
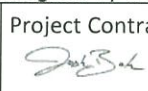


<b>Project Address:</b> (Steamboat Ski Area - On Mountain)			<b>Project Name (if applicable):</b> Green Horn Ranch Grading		
<b>Project Contractor:</b>			<b>Project Owner:</b> Alterra Mountain Company		
<b>Contractor Address:</b>			<b>Owner Address:</b>		
<b>City:</b>	<b>State:</b>	<b>Zip:</b>	<b>City:</b>	<b>State:</b>	<b>Zip:</b>
<b>Phone:</b>			<b>Phone:</b>		
<b>Email:</b>			<b>Email:</b>		
<b>Qualified Stormwater Manager:</b>			<b>Total Area of Disturbance (Acres):</b>		
<b>Phone:</b>			<b>CDPHE CDPS Certification No. (if applicable)</b>		
<b>Email:</b>			<b>Building Permit No.</b>		
<b>Project Description:</b>					

### Terms and Conditions of Permit

- 1. Applicability:** A City of Steamboat Springs Construction Stormwater Permit is required whenever construction occurs within city limits that will result in a land disturbance of greater than or equal to one acre, or that is less than one acre, but is part of a larger common plan of development or sale that would disturb, or has disturbed, one acre or more, unless the disturbed areas have been finally stabilized.
- 2. Control Measures:** All stormwater discharges must be controlled through the use of properly installed, operated and maintained control measures to prevent pollutants including trash from entering the City's drainageways and other surface waters within City limits. Inadequate or unmaintained control measures must be corrected immediately.
- 3. Compliance:** The project shall not violate City Municipal Code, City Engineering Standards, or other applicable state and federal requirements.
- 4. SWMP:** All work must conform to the approved Stormwater Management Plan (SWMP). The SWMP shall be updated as necessary to reflect current site conditions and maintained on site.
- 5. Enforcement:** Any violation in any terms or conditions of this permit or the provisions of the City of Steamboat Springs Municipal Code shall be subject to enforcement actions.
- 6. Permit Modification:** If the operator is replaced by a different contractor, City Stormwater staff must be notified and a new stormwater permit shall be completed. Transfer of property ownership of discrete subparcels within an area permitted for construction activities by an original permittee does not in and of itself constitute grounds for transfer of a City Stormwater Permit. Until a permit for construction activity is issued for the discrete subparcel, the original, primary permittee is still responsible for management of stormwater within the area encompassed by the original permit.
- 7. Permit Termination:** Before this permit can be terminated, the site must have achieved final stabilization as determined by the City Stormwater Staff, and all temporary non-biodegradable control measures no longer needed must be removed.
- 8. Right of Entry:** The City, its authorized agents and employees may enter the permitted site in order to determine compliance with the terms and conditions of this permit.
- 9. Upset:** Is an exceptional incident in which there is unintentional and temporary noncompliance with the permit terms and conditions because of factors beyond the reasonable control of the permittee. An upset does not include noncompliance to the extent caused by operational error, improperly designed treatment facilities, inadequate treatment facilities, lack of preventative maintenance, or careless or improper operation.
- 10. Notification:** The permittee shall notify the City as soon as practicable, but no later than 24 hrs after becoming aware of any significant spill, or discharge of pollutants.

By signing below Owner and Contractor certify that the information provided on this application is factual to the best of their knowledge. Owner and Contractor understand that this permit is granted under terms and conditions listed above and special provisions as noted. The Contractor agrees that all applicable City and State permits have been obtained. Permit is not valid until signed by City staff.

