

# Bulletin Number - BP4C KVC - 02

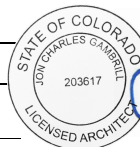
Reviewed for  
Code Compliance  
**Gensler**

<b>Project</b>	Steamboat Base Village Redevelopment	<b>Date</b>	12/13/2021
<b>Project Location</b>	Steamboat, Colorado	<b>Architect's Project Number</b>	03.7835.000
<b>Owner/Client</b>	Alterra Mountain Company / East West Partners	<b>File</b>	6BL <b>This is page</b> 1 of 2
<b>To</b>	Saunders Construction Inc.	<b>Attention</b>	Bryan Sculthorpe
<b>Address</b>	86 Inverness Place North		
<b>City</b>	Englewood	<b>State</b>	CO <b>Zip Code</b> 80112
<b>Delivered via:</b>	<input type="checkbox"/> <b>Messenger</b> <input type="checkbox"/> <b>Hand carried</b> <input type="checkbox"/> <b>Facsimile</b> <input type="checkbox"/> <b>Express</b> <input type="checkbox"/> <b>Pick-up</b> <input type="checkbox"/> <b>E-mail Address</b> <input type="checkbox"/> <b>Mail</b> <input type="checkbox"/> <b>UPS</b> <input checked="" type="checkbox"/> <b>Website Address</b> BIM360		

**This Bulletin Conveys to Contractor** (Check one of the following five choices.):

- ☐ **Architect's Authorization for Minor Changes**  
Architect recommends modifications to the Work as described below.
- ☐ **Architect's Clarification / Supplemental Instructions** (Use this Bulletin form in place of *Architect's Supplemental Instructions* form.)  
Contractor shall carry out the Work in accordance with the following supplemental instructions.
- ☐ **Architect's Confirmation of a Field Order** (Use this Bulletin form in place of a *Field Order* form.)  
This confirms Architect's verbal instructions to (individual's name) \_\_\_\_\_ on (date) \_\_\_\_\_, as described below.  
Note: The above three choices are each subject to the following terms: The change(s), clarification(s) and/or confirmation(s) described below is/are issued in accordance with the Contract Documents, without change in Contract Sum and/or Time.
- ☒ **Architect's Request for Contractor's Proposal** (Use this Bulletin form in place of an *Estimate Request* form.)  
Please submit an itemized proposal for changes in the Contract Sum and/or Time for proposed modifications to the Contract Documents described herein. Submit proposal **within** \_\_\_\_\_ **days** or notify the Architect in writing of the date on which you anticipate submitting your proposal. This is not a Change Order or a Construction Change Directive or a direction to proceed with the Work described in the proposed modifications.
- ☐ **Other:** As described below.

<b>Attachments</b>	BP4D GSQ Interiors - BULLETIN 02		
<b>Requested by</b>	<input checked="" type="checkbox"/> Architect <input type="checkbox"/> Owner <input type="checkbox"/> Contractor <input type="checkbox"/> Other (specify): _____		
<b>Issued by Gensler by</b>	Jacob Apple	<b>Date Signed</b>	12/13/2021
<b>Issued by Owner by</b>		<b>Date Signed</b>	
<input type="checkbox"/> Required; Please return signed copy to Gensler	<input type="checkbox"/> Not Required		
<b>Accepted by Contractor by</b>		<b>Date Signed</b>	
<input type="checkbox"/> Required; Please return signed copy to Gensler	<input type="checkbox"/> Not Required		
<b>Distribution</b>	Bryan Sculthorpe Greg Morgan Adam Cleveland Ryan Stone Mike Schmidt John Albright Gregg Riker Jon Gambrell Adam Ambro Erick Griepentrog Abraham Chen Stephen Carrola Matt Edwards Matt Oboyle Alex Jackson		



*[Signature]*  
12.13.2021

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# Bulletin Number - BP4C KVC - 02

## continued

Reviewed for  
Code Compliance  
**Gensler**

12/20/2021

Project	Steamboat Base Village Redevelopment	Date	12/13/2021
Project Location	Steamboat, Colorado	This is page	2 of 2
Eric McTee			
Prepared by Gensler by	Jacob Apple	Date Signed	12/13/2021
Instructions / Description / References / Dates			

### Description of Changes

#### General:

This bulletin addresses the following:

- Updated MEP and arch roof plan
- Updated steel reinforcing for roof (sketch)

#### Structural Sketch Included:

- Structural Sketch SSK-1
  - Structural Supplemental Detail For MEP Roof Requirements

#### Interior Architecture Drawing Changes:

- 1C-I1.202
  - Revised roof plan with updated changes.

#### Mechanical Drawing Changes:

- 1C-DM1-101
  - Revised demolition scope
- 1C-M1.201
  - Relocated walk-in cooler condensing unit to grade level outside building.
  - Revised sheet metal layout in kitchen to accommodate existing hydronic piping mains.
- 1C-M1.202
  - Relocated grease exhaust fan and makeup air unit on roof. Relocated food service condensing units to grade level outside building.
- 1C-M8.001
  - Added detail for sheet metal around existing hydronic piping mains.

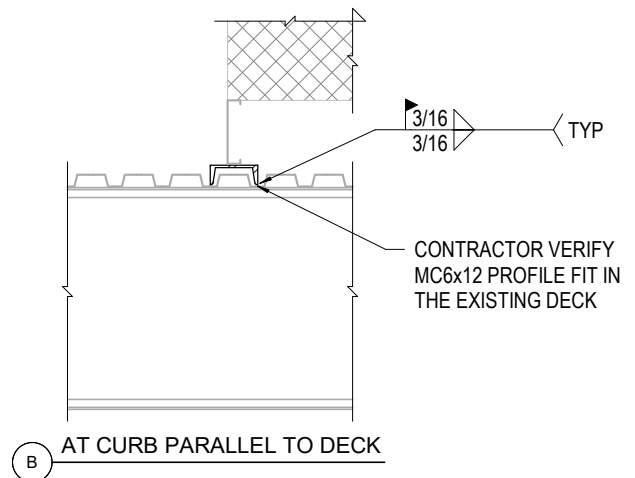
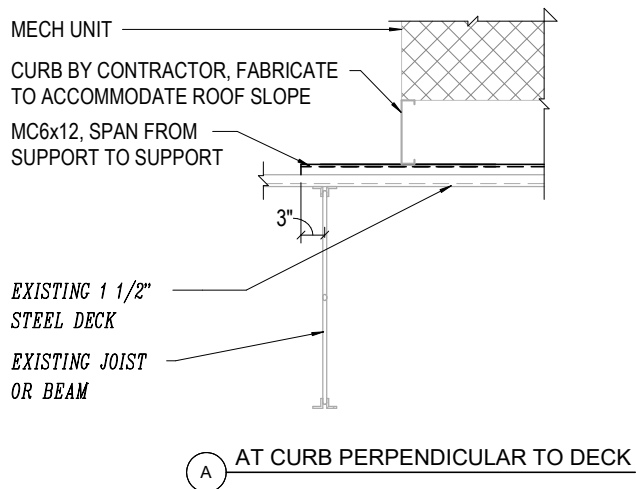
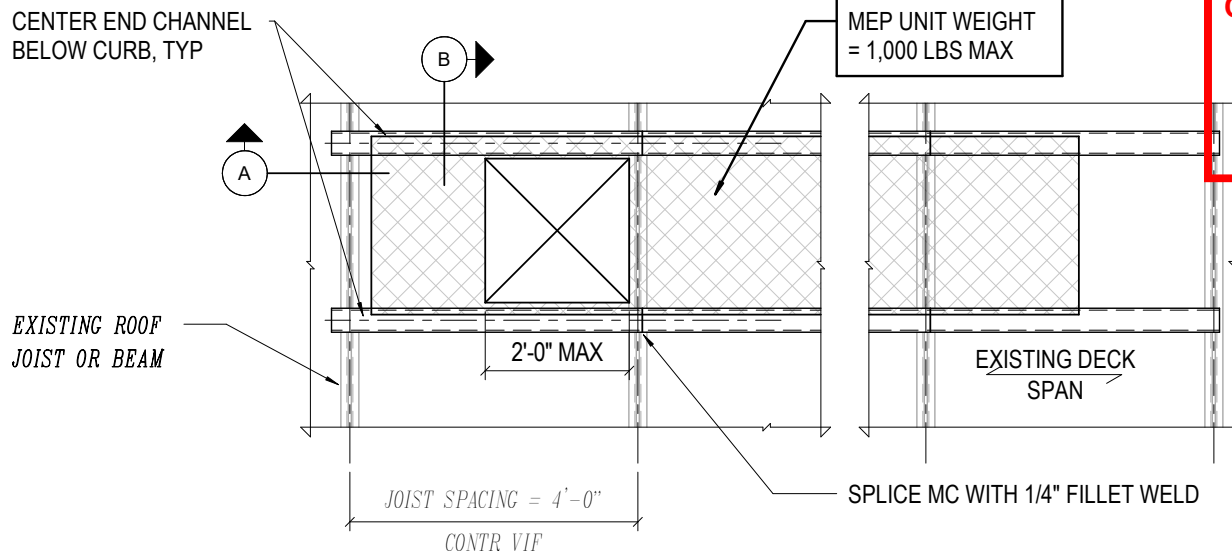
#### Electrical Drawing Changes:

- 1C-E1.201
  - Relocated walk-in cooler condensing unit electrical connections to this level from roof level in previous issuance.
- 1C-E1.202
  - Relocated mechanical equipment connections to align with relocated mechanical equipment. Food Service Walk-In cooler condensing units were moved to level below.

