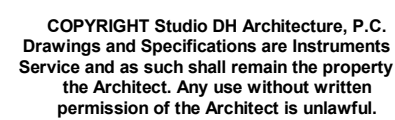


1. DIMENSIONS ARE TO FACE OF STUD, CONCRETE, OR CMU UNO.
2. ALL DOORS TO BE LOCATED 4" FROM ADJACENT PARTITION WHERE DOOR IS INDICATED ADJACENT TO PARTITION UNO.
3. SEE REFERENCED ENLARGED PLANS, FOR FURTHER DETAILS AND LAYOUT.
4. REFER TO A8.1 FOR DOOR AND WINDOW SCHEDULE AND ELEVATIONS.
5. REFER TO ELEVATIONS FOR ADDITIONAL WINDOWS/WALL OPENING INFORMATION.
6. OPENINGS FOR DOORS, WINDOWS, LOUVERS, ETC MUST BE VERIFIED WITH MFR ROOM OPENING REQUIREMENTS. ARCHITECTURAL DIMENSION PLANS ARE INTENDED TO LOCATE FEATURES OF THE BUILDING AND ARE NOT INTENDED TO BE USED AS CONSTRUCTION COORDINATION DRAWINGS.

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FLOOR PLAN

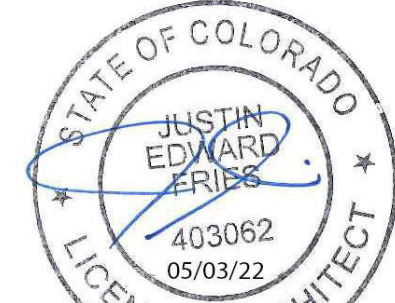
A2.11

FLOOR PLAN GENERAL NOTES:

1. DIMENSIONS ARE TO FACE OF STUD, CONCRETE, OR CMU UNO.
2. ALL DOORS TO BE LOCATED 4" FROM ADJACENT PARTITION WHERE DOOR IS INDICATED ADJACENT TO PARTITION UNO.
3. REFER TO LARGER SCALE DRAWINGS FOR FURTHER DETAILS AND LAYOUT.
4. REFER TO A8.1 FOR DOOR AND WINDOW SCHEDULE AND ELEVATIONS.
5. REFER TO ELEVATIONS FOR ADDITIONAL WINDOWS/MALL OPENING INFORMATION.
6. OPENINGS FOR DOORS, WINDOWS, LOUVERS, ETC MUST BE VERIFIED WITH MFR
7. ROUGH OPENING REQUIREMENTS. ARCHITECTURAL DIMENSION PLANS ARE INTENDED TO LOCATE FEATURES OF THE BUILDING AND ARE NOT INTENDED TO BE USED AS CONSTRUCTION COORDINATION DRAWINGS.

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GONDOLA SQ. BLDG. D

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JOB NUMBER: 04066

DRAWN BY: Author

APPROVED BY: JF

DATE: 07/18/2022

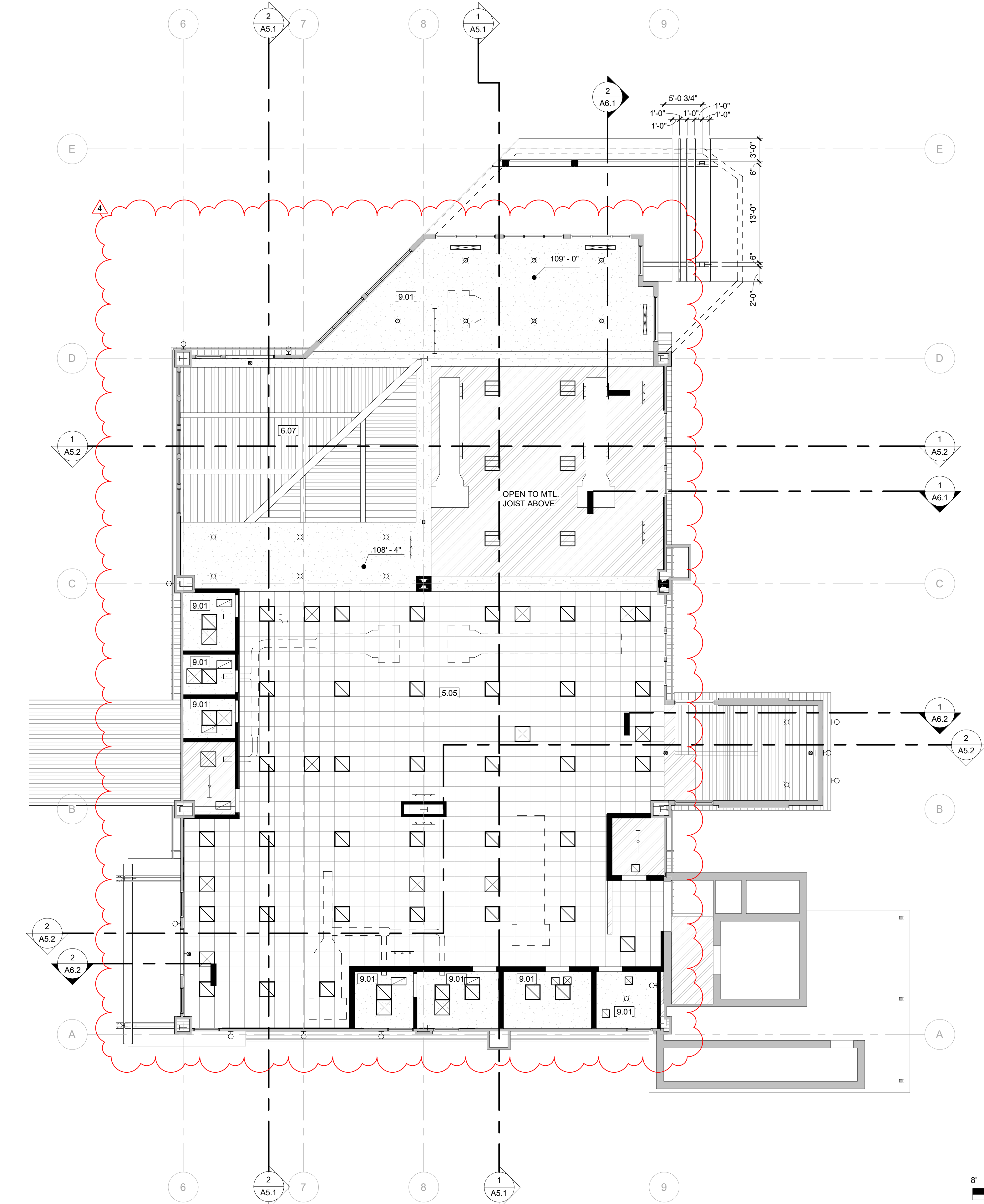
Original drawing is 24" x 36" | Scale entities accordingly if reduced