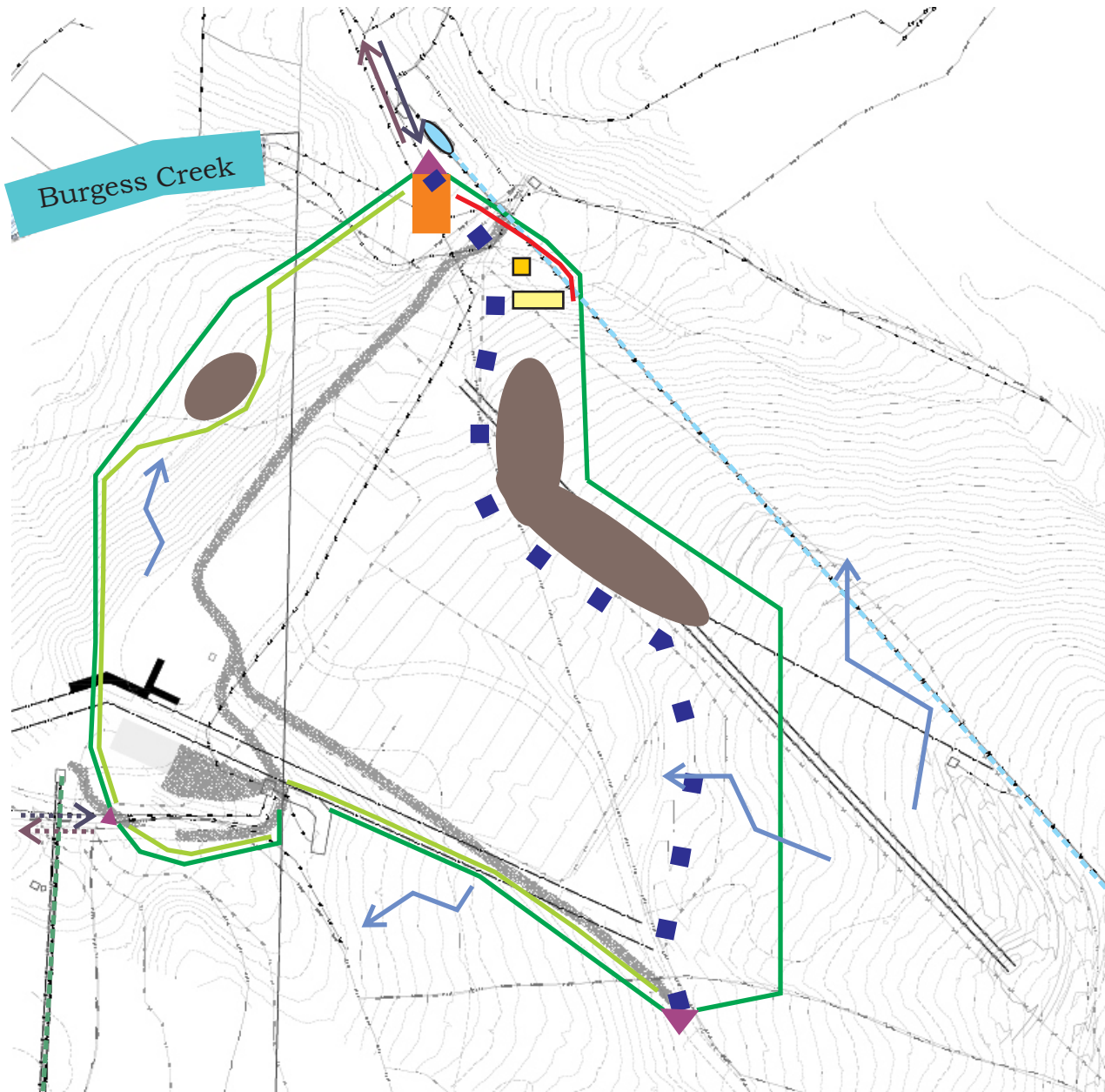
Property Owner:  Dave Hunter	Date: 4/6/21	Project Contractor:  Josh Boh	Date: 4/2/2021
--	-----------------	---	-------------------

### This section to be completed by City Stormwater Staff

Permit Type: Large Site <input type="checkbox"/>	Area	COSS Permit No.
Small Site <input type="checkbox"/>	of Disturbance:	
Review Date:		
Comments or Special Conditions:		
Permit is not valid until signed by City Stormwater Staff		
City Stormwater Staff:		Permit Issue Date:

