

APPLICANT RESPONSE IN RED BELOW

Corrections Notice

Permit Application #SPRAD210636

Following are the comments regarding the plan review for the above referenced application. We have noted several concerns and/or non-conforming items regarding the work to be performed. These items must be addressed through revised drawings submitted online through your My Items page in order to proceed.

Building Code Review (Reviewed By: Ted Allen)

4. The 1st submittal appears to be missing Civil Plans. Note that approved Civil plans are required prior to issuance of permits including Foundation Only. Please submit Civil plans that are complete for review and approval by RCRBD.

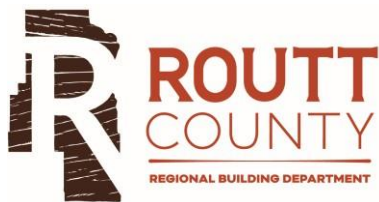
Civil plans were approved as of 2/7/22 and have been uploaded with this resubmission.

5. The objective of the phased permitting process is to allow construction to begin on large projects while remaining design details are approved. This approach allows the applicant to phase the permitting process while establishing obtainable deadlines for meeting Federal, State, and local requirements. When I asked Todd about the Party Wall that is shown in Detail 4/A0331 and at first he said we were specifically asked not to approve any work for Phase 1B. Detail 4/A0331 shows 2 NEW LAYERS TYPE-X GWB and therefore the hesitation in approving this work. Please remove work shown in Phase 1A documents such as but not limited to Party Wall. Also we ask statements be filed with RCRBD complying with pertinent requirements in accordance with IBC Section 107.3.3 and acknowledge as the holder of such permit for the parts or phase of a building or structure materials and details to safely proceed at the holder's own risk with the building operation and without assurance that a permit for the entire structure will be granted.

Please find enclosed in this resubmission a revised sheet for A0331 that no longer includes detail 4.

6. Routt County Regional Building Department typically only reviews Civil Plans on certain sheets, such as the main site plan in most cases, that would show building setbacks, parking, accessible routes, etc. Provide site plan that shows continuous, unobstructed path of accessible route(s) from public transportation stops, accessible parking, accessible passenger loading zones, and public streets or sidewalks that complies with Chapter 11 to the building entrance(s) and egress doors served as applicable. Accessible routes shall be designed per ANSI A117 and designated graphically on the site plan complete with details of walking surfaces not be steeper than 1:20 unless a compliant ramp is proposed. The cross slope of a walking surface (and ramps) shall not be steeper than 1:48.

Civil plans were approved as of 2/7/22 and have been uploaded with this resubmission. The civil set includes the information noted in this comment.



Engineering Review (Reviewed By: Stuart King, P.E.)

1. DPVC-21-06 Condition of Approval #1 to be resolved prior to construction permit approval. DPVC-21-06 Condition of Approval #1: "The developer shall pay proportionate share of potential future roadway and/or intersection improvements at Downhill Drive/US40 intersection, calculated at 1.29% of \$7,441,409.92 or \$95,994.20. Payment shall be submitted prior to issuance of building permit."

Per email correspondence with Stuart King on 2/16/22, the proportionate amount for the commercial portion of the project shall be 80% of the \$95,994.21, or \$76,688.86. This amount shall be paid just prior to permit pick-up, along with TIF and Building Permit Fees.

Planning Review (Reviewed By: Kelly Douglas)

2. DPVC-21-06 Condition of Approval #1 to be resolved prior to construction permit approval. DPVC-21-06 Condition of Approval #1: "The developer shall pay proportionate share of potential future roadway and/or intersection improvements at Downhill Drive/US40 intersection, calculated at 1.29% of \$7,441,409.92 or \$95,994.20. Payment shall be submitted prior to issuance of building permit."

Per email correspondence with Stuart King on 2/16/22, the proportionate amount for the commercial portion of the project shall be 80% of the \$95,994.21, or \$76,688.86. This amount shall be paid just prior to permit pick-up, along with TIF and Building Permit Fees.

Utilities Review - City (Reviewed By: Amber Gregory)

1. Tap fee assessment sent to applicant. Needs tap fees paid. Not

Noted. Tap fees shall be paid just prior to permit pick-up, along with Building Permit Fees and Downhill Drive improvements contribution.

2. approved plans need uploaded

Approved Civil plans have been uploaded.

If I can provide any further information to you, please feel free to contact me at (970) 870-5334 or by email at mmichael-ferrier@co.routt.co.us.

Sincerely,

A handwritten signature in cursive script that reads 'Malea Michael-Ferrier'.

Malea Michael-Ferrier

Administrative Assistant/Plan Reviewer Assistant