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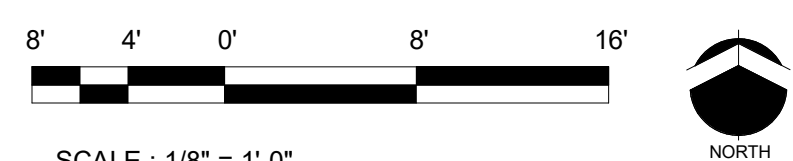
FLOOR PLAN

SHEET:

A2.13



1 LEVEL 01 - REFLECTED CEILING PLAN
1/8" = 1'-0"



KEYNOTE LEGEND	
Key Value	Keynote Text
5.05	EXPOSED METAL DECK, PAINT
6.07	EXISTING T&G WOOD CEILING, PAINT
9.01	GYP. BD., PAINT

- REFLECTED CEILING PLAN GENERAL NOTES:**
1. LIGHTING SHOWN FOR REFERENCE ONLY. REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE SPECS AND LOCATIONS.
 2. REFER TO MECHANICAL DRAWINGS FOR DIFFUSERS AND RETURN GRILLES.
 3. COORDINATE LAYOUT OF LIGHTING FIXTURES WITH HVAC CONTRATOR.
 4. ALL DOWNLIGHTS AND WALL WASHERS TO BE CENTERED IN ACOUSTICAL TILE, OR CENTERED IN A SEGMENT OF AN EMBOSSED ACOUSTIC TILE IN BOTH DIRECTIONS UNO.
 5. ALL ACT TO BE CENTERED IN ROOM UNO. SEE REFLECTED PLAN FOR LAYOUT AND LOCATION.
 6. REMOTELY LOCATE ALL DEVICES, JUNCTION BOXES, HVAC CONTROLS AND SHUT OFF VALVES IN AREAS TO RECEIVE DRYWALL CEILINGS.
 7. FOR WALL SCONCE HEIGHTS AND LAYOUT SEE ELECTRICAL DRAWINGS AND INTERIOR & EXTERIOR ELEVATIONS.
 8. VERIFY THAT ALL LIGHT FIXTURE MFGR'S MOUNTING REQUIREMENTS (I.E. HEIGHTS, CONCEALED TRANSFORMER LOCATIONS) CAN BE INSTALLED WITHIN ACTUAL CONSTRUCTION PRIOR TO ORDERING LIGHT FIXTURES. NOTIFY ARCHITECT FOR CLARIFICATION OF DISCREPANCIES.
 9. GYP BD CEILINGS & SOFFITS TO BE PAINTED UNO.
 10. ACCESS PANELS ARE TO BE PROVIDED AS NEEDED FOR MAINTENANCE. FINISH TO MATCH ADJACENT WALL.

LIGHT FIXTURE LEGEND:	
	2X2 TROFFER
	PENDANT
	RECESSED CAN LIGHT
	VANITY LIGHT
	2X4 TROFFER
	HVAC 2X2 DIFFUSER
	CEILING MOUNTED EXIT SIGN
	WALL MOUNTED EXIT SIGN
	SUSPENDED LINEAR 2X2
	TRACK LIGHT
	STRIP LIGHT
	WALL MOUNTED LIGHT

STUDIO DH
architecture

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Reviewed for
Code Compliance

08/15/2022

CHRISTY SPORTS -
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REV. #	ISSUED FOR	UTILITY DIMENSIONS	BLDG. DEPT. REVISIONS	DATE
4				07/14/22
5				07/29/22

JOB NUMBER: 21066

DRAWN BY: Author

APPROVED BY: JF

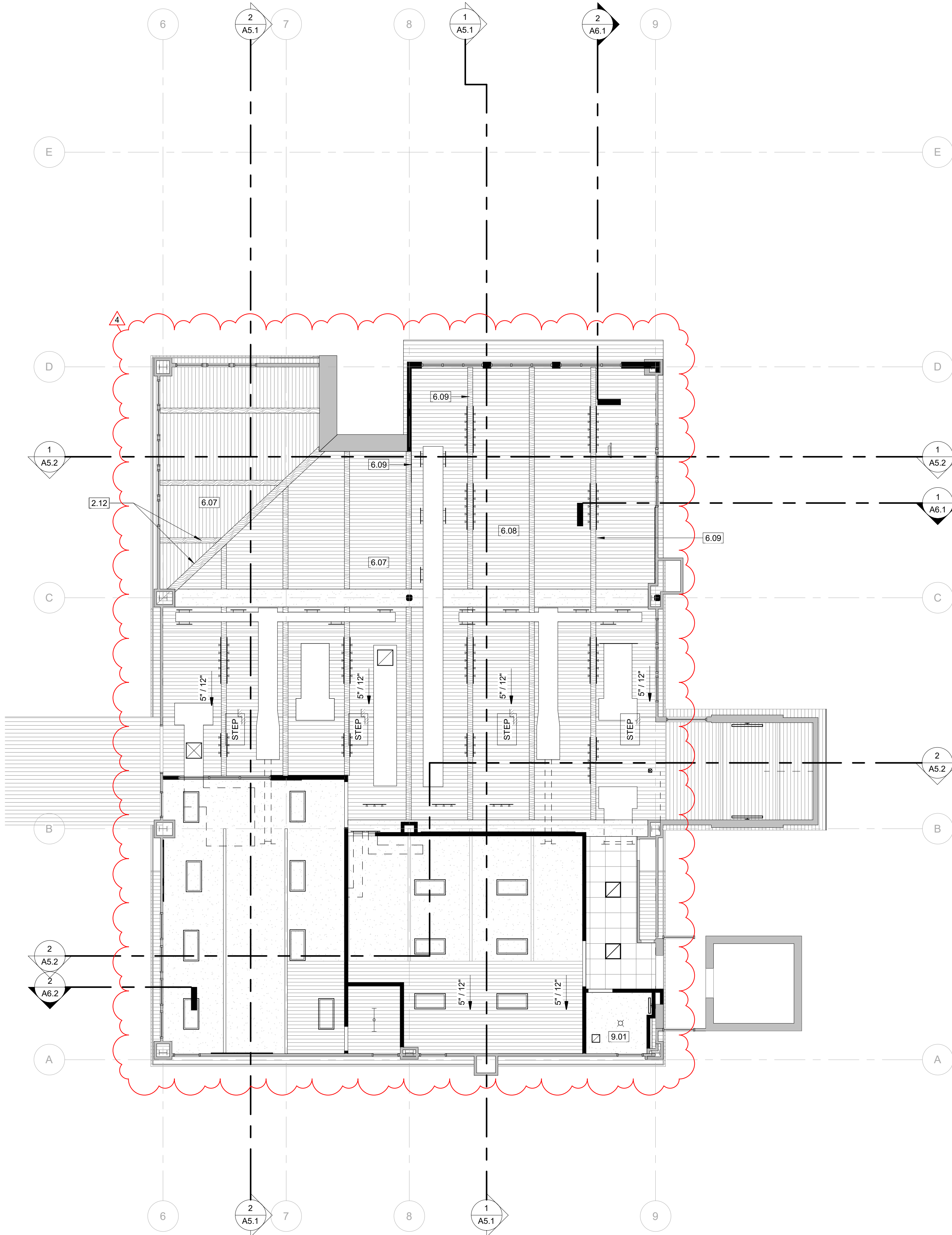
DATE: 07/18/2022

Original drawing is 24" x 36" | Scale entities
accordingly if reduced

SHEET TITLE:
REFLECTED CEILING
PLAN

SHEET:
A3.12

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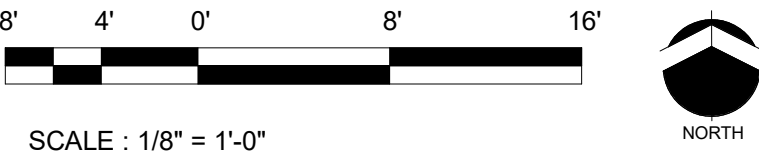
KEYNOTE LEGEND	
Key Value	Keynote Text
2.12	EXISTING GLULAM WOOD BEAM TO REMAIN
6.07	EXISTING T&G WOOD CEILING, PAINT
6.08	2X TONGUE & GROOVE WOOD DECKING TO MATCH EXISTING, PAINT
6.09	GLULAM WOOD BEAM, RE: STRUCT. DWGS. STAIN TO MATCH EXISTING
9.01	GYP. BD., PAINT

REFLECTED CEILING PLAN GENERAL NOTES:

1. LIGHTING SHOWN FOR REFERENCE ONLY. REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE SPECS AND LOCATIONS.
2. REFER TO MECHANICAL DRAWINGS FOR DIFFUSERS AND RETURN GRILLES.
3. COORDINATE LAYOUT OF LIGHTING FIXTURES WITH HVAC CONTRATOR.
4. ALL DOWNLIGHTS AND WALL WASHERS TO BE CENTERED IN ACOUSTICAL TILE, OR CENTERED IN A SEGMENT OF AN EMBOSSED ACOUSTIC TILE IN BOTH DIRECTIONS UNO.
5. ALL ACT TO BE CENTERED IN ROOM UNO. SEE REFLECTED PLAN FOR LAYOUT AND LOCATION.
6. REMOTELY LOCATE ALL DEVICES, JUNCTION BOXES, HVAC CONTROLS AND SHUT OFF VALVES IN AREAS TO RECEIVE DRYWALL CEILINGS.
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9. GYP BD CEILINGS & SOFFITS TO BE PAINTED UNO.
10. ACCESS PANELS ARE TO BE PROVIDED AS NEEDED FOR MAINTENANCE. FINISH TO MATCH ADJACENT WALL.

LIGHT FIXTURE LEGEND:

- 2X2 TROFFER
-
- PENDANT

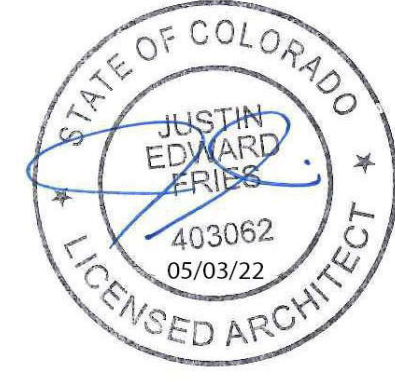


1 LEVEL 02 - REFLECTED CEILING PLAN
1/8" = 1'-0"

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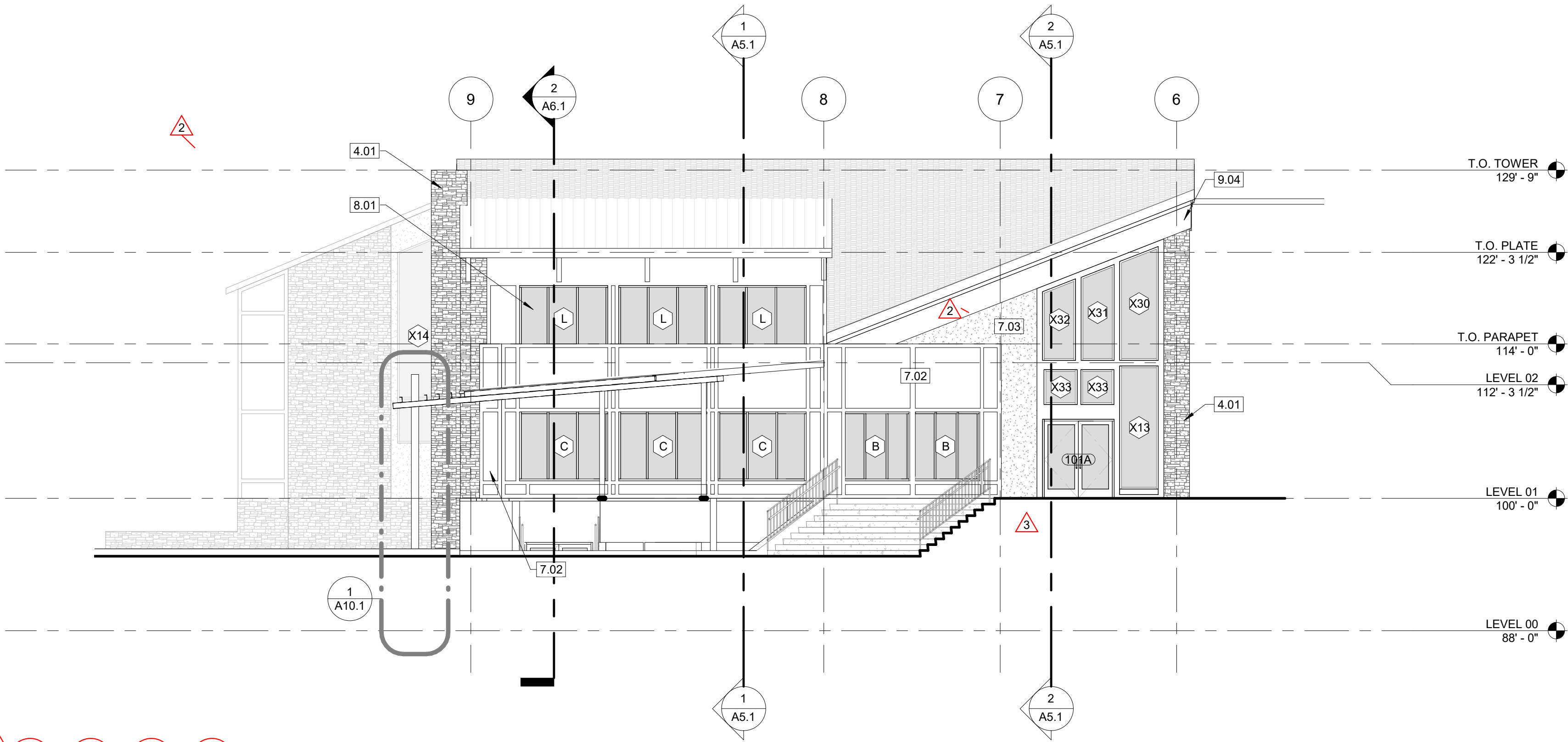
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REV. #	ISSUED FOR	UTILITY DIMENSIONS	BLDG. DEPT. REVISIONS	DATE	JOB NUMBER:	DRAWN BY:	APPROVED BY:	DATE:	SHEET TITLE:	SHEET:
4				07/14/22	21066	Author	JF	07/18/2022	REFLECTED CEILING PLAN	A3.13
5				07/29/22						

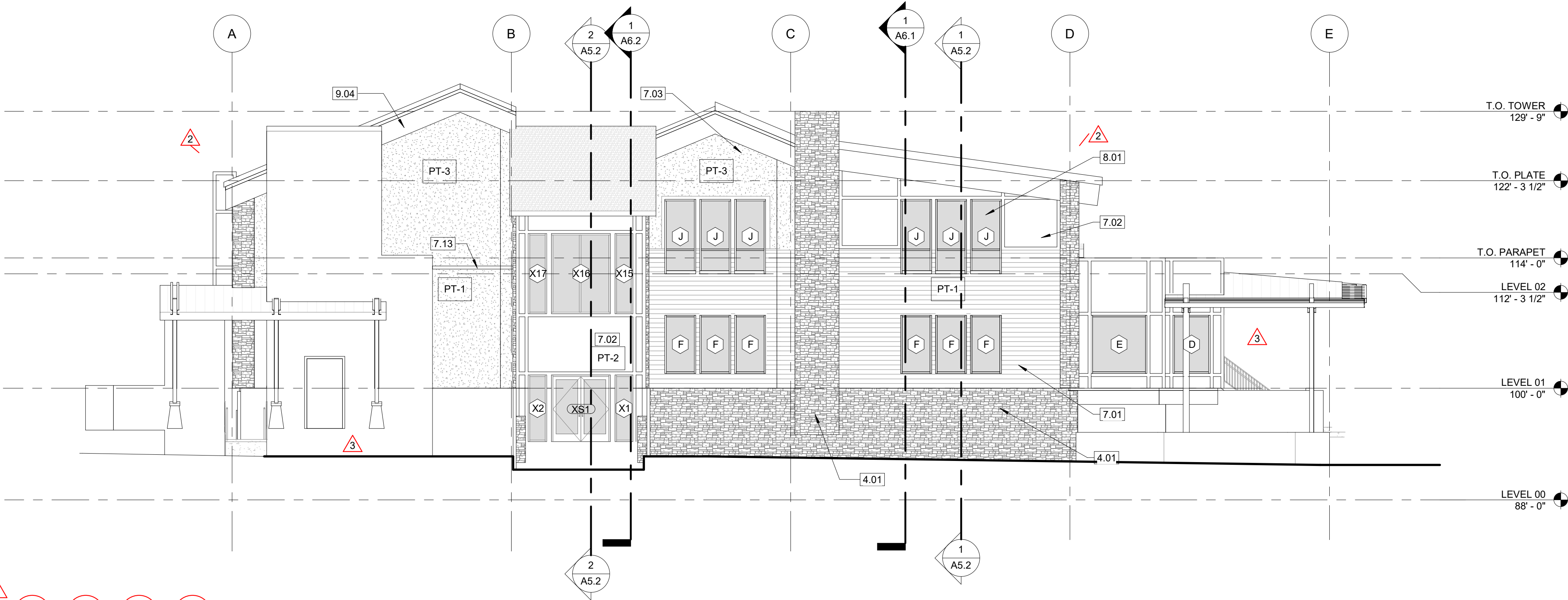
BUILDING ELEVATIONS GENERAL NOTES:

1. REFER TO FLOOR PLANS FOR DIMENSIONS AND LOCATIONS OF OPENINGS.
2. REFER TO A8.1 FOR DOOR AND WINDOW SCHEDULE AND ELEVATIONS.
3. OPENINGS FOR DOORS, WINDOWS, LOUVERS, ETC MUST BE VERIFIED WITH MFR ROUGH OPENING REQUIREMENTS.
ARCHITECTURAL DIMENSION PLANS ARE INTENDED TO LOCATE FEATURES OF THE BUILDING AND ARE NOT INTENDED TO BE USED AS CONSTRUCTION COORDINATION DRAWINGS.

KEYNOTE LEGEND	
Key Value	Keynote Text
4.01	NEW SUNSET STONE ADHERED STONE VENEER SYSTEM, COLOR: FIELD STONE, MATCH EXISTING
7.01	6" FIBER CEMENT LAP SIDING ON EXISTING SHEATHING, PAINT
7.02	BOARD AND 4" BATTEN FIBER CEMENT PANEL SIDING ON EXISTING SHEATHING, PAINT: PT-2
7.03	EXISTING STUCCO, REPAIR DAMAGED AREAS
7.13	FIBER CEMENT TRIM; PAINT: PT-2
8.01	ALUMINUM STOREFRONT WITH 1" INSULATED GLAZING, COLOR: DARK BRONZE ANODIZED
9.04	PAINT EXISTING TRIM; COLOR: PT-2



1 NORTH ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"

EXTERIOR BUILDING MATERIAL:

TOTAL AREA:	9,562 SF
GLASS:	2,354 SF (24.6%)
STONE:	2,078 SF (21.7%)
PRIMARY WALL:	2,105 SF (22.0%)
ACCENT WALL:	2,835 SF (29.6%)

NORTH ELEVATION:	1,933 SF
GLASS:	796 SF (41.2%)
STONE:	596 SF (30.8%)
PRIMARY WALL:	0 SF
ACCENT WALL:	541 SF (28.0%)

EAST ELEVATION:	2,736 SF
GLASS:	482 SF (17.6%)
STONE:	609 SF (22.3%)
PRIMARY WALL:	663 SF (24.2%)
ACCENT WALL:	982 SF (35.9%)

SOUTH ELEVATION:	2,105 SF
GLASS:	165 SF (7.8%)
STONE:	648 SF (30.8%)
PRIMARY WALL:	714 SF (33.9%)
ACCENT WALL:	578 SF (27.5%)

WEST ELEVATION:	2,471 SF
GLASS:	783 SF (31.7%)
STONE:	226 SF (9.1%)
PRIMARY WALL:	728 SF (29.5%)
ACCENT WALL:	734 SF (29.7%)

NW ELEVATION (OBLIQUE AT EXTERIOR STAIR):

TOTAL:	318 SF
GLASS:	128 SF (40.3%)
STONE:	0 SF (0%)
PRIMARY WALL:	0 SF (0%)
ACCENT WALL:	190 SF (59.7%)

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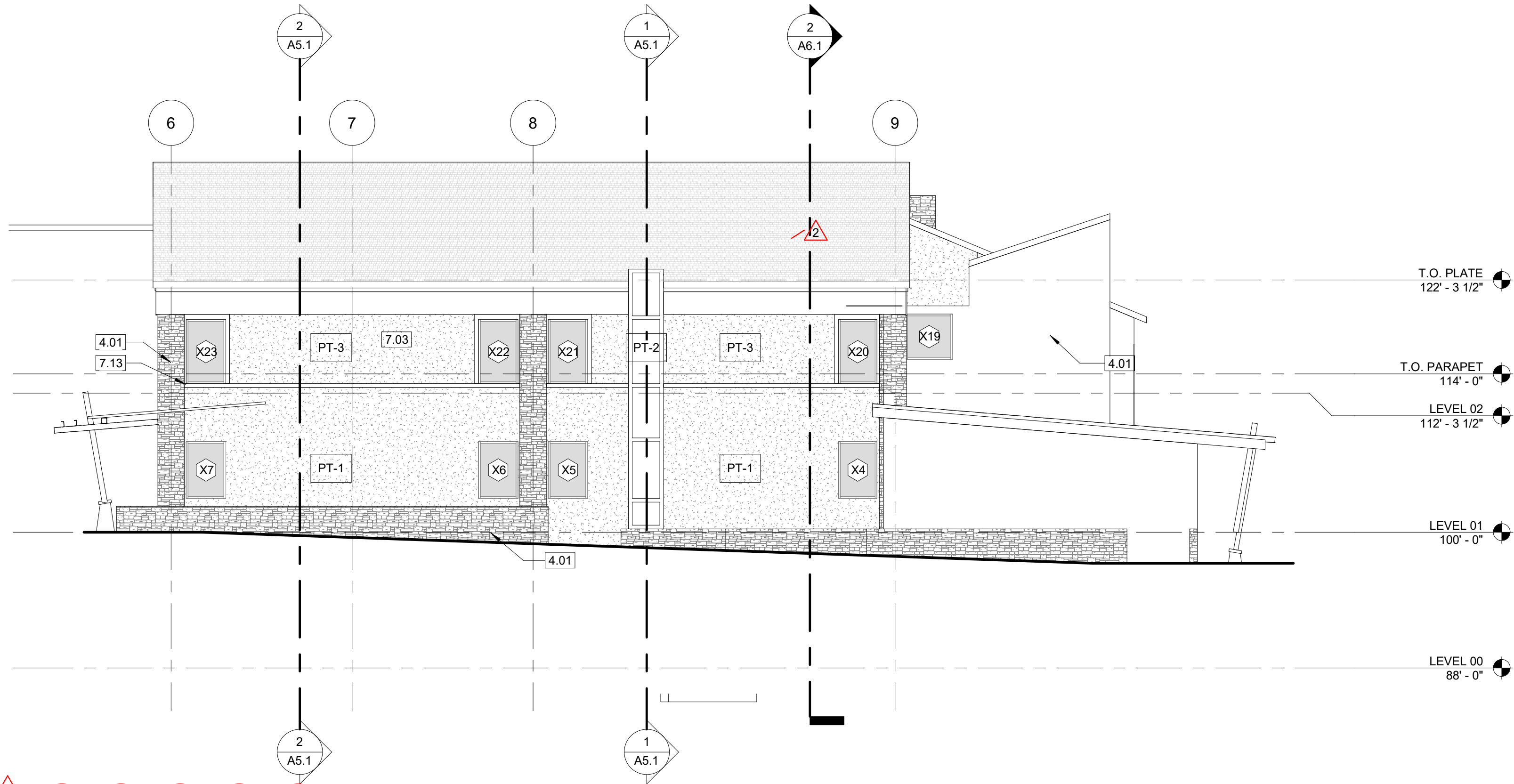
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REV. #	ISSUED FOR	DATE	JOB NUMBER:	21066
1	BID REVISIONS	06/08/22	DRAWN BY:	KG
2	BID REVISION 2	06/14/22	APPROVED BY:	JF
3	BID REVISION 2	07/28/22	DATE:	07/18/2022
4	BID REVISION 2		Original drawing is 24" x 36" Scale entities accordingly if reduced	
5	BID REVISION 2		SHEET TITLE:	
			EXTERIOR ELEVATIONS	
			SHEET:	
			A4.1	

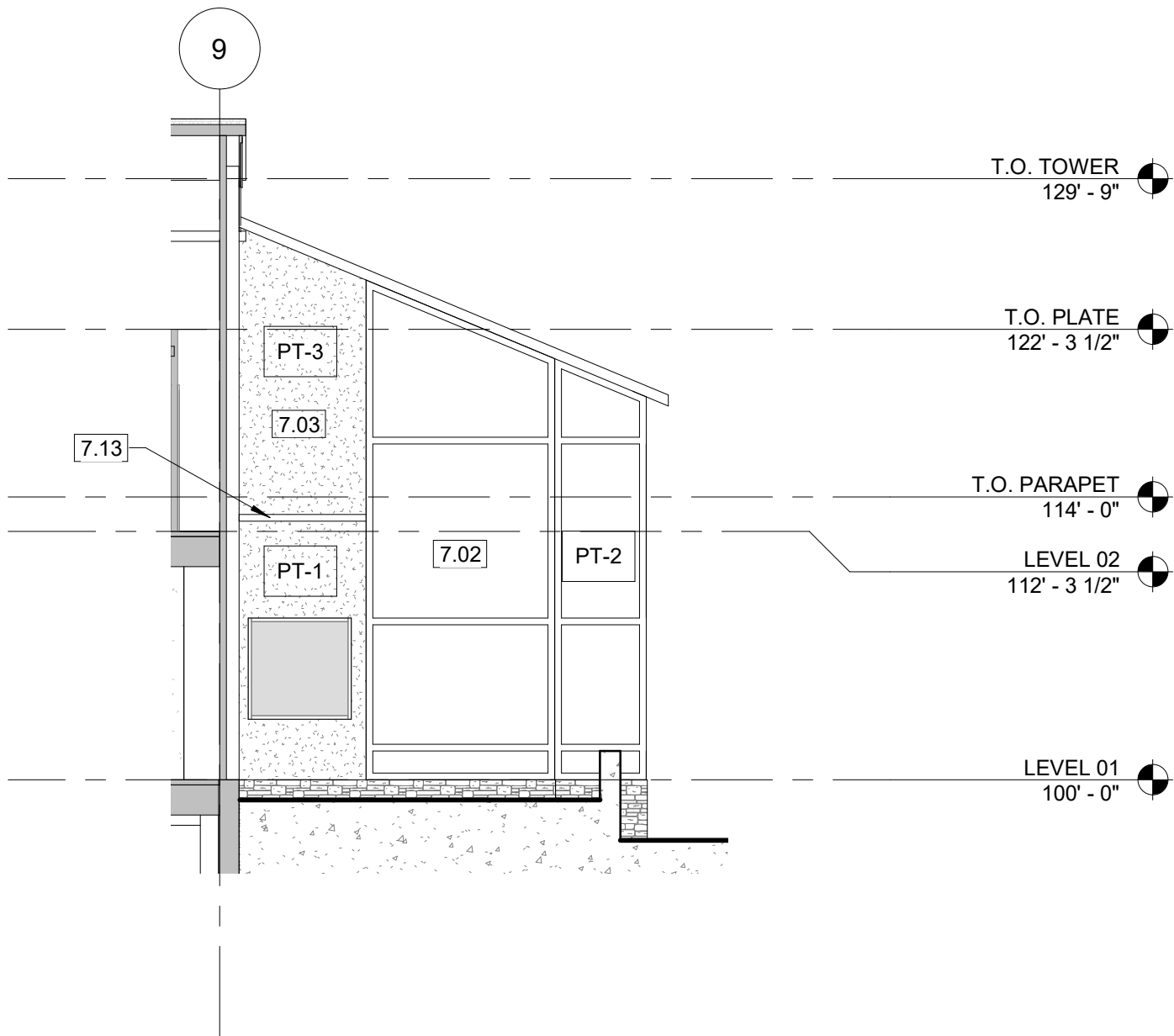
KEYNOTE LEGEND	
Key Value	Keynote Text
4.01	NEW SUNSET STONE ADHERED STONE VENEER SYSTEM, COLOR: FIELD STONE, MATCH EXISTING
7.02	BOARD AND 4" BATTEN FIBER CEMENT PANEL SIDING ON EXISTING SHEATHING, PAINT: PT-2
7.03	EXISTING STUCCO, REPAIR DAMAGED AREAS
7.09	EXISTING VERTICAL SIDING
7.13	FIBER CEMENT TRIM, PAINT: PT-2
8.01	ALUMINUM STOREFRONT WITH 1" INSULATED GLAZING, COLOR: DARK BRONZE ANODIZED
9.04	PAINT EXISTING TRIM, COLOR: PT-2

BUILDING ELEVATIONS GENERAL NOTES:

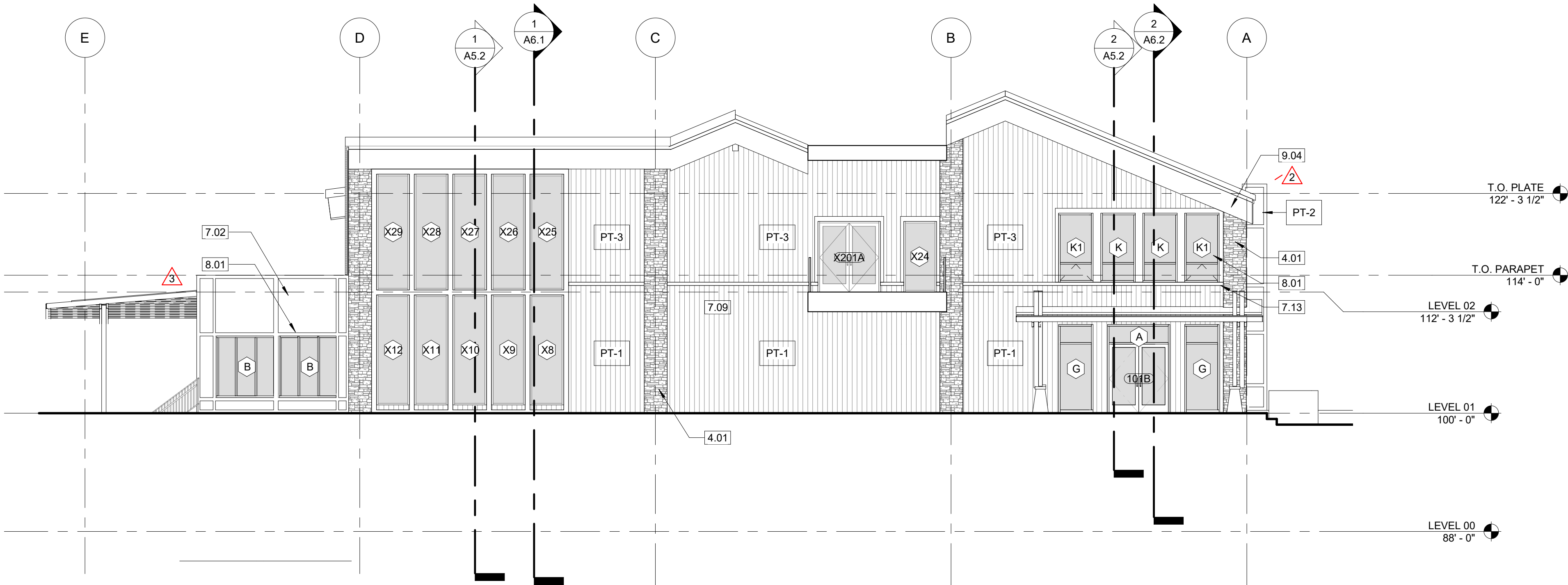
1. REFER TO FLOOR PLANS FOR DIMENSIONS AND LOCATIONS OF OPENINGS.
2. REFER TO A8.1 FOR DOOR AND WINDOW SCHEDULE AND ELEVATIONS.
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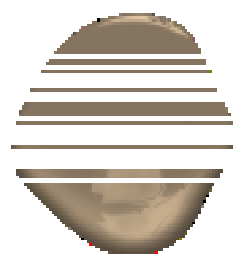
1 SOUTH ELEVATION
1/8" = 1'-0"



3 SOUTH ELEVATION AT STAIR TOWER
1/8" = 1'-0"



2 WEST ELEVATION
1/8" = 1'-0"



PRIMARY WALL COLOR (PT-1)
BENJAMIN MOORE BUCKHORN



ACCENT WALL COLOR (PT-3)
BENJAMIN MOORE METROPOLITAN



ACCENT WALL COLOR (PT-2)
BENJAMIN MOORE STONECUTTER



STONE VENEER
FIELDDGE, MATCH EXISTING

**CHRISTY SPORTS -
GONDOLA SQ. BLDG. D**

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REV. #	DATE	ISSUED FOR	BID REVISIONS	BID REVISION 2	BLDG. DEPT. REVISIONS
2	06/08/22				
3	06/14/22				
5	07/29/22				
JOB NUMBER: 21066					
DRAWN BY: KG					
APPROVED BY: JF					
DATE: 07/18/2022					
Original drawing is 24" x 36" Scale entities accordingly if reduced					
SHEET TITLE: EXTERIOR ELEVATIONS					

SHEET:

A4.2