# Construction Site Management Plan for: *Greenhorn Ranch*

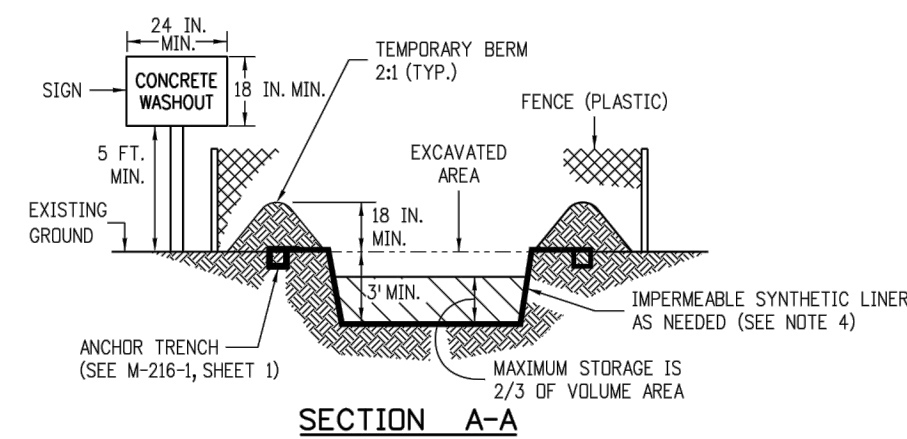
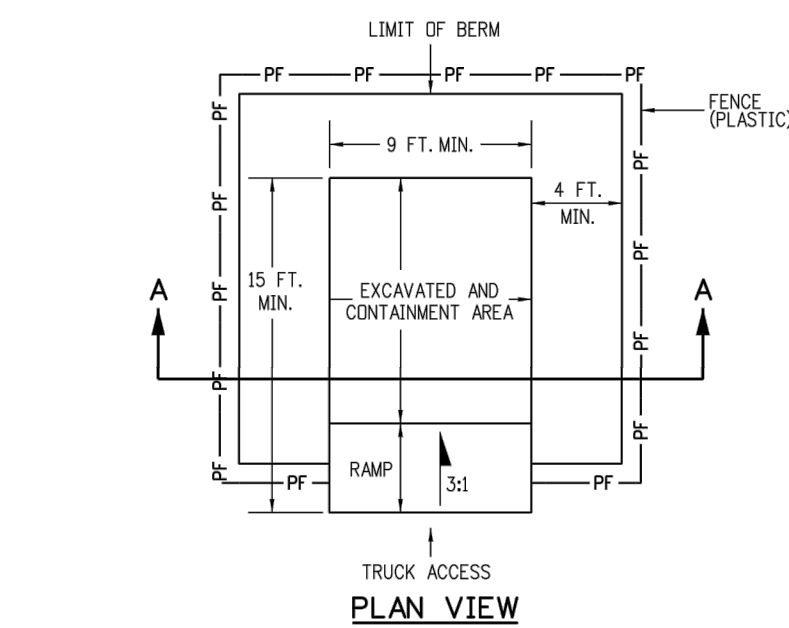
Prepared by Betsy Wilbanks