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December 10, 2021

## SBV - KVC BP4

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CONSULTING ENGINEERS  
12499 WEST COLFAX AVENUE, LAKEWOOD, COLORADO 80215  
MAIN 303.431.6100 MARTINMARTIN.COM

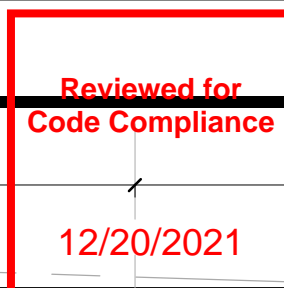
DETAIL TITLE:  
**STRUCTURAL SUPPLEMENTAL DETAIL  
FOR MEP ROOF REQUIREMENTS**

DETAIL NO:  
**SSK-1**

PROJECT NUMBER: M/M 20.1411.S.01

DWG REF: NONE, RFI018

DATE: DEC. 10, 2021



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Seal / Signature

Project Name

Project Number	003.7835.000
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I	II	III	IV	V	VI	VII	VIII	IX	X	XI	XII	XIII	XIV	XV	XVI	XVII	XVIII	XIX	XX	XXI	XXII	XXIII	XXIV	XXV	XXVI	XXVII	XXVIII	XXIX	XXX	XXXI	XXXII	XXXIII	XXXIV	XXXV	XXXVI	XXXVII	XXXVIII	XXXIX	XL	XLI	XLII	XLIII	XLIV	XLV	XLVI	XLVII	XLVIII	XLIX	L	LI	LII	LIII	LIV	LV	LVI	LVII	LVIII	LIX	LX	LXI	LXII	LXIII	LXIV	LXV	LXVI	LXVII	LXVIII	LXIX	LXX	LXXI	LXXII	LXXIII	LXXIV	LXXV	LXXVI	LXXVII	LXXVIII	LXXIX	LXXX	LXXXI	LXXXII	LXXXIII	LXXXIV	LXXXV	LXXXVI	LXXXVII	LXXXVIII	LXXXIX	LXXXX	LXXXXI	LXXXXII	LXXXXIII	LXXXXIV	LXXXXV	LXXXXVI	LXXXXVII	LXXXXVIII	LXXXXIX	LXXXXX	LXXXXXI	LXXXXXII	LXXXXXIII	LXXXXXIV	LXXXXXV	LXXXXXVI	LXXXXXVII	LXXXXXVIII	LXXXXXIX	LXXXXXX	LXXXXXXI	LXXXXXXII	LXXXXXXIII	LXXXXXXIV	LXXXXXXV	LXXXXXXVI	LXXXXXXVII	LXXXXXXVIII	LXXXXXXIX	LXXXXXXX	LXXXXXXXI	LXXXXXXXII	LXXXXXXXIII	LXXXXXXXIV	LXXXXXXXV	LXXXXXXXVI	LXXXXXXXVII	LXXXXXXXVIII	LXXXXXXXIX	LXXXXXXX	LXXXXXXXI	LXXXXXXXII	LXXXXXXXIII	LXXXXXXXIV	LXXXXXXXV	LXXXXXXXVI	LXXXXXXXVII	LXXXXXXXVIII	LXXXXXXXIX	LXXXXXXX
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CONSTRUCTION PLAN - ROOF /  
LEVEL 02

Scale

$$1/8'' = 1'-0''$$

**1C-I1.202**

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SCALE: 1/8" = 1'-0"

08 EXISTING ROOF HATCH  
09 EXISTING ROOF TO REMAIN. MAINTAIN 1/4" / 1'-0"  
MIN. SLOPE.  
11 PROVIDE CRICKETS AT ALL NEW ROOFTOP  
EQUIPMENT, DUCTWORK, CURBS, AND PADS, 1/4"  
1'-0" SLOPE MIN.  
12 NEW ROOFTOP EQUIPMENT ON MANUFACTURER  
PROVIDED CONCRETE CURB. RE: MEP DRAWINGS  
13 NEW DUCT THROUGH ROOF

- A. ALL SCREENED AREAS INDICATE EXISTING CONSTRUCTION TO REMAIN AND AREAS NOT IN CONTRACT. U.N.O.
- B. REFER TO THE "G" SHEET SERIES FOR GENERAL PROJECT NOTES, MOUNTING HEIGHTS, ACCESSIBILITY CLEARANCES, GRAPHIC SYMBOLS, ABBREVIATIONS, DOOR SCHEDULES/DETAILS, AND PARTITION SCHEDULES/DETAILS.
- C. ALL PARTITIONS TO BE TYPE "A3A", U.N.O. RE: SHEET G0.700 FOR PARTITION SCHEDULES AND DETAILS.
- D. REFER TO POWER & COMMUNICATIONS PLANS AND DOOR SCHEDULES FOR CARD READER LOCATIONS.

E. PARTITIONS THAT MAKE CONTACT WITH, AND ARE PERPENDICULAR TO, EXTERIOR WINDOW MULLIONS ARE TO BE CENTERED ON THE MULLION, U.N.O.

F. ALL EXISTING DOORS TO REMAIN ARE DESIGNATED WITH AN "EX". RE: SHEET G0.600 FOR DOOR SCHEDULE FOR ALL NUMBERED DOORS.

G. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR FURNISHING AND INSTALLING BRACING AND WALL-IN-CEILING BLOCKING FOR ALL PARTITIONS RECEIVING MILLWORK, AV EQUIPMENT, AND ALL OTHER ITEMS ATTACHED OR MOUNTED TO PARTITIONS OR CEILINGS. ALL WOOD BLOCKING SHALL BE FIRE-RETARDANT-TREATED.

- H. PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, UNLESS INDICATED OTHERWISE. MARKED "CLEAN" OR "GOLD" ALLOW FOR THICKNESSES AND MOUNTING OF FINISHES.
- I. WHERE CONFLICTS OCCUR BETWEEN EXISTING BUILDING ELEMENTS AND INSTALLATION OF NEW WORK, THE G.C. SHALL NOTIFY THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
- J. G.C. TO CHALK LAYOUT ON FLOOR FOR ARCHITECT'S REVIEW PRIOR TO LAYING TRACK. SCHEDULE WALKTHROUGH WITH ARCHITECT IN ADVANCE. COORDINATE FURNITURE LAYOUT AND DIMENSIONS WITH FURNITURE VENDOR PRIOR TO SCHEDULED LAYOUT. NOTIFY ARCHITECT ON OR BEFORE TO IDENTIFY ANY CONFLICTS OR CRITICAL DIMENSIONS NOT ACHIEVABLE.

K. WHERE WALL COVERING OR WALL GRAPHICS ARE TO BE INSTALLED, WALLS TO RECEIVE LEVEL 4 FINISH. RE: FINISH PLANS.

L. WHERE MONITORS OR OTHER EQUIPMENT IS RECESSED WITH A NICHE OR CABINET, COORDINATE VENTILATION REQUIREMENTS WITH ANY CONSULTANT, FURNITURE VENDOR, CONTRACTOR, AND ARCHITECT.

M. G.C. TO MAINTAIN ALL EXISTING RATED PARTITIONS - ALL PENETRATIONS AND/OR REPAIRS TO WALLS TO MAINTAIN EXISTING FIRE RATING.

N. "FEC" DENOTES LOCATIONS FOR FIRE EXTINGUISHER CABINETS. ALL FIRE EXTINGUISHER CABINETS TO MATCH BUILDING STANDARD.

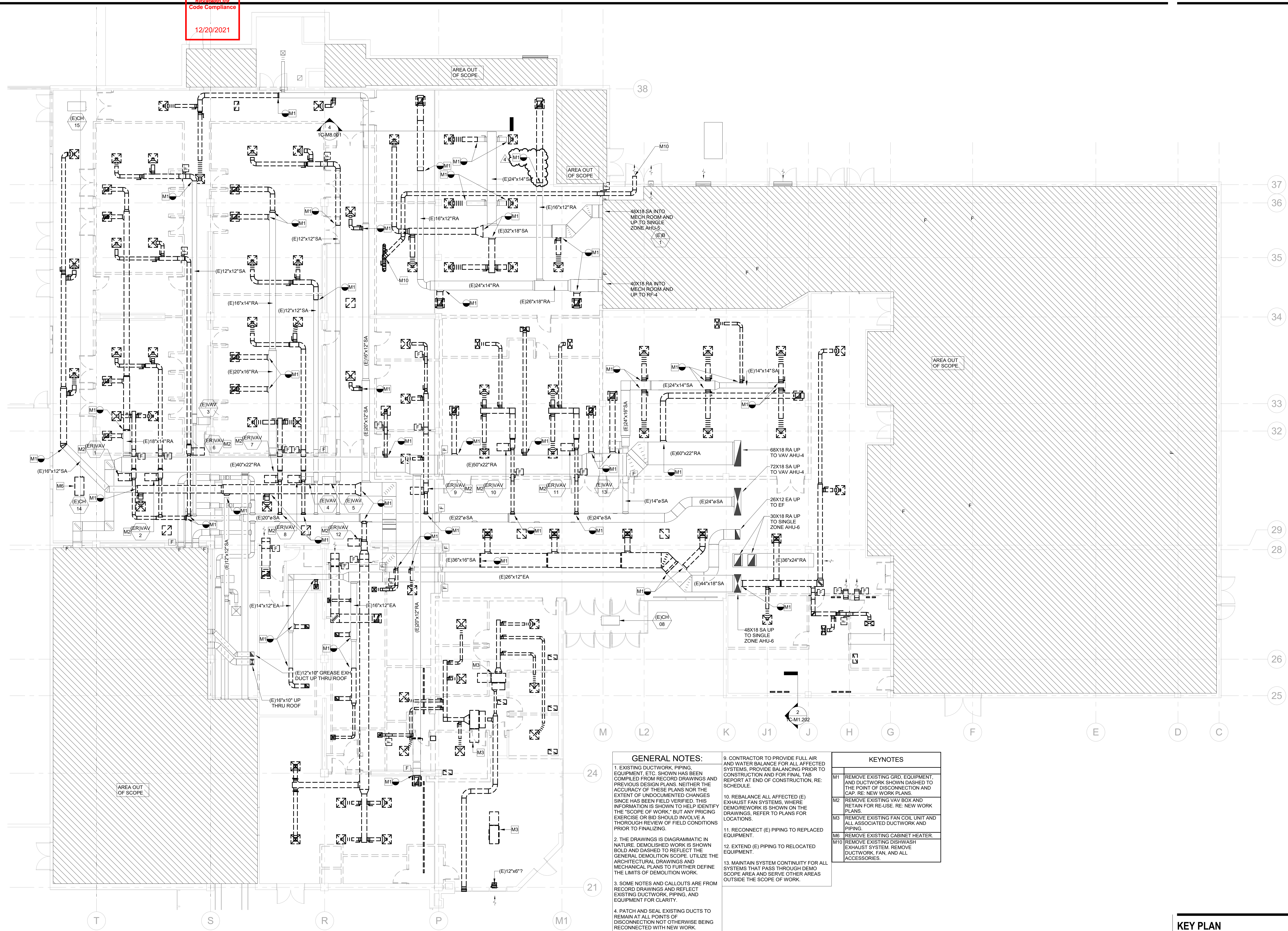
- O. G.C. TO EXTEND GYPSUM AT ALL EXISTING TO REMAIN PARTITIONS, AS REQUIRED, FOR AREAS EXPOSED TO STRUCTURE OR WITH AN INCREASED CEILING HEIGHT
- P. PROVIDE MANUAL MECHOSHADE MECHOSH SHADE SYSTEM (SH EQUAL) AT ALL EXTERIOR WINDOWS. MOUNTING CONDITIONS VARY, ALL NEED TO BE FIELD VERIFIED.
- Q. ALL OUTSIDE CORNERS OF WALLS TO RECEIVE BACK PAINTED ACRYLIC CORNER GUARDS, U.N.C
- R. PROVIDE FLAT PROTECTION AS REQUIRED FOR NEW ROOFTOP EQUIPMENT
- S. G.C. TO COORDINATE REQUIRED ATTACHMENTS, STEEL SIZES, ROOFING PENETRATIONS, AND DETAILING FOR PV TO ROOF BELOW.

