

**ATTACHMENT B**

Scope in summary:

- A. Scaffolding from grade to chimney then around chimney
 - a. The Chimney is located in about the most complicated part of the roof to access without significant risk to roofing damage – so our approach is to scaffold to the work accessing from the North side of the building immediately adjacent to the chimney. See figure 1, scaffold would pass by the two roofing outlooks and tie into scaffold surrounding the chimney. Temporary protection will be installed at the current roofing surface prior to the setting of scaffold at the roof level. We intend to use a material lift on the scaffolding to take down demolished materials and take up new materials to do the work. Once the scaffold is erected, and signed off by the scaffolding company – it will be turned over to the trades for their inspection and safety signoff – for their use.
- B. Raise and support existing shroud from scaffolding and remove the skins from the shroud frame
 - a. Loosen the shroud from its supports, remove the skins from the exterior, and support the remaining frame off the scaffolding with 4x4 lumber, or removed to be secured and stored on the roof below. This will keep the boiler flue and generator exhaust fully functional though out the repair process. (we are still reviewing the opportunity to remove the shroud frame altogether and send to a shop for reskinning – then returned to site for installation)
- C. Demolish Stone from chimney
 - a. The stone, mortar, lath and tar paper will be removed from the existing framing. The stone will be removed to the ground for removal of mortar and judgment for re-use.
- D. Demolish framing and sheetrock from structural steel around chimney
 - a. The extent of the damage to the light gauge framing and shaft wall is unknown, complete removal and re-framing is being considered as part of this proposal.
- E. Remove and replace upper section of boiler flue
 - a. It is anticipated that the boiler flue assembly at the location of the fire has been damaged and would require replacement. This proposal reflects replacing the top 8 feet of flue assembly and flue cap. Further investigation will be made once the flue is accessible.
- F. Remove and replace damages sections of fire wrap at generator exhaust.
 - a. It is apparent that a portion of the emergency generator exhaust pipe fire insulation has been damaged and is in need of repair – this proposal reflects 4' of repair.
- G. Reframe shaft wall, inspections, frame new chimney cap, and install dens-glass
 - a. Once work in the shaft is complete, new framing will be installed – inspected as required by Routt County, then closed up with Dens-glass sheathing. It is our recommendation that the top of the shaft be framed closed with light gauge metal framing, cement board and flashing to create a non-combustible cap to the shaft.
- H. Install new stone
 - a. Where possible, the existing stone that has been cleaned of mortar will be used on the North and East faces of the chimney in order to attempt to re-install the chimney stone to a condition as close as possible to the original installation. All other stone will be installed from material sourced from the original pit in Montana.
- I. Re-skin the shroud, apply new horizontal metal at chimney cap and set shroud in place.
 - a. The horizontal and vertical metal membranes of the shroud suffered fire damage and as such should be replaced. These membranes will be re-installed on the frame while located at the top of the chimney – avoiding the use of a crane or other hoisting means.
- J. Clean stone and punch list
 - a. An internal punch list will be done by the trades and NEI Construction – addressed as might be needed then a formal punch list requested of Edgemont prior to turnover.
- K. Remove scaffolding and cleanup



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- a. The area immediately adjacent to the work and at the base of the scaffolding will be cleaned up and repaired as necessary as a result of the above operations. Having not been able to assess the existing conditions, a \$1,000 allowance has been included to repair landscaping as necessary. If no damage is inflicted this amount will be returned. If more landscape is required to be repaired than \$1,000 will cover, a change order will be requested.

Minor Logistics –

Elevator – While we have attempted to plan this work at this time to limit the use of the inside elevator for material and equipment, we will need it to move the workforce to the roof and back. We have not included a stair at the exterior scaffolding. Will need to develop an access protocol for workforce while in the building.

Water – Water is anticipated to be needed at the base of the scaffold set and will be taken from exterior hose bibs available

Electricity – Electricity will be needed both at the chimney and at the base of the scaffold. Extension cords will be used from the roof access hatch to the chimney, but will need to route electricity from the main electrical room to the base of the scaffold as we will need 220v power for the lift. (As planning continues, we may find a way to pull this power from a unit closer to the work).

Dumpster – A dumpster will need to be set at the parking area to the south of the building for trash and demolition material disposal. We will make an effort to gain access up the ski edge with a flatbed for this purpose, but am not counting on Steamboat approval at this time.

Storage – a couple of parking spaces will need to be made available for short term storage of material and equipment.