## Legend:

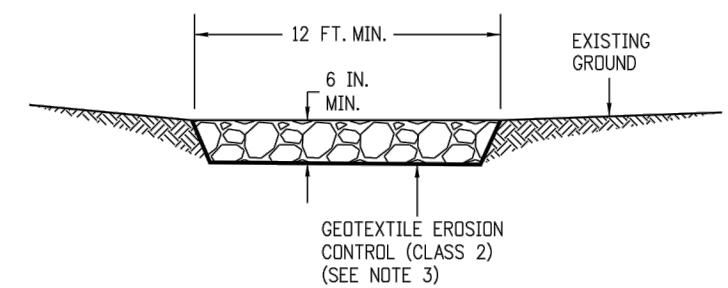
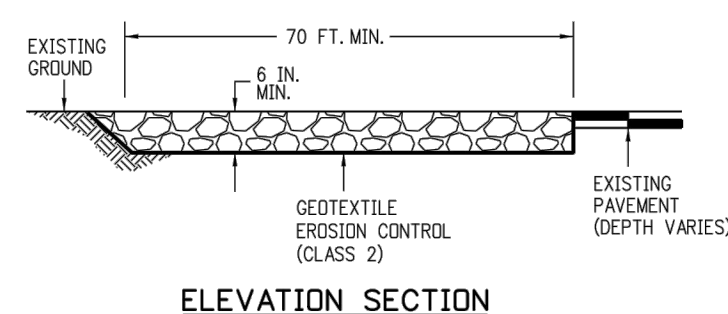
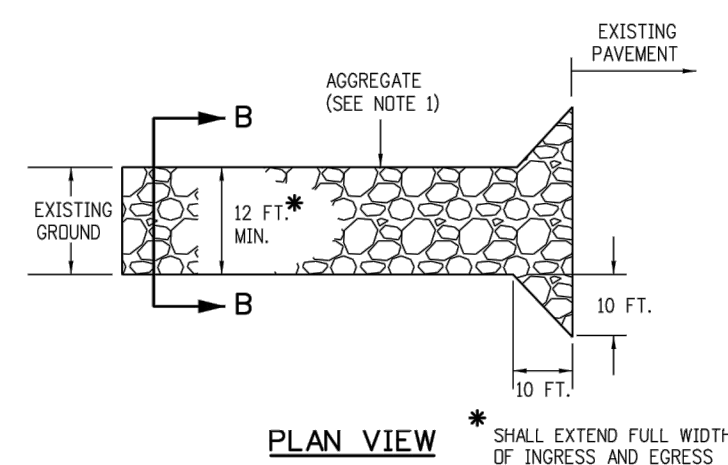
- Project Boundary and Construction Fence
- ▼ Restricted Access Gate
- Vehicle Tracking Control
- - - Temporary Access Road
- ← Primary Ingress
- Secondary Ingress
- ← Primary Egress
- Secondary Egress
- Wattles
- Brush Berm
- Stockpile
- Direction of Overland Flow
- Port-a-let
- Dumpster
- ... Thunderhead Lift
- ... Bashor Lift





- NOTES:
1. A FENCE (PLASTIC) CONFORMING TO SECTION 607 SHALL BE INSTALLED AROUND THE CONCRETE WASHOUT AREA, EXCEPT AT THE OPENING.
  2. THE CONCRETE WASHOUT SIGN SHALL HAVE LETTERS AT LEAST 3 INCHES HIGH AND CONFORM TO SUBSECTION 630.02.
  3. ALL MATERIALS AND LABOR TO COMPLETE THE CONCRETE WASHOUT STRUCTURE SHALL BE INCLUDED IN THE COST OF WORK AND NOT PAID FOR SEPARATELY.
  4. THE BOTTOM OF EXCAVATION SHALL BE A MINIMUM OF FIVE FEET ABOVE GROUND WATER. IF NOT, THE BOTTOM OF EXCAVATION SHALL BE IN ACCORDANCE WITH 208.02 (D).
  5. THE PAY ITEM NUMBER FOR CONCRETE WASHOUT STRUCTURE (EACH) IS 208-00045