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GENERAL NOTES:

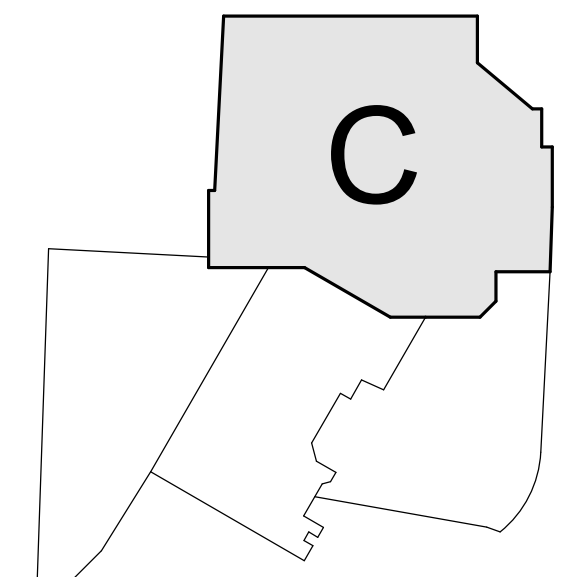
1. EXISTING DUCTWORK, PIPING, EQUIPMENT, ETC. SHOWN HAS BEEN COMPILED FROM RECORD DRAWINGS AND PREVIOUS DESIGN PLANS. NEITHER THE ACCURACY OF THESE PLANS NOR THE EXTENT OF UNDOCUMENTED CHANGES SINCE HAS BEEN FIELD VERIFIED. THIS INFORMATION IS SHOWN TO HELP IDENTIFY THE "SCOPE OF WORK" BUT ANY PRICING EXERCISE OR BID SHOULD INVOLVE A THOROUGH REVIEW OF FIELD CONDITIONS PRIOR TO FINALIZING.
2. THE DRAWINGS IS DIAGRAMMATIC IN NATURE. DEMOLISHED WORK IS SHOWN BOLD AND DASHED TO REFLECT THE GENERAL DEMOLITION SCOPE. UTILIZE THE ARCHITECTURAL DRAWINGS AND MECHANICAL PLANS TO FURTHER DEFINE THE LIMITS OF DEMOLITION WORK.
3. SOME NOTES AND CALLOUTS ARE FROM RECORD DRAWINGS AND REFLECT EXISTING DUCTWORK, PIPING, AND EQUIPMENT FOR CLARITY.
4. PATCH AND SEAL EXISTING DUCTS TO REMAIN AT ALL POINTS OF DISCONNECTION NOT OTHERWISE BEING RECONNECTED WITH NEW WORK.
5. CAP ALL EXISTING PIPING TO REMAIN AT ALL POINTS OF DISCONNECTION NOT OTHERWISE BEING RECONNECTED WITH NEW WORK.
6. CAP OR COVER DUCT OPENINGS DURING DEMOLITION AND CONSTRUCTION (TYPICAL).
7. CONTRACTOR TO COORDINATE ALL NEW WORK WITH EXISTING SYSTEMS, RELOCATING AS NECESSARY.
8. DEMO GRDs IN ALL LOCATIONS WHERE CEILINGS ARE TO BE DEMOLISHED, RE: ARCHITECTURAL DEMO PLANS.

9. CONTRACTOR TO PROVIDE FULL AIR AND WATER BALANCE FOR ALL AFFECTED SYSTEMS, PROVIDE BALANCING PRIOR TO CONSTRUCTION AND FOR FINAL TAB REPORT AT END OF CONSTRUCTION, RE: SCHEDULE.
10. REBALANCE ALL AFFECTED (E) EXHAUST FAN SYSTEMS, WHERE DEMO/REWORK IS SHOWN ON THE DRAWINGS, REFER TO PLANS FOR LOCATIONS.
11. RECONNECT (E) PIPING TO REPLACED EQUIPMENT.
12. EXTEND (E) PIPING TO RELOCATED EQUIPMENT.
13. MAINTAIN SYSTEM CONTINUITY FOR ALL SYSTEMS THAT PASS THROUGH DEMO SCOPE AREA AND SERVE OTHER AREAS OUTSIDE THE SCOPE OF WORK.

KEYNOTES

M1	REMOVE EXISTING GRD, EQUIPMENT, AND DUCTWORK SHOWN DASHED TO THE POINT OF DISCONNECTION AND CAP. RE: NEW WORK PLANS.
M2	REMOVE EXISTING VAV BOX AND RETAIN FOR RE-USE. RE: NEW WORK PLANS.
M3	REMOVE EXISTING FAN COIL UNIT AND ALL ASSOCIATED DUCTWORK AND PIPING.
M8	REMOVE EXISTING CABINET HEATER.
M10	REMOVE EXISTING DISHWASH EXHAUST SYSTEM, REMOVE DUCTWORK, FAN, AND ALL ACCESSORIES.

KEY PLAN



**Gensler**

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**MARTIN/MARTIN**  
ARCHITECTS

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United States  
Tel 303.431.6100

△ Date	Description
2021.06.04	BP4C - KVC INTERIORS - ISSUE FOR PERMIT AND CONSTRUCTION
2021.12.13	BP4C - BULLETIN 02

Seal / Signature



12/13/2021

Project Name  
**Steamboat Base Village  
Redevelopment**

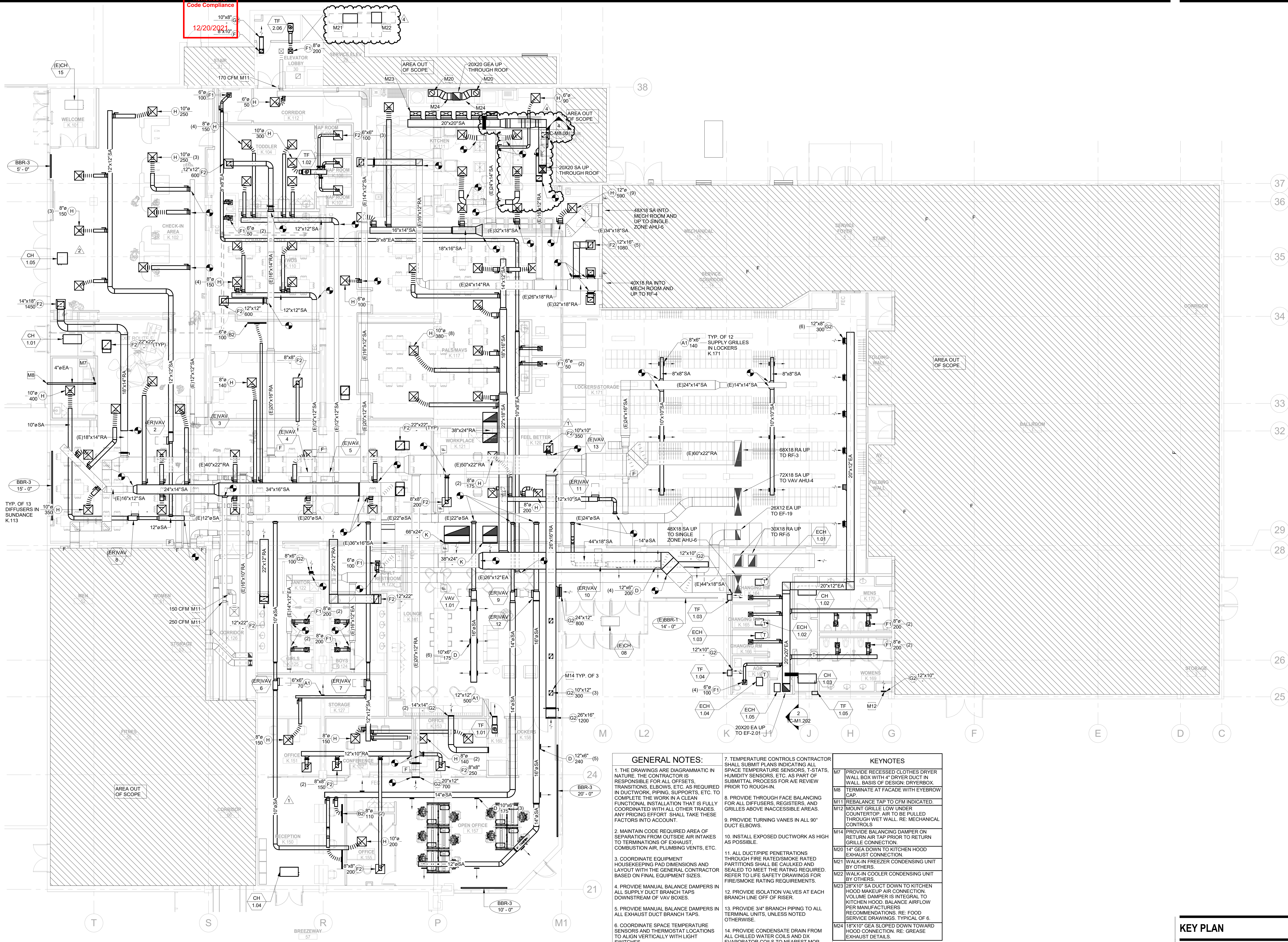
Project Number  
**003.7835.000**

Description  
**MECHANICAL DEMOLITION PLAN -  
LEVEL 01**

Scale  
**1/8" = 1'-0"**

**1C-DM1.101**



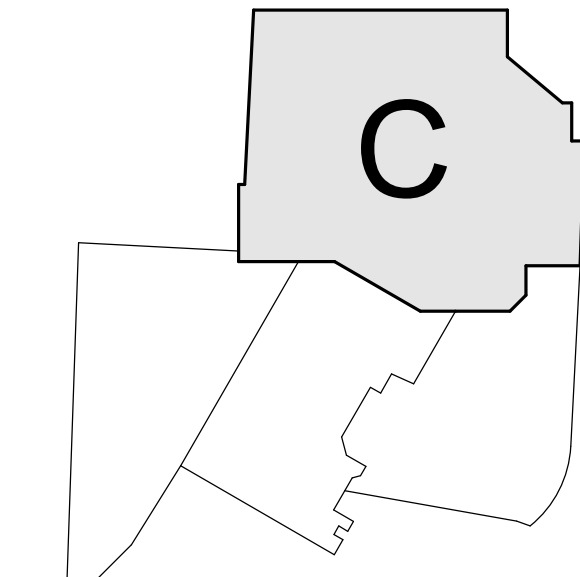


**GENERAL NOTES:**

1. THE DRAWINGS ARE DIAGRAMMATIC IN NATURE. THE CONTRACTOR IS RESPONSIBLE FOR ALL OFFSETS, TRANSITIONS, ELBOWS, ETC. AS REQUIRED IN DUCTWORK, PIPING, SUPPORTS, ETC. TO COMPLETE THE WORK IN A CLEAN, FUNCTIONAL INSTALLATION THAT IS FULLY COORDINATED WITH ALL OTHER TRADES. ANY PRICING EFFORT SHALL TAKE THESE FACTORS INTO ACCOUNT.
2. MAINTAIN CODE REQUIRED AREA OF SEPARATION FROM OUTSIDE AIR INTAKES TO TERMINATIONS OF EXHAUST, COMBUSTION AIR, PLUMBING VENTS, ETC.
3. COORDINATE EQUIPMENT HOUSEKEEPING PAD DIMENSIONS AND LAYOUT WITH THE GENERAL CONTRACTOR BASED ON FINAL EQUIPMENT SIZES.
4. PROVIDE MANUAL BALANCE DAMPERS IN ALL SUPPLY DUCT BRANCH TAPS DOWNSTREAM OF VAV BOXES.
5. PROVIDE MANUAL BALANCE DAMPERS IN ALL EXHAUST DUCT BRANCH TAPS.
6. COORDINATE SPACE TEMPERATURE SENSORS AND THERMOSTAT LOCATIONS TO ALIGN VERTICALLY WITH LIGHT SWITCHES.
7. TEMPERATURE CONTROLS CONTRACTOR SHALL SUBMIT PLANS INDICATING ALL SPACE TEMPERATURE SENSORS, T-STATS, HUMIDITY SENSORS, ETC. AS PART OF SUBMITTAL PROCESS FOR A/E REVIEW PRIOR TO ROUGH-IN.
8. PROVIDE THROUGH FACE BALANCING FOR ALL DIFFUSERS, REGISTERS, AND GRILLES ABOVE INACCESSIBLE AREAS.
9. PROVIDE TURNING VANES IN ALL 90° DUCT ELBOWS.
10. INSTALL EXPOSED DUCTWORK AS HIGH AS POSSIBLE.
11. ALL DUCTPIPE PENETRATIONS THROUGH FIRE RATED/SMOKE RATED PARTITIONS SHALL BE CALKED AND SEALED TO MEET THE RATING REQUIRED. REFER TO LIFE SAFETY DRAWINGS FOR FIRE/SMOKE RATING REQUIREMENTS.
12. PROVIDE ISOLATION VALVES AT EACH TERMINAL UNIT, UNLESS NOTED OTHERWISE.
13. PROVIDE 3/4" BRASS PIPING TO ALL TERMINAL UNITS, UNLESS NOTED OTHERWISE.
14. PROVIDE CONDENSATE DRAIN FROM ALL CHILLED WATER COILS AND DX EVAPORATOR COILS TO NEAREST MOP SINK OR MECHANICAL ROOM FLOOR DRAIN. PROVIDE CONDENSATE PUMP FOR WALL MOUNTED UNITS AND CONCEALED UNITS THAT CANNOT BE GRAVITY DRAINED TO TERMINATION LOCATION.

KEYNOTES	
M7	PROVIDE RECESSED CLOTHES DRYER WALL BOX WITH 4" DRYER DUCT IN WALL. BASIS OF DESIGN. DRYER/BOX.
M8	TERMINATE AT FACADE WITH EYEBROW CAP.
M11	REBALANCE TAP TO CFM INDICATED.
M12	MOUNT GRILLE LOW UNDER COUNTERTOP. AIR TO BE PULLED THROUGH WET WALL. RE: MECHANICAL CONTROLS.
M14	PROVIDE BALANCING DAMPER ON RETURN AIR TAP PRIOR TO RETURN GRILLE CONNECTION.
M20	14" GEA DOWN TO KITCHEN HOOD EXHAUST CONNECTION.
M21	WALK-IN FREEZER CONDENSING UNIT BY OTHERS.
M22	WALK-IN COOLER CONDENSING UNIT BY OTHERS.
M23	28"x10" SA DUCT DOWN TO KITCHEN HOOD MAKEUP AIR CONNECTION. VOLUME DAMPER IS INTEGRAL TO KITCHEN HOOD. BALANCE AIRFLOW PER MANUFACTURERS RECOMMENDATIONS. RE: FOOD SERVICE DRAWINGS. TYPICAL OF 6.
M24	18"x10" GEA SLOPED DOWN TOWARD HOOD CONNECTION. RE: GREASE EXHAUST DETAILS.

KEY PLAN



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Date	Description
2021.06.04	BP4C - KVC INTERIORS - ISSUE FOR PERMIT AND CONSTRUCTION
2021.08.06	BP4C - KVC INTERIORS - BULLETIN 01
2021.08.17	BP4C - RF1-008
2021.12.13	BP4C - BULLETIN 02

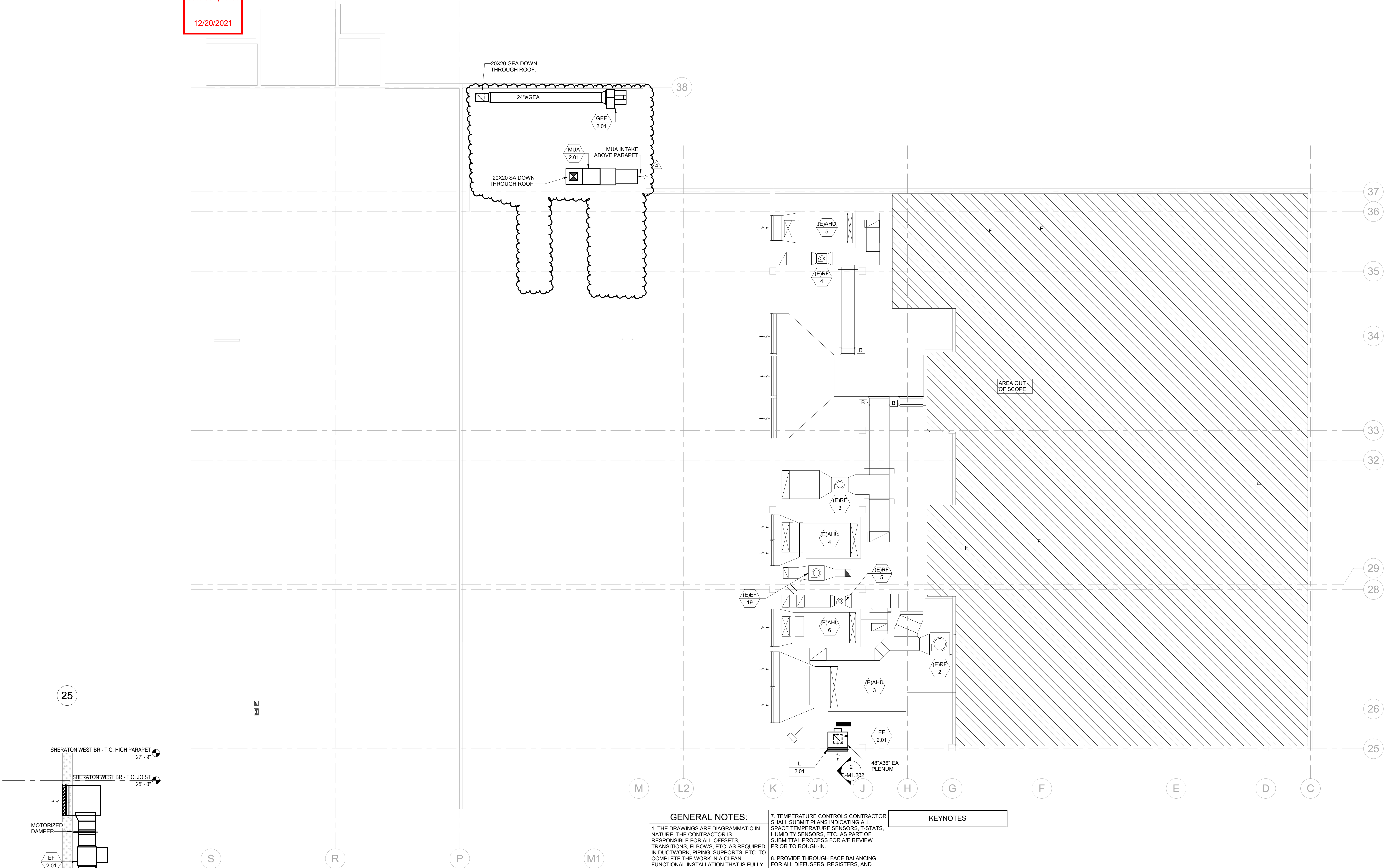
Seal / Signature



Project Name  
**Steamboat Base Village Redevelopment**  
Project Number  
**003.7835.000**  
Description  
**MECHANICAL PLAN - LEVEL 01**

Scale  
1/8" = 1'-0"

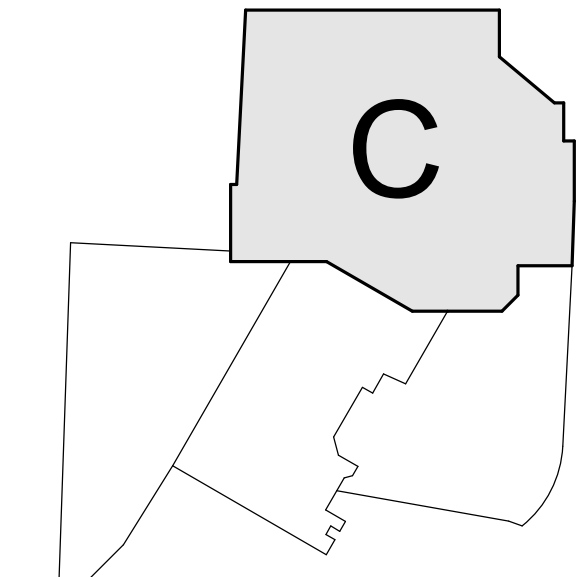




- GENERAL NOTES:**
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  10. INSTALL EXPOSED DUCTWORK AS HIGH AS POSSIBLE.
  11. ALL DUCT/PIPE PENETRATIONS THROUGH FIRE RATED/SMOKE RATED PARTITIONS SHALL BE CALKED AND SEALED TO MEET THE RATING REQUIRED. REFER TO LIFE SAFETY DRAWINGS FOR FIRE/SMOKE RATING REQUIREMENTS.
  12. PROVIDE ISOLATION VALVES AT EACH BRANCH LINE OFF OF RISER.
  13. PROVIDE 3/4" BRANCH PIPING TO ALL TERMINAL UNITS, UNLESS NOTED OTHERWISE.
  14. PROVIDE CONDENSATE DRAIN FROM ALL CHILLED WATER COILS AND DX EVAPORATOR COILS TO NEAREST MOP SINK OR MECHANICAL ROOM FLOOR DRAIN. PROVIDE CONDENSATE PUMP FOR WALL MOUNTED UNITS AND CONCEALED UNITS THAT CANNOT BE GRAVITY DRAINED TO TERMINATION LOCATION.

**KEYNOTES**

**KEY PLAN**



Date	Description
2021.06.04	BP4C - KVC INTERIORS - ISSUE FOR PERMIT AND CONSTRUCTION
2021.12.13	BP4C - BULLETIN 02

Seal / Signature



12/13/2021

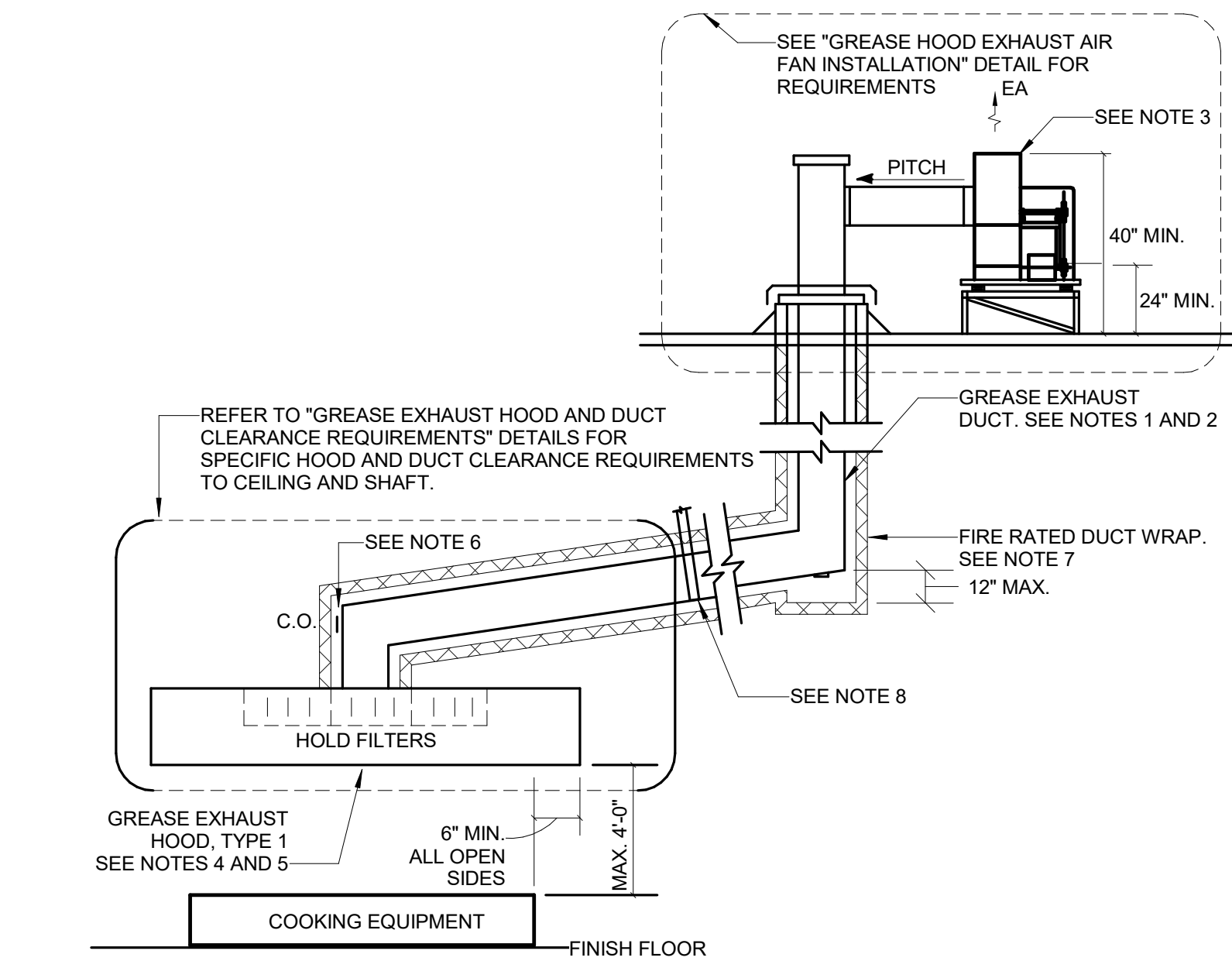
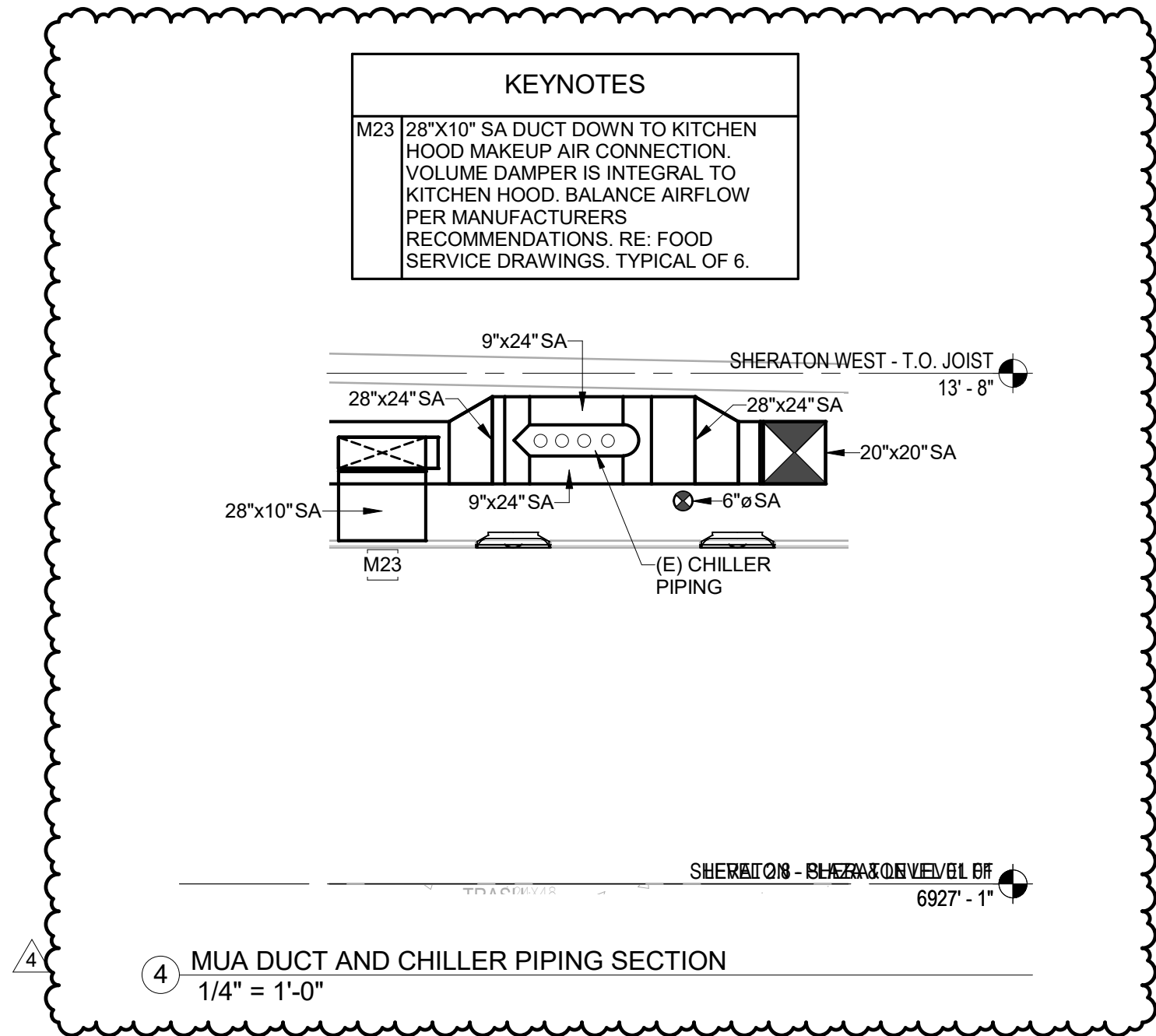
Project Name  
**Steamboat Base Village  
Redevelopment**

Project Number  
**003.7835.000**

Description  
**MECHANICAL PLAN - LEVEL 02**

Scale  
As indicated

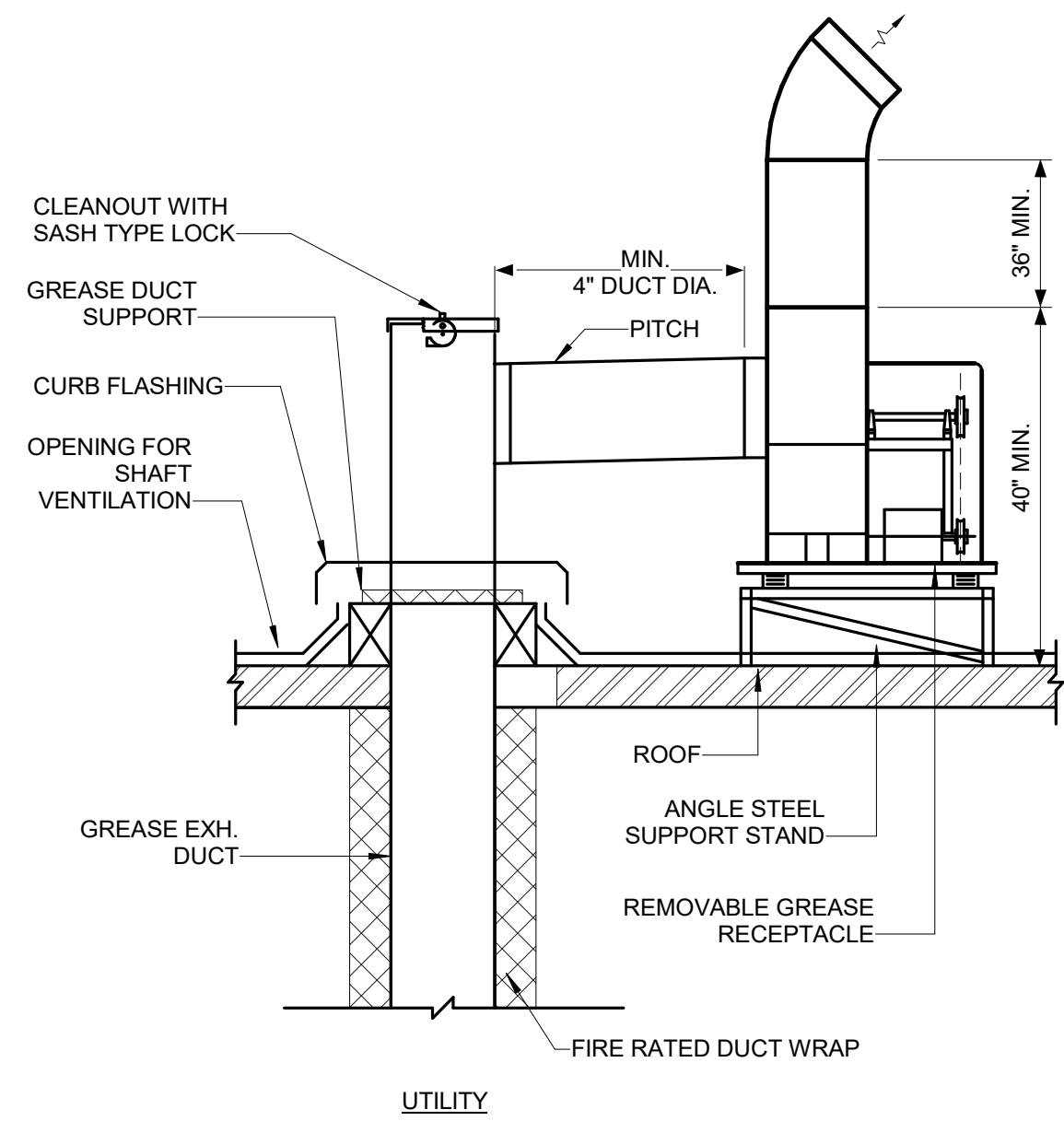




**NOTES:**

- GREASE DUCT SHALL HAVE VELOCITY NOT TO EXCEED 1500 FPM MINIMUM AND 2500 FPM MAXIMUM. DUCT SHALL BE CONSTRUCTED OF MINIMUM 16 GAUGE, 0.055 INCH THICK GALVANIZED, BLACK OR STAINLESS STEEL. ALL JOINTS AND SEAMS TO BE CONTINUOUS WELD.
- DUCT SYSTEM SHALL HAVE A SLOPE NOT LESS THAN 1/4 INCH PER LINEAR FOOT TOWARD THE HOOD OR TOWARD AN APPROVED GREASE RESERVOIR. WHEN HORIZONTAL DUCTS EXCEED 75 FEET IN LENGTH, THE SLOPE SHALL NOT BE LESS THAN 1 INCH LINEAR FOOT.
- DISCHARGE OUTLET SHALL BE 10' FROM ADJACENT BUILDING, PROPERTY LINE OR AIR INTAKE OPENING, AND 10' ABOVE THE ADJOINING GRADE LEVEL AND 10' FROM ANY VERTICAL BUILDING CONSTRUCTION
- "ANSUL" EXTINGUISHING SYSTEM SHALL BE PROVIDED FOR EXHAUST HOOD.
- THE FIRE EXTINGUISHING SYSTEM SHALL BE INTERCONNECTED TO THE FUEL OR CURRENT SUPPLY SO THAT THE FUEL OR CURRENT IS AUTOMATICALLY SHUT OFF TO ALL EQUIPMENT UNDER THE HOOD WHEN THE SYSTEM IS ACTUATED.
- PROVIDE CLEANOUTS IN DUCTWORK AT EACH CHANGE OF DIRECTION AND NOT TO EXCEED 15 FEET APART. LOCATED IN THE SIDE OR TOP OF A HORIZONTAL DUCT. THE LOWER EDGE OF A SIDE OPENING SHALL BE NOT LESS THAN 1 1/2" FROM THE BOTTOM OF THE DUCT. THE ACCESS DOOR IN THE RATED ENCLOSURE SHALL HAVE A SUBSTANTIAL METHOD OF LATCHING WHICH WILL OPEN WITHOUT THE USE OF TOOLS AND SHALL HAVE A PROPOSED NONCOMBUSTIBLE GASKET MATERIAL.
- DUCT SHALL BE FULLY WRAPPED WITH 2HR FIRE RATED DUCT WRAP WITH ZERO CLEARANCE TO COMBUSTIBLES.
- GREASE DUCT SUPPORTS AND BRACING SHALL BE NONCOMBUSTIBLE MATERIAL. BOLTS, SCREWS, AND RIVETS SHALL NOT PENETRATE GREASE DUCT.

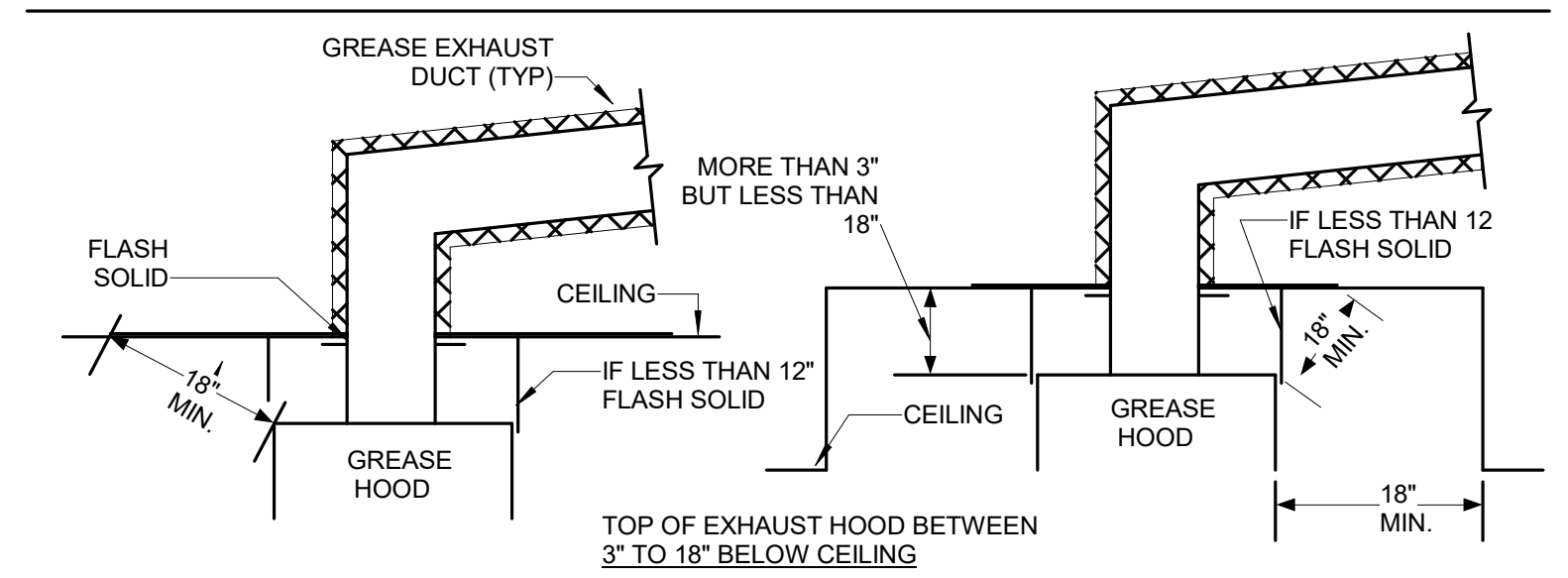
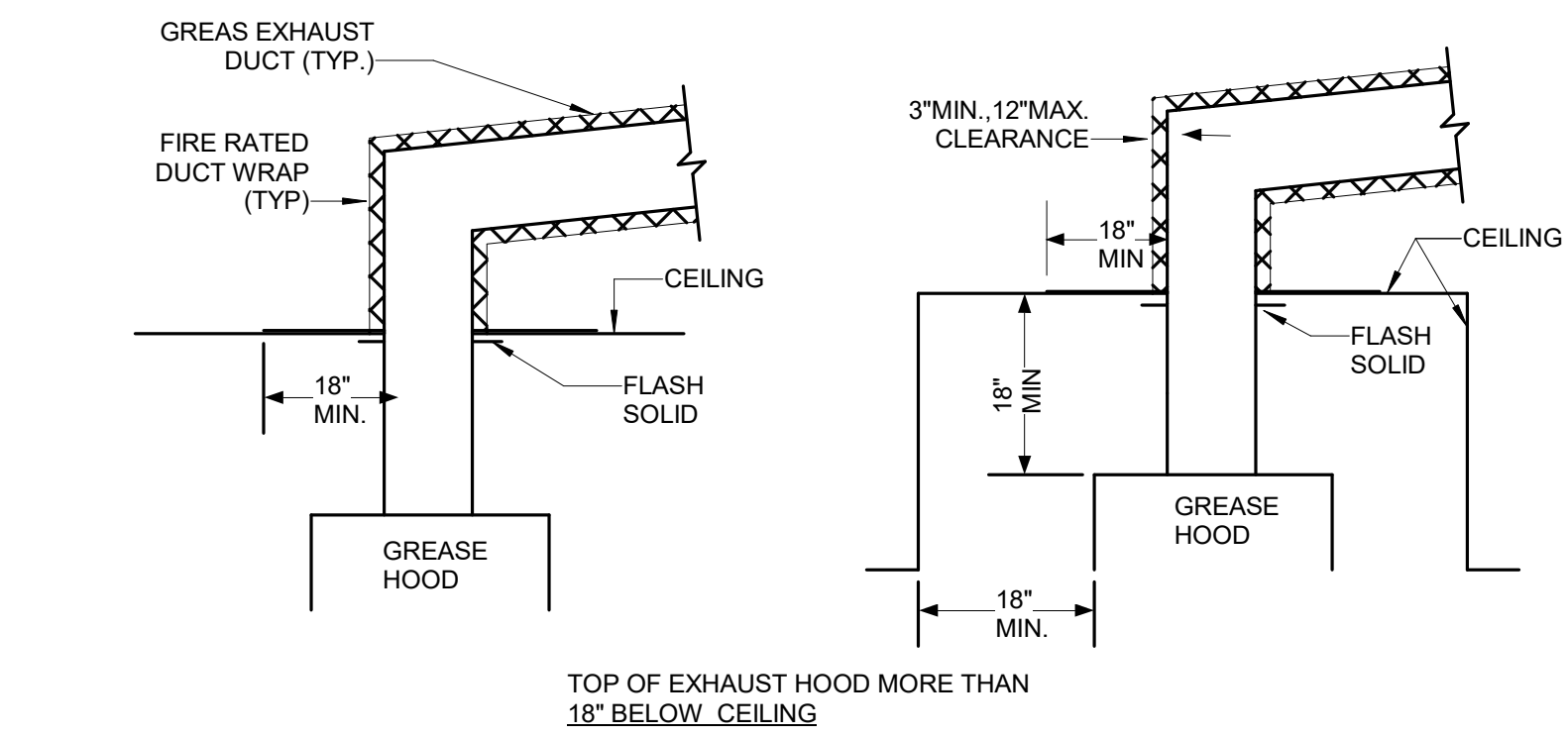
**3** GREASE HOOD AND DUCT SYSTEM  
1/8" = 1'-0"



**NOTE:**

- PROVIDE GREASE RECEPTACLE AND DRAIN LINE PER NFPA 96.
- PROVIDE DUCT EXTENSION AT FAN OUTLET TO DIRECT AIR AWAY FROM ADJACENT BALCONY AREAS.

**1** GREASE HOOD EXHAUST AIR FAN INSTALLATION  
NO SCALE



**NOTES:**

- COORDINATE WITH ARCHITECTURAL DRAWING REGARDING CEILING FINISHES AND APPLY THE APPROXIMATE GREASE EXHAUST HOOD AND DUCT INSTALLATION METHOD AS REQUIRED.

**LEGEND:**

1 HOUR FIRE RATED SHAFT/ ENCLOSURE PER BUILDING CODE REQUIREMENTS

1 HOUR FIRE RESISTIVE CONSTRUCTION ON HOOD SIDE OF CEILING. ONLY (NOT REQUIRED IS CEILING IS OF NON-COMBUSTION MATERIAL)

**2** GREASE EXHAUST HOOD AND DUCT CLEARANCE REQUIREMENTS  
NO SCALE

[SET PROJECT ADDRESS PARAMETER & ENERGY SETTINGS IF APPLICABLE]

**Gensler**

1225 17th Street  
Suite 150  
Denver, CO 80202  
United States  
Tel 303.595.8585  
Fax 303.825.6823

**me**  
engineers

14143 Denver West Pkwy  
Suite 300  
Golden, CO  
United States  
Tel 303.421.6655

**MARTIN/MARTIN**  
ARCHITECTS ENGINEERS

12499 West Cofax Ave.  
Lakewood, CO 80215  
United States  
Tel 303.431.6100

Date	Description
2021.06.04	BP4C - KVC INTERIORS - ISSUE FOR PERMIT AND CONSTRUCTION
2021.12.13	BP4C - BULLETIN 02

Seal / Signature



12/13/2021

Project Name

Steamboat Base Village  
Redevelopment

Project Number

003.7835.000

Description

MECHANICAL DETAILS

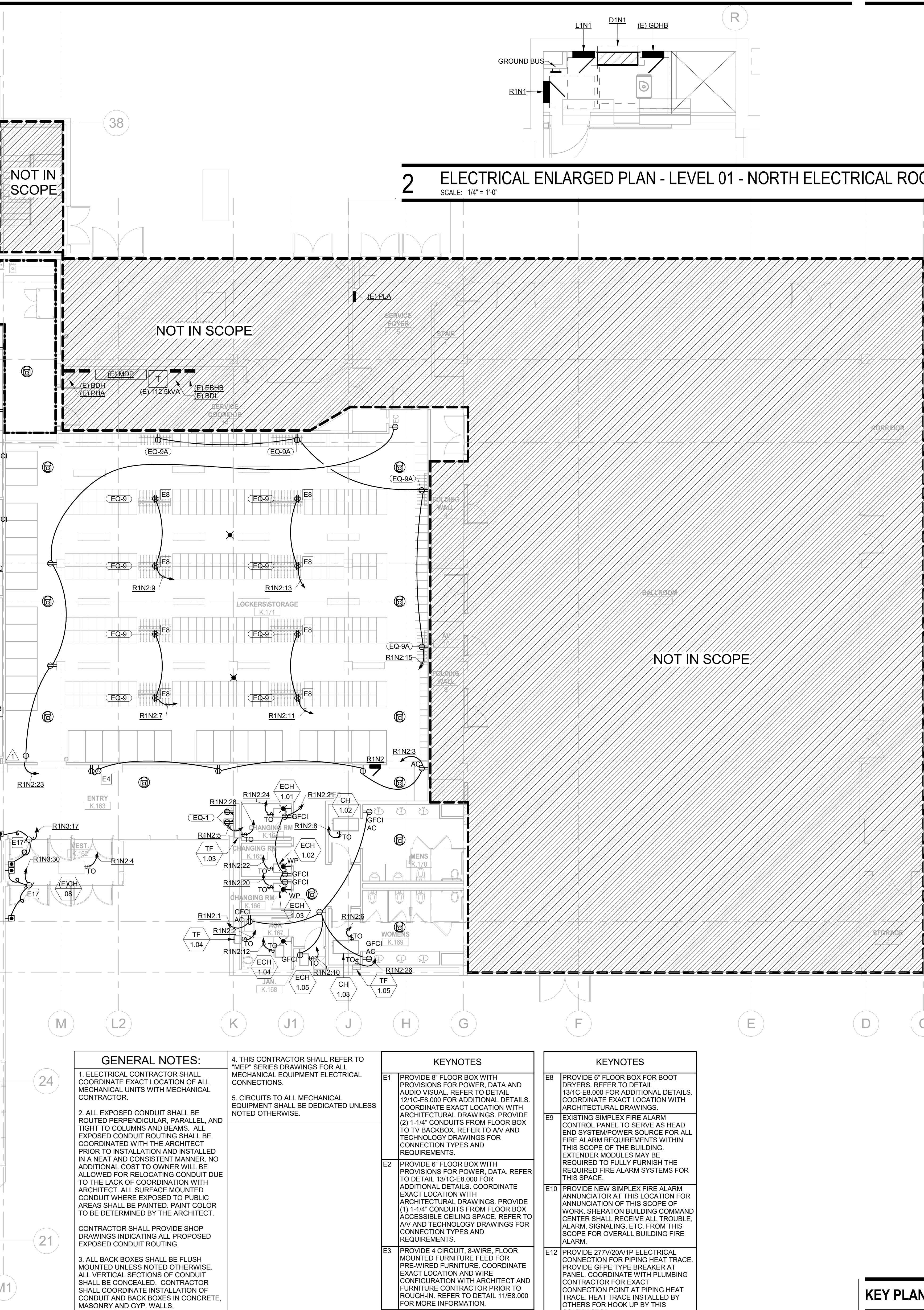
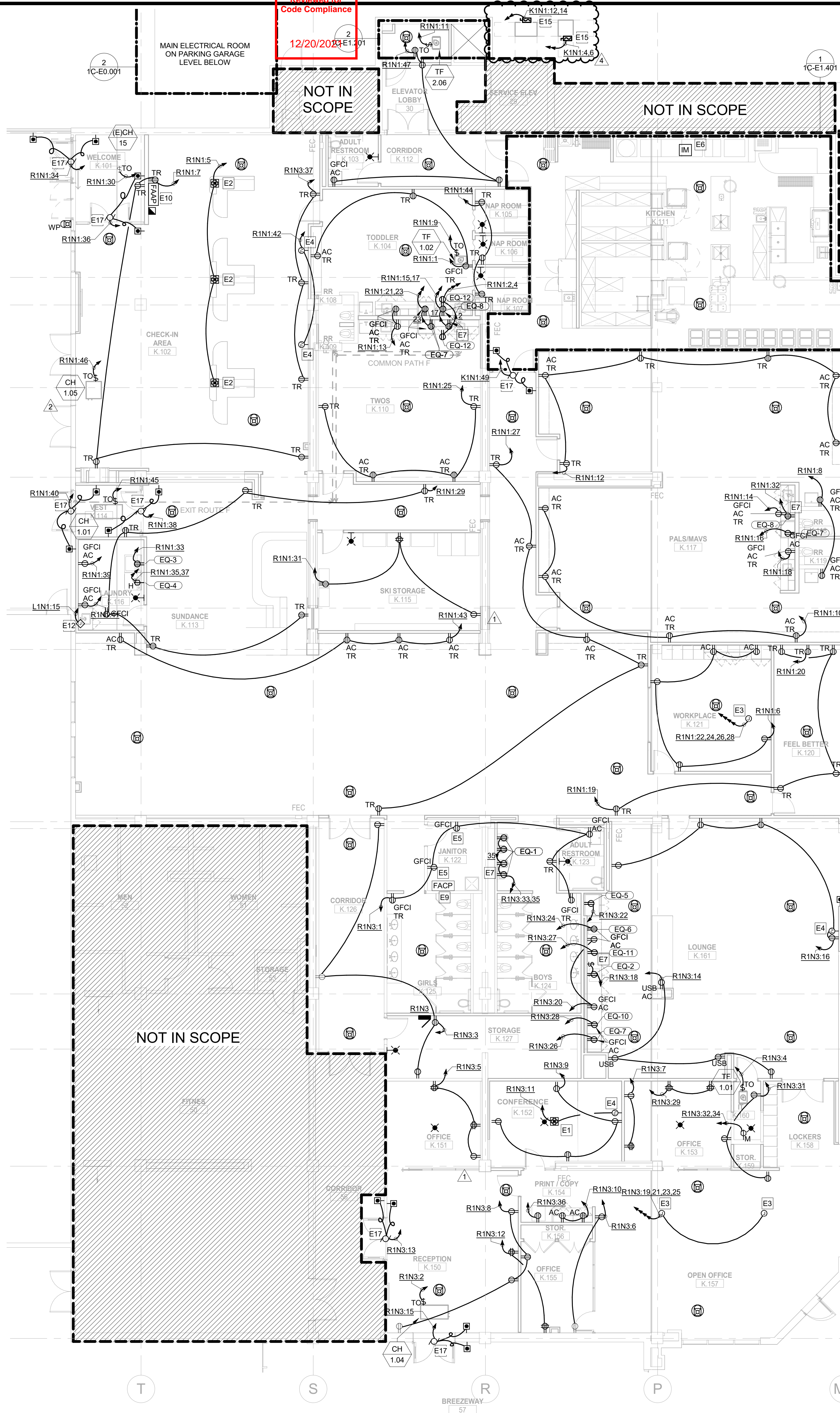
Scale

NOT TO SCALE

**1C-M8.001**

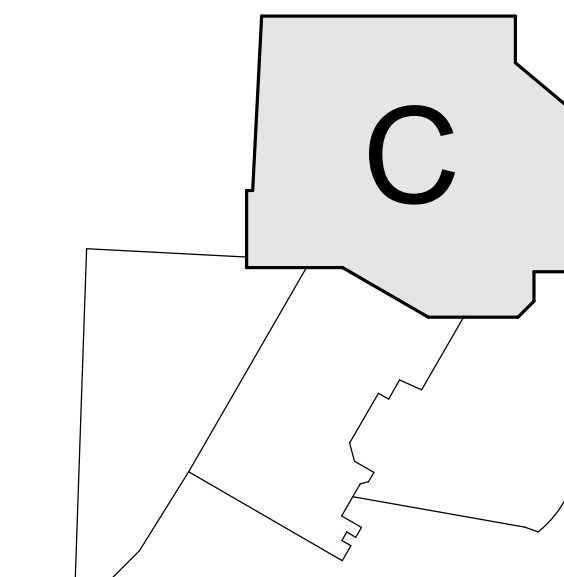


1 ELECTRICAL PLAN - LEVEL 01  
SCALE: 1/8" = 1'-0"



GENERAL NOTES:	
1. ELECTRICAL CONTRACTOR SHALL COORDINATE EXACT LOCATION OF ALL MECHANICAL UNITS WITH MECHANICAL CONTRACTOR.	2. ALL EXPOSED CONDUIT SHALL BE ROUTED PERPENDICULAR, PARALLEL, AND TIGHT TO COLUMNS AND BEAMS. ALL EXPOSED CONDUIT ROUTING SHALL BE COORDINATED WITH THE ARCHITECT PRIOR TO INSTALLATION AND INSTALLED IN A NEAT AND CONSISTENT MANNER. NO ADDITIONAL COST TO OWNER WILL BE ALLOWED FOR RELOCATING CONDUIT DUE TO THE LACK OF COORDINATION WITH ARCHITECT. ALL SURFACE MOUNTED CONDUIT WHERE EXPOSED TO PUBLIC AREAS SHALL BE PAINTED. PAINT COLOR TO BE DETERMINED BY THE ARCHITECT.
3. ALL BACK BOXES SHALL BE FLUSH MOUNTED UNLESS NOTED OTHERWISE. ALL VERTICAL SECTIONS OF CONDUIT SHALL BE CONCEALED. CONTRACTOR SHALL COORDINATE INSTALLATION OF CONDUIT AND BACK BOXES IN CONCRETE, MASONRY AND GYP. WALLS.	4. THIS CONTRACTOR SHALL REFER TO "MEP" SERIES DRAWINGS FOR ALL MECHANICAL EQUIPMENT ELECTRICAL CONNECTIONS.
5. CIRCUITS TO ALL MECHANICAL EQUIPMENT SHALL BE DEDICATED UNLESS NOTED OTHERWISE.	
KEYNOTES	
E1	PROVIDE 8" FLOOR BOX WITH PROVISIONS FOR POWER, DATA AND AUDIO VISUAL. REFER TO DETAIL 131C-E8.000 FOR ADDITIONAL DETAILS. COORDINATE EXACT LOCATION WITH ARCHITECTURAL DRAWINGS. PROVIDE (2) 1-1/4" CONDUITS FROM FLOOR BOX TO TV BACKBOX. REFER TO AV AND TECHNOLOGY DRAWINGS FOR CONNECTION TYPES AND REQUIREMENTS.
E2	PROVIDE 6" FLOOR BOX WITH PROVISIONS FOR POWER, DATA. REFER TO DETAIL 131C-E8.000 FOR ADDITIONAL DETAILS. COORDINATE EXACT LOCATION WITH ARCHITECTURAL DRAWINGS. PROVIDE (1) 1-1/4" CONDUITS FROM FLOOR BOX TO TV BACKBOX. REFER TO AV AND TECHNOLOGY DRAWINGS FOR CONNECTION TYPES AND REQUIREMENTS.
E3	PROVIDE 4 CIRCUIT, 8-WIRE, FLOOR MOUNTED FURNITURE FEED FOR PRE-WIRED FURNITURE. COORDINATE EXACT LOCATION AND WIRE CONFIGURATION WITH ARCHITECT AND FURNITURE CONTRACTOR PRIOR TO ROUGH-IN. REFER TO DETAIL 11/E8.000 FOR MORE INFORMATION.
E4	PROVIDE DUPLEX RECEPTACLE LOCATED WITHIN TV BACKBOX. COORDINATE EXACT REQUIREMENTS WITH TECHNOLOGY AND AV DRAWINGS AND INSTALLER.
E5	REPLACE EXISTING DEVICE WITH NEW GFCI RECEPTACLE. UTILIZE EXISTING CIRCUITING.
E6	PROVIDE FIRE ALARM INPUT MODULE FOR INTERFACE WITH KITCHEN HOOD AND ASSOCIATED ANSUL FIRE PROTECTION SYSTEM.
E7	PROVIDE GFCI TYPE BREAKER AT PANEL.
KEYNOTES	
E8	PROVIDE 6" FLOOR BOX FOR BOOT DRYERS. REFER TO DETAIL 131C-E8.000 FOR ADDITIONAL DETAILS. COORDINATE EXACT LOCATION WITH ARCHITECTURAL DRAWINGS.
E9	EXISTING SIMPLEX FIRE ALARM CONTROL PANEL TO SERVE AS HEAD END SYSTEM/POWER SOURCE FOR ALL FIRE ALARM REQUIREMENTS WITHIN THIS SCOPE OF THE BUILDING. EXTENDER MODULES MAY BE REQUIRED TO FULLY FURNISH THE REQUIRED FIRE ALARM SYSTEMS FOR THIS SPACE.
E10	PROVIDE NEW SIMPLEX FIRE ALARM ANNUNCIATOR AT THIS LOCATION FOR ANNUNCIATION OF THIS SCOPE OF WORK. SHERATON BUILDING COMMAND CENTER SHALL RECEIVE ALL TROUBLE, ALARM, SIGNALING, ETC. FROM THIS SCOPE FOR OVERALL BUILDING FIRE ALARM.
E12	PROVIDE 277V/20A/1P ELECTRICAL CONNECTION FOR PIPING HEAT TRACE. PROVIDE GFCI TYPE BREAKER AT PANEL. COORDINATE WITH PLUMBING CONTRACTOR FOR EXACT CONNECTION POINT AT PIPING HEAT TRACE. HEAT TRACE INSTALLED BY OTHERS FOR HOOK UP BY THIS CONTRACTOR.
E15	PROVIDE 208V/1P/16A CONNECTION TO CONDENSER FOR WALK-IN FREEZER. REFER TO SHEET 1C-E1.401 FOR FOOD SERVICE ELECTRICAL CONNECTOR SCHEDULE. COORDINATE EXACT CONNECTION REQUIREMENTS WITH FOOD SERVICE DRAWINGS AND MANUFACTURER CUTSHEETS.
E17	PROVIDE 120V/1P ELECTRICAL CONNECTION FOR ADA DOOR OPERATOR. PROVIDE ALL ASSOCIATED INTERWIRING BETWEEN OPERATOR AND ACTUATORS. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT ACTUATOR LOCATION PER ADA.

KEY PLAN



Date	Description
2021.06.04	BPAC - KVC INTERIORS - ISSUE FOR PERMIT AND CONSTRUCTION
2021.08.06	BPAC - KVC INTERIORS - BULLETIN 01
2021.08.17	BPAC - RF1-008
2021.12.13	BPAC - BULLETIN 02

Seal / Signature



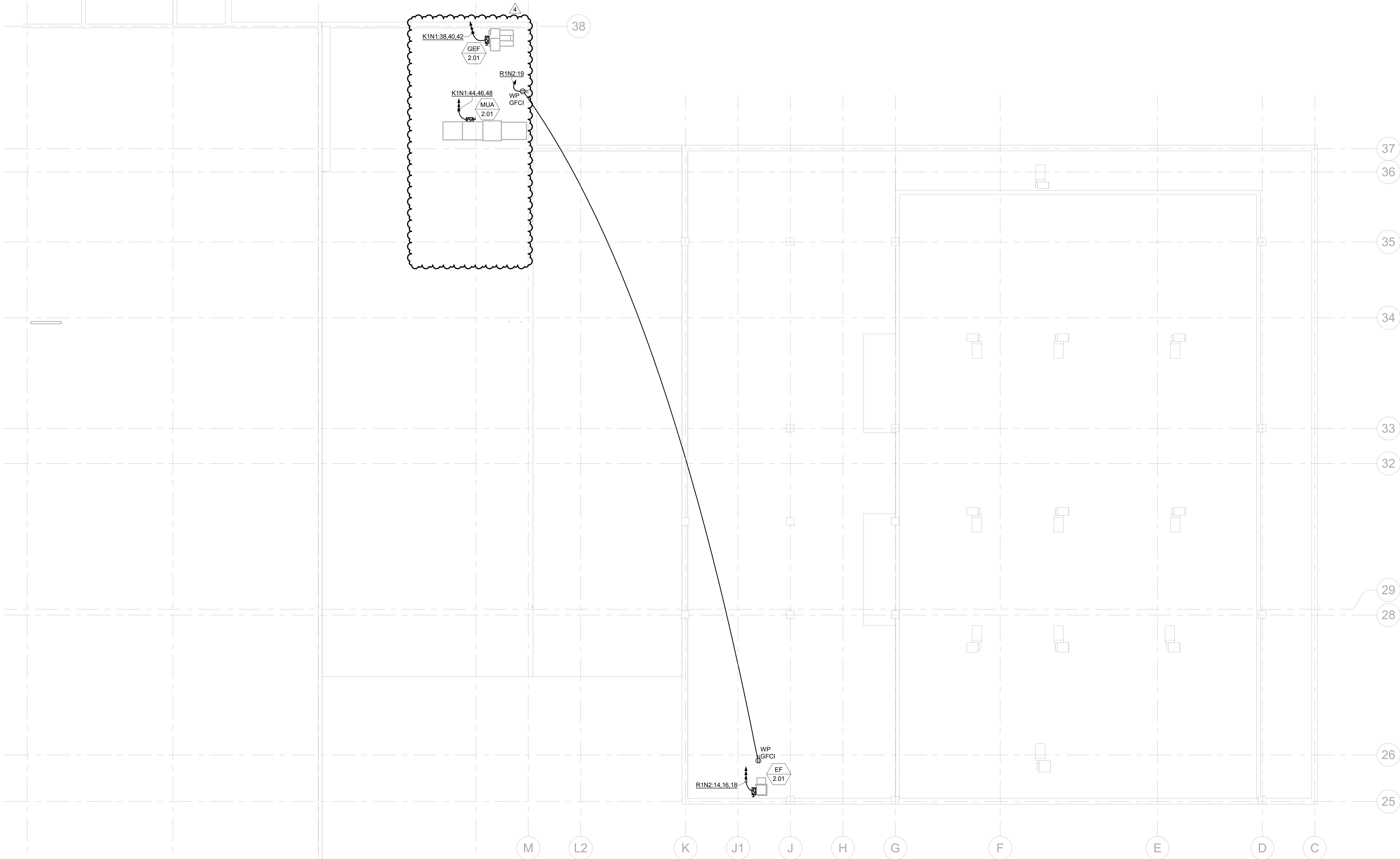
Project Name  
**Steamboat Base Village Redevelopment**  
Project Number  
**003.7835.000**  
Description  
**ELECTRICAL PLAN - LEVEL 01**

Scale  
As indicated

**1C-E1.201**



Reviewed for  
Code Compliance  
  
12/20/2021



**GENERAL NOTES:**

1. ELECTRICAL CONTRACTOR SHALL COORDINATE EXACT LOCATION OF ALL MECHANICAL UNITS WITH MECHANICAL CONTRACTOR.

2. ALL EXPOSED CONDUIT SHALL BE ROUTED PERPENDICULAR, PARALLEL, AND TIGHT TO COLUMNS AND BEAMS. ALL EXPOSED CONDUIT ROUTING SHALL BE COORDINATED WITH THE ARCHITECT PRIOR TO INSTALLATION AND INSTALLED IN A NEAT AND CONSISTENT MANNER. NO ADDITIONAL COST TO OWNER WILL BE ALLOWED FOR RELOCATING CONDUIT DUE TO THE LACK OF COORDINATION WITH ARCHITECT. ALL SURFACE MOUNTED CONDUIT WHERE EXPOSED TO PUBLIC AREAS SHALL BE PAINTED. PAINT COLOR TO BE DETERMINED BY THE ARCHITECT.

CONTRACTOR SHALL PROVIDE SHOP DRAWINGS INDICATING ALL PROPOSED EXPOSED CONDUIT ROUTING.

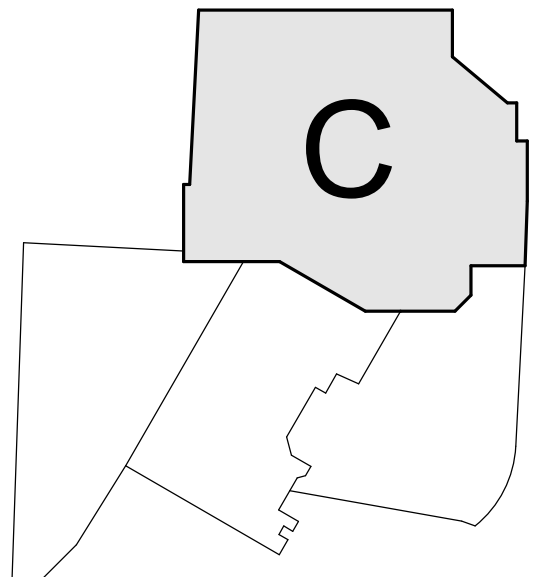
3. ALL BACK BOXES SHALL BE FLUSH MOUNTED UNLESS NOTED OTHERWISE. ALL VERTICAL SECTIONS OF CONDUIT SHALL BE CONCEALED. CONTRACTOR SHALL COORDINATE INSTALLATION OF CONDUIT AND BACK BOXES IN CONCRETE, MASONRY AND GYP. WALLS.

4. THIS CONTRACTOR SHALL REFER TO "MEP" SERIES DRAWINGS FOR ALL MECHANICAL EQUIPMENT ELECTRICAL CONNECTIONS.

5. CIRCUITS TO ALL MECHANICAL EQUIPMENT SHALL BE DEDICATED UNLESS NOTED OTHERWISE.

KEYNOTES

KEY PLAN



△ Date	Description
- 2021.06.04	BP4C - KVC INTERIORS - ISSUE FOR PERMIT AND CONSTRUCTION
4 2021.12.13	BP4C - BULLETIN 02

Seal / Signature



Project Name  
Steamboat Base Village  
Redevelopment

Project Number  
003.7835.000

Description  
ELECTRICAL PLAN - LEVEL 02

Scale  
1/8" = 1'-0"