Parking – Presumes we can use the exterior parking lot or the inside parking structure at Edgemont.

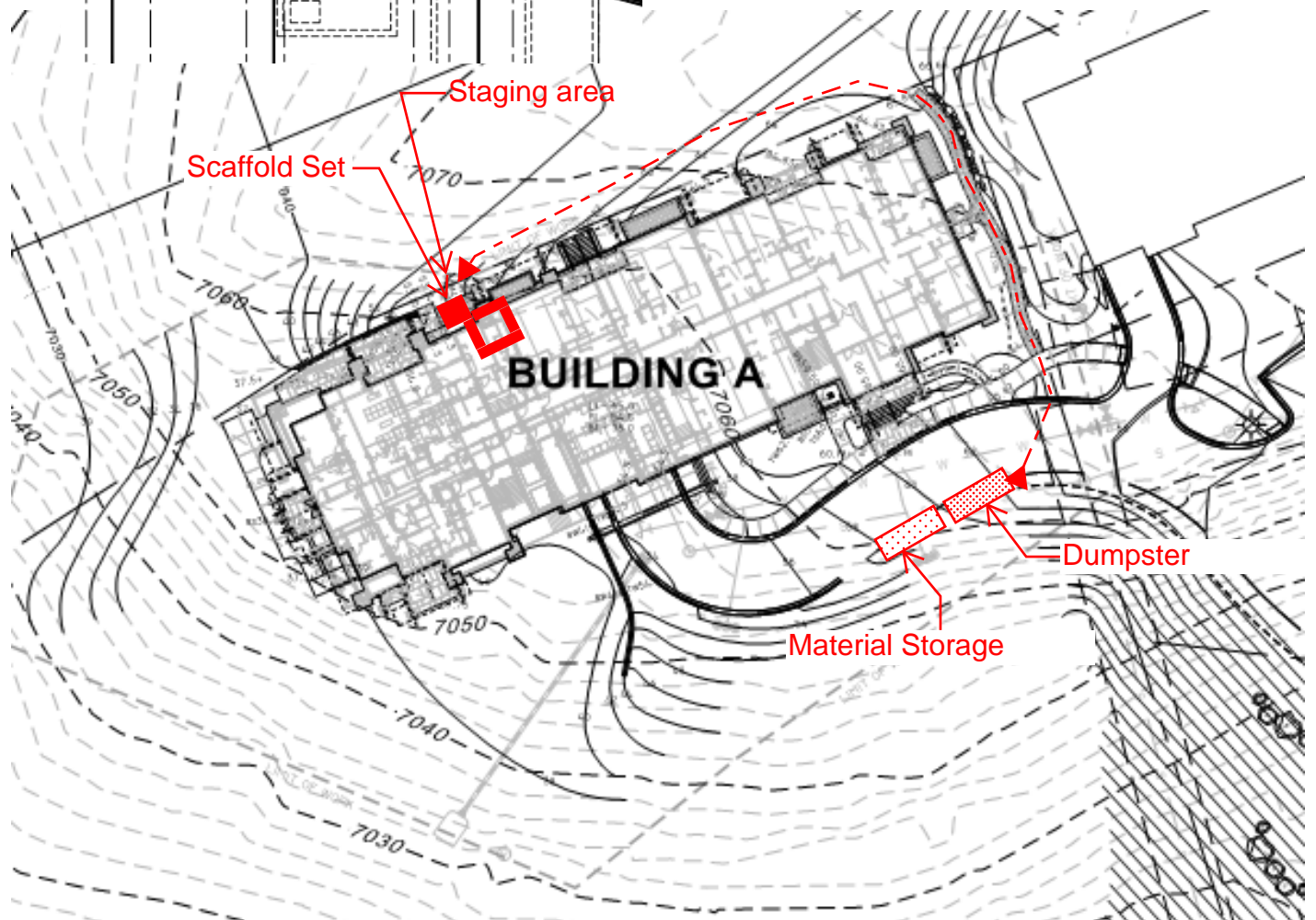
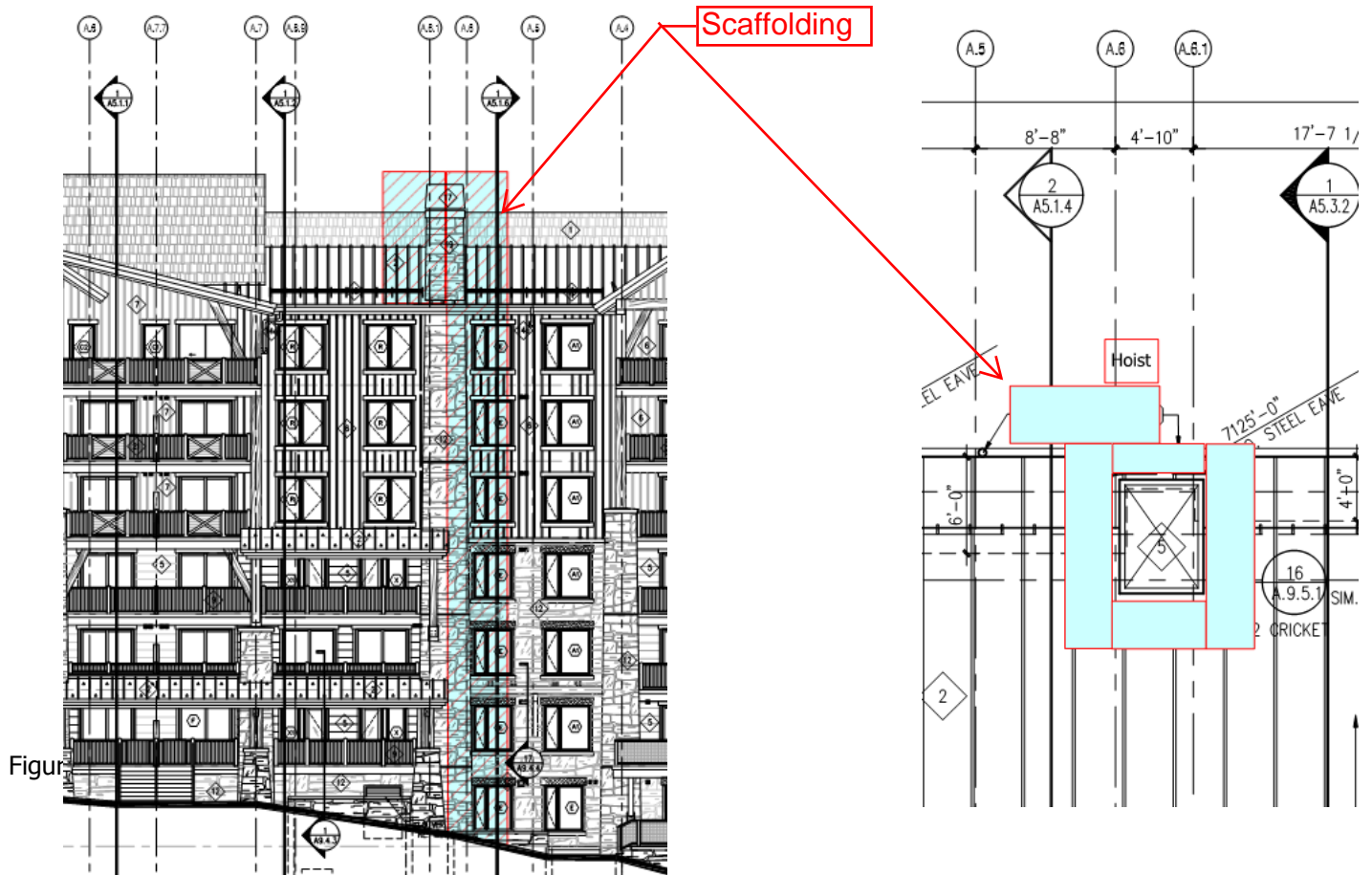
Restrooms – Presumes the use of on-site facilities, no temporary bathroom facilities are included

EXCLUSIONS:

1. Work not specifically outlined above
2. Builders Risk insurance – recommend that Edgemont Condominium Association procure this insurance. Deductible is by Owner.
3. Design work for any of the work or as may be required for permit submission.

ALLOWANCES: Allowances are applied to those scope items that cannot be accurately forecasted based on lack of access or knowledge (costs in excess of the below will be reimbursed by the Owner, remaining amounts in any allowance will be returned to Owner pending final reconciliation)

1. Boiler Flue replacement at top of shaft - \$19,868.00
2. Fire Wrap at Emergency Generator Exhaust - \$1,500.00
3. Additional drywall patching - \$1,000.00
4. General Conditions - \$9,133.32
5. Contingency - \$5,479.99



Remove and replace exterior stone and drywall framing - to match existing conditions at BOILER FLUE chimney