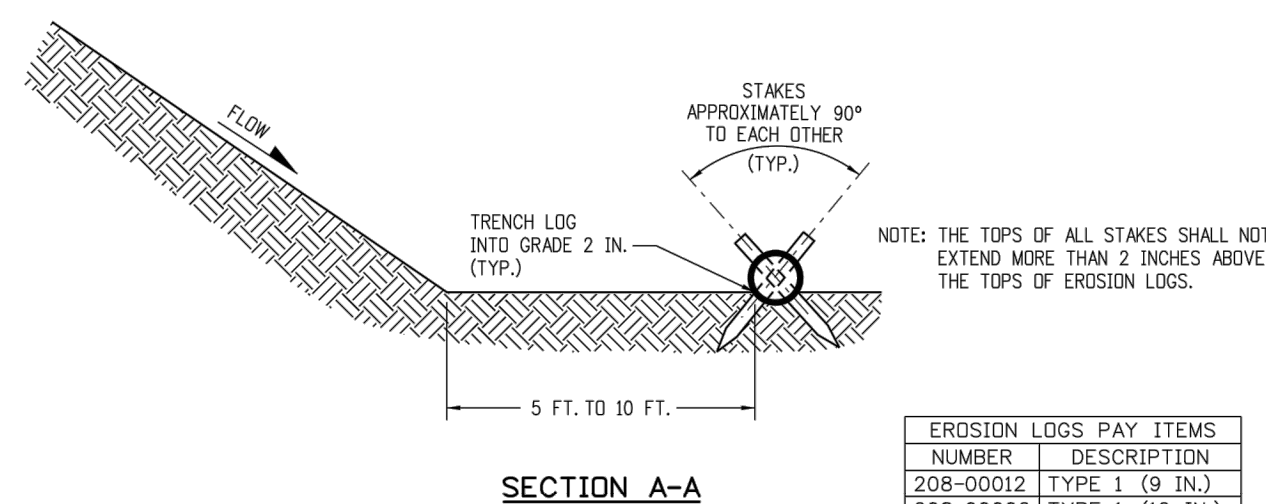
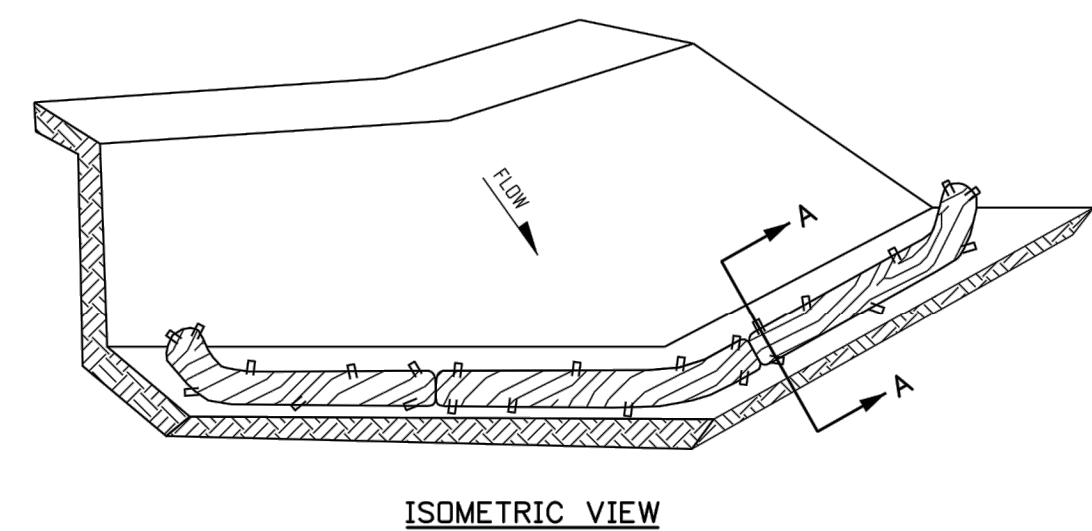
### CONCRETE WASHOUT STRUCTURE



- NOTES:
1. AGGREGATE SHALL CONFORM TO SUBSECTION 208.02 (I).
  2. THE CONTRACTOR SHALL PROTECT CURB AND GUTTER THAT CROSSES THE ENTRANCE FROM DAMAGE, WHILE NOT BLOCKING FLOW OF WATER THRU STRUCTURE. PROTECTION OF THE CURB AND GUTTER SHALL BE INCLUDED IN THE COST OF WORK AND NOT PAID FOR SEPARATELY.
  3. GEOTEXTILE SHALL CONFORM TO SUBSECTION 712.08.
  4. ALL MATERIALS AND LABOR TO COMPLETE THE VEHICLE TRACKING PAD SHALL BE INCLUDED IN THE COST OF WORK AND NOT PAID FOR SEPARATELY.
  5. THE PAY ITEM NUMBER FOR VEHICLE TRACKING PAD (EACH) IS 208-00070.

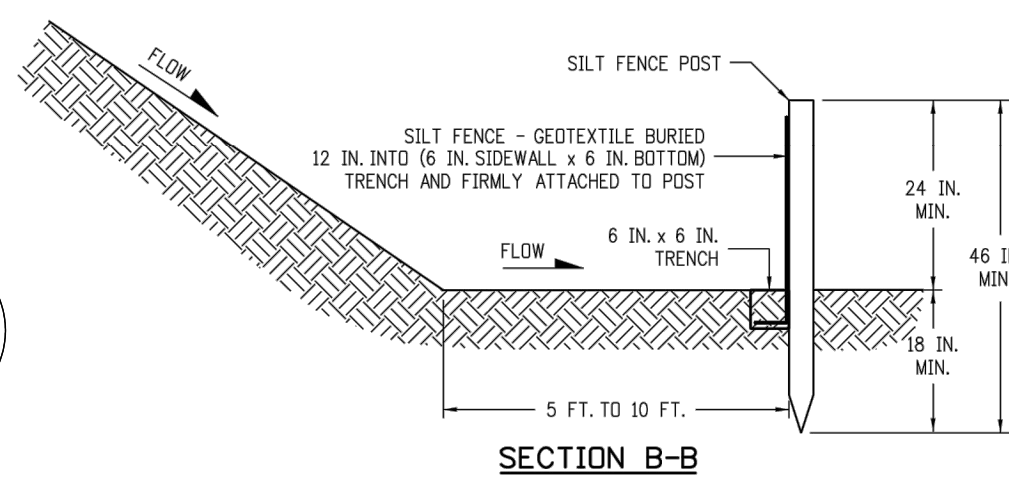
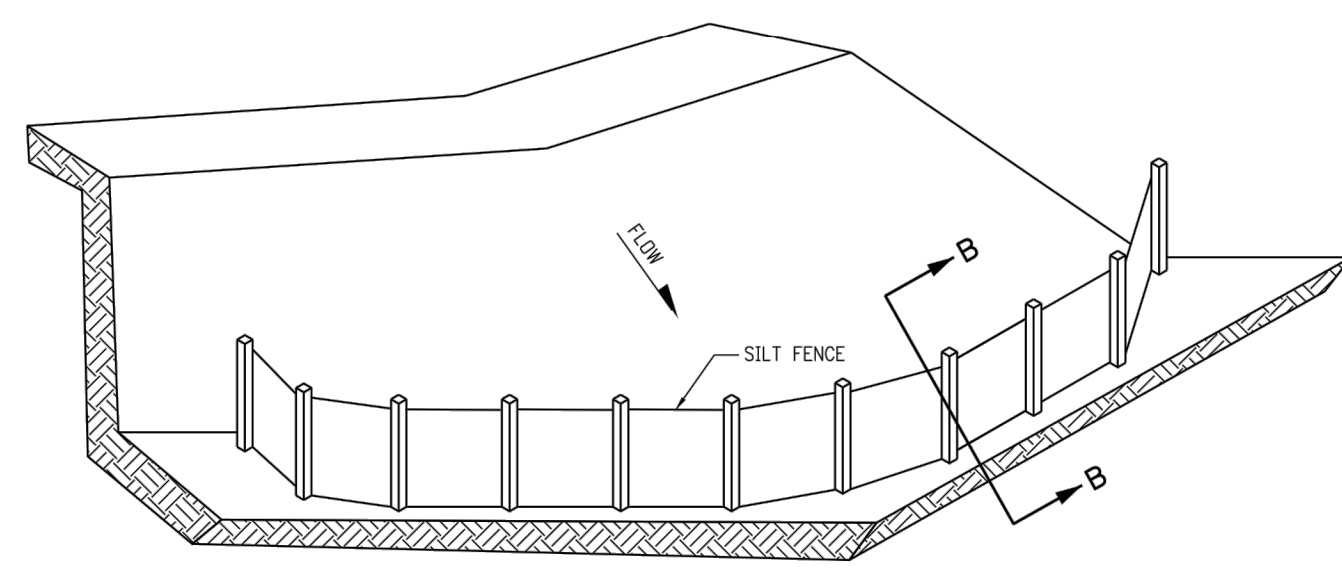
VEHICLE TRACKING PAD

<b>Computer File Information</b>		<b>Sheet Revisions</b>		Colorado Department of Transportation 2829 West Howard Place 3001 Wd. 3rd Floor Denver, CO 80204 Phone: 303-757-9021 FAX: 303-757-9868		<b>TEMPORARY</b> <b>EROSION CONTROL</b>		<b>STANDARD PLAