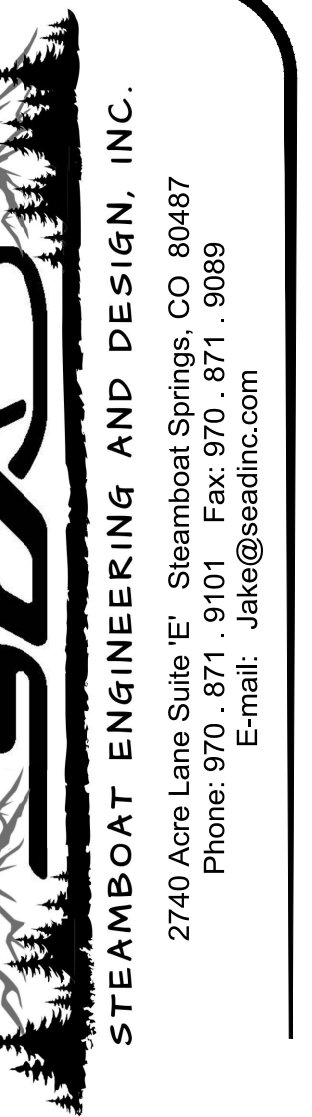


# CONDITIONAL USE PERMIT FOR CANNASOLUTIONS TENANT FINISH

FOR: LOTS 25-28 INCL BLK 7 MILLER-FRAZIER ADD TO SS E'LY  
50FT OF LOT 29 BLK 7 MILLER-FRAZIER ADD TO SS

NOT FOR CONSTRUCTION

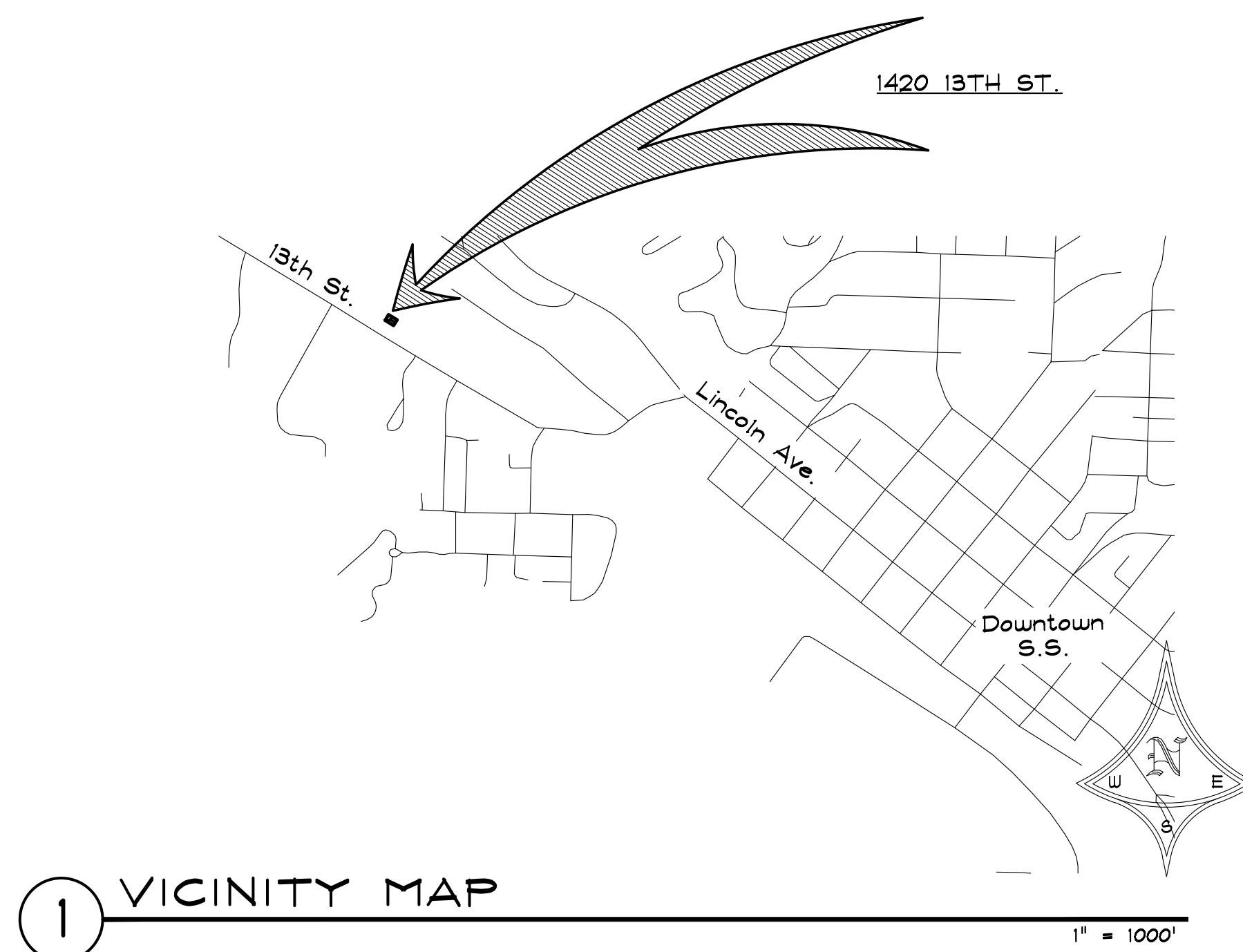


GENERAL INFORMATION	
APPLICANT	BRAD GRIDER
MAILING	150 HILLSIDE DRIVE, STEAMBOAT SPRINGS, CO 80487
PHONE	(502)-851-6170
EMAIL	bradn25@gmail.com
OWNER	LES A. LIMAN
MAILING	PO BOX 774362, STEAMBOAT SPRINGS, CO 80477-4362
PHONE	(970)-875-0355
EMAIL	lliman@twinenviro.com
CONSULTANT	STEAMBOAT ENGINEERING AND DESIGN, INC.
MAILING	2740 ACRE LANE, SUITE 'E' STEAMBOAT SPRINGS, CO 80487
PHONE	(970)-871-9101
EMAIL	sierra@seadinc.com

LAND USE & SITE DEVELOPMENT PROJECT SUMMARY TABLE			
PROJECT SUMMARY TABLE			
GROSS FLOOR AREA	3,750 SQ. FT.		
NET FLOOR AREA	N/A		
UNIT SIZE	3,750 SQ. FT.		
NUMBER OF UNITS	(1)		
ZONING	INDUSTRIAL (UNCHANGED)		
FRONTAGE	±16.5 FT. (13TH STREET)		
USE BREAKDOWN	DESCRIPTION	SQUARE FOOTAGE	# OF UNITS
PRINCIPLE USE	MARIJUANA CULTIVATION	3,750 SQ. FT.	(1)
ACCESSORY USE(S)	N/A	N/A	N/A
STANDARDS	ZONE DIST. REQUIREMENTS	PROPOSED	VARIANCE? (Y/N)
LOT AREA	N/A	31,363 EXISTING TO REMAIN UNCHANGED	NO
LOT COVERAGE	60% MAX	30%	NO
FLOOR AREA RATIO	60% MAX	12%	NO
OVERALL HEIGHT	40 FT. MAX	±15'-6"	NO
AVERAGE P HEIGHT	28 FT. MAX	±13'-6"	NO
FRONTAGE AREA HEIGHT	N/A	N/A	N/A
FRONT SETBACK	15'-0"	15'-0"	NO
SIDE SETBACK	10'-0"	7'-0"	YES - LEGAL NONCONFORMING REGISTRATION
UPPER STORY SETBACK	N/A	N/A	N/A
REAR SETBACK	10'-0"	0'-0"	YES - LEGAL NONCONFORMING REGISTRATION
SECOND STORY INTENSITY	N/A	N/A	N/A
PARKING	N/A	N/A	N/A
SNOW STORAGE	N/A	N/A	N/A

SHEET SCHEDULE	
SHEET	CONTENTS
C-0	COVER SHEET
C-1	EXISTING SITE PLAN
C-1.1	EXISTING AREA MAP
C-2	PROPOSED SITE PLAN
A-1	EXISTING FLOOR PLAN / DEMOLITION PLAN
A-2	PROPOSED FLOOR PLAN
A-3	PUBLIC ADA SPECIFICATIONS & STANDARDS
A-4	PUBLIC ADA SPECIFICATIONS & STANDARDS
S-1	FOUNDATION PLAN & STRUCTURAL NOTES
S-2	CEILING FRAMING PLAN

IBC CODE STUDY	
Re: 2018 IBC, 2018 IEBC, 2018 IPC	
ZONING:	I (INDUSTRIAL)
CONSTRUCTION TYPE:	V-B
OCCUPANCY CLASSIFICATION:	GROUP F-1
NO. STORIES:	1 (UNCHANGED)
SIZE OF BUILDING:	3,750 SQ. FT. (UNCHANGED)
SIZE OF PARCEL:	31,363 SQ. FT. (UNCHANGED)
ALLOWABLE AREAS & HEIGHTS: (IBC TABLES 504.3, 504.4, 506.2)	
ALLOWABLE BUILDING HEIGHT	= 40 FT.
ALLOWABLE # OF STORIES	= 1
ALLOWABLE BUILDING AREA	= 8,500 SQ. FT.
FIRE RESISTANCE REQUIREMENTS: (IBC TABLE 601)	
PRIMARY STRUCTURE:	0 HR RATING
BEARING & NON-BEARING WALLS:	0 HR RATING
FLOOR & ROOF CONSTRUCTION:	0 HR RATING
EXTERIOR WALL: PER IBC TABLE 602: ADJACENT STRUCTURE LESS THAN 5FT AWAY, PROVIDE 2 HR FIRE RATED WALLS	
OCCUPANCY LOAD: (IBC TABLE 1004.5)	
AGRICULTURAL BLDG: 3,750 SQ. FT. / 300 GROSS = 13 OCCUPANTS	
FIXTURE COUNT: (IPC TABLE 403.1)	
1 LAVATORY	
1 WATER CLOSET	
OCCUPANT LOAD LESS THAN 15, THEREFORE:	
• PER IPC 403.2 EXCEPTION 2, SEPARATE FACILITIES NOT REQUIRED	
• PER IPC TABLE 403.1 FOOTNOTE E, NO SERVICE SINK IS REQUIRED	
• PER IPC 410.2, DRINKING FOUNTAIN NOT REQUIRED	
REQUIRED EXITS PER OCCUPANT LOADS: (IBC TABLES 1006.2.1 & 1006.3.2)	
MINIMUM NUMBER OF EXITS = 2	

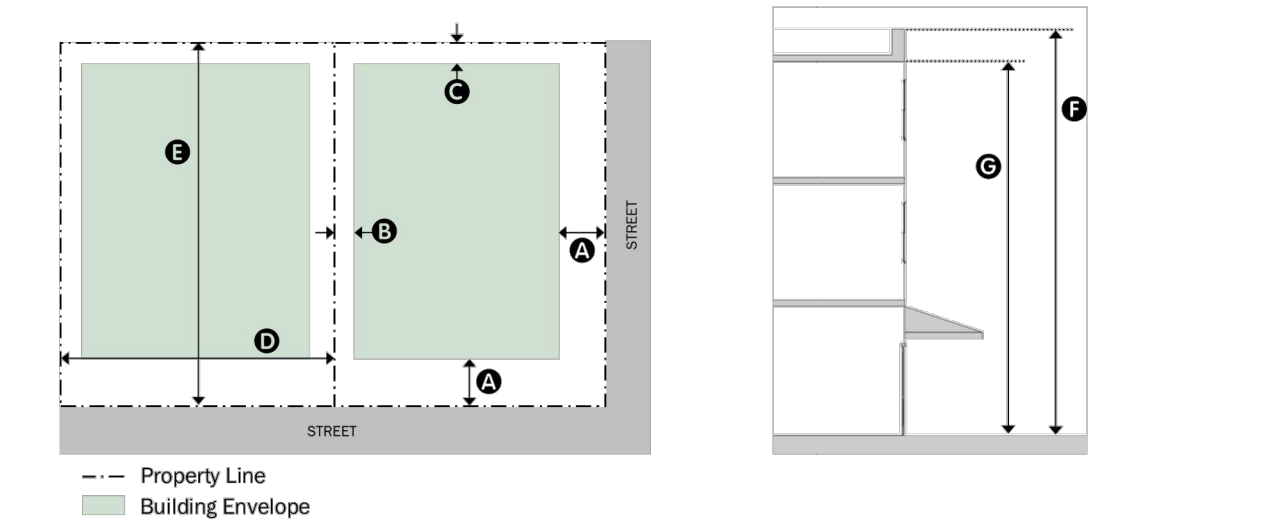


## I Industrial § 225

### 225 ZONE DISTRICT: INDUSTRIAL

**225.A Purpose**  
The Industrial zone district is intended to provide areas for industrial uses and limited outdoor commercial uses. This zone district also accommodates mixed-use development that may incorporate limited office and compatibly integrated live/work uses and other residential densities and forms.

