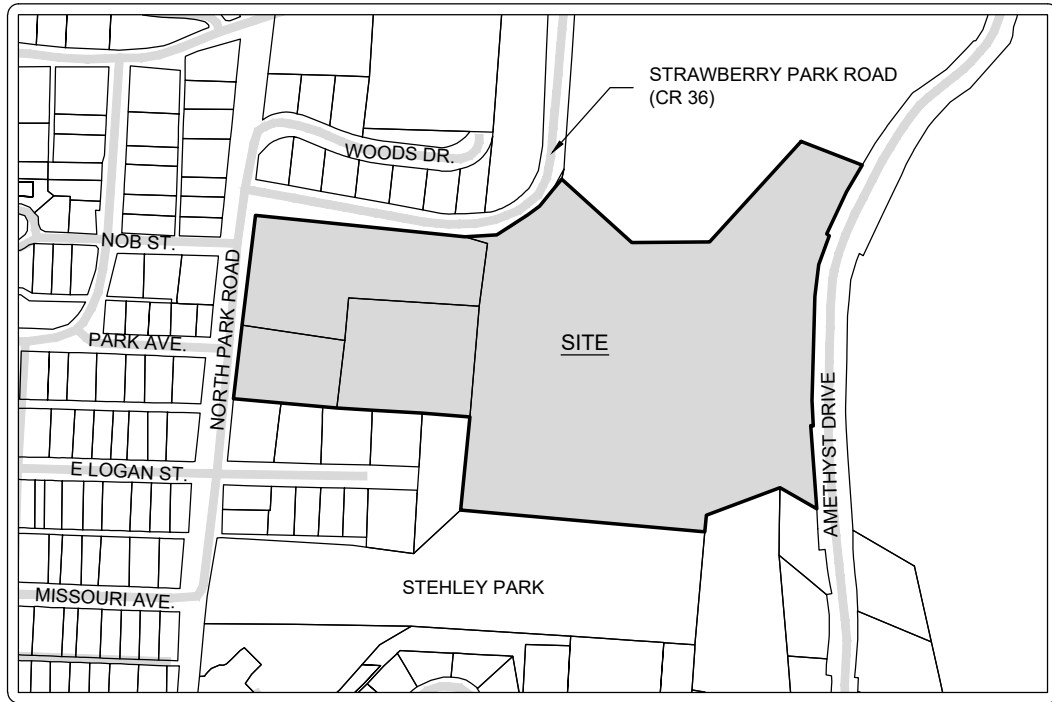




 NORTH

VICINITY MAP

SCALE = 1" = 500'

SEE SHEET 2 OF 3

NOTES:

1. THIS MAP DOES NOT REPRESENT A MONUMENTED LAND SURVEY. IT IS INTENDED ONLY TO DEPICT THAT INFORMATION REQUESTED BY OUR CLIENT.
2. BOUNDARY INFORMATION, EASEMENTS, AND BUILDING ENVELOPE ARE SHOWN HEREON BASED ON PLATS, DEEDS, SURVEYS AND OTHER DOCUMENTS ON FILE IN THE ROUTT COUNTY CLERK AND RECORDERS OFFICE, TOGETHER WITH PREVIOUS SURVEYING COMPLETED BY LANDMARK CONSULTANTS, INC. THIS MAP WAS DRAWN WITHOUT THE BENEFIT OF A TITLE INSURANCE COMMITMENT OR A TITLE INSURANCE POLICY, A TITLE INSURANCE COMMITMENT OR A TITLE INSURANCE POLICY MAY DISCLOSE FACTS NOT REFLECTED ON THIS MAP. THIS MAP DOES NOT CONSTITUTE A TITLE SEARCH BY LANDMARK CONSULTANTS, INC. TO DETERMINE OWNERSHIP OF THIS TRACT, VERIFY THE DESCRIPTIONS SHOWN, VERIFY THE COMPATIBILITY OF THIS DESCRIPTION WITH THAT OF ADJACENT TRACTS, OR VERIFY EASEMENTS OF RECORD.
3. BASIS OF HORIZONTAL CONTROL: THE 2011 ITERATION OF THE COLORADO COORDINATE SYSTEM OF 1983 NORTH ZONE, NAD83(2011) COLORADO NORTH, SCALED TO GROUND ABOUT A POINT HAVING COORDINATES OF N: 1423556.90, E: 2630363.14 AND A SCALE FACTOR OF 1.000355547.
4. UNITS SHOWN HEREON ARE IN US SURVEY FEET AND THE STANDARD OF DISTANCE ACCURACY FOR THIS MAP HAS BEEN DETERMINED TO BE GREATER THAN 1:10,000.
5. THE SUBJECT PROPERTY IS LOCATED IN ZONE X. AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AS DETERMINED BY THE F.E.M.A. FLOOD INSURANCE RATE MAP NUMBER 08107C0877D, WITH AN EFFECTIVE DATE OF FEBRUARY 4, 2005.
6. SITE BENCHMARK: A RECOVERED UNCAPPED NO. 5 REBAR NEAR THE WESTERLY BOUNDARY OF THE SUBJECT PROPERTY AS SHOWN HEREON, HAVING AN ELEVATION OF 6785.20' BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88).
7. CONTOUR INTERVAL = 1 FOOT
8. BURIED UTILITIES AND/OR PIPE LINES ARE SHOWN PER VISIBLE SURFACE EVIDENCE OR AS-BUILT DRAWINGS OF THE CONSTRUCTED UTILITY LINES. IF ANY UNDERGROUND UTILITY LOCATIONS ARE REQUIRED, THEY WILL HAVE TO BE VERIFIED BY FIELD POT-HOLING THE UTILITIES. LANDMARK CONSULTANTS, INC. AND THE SURVEYOR OF RECORD SHALL NOT BE LIABLE FOR THE LOCATION OF OR THE FAILURE TO NOTE THE LOCATION OF NON-VISIBLE UTILITIES.
9. THE LAST FIELD INSPECTION OF THE SITE WAS ON JUNE 16, 2020.
10. DRAWING PLOTS TO SCALE ON 24"x36" PAPER.

SURVEYOR'S STATEMENT:

I, JEFFREY A. GUSTAFSON, A LICENSED LAND SURVEYOR IN THE STATE OF COLORADO, DO
HEREBY STATE THAT THIS MAP WAS MADE UNDER MY DIRECT RESPONSIBILITY, SUPERVISION
AND CHECKING AND IS ACCURATE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

JEFFREY A. GUSTAFSON, LICENSED LAND SURVEYOR
COLORADO L.S. NO. 29039
FOR AND ON BEHALF OF LANDMARK CONSULTANTS, INC.