**225.B Dimensional Standards** (See below.)



Building Placement		Building Form	
<b>Lot Line Setbacks</b>		<b>Building Height <sup>1</sup></b>	
Front	Principal Building 15' min. Accessory Building 15' min.	Principal Building	Overall Height 40' max.
Side	Principal Building 10' min. Accessory Building 10' min.	EC Overlay Zone	40' max.
Rear	Principal Building 10' min. Accessory Building 10' min.	Non-Entry Corridor	32' max.
<b>Lot Size</b>	Width <sup>1</sup> 30' min. no max. Depth <sup>1</sup> no min. Area no min. no max.	Average Plate Height	28' max.
<b>Parking Lot Placement</b>	EC Overlay Zone 30' min. Non-Entry Corridor >50 Spaces 15' min.	Special Work Areas	Overall Height 40' max.
		Average Plate Height	40' max.
		Accessory Building	Overall Height 32' max.
		Overall Height	28' max.
		Average Plate Height	28' max.
		<b>Other Standards</b>	
		<b>Building Intensity</b>	
		Lot Coverage	60% max.
		Floor Area Ratio	60% max.
		Dwelling Unit Size	1,400 sf max.
		<b>Density</b>	
		Dwelling Units per Lot	no max.



Community Development Code  
Steamboat Springs Municipal Code Chapter 26

Purpose & Administration	Zone Districts	Use Definitions & Standards	Development & Design Standards	Signs	Subdivision Standards	Development Process	Rules & Definitions
1	2	3	4	5	6	7	8

CANNASOLUTIONS TENANT FINISH  
1420 13TH STREET  
STEAMBOAT SPRINGS, COLORADO  
A TENANT FINISH FOR:  
CANNASOLUTIONS

### ISSUE DATES

REVIEW SET  
01 . 22 . 21  
DESIGN  
DEVELOPMENT  
02 . 09 . 21  
02 . 11 . 21  
DEVELOPMENT  
PERMIT  
03 . 02 . 21

DRAWN BY: SRB  
REVIEWED BY: JEM  
PROJECT # 20162

COVER SHEET

C-0

SHEET 1 of 10



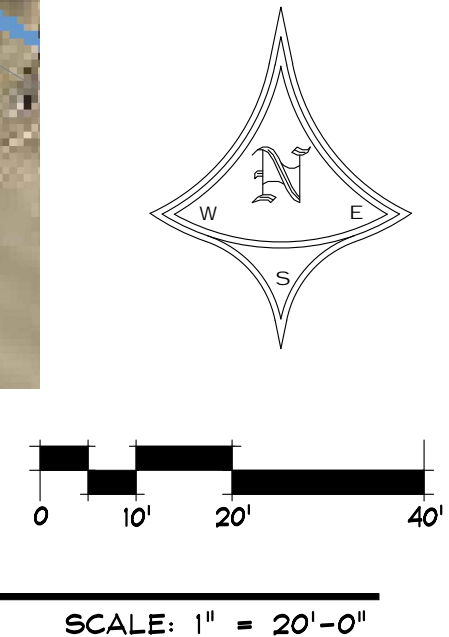
NOTE: HATCHED AREA REPRESENTS EXISTING BUILDING LOCATED IN SETBACKS TO REQUIRE LEGAL NONCONFORMING REGISTRATION

EXISTING BUILDING TO BE RENOVATED

ENTIRE PARCEL: 31,363 SQ. FT.

EXISTING ADJACENT BUILDINGS TO REMAIN

1 EXISTING SITE PLAN  
NOT A CERTIFIED PLAT, BASED ON CITY OF STEAMBOAT SPRINGS GIS MAP



NOT FOR CONSTRUCTION

**SEAD**  
 STEAMBOAT ENGINEERING AND DESIGN, INC.  
 2740 Acre Lane Suite E, Steamboat Springs, CO 80487  
 Phone: 970.871.9101 Fax: 970.871.9089  
 E-mail: Jake@seadinc.com

CANNA SOLUTIONS TENANT FINISH  
 1420 13TH STREET  
 STEAMBOAT SPRINGS, COLORADO  
 A TENANT FINISH FOR:  
 CANNA SOLUTIONS

ISSUE DATES

REVIEW SET	01 . 22 . 21
DESIGN DEVELOPMENT	02 . 09 . 21
DEVELOPMENT PERMIT	02 . 11 . 21
	03 . 02 . 21

DRAWN BY: GRB  
 REVIEWED BY: JEM  
 PROJECT # 20162

EXISTING SITE PLAN  
**C-1**  
 SHEET 2 of 10

**LEGEND:**

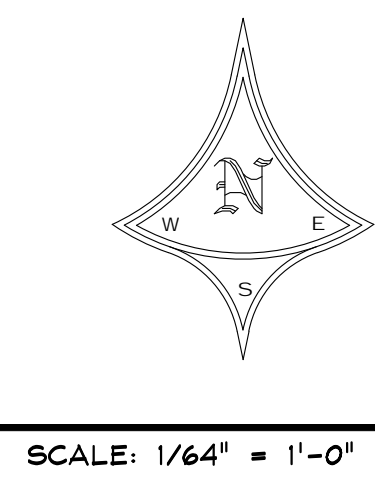
**Steamboat Springs**

Addresses  
 Fire Hydrants  
 Parcels  
 Lots  
 Zoning  
 Industrial  
 Mobile Home  
 Open Space and Recreation

NOTE: ALL ADJACENT PROPERTIES ARE INDUSTRIAL ZONED



1 EXISTING AREA MAP  
 NOT A CERTIFIED PLAT, BASED ON CITY OF STEAMBOAT SPRINGS GIS MAP



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 STEAMBOAT ENGINEERING AND DESIGN, INC.  
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 Phone: 970. 871 . 9101 • Fax: 970. 871 . 9089  
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CANNA SOLUTIONS TENANT FINISH  
 1420 13TH STREET  
 STEAMBOAT SPRINGS, COLORADO  
 A TENANT FINISH FOR:  
 CANNA SOLUTIONS

**ISSUE DATES**

REVIEW SET	01 . 22 . 21
DESIGN DEVELOPMENT	02 . 09 . 21
DEVELOPMENT PERMIT	02 . 11 . 21
DEVELOPMENT PERMIT	03 . 02 . 21

DRAWN BY: GRB  
 REVIEWED BY: JEM  
 PROJECT # 20162

EXISTING AREA MAP  
**C-1.1**  
 SHEET 3 of 10

**LEGAL DESCRIPTION**  
 LOTS 25-28 INC BLK 7 MILLER-FRAZIER  
 ADD TO SS E'LY 50FT OF LOT 29 BLK 7  
 MILLER-FRAZIER ADD TO SS

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 CONSTRUCTION

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 1420 13TH STREET  
 STEAMBOAT SPRINGS, COLORADO  
 A TENANT FINISH FOR:  
 CANNA SOLUTIONS

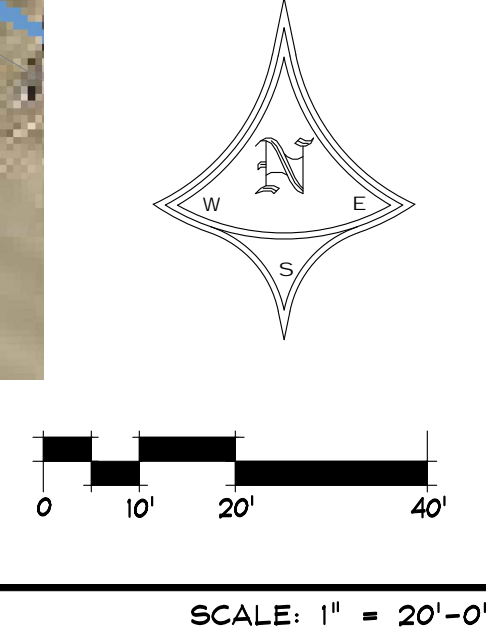
ISSUE DATES

REVIEW SET	01 . 22 . 21
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DEVELOPMENT PERMIT	02 . 11 . 21
	03 . 02 . 21

DRAWN BY: GRB  
 REVIEWED BY: JEM  
 PROJECT # 20162  
 PROPOSED SITE PLAN & CODE STUDY

**C-2**  
 SHEET 4 of 10

**1 PROPOSED SITE PLAN**  
 NOT A CERTIFIED PLAT, BASED ON CITY OF STEAMBOAT SPRINGS GIS MAP



# ARCHITECTURAL NOTES

## GENERAL

All work must comply with state and local codes, based on the City of Steamboat Springs Community Development Code, the 2018 International Building Code, the International Plumbing Code, the International Mechanical Code, the Energy Conservation Code and the International Electric code. The contractor shall comply with all laws, ordinances, rules and regulations of any public authority bearing on the performance of the work, including O.S.H.A.

Location of the utilities (electrical, telephone, cable TV, gas, water, sewer) shall be verified before construction begins.

All on site construction safety and construction means and methods are the responsibility of the contractor. There is no implication of the construction safety requirements or building methods contained in these drawings.

Actual site conditions may require that some of the components of the work should be done differently than shown on these drawings. All dimensions and conditions to be verified by the contractor prior to construction. Verify changes with the designer and engineer.

These drawings represent a simplified builder's set of plans. Additional detailing may be required of the engineer during construction.

Any variation which requires a physical change from these plans must be brought to the attention of the designer and engineer in order to maintain the design intent of the project.

All work connected with this project by any trade involved shall be of the highest quality attainable in accordance with the professional practice of the trade.

## DIMENSIONS

All interior and exterior dimensions are to face of stud or face of concrete, U.N.O.

All exterior walls are nominal 2x6 stud construction, U.N.O. All interior walls are nominal 2x4 stud construction, U.N.O.

Do not scale drawings.

The water closet stool shall be located in a clear space of not less than 30" in width. The clear space in front of the water closet stool shall be not less than 21".

Minimum clear ceiling height is 7'-6" for habitable space & hallways & 6'-8" for bathrooms, laundry rooms & stairs. Exceptions apply for sloped ceilings and basements per IBC 1003.2

If any discrepancies are found in these drawings notify engineer and/or designer immediately.

## MECHANICAL/ENERGY SYSTEMS:

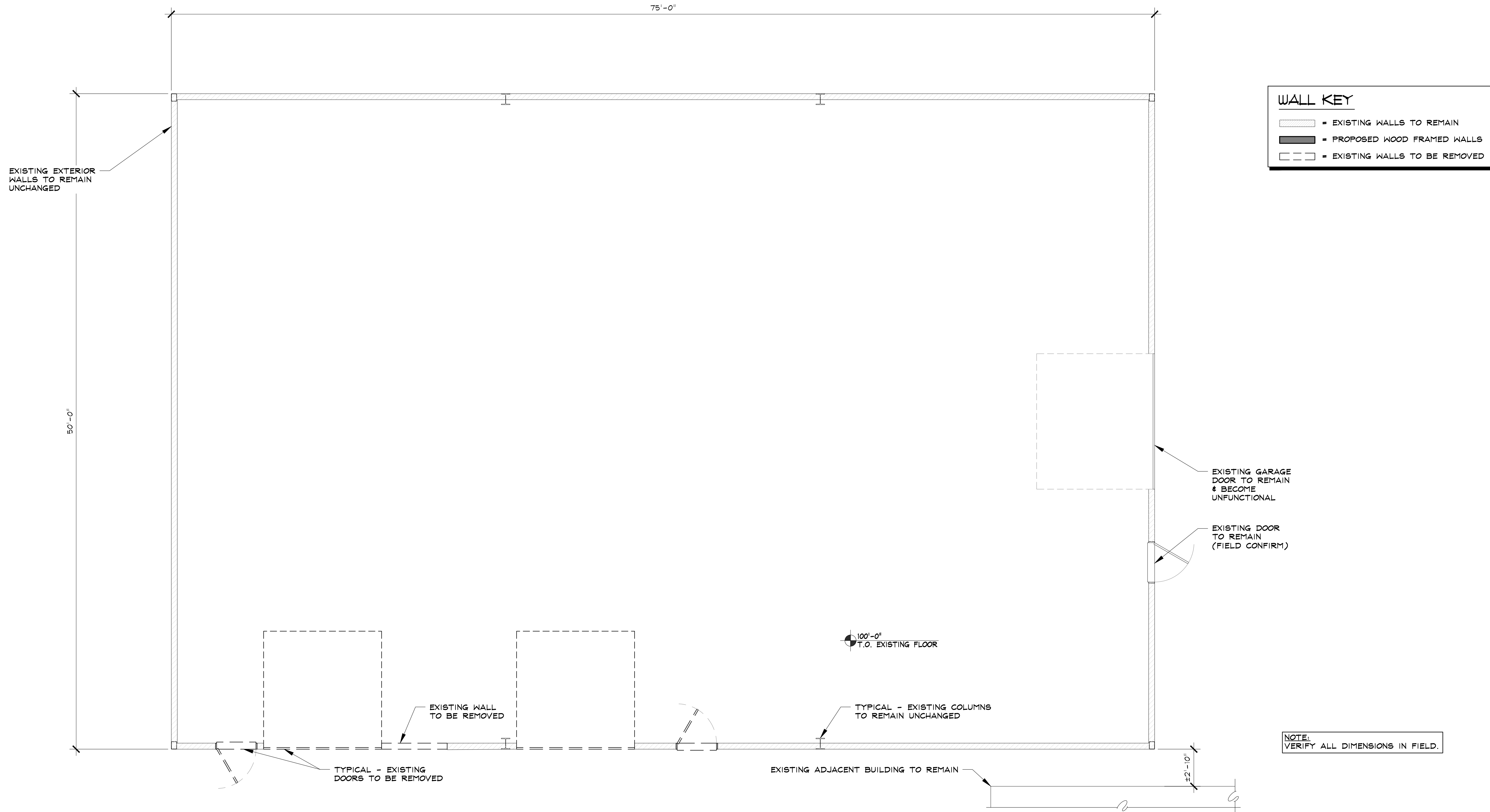
Heating and Cooling equipment appliances shall be installed per manufacturers instructions and in accordance with the IBC Chapter 28.

Meter location must be approved by an Atmos Energy Corporation employee during a mandatory site visit to be scheduled after foundation is in place. Meters will not be allowed under a shedding roofline or where overhanging snow is a danger to the meter set.

The building or dwelling unit shall be tested and verified in accordance with the IECC.

Heating load calculations and equipment sizing shall be submitted for review and approval when applying for a mechanical permit. Do not install or inspect mechanical equipment or HVAC until submitted to RCRBD and approved.

Lighting shall be provided per IBC section 1205 and ventilation shall be provided per IBC section 1203.5



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 1420 13TH STREET  
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 A TENANT FINISH FOR:  
 CANNASOLUTIONS

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DRAWN BY: SRB  
 REVIEWED BY: JEM  
 PROJECT # 20162

EXISTING/DEMO FLOOR PLAN & NOTES

A-1  
 SHEET 5 of 10

1 EXISTING FLOOR PLAN / DEMOLITION PLAN

3750 SQ. FT EXISTING TO REMAIN

SCALE: 1/4" = 1'-0"

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CANNASOLUTIONS TENANT FINISH  
1420 13TH STREET  
STEAMBOAT SPRINGS, COLORADO  
A TENANT FINISH FOR:  
CANNASOLUTIONS

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DRAWN BY: SRB  
REVIEWED BY: JEM  
PROJECT # 20162

PROPOSED FLOOR PLAN

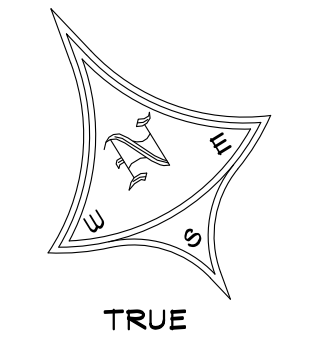
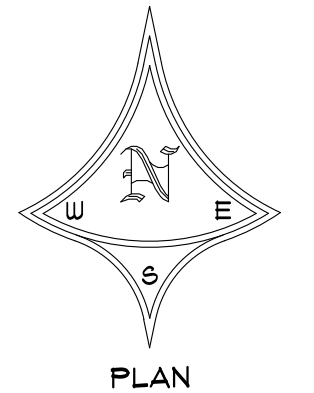
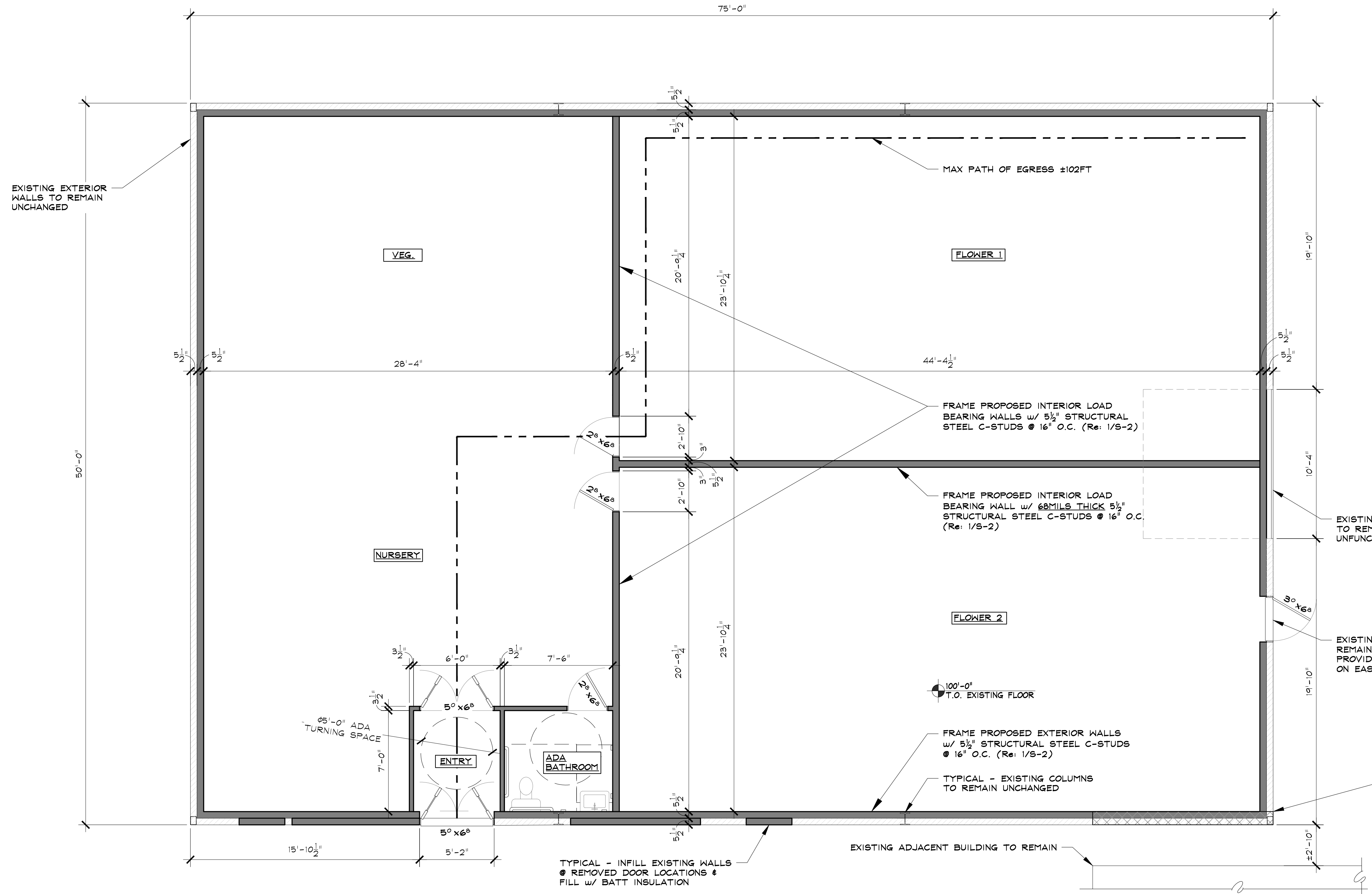
A-2

SHEET 6 of 10

WALL KEY	
	EXISTING WALLS TO REMAIN
	PROPOSED WOOD FRAMED WALLS
	EXISTING WALLS TO BE REMOVED

GA FILE NO. WP 1522	GENERIC	2 HOUR FIRE	55 to 59 STC SOUND
GYPSUM WALLBOARD, STEEL STUDS			
Base layer 1/2" type X gypsum wallboard or gypsum veneer base applied parallel or at right angles to each side of 3/4" steel studs 24" o.c. with 1" Type S drywall screws 24" o.c. Face layer 5/8" type X gypsum wallboard or gypsum veneer base applied parallel or at right angles to each side with 1 1/4" Type S drywall screws 12" o.c. Joints staggered 24" each layer and side. Sound tested with 3 1/2" glass fiber friction fit in stud space. (NLB)			
Thickness:	6 1/4"	Approx. Weight: 12 psf	
Fire Test:	See WP 1548 (WHI-495-0236, 1-30-80)	Sound Test: NRCC 618-NV, 2-3-81	

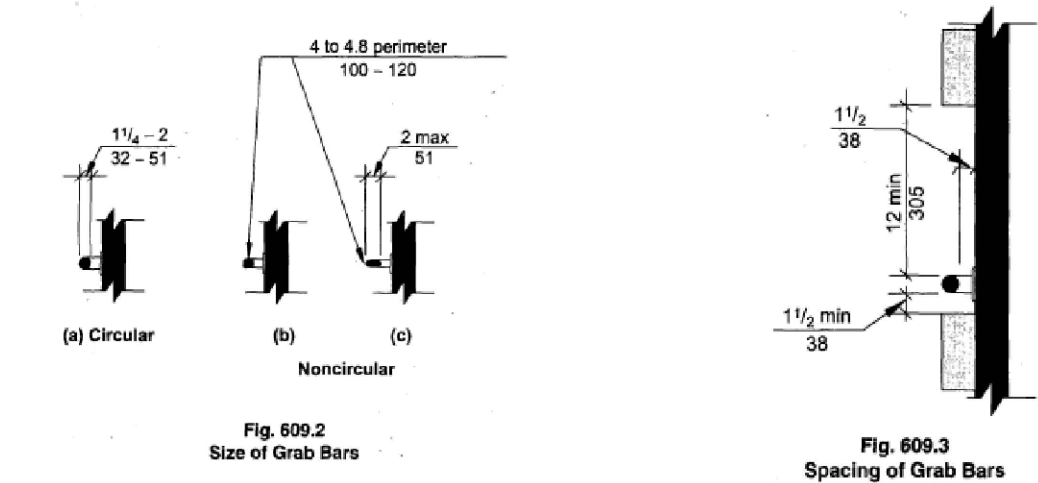
GA FILE NO. CM 2453	GENERIC	2 HOUR FIRE
GYPSUM WALLBOARD, STEEL COLUMN COVER		
Base layer 1/2" type X gypsum wallboard applied around TS4x4x0.188 tube steel column and held in place with paper masking tape. Second layer 5/8" type X gypsum wallboard applied around column and held in place with paper masking tape. Third layer 5/8" type X gypsum wallboard applied around column and held in place with paper masking tape. Face layer either 24 ga. galvanized steel column cover consisting of two L-shaped sections with snap-lock sheet steel joints or 22 ga. galvanized steel column covers consisting of two L-shaped sections with lap joints fastened with No. 8x1/2" sheet metal screws 12" o.c. Horizontal joints staggered 24" between layers.		
Fire Test:	UL NC505-(1-6), 71NK2639, 12-23-75; UL NC505, 77NK1518; UL NC505, 3-6-06; UL Design X526	



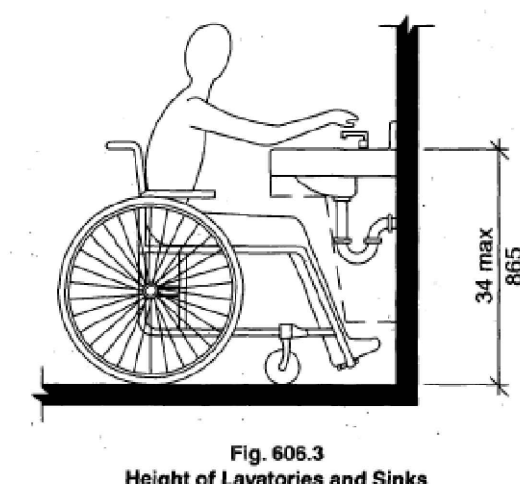
1 PROPOSED FLOOR PLAN  
3750 SQ. FT EXISTING TO REMAIN

SCALE: 1/4" = 1'-0"

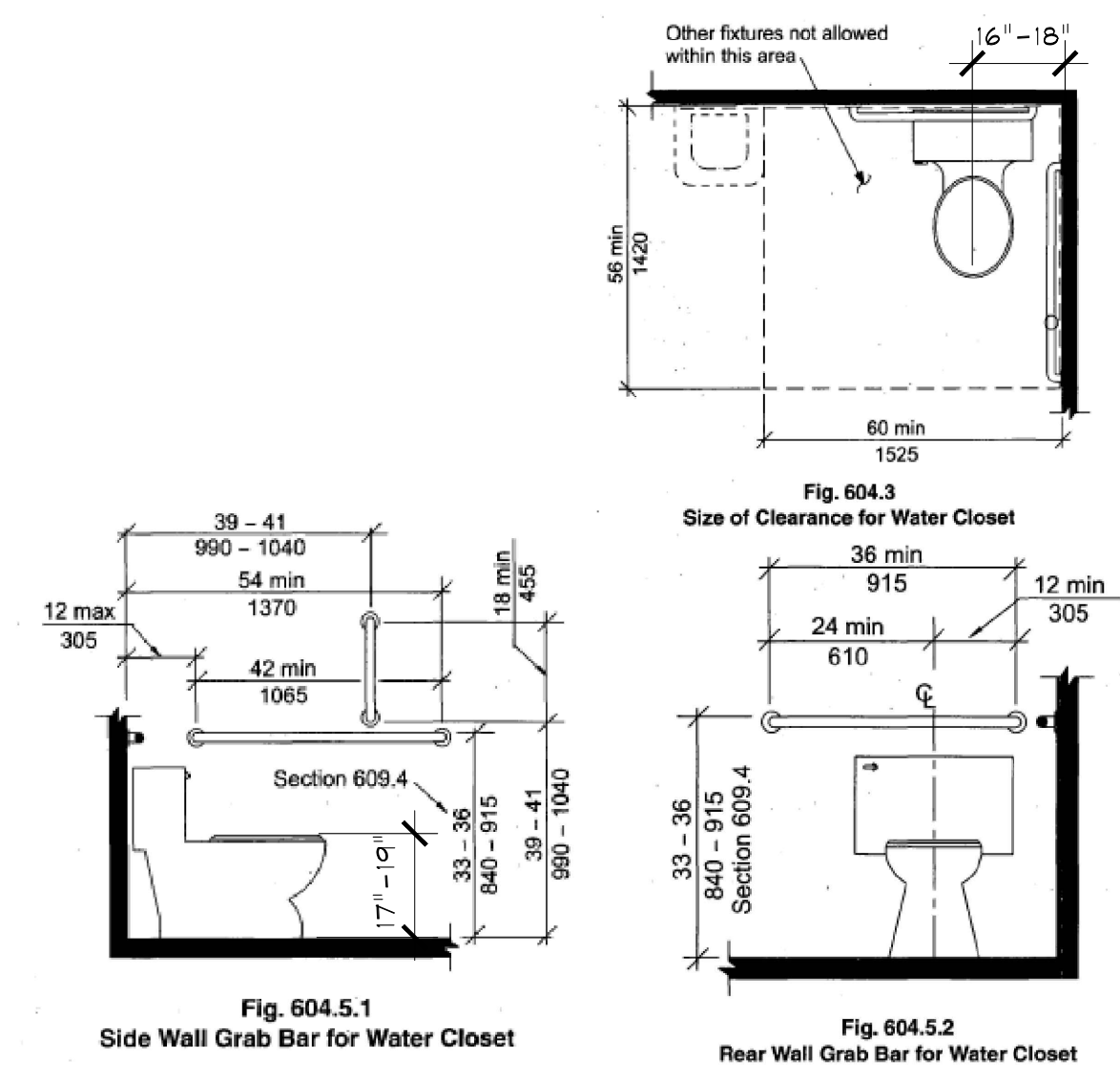
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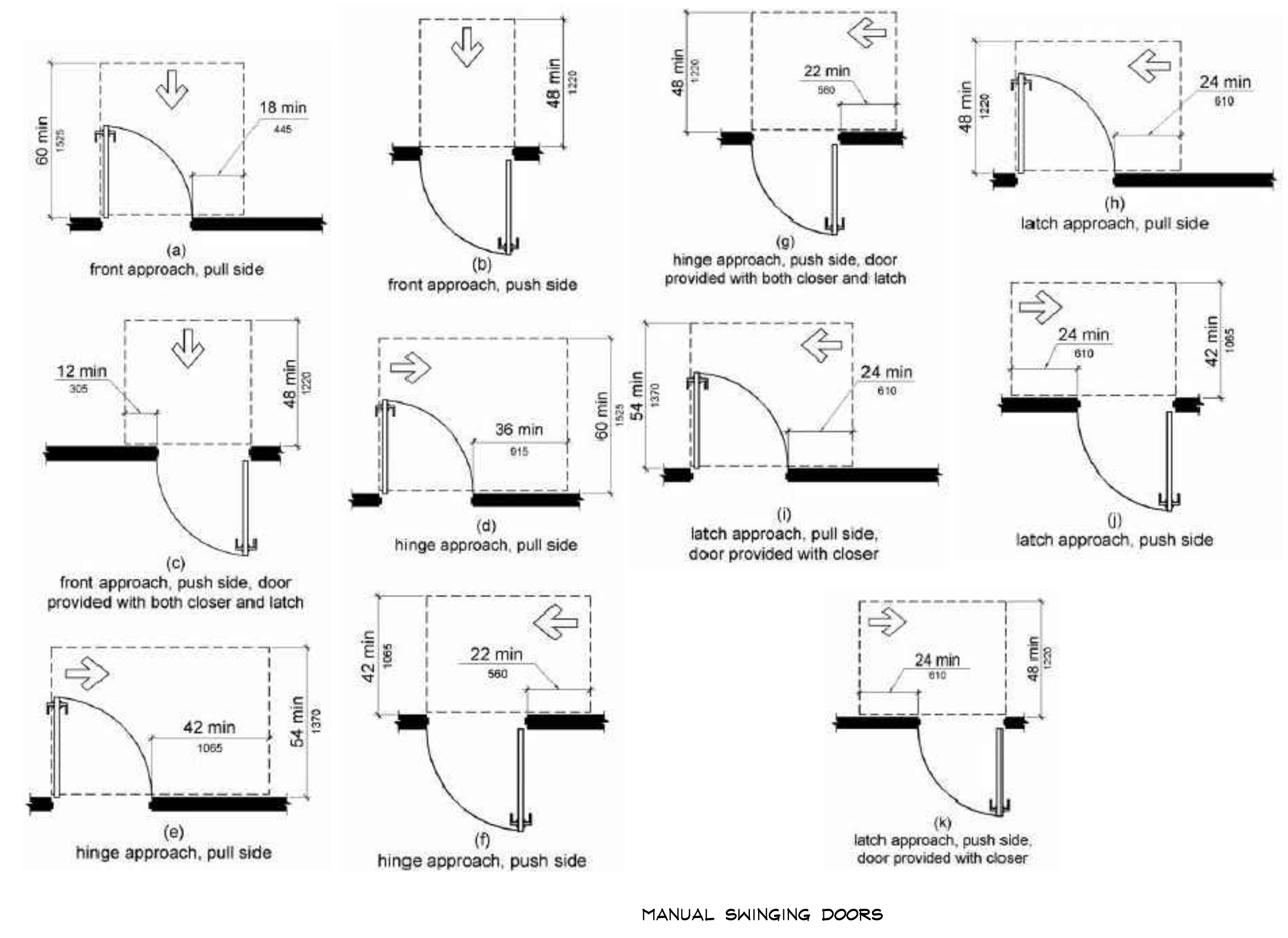
**609 GRAB BARS**  
 PER 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN  
 REFER TO CLEAR FLOOR SPACE STANDARDS  
 REFER TO KNEE & TOE CLEARANCE STANDARDS  
 SCALE: NTS



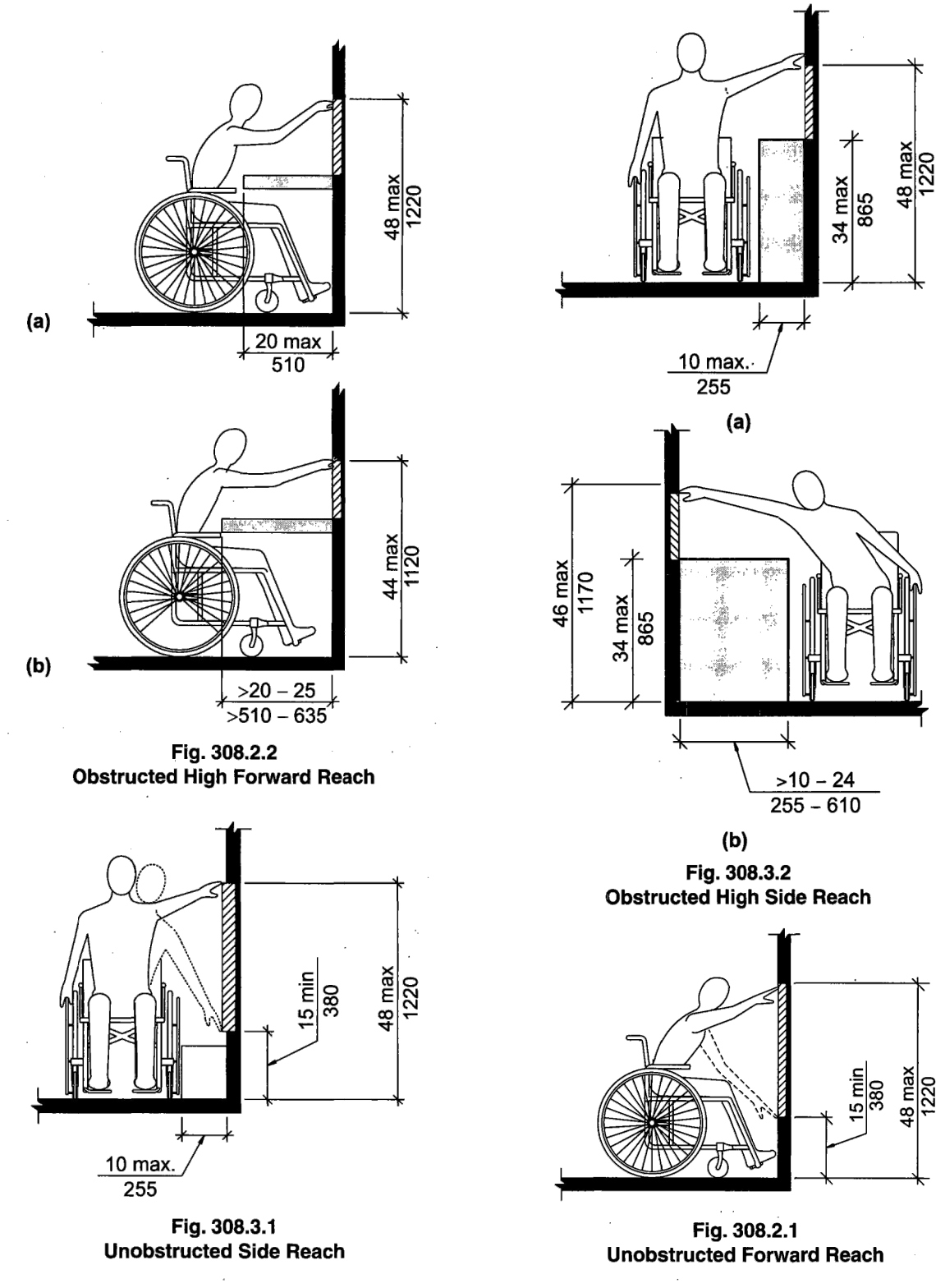
**606 PUBLIC LAVATORY**  
 PER 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN  
 REFER TO CLEAR FLOOR SPACE STANDARDS  
 REFER TO KNEE & TOE CLEARANCE STANDARDS  
 NOTE: A PARALLEL APPROACH IS PERMITTED FOR KITCHEN SINKS WHERE A COOK TOP OR RANGE IS NOT PROVIDED  
 SCALE: NTS



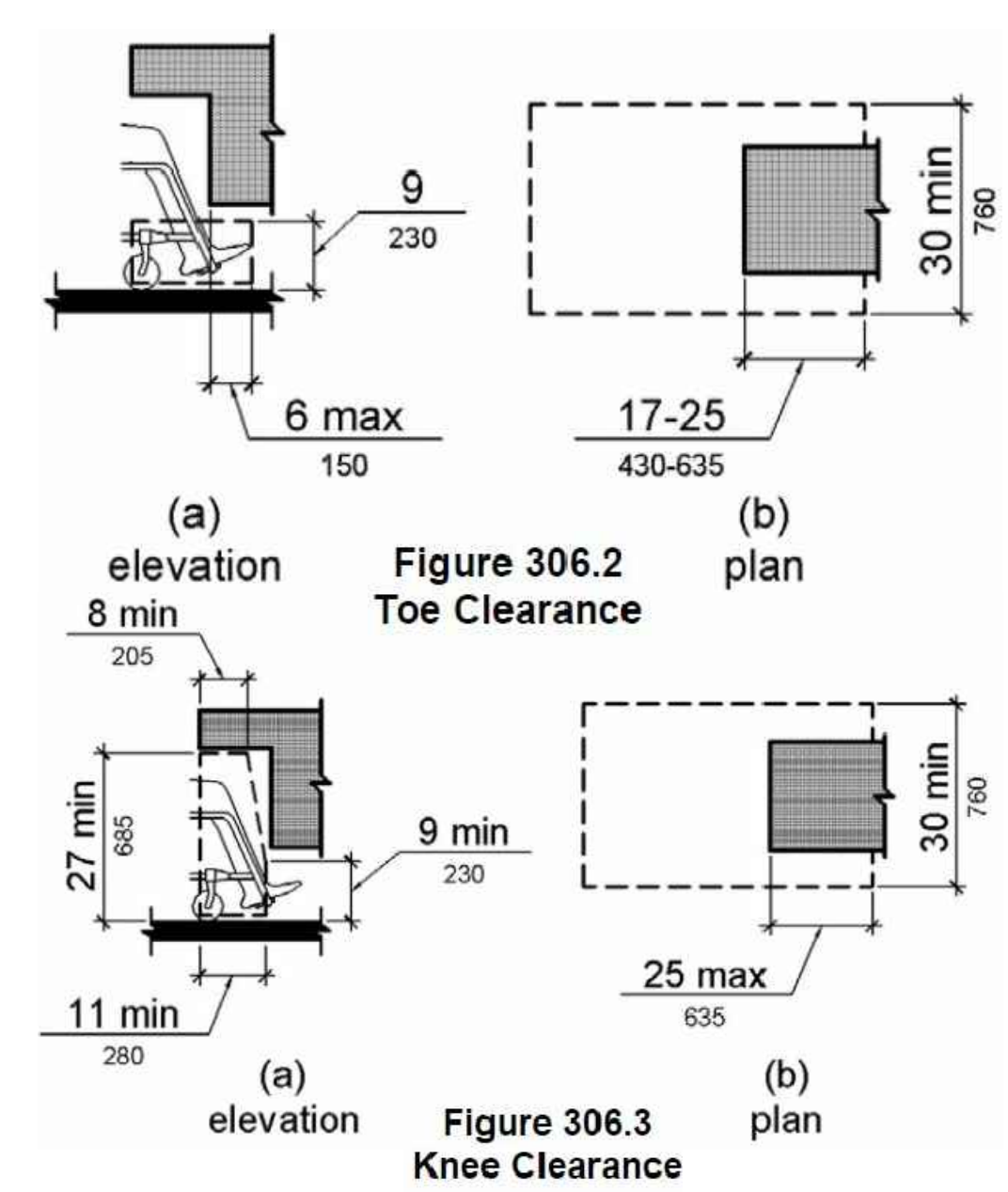
**604 PUBLIC WATER CLOSET STANDARDS**  
 PER 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN  
 SCALE: NTS



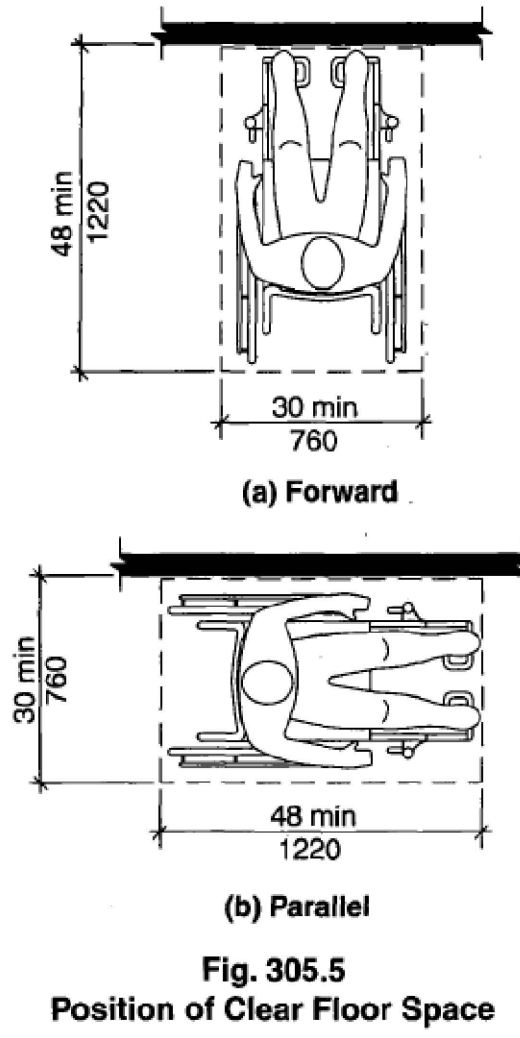
**404 TYPICAL ADA DOOR SWINGS**  
 PER 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN  
 REFER TO CLEAR FLOOR SPACE STANDARDS  
 REFER TO KNEE & TOE CLEARANCE STANDARDS  
 MIN. CLEAR WIDTH OF DOOR OPENING IS 32"  
 DOORS IN SERIES NEED MIN. 48" CLEAR PLUS WIDTH OF DOORS SWINGING INTO SPACE  
 SCALE: N.T.S.



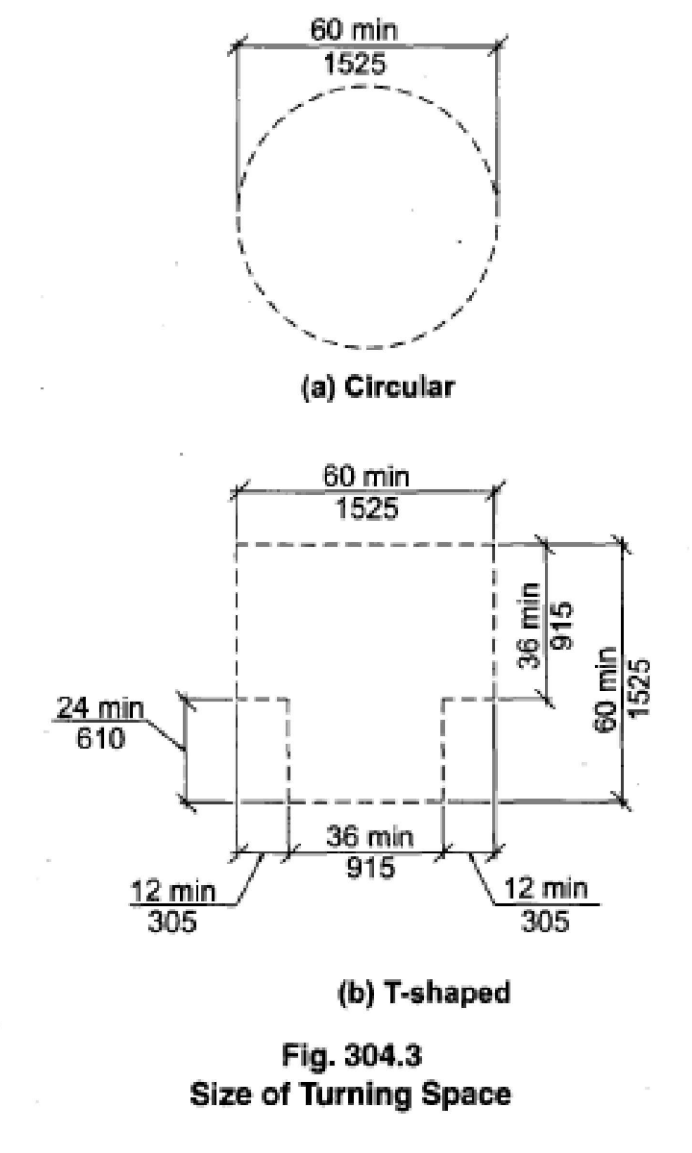
**308 REACH RANGES**  
 PER 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN  
 SCALE: NTS



**306 KNEE & TOE CLEARANCE**  
 PER 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN  
 REQUIRED WHEN SPACE BENEATH AN ELEMENT IS INCLUDED AS CLEAR FLOOR SPACE, CLEARANCE OR TURNING SPACE  
 SCALE: NTS



**305 CLEAR FLOOR SPACE**  
 PER 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN  
 SPACES SHALL BE LOCATED ON SLOPE LESS THAN 1:48  
 SCALE: NTS



**304 TURNING SPACE SPACE**  
 PER 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN  
 SPACES SHALL BE LOCATED ON SLOPE LESS THAN 1:48  
 DOORS ARE PERMITTED TO SWING INTO TURNING SPACES, U.N.O.  
 SCALE: NTS

NOT FOR CONSTRUCTION

**SEAD**  
**STEAMBOAT ENGINEERING AND DESIGN, INC.**  
 2740 Acre Lane Suite 'E' Steamboat Springs, CO 80487  
 Phone: 970.871.9101 Fax: 970.871.9089  
 E-mail: Jake@seadinc.com

**CANNASOLUTIONS TENANT FINISH**  
 1420 13TH STREET  
 STEAMBOAT SPRINGS, COLORADO  
 A TENANT FINISH FOR:  
 CANNASOLUTIONS

**ISSUE DATES**  
 REVIEW SET  
 01 . 22 . 21  
 DESIGN DEVELOPMENT  
 02 . 09 . 21  
 02 . 11 . 21  
 DEVELOPMENT PERMIT  
 03 . 02 . 21

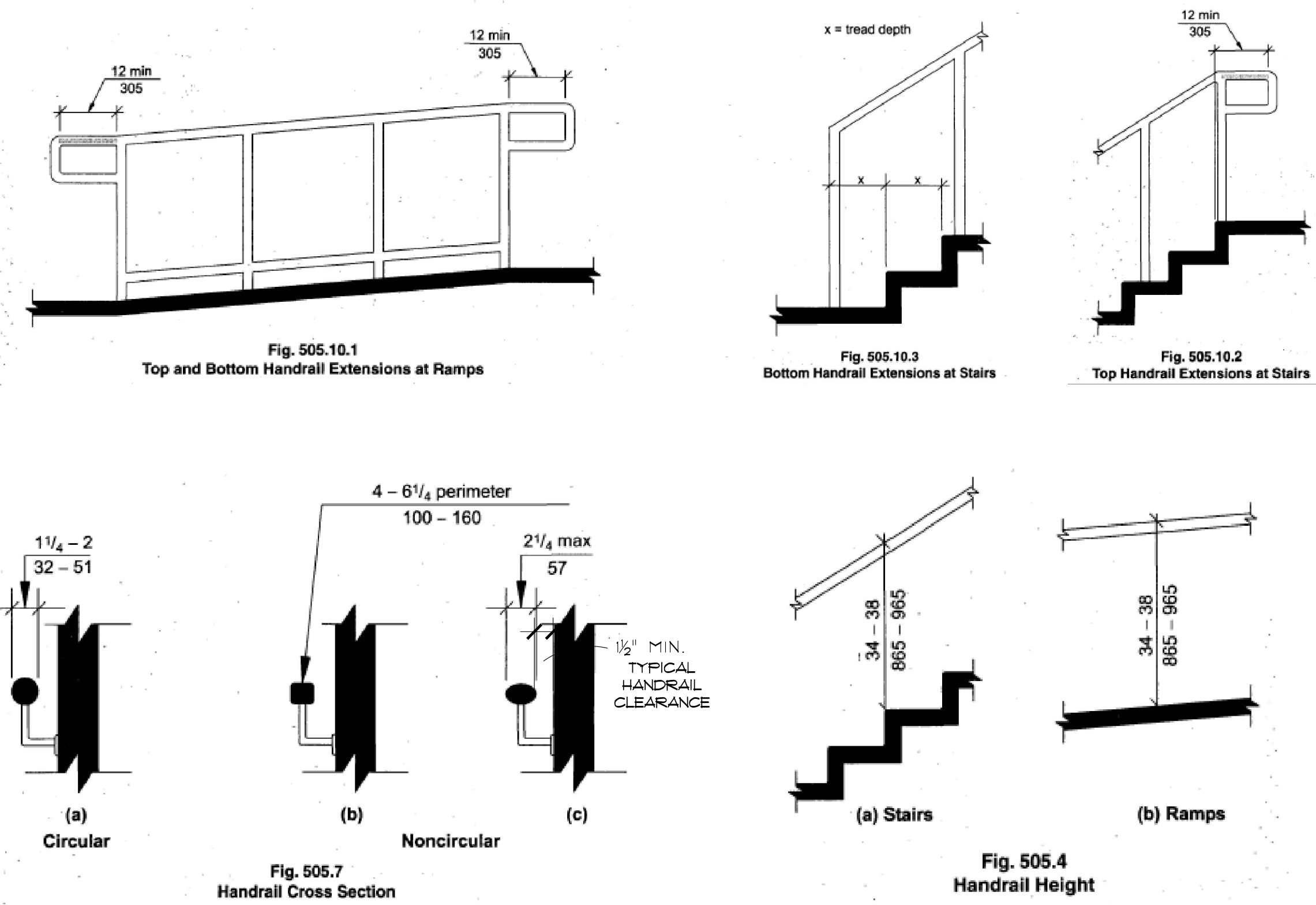
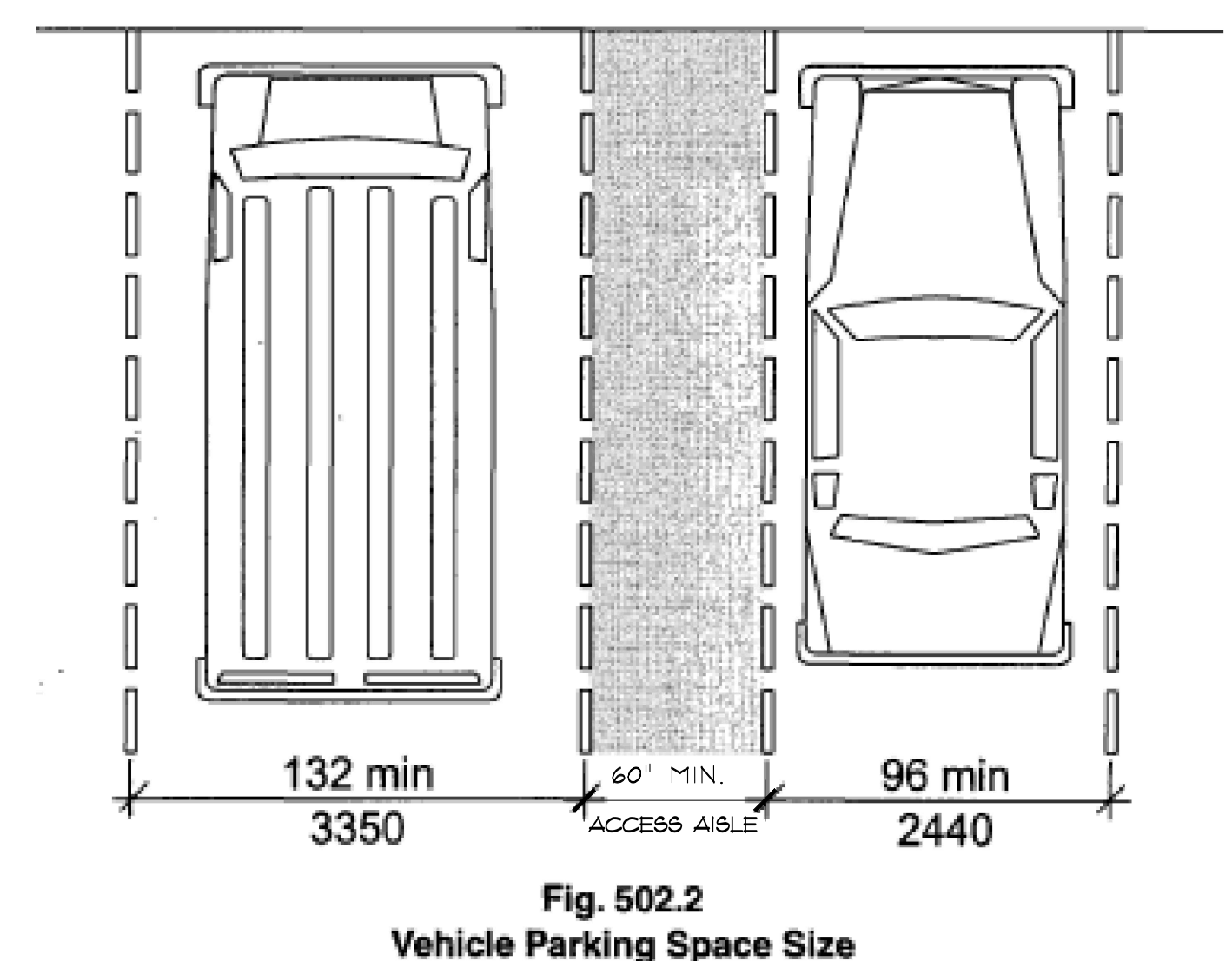
DRAWN BY: SRB  
 REVIEWED BY: JEM  
 PROJECT # 20162  
 PUBLIC ADA SPECIFICATIONS & STANDARDS

**A-4**  
 SHEET 8 of 10

**Minimum Number of Accessible Parking Spaces**  
 ADA Standards for Accessible Design 4.1.2 (5)

Total Number of Parking spaces Provided (per lot)	Total Minimum Number of Accessible Parking Spaces (60" & 96" aisles)	Van Accessible Parking Spaces with min. 96" wide access aisle	Accessible Parking Spaces with min. 60" wide access aisle
Column A			
1 to 25	1	1	0
26 to 50	2	1	1
51 to 75	3	1	2
76 to 100	4	1	3
101 to 150	5	1	4
151 to 200	6	1	5
201 to 300	7	1	6
301 to 400	8	1	7
401 to 500	9	2	7
501 to 1000	2% of total parking provided in each lot	1/8 of Column A*	7/8 of Column A**
1001 and over	20 plus 1 for each 100 over 1000	1/8 of Column A*	7/8 of Column A**

\* one out of every 8 accessible spaces \*\* 7 out of every 8 accessible parking spaces

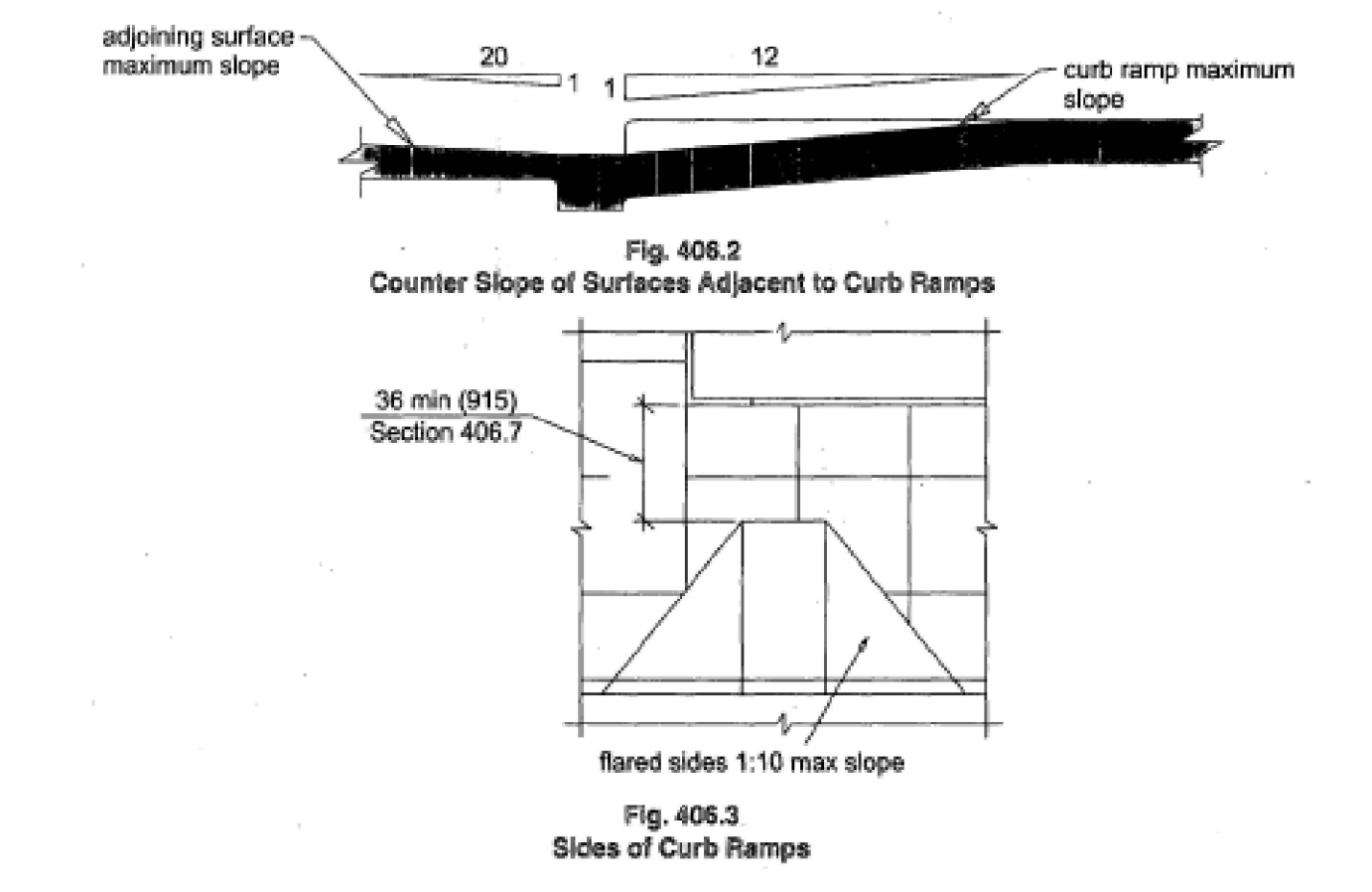
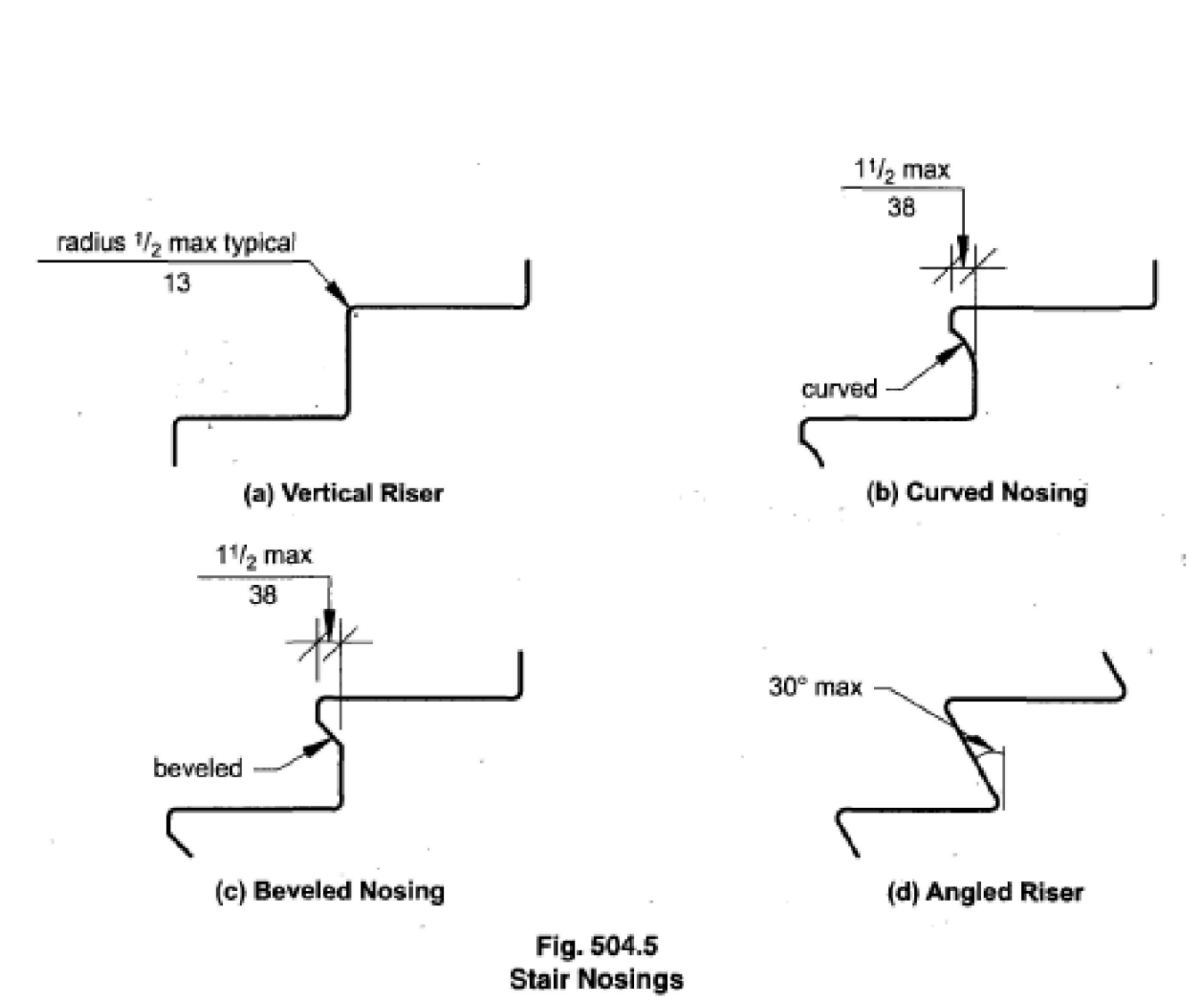


**502 PARKING SPACES**  
 PER 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN  
 ACCESSIBLE AISLES SHALL ADJOIN AN ACCESSIBLE ROUTE

SCALE: NTS

**505 HANDRAILS**  
 PER 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN  
 HANDRAILS REQUIRED ON RAMP WITH A RISE GREATER THAN 6"  
 HANDRAILS REQUIRED ON ALL ACCESSIBLE STAIRS

SCALE: NTS



**406 FLARED CURB RAMP**  
 PER 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN  
 CURB RAMP AND FLARED SIDES SHALL NOT PROJECT INTO VEHICULAR TRAFFIC, PARKING OR ACCESS AISLES

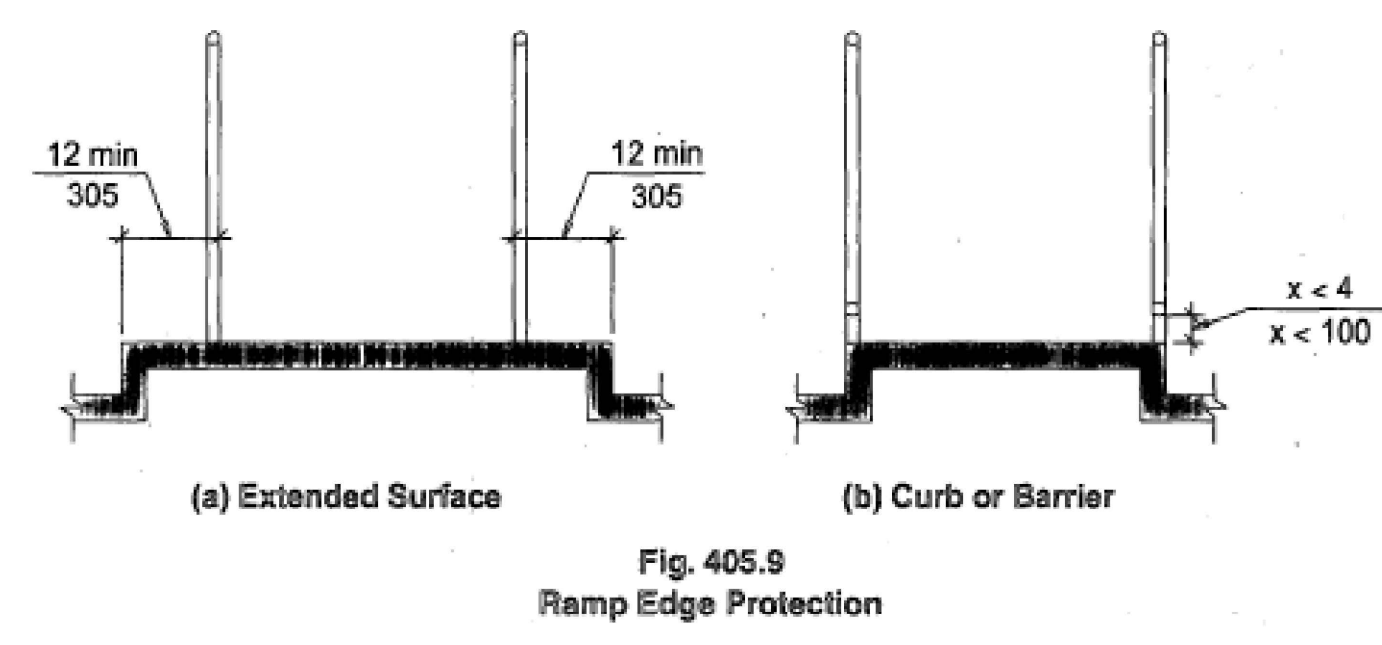
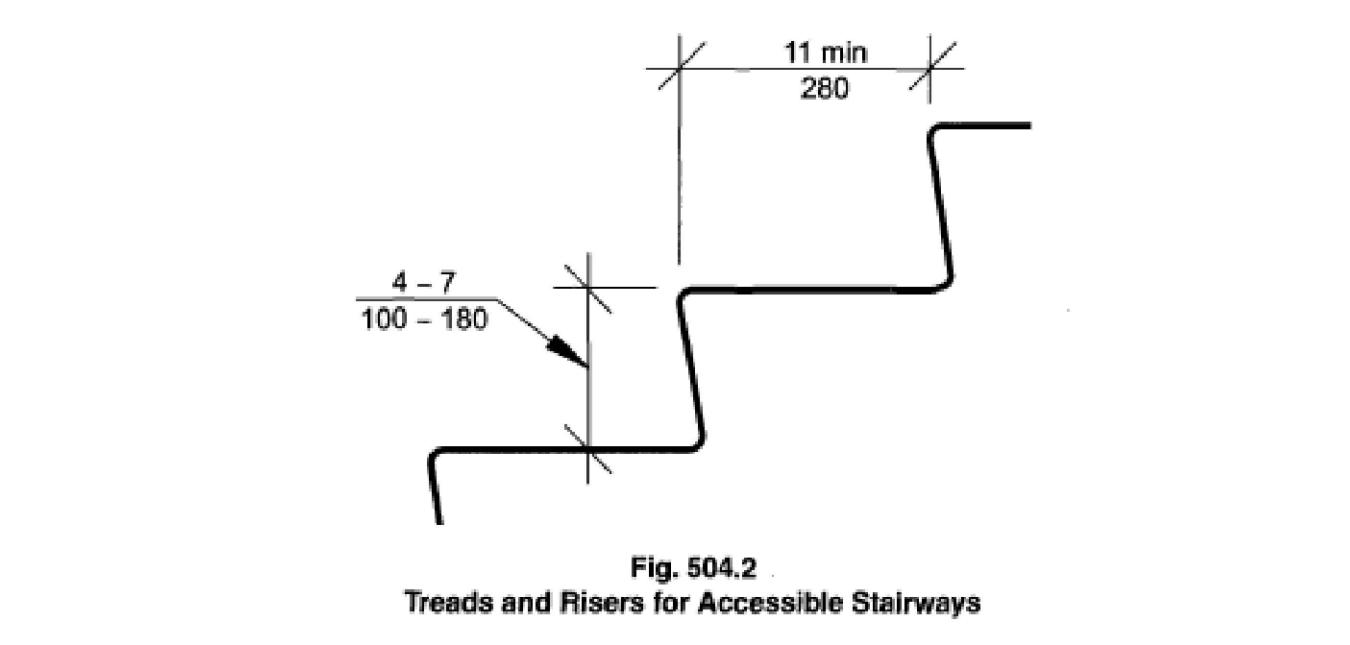
SCALE: NTS

**Table 405.2—Allowable Ramp Dimensions for Construction in Existing Sites, Buildings, and Facilities**

Slope <sup>1</sup>	Maximum Rise
Steeper than 1:10 but not steeper than 1:8	3 inches (75 mm)
Steeper than 1:12 but not steeper than 1:10	6 inches (150 mm)

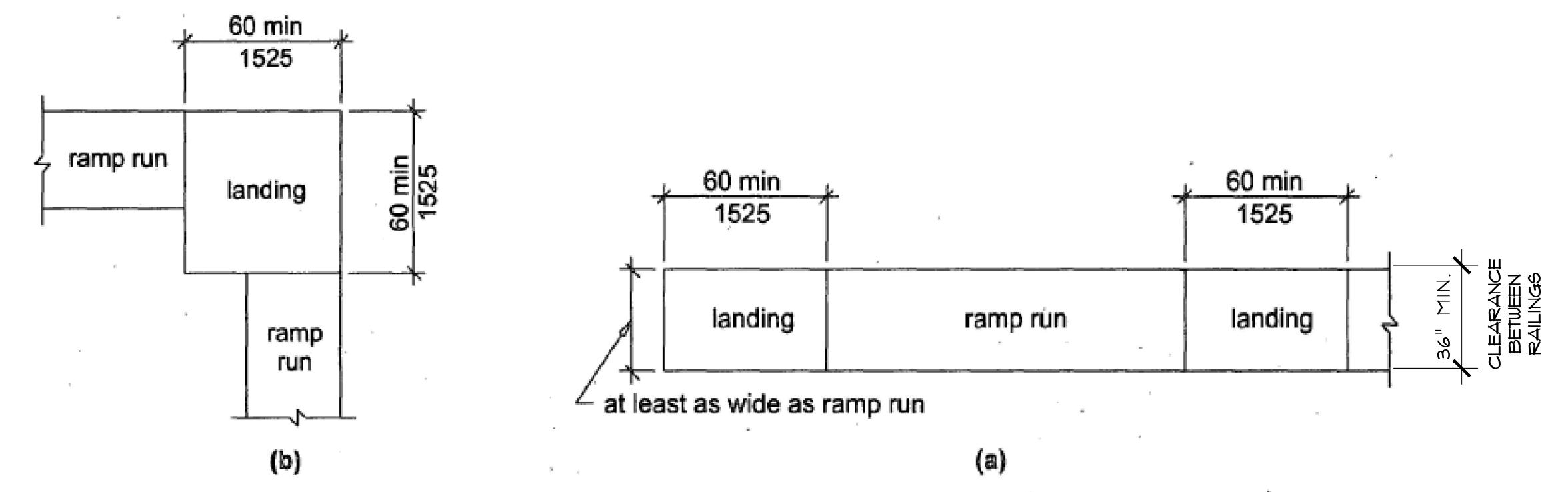
<sup>1</sup>A slope steeper than 1:8 shall not be permitted.

**RAMP SLOPE EXCEPTIONS IN EXISTING PROJECT**



**405 RAMP EDGE PROTECTION**  
 PER 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN  
 EDGE PROTECTION SHALL BE PROVIDED ON RAMP WITH A GREATER THAN 6" RISE AND WHERE THE VERTICAL DROP-OFF ON THE SIDES IS GREATER THAN 1/2" WITHIN 10" HORIZONTALLY OF THE MINIMUM LANDING AREAS. REQUIRED ON RAMP WITH A RISE GREATER THAN 6"

SCALE: NTS



**405 ACCESSIBLE RAMP**  
 PER 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN  
 RAMP RUNS SHALL NOT BE STEEPER THAN 1:12  
 RAMP RUN SHALL RISE 30" MAX. BETWEEN LANDINGS  
 CROSS SLOPE SHALL NOT BE STEEPER THAN 1:48  
 PROVIDE HANDRAILS WHERE RUN EXCEEDS 6" VERTICAL RISE

SCALE: NTS

**504 ACCESSIBLE STAIRS**  
 PER 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN  
 OPEN RISERS ARE NOT PERMITTED  
 HANDRAILS SHALL BE PROVIDED EA. SIDE  
 INTERIOR STAIRS SHALL BE LIGHTED PER 504.8

SCALE: NTS

# STRUCTURAL NOTES

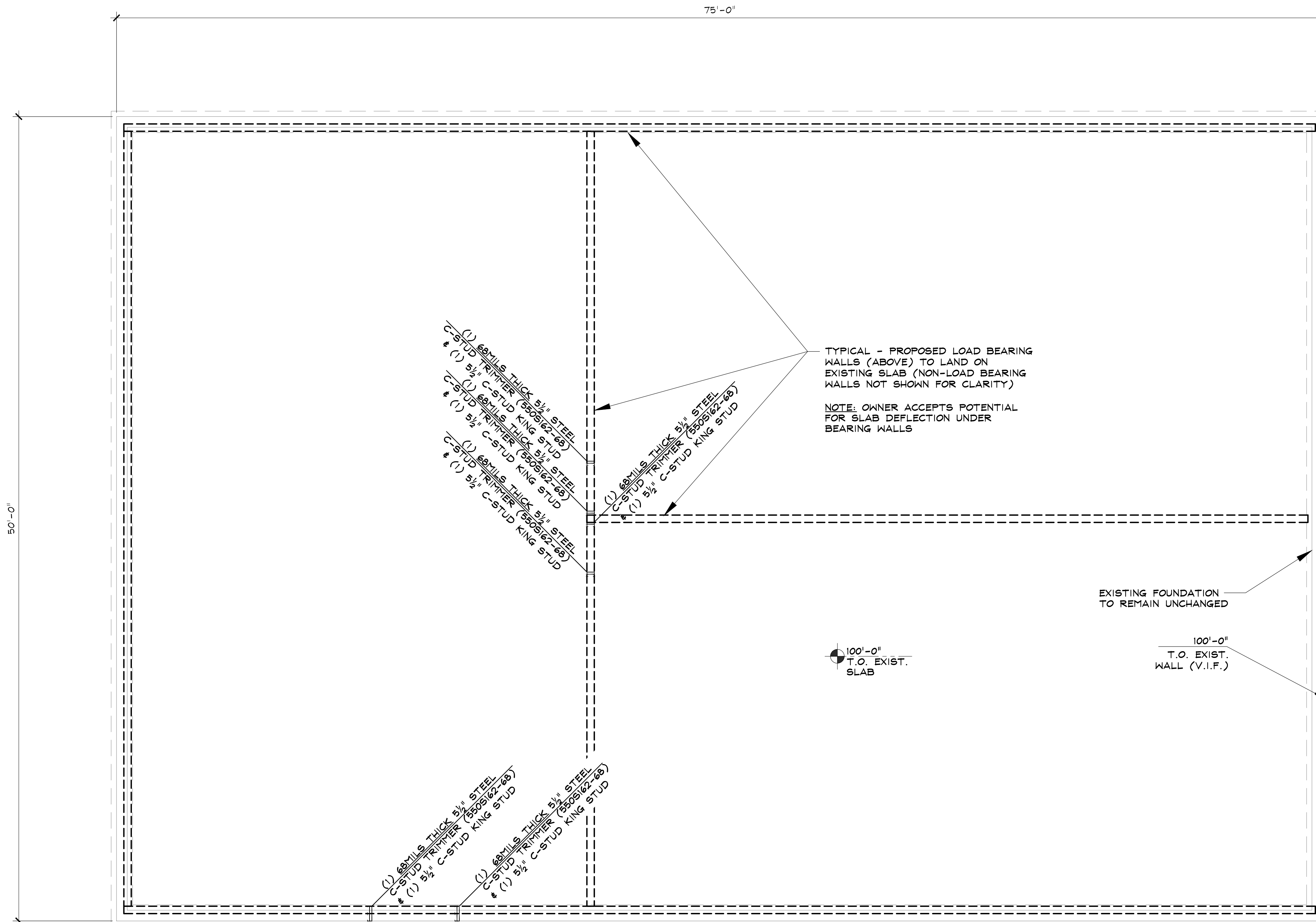
- Applicable Codes and Standards:**
- A. 2018 International Building Code (including all local adoptions)
  - B. City of Steamboat Springs Community Development Code
  - C. "Minimum Design Loads for Buildings and Other Structures" - ASCE 7-10
  - D. "Building Code Requirements for Structural Concrete" - ACI 318
  - E. "Steel Construction Manual" - AISC fourteenth edition

**Design Live Loads:**

- A. Ceiling: 20 psf

**Field Verification:**

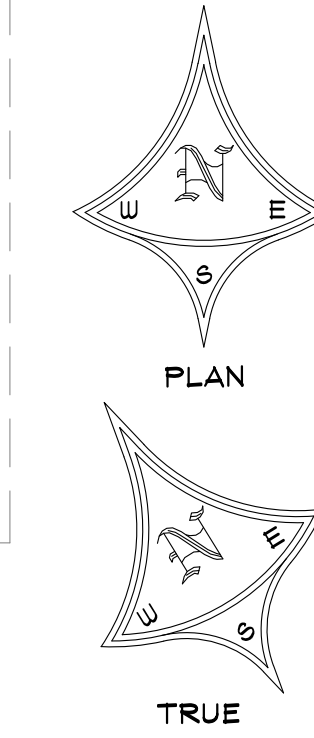
A. The contractor shall thoroughly inspect and survey the existing structure to verify dimensions, elevations, framing, etc., which may affect the work shown on the drawings and report any variations or discrepancies to the Engineer.



**1 FOUNDATION PLAN**

TYPICAL - ELEVATION @ TOP OF CONCRETE WALL INDICATED THUS: ELEV. /

TYPICAL - COLUMNS THAT BEGIN THIS LEVEL ARE INDICATED ON PLAN



NOT FOR CONSTRUCTION

**SEAD**  
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**CANNASOLUTIONS TENANT FINISH**  
1420 18TH STREET  
STEAMBOAT SPRINGS, COLORADO  
A TENANT FINISH FOR:  
CANNASOLUTIONS

**ISSUE DATES**

REVIEW SET	01 . 22 . 21
DESIGN DEVELOPMENT	02 . 09 . 21
DEVELOPMENT PERMIT	02 . 11 . 21
DEVELOPMENT PERMIT	03 . 02 . 21

DRAWN BY: SRB  
REVIEWED BY: JEM  
PROJECT # 20162

FOUNDATION PLAN & NOTES

**S-1**

SHEET 9 of 10

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1420 18TH STREET  
STEAMBOAT SPRINGS, COLORADO  
A TENANT FINISH FOR:  
CANNASOLUTIONS

ISSUE DATES

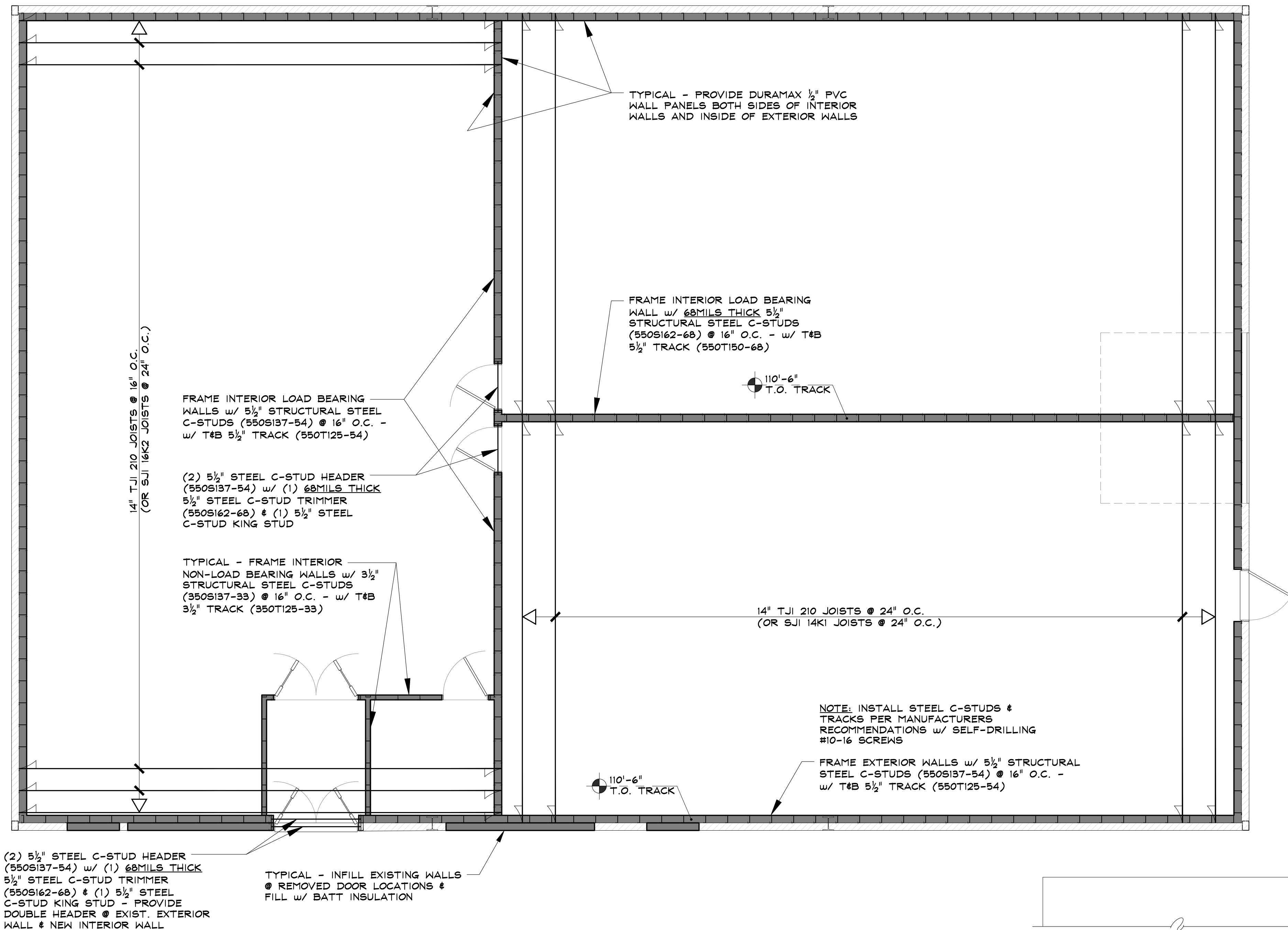
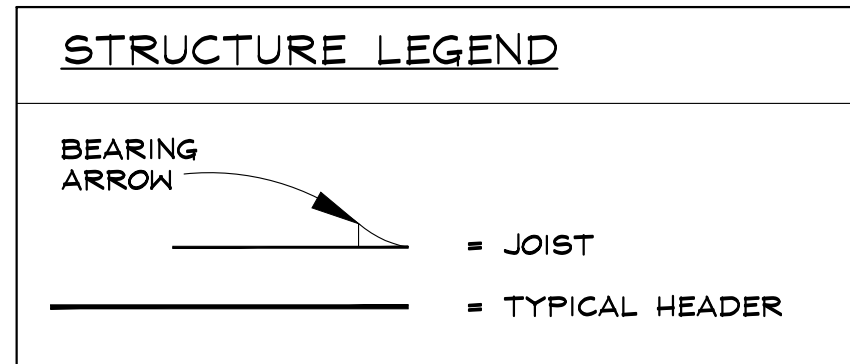
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01 . 22 . 21  
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DEVELOPMENT  
PERMIT  
03 . 02 . 21

DRAWN BY: SRB  
REVIEWED BY: JEM  
PROJECT # 20162

CEILING  
FRAMING PLAN

S-2

SHEET 10 of 10



1 CEILING FRAMING PLAN

SCALE: 1/4" = 1'-0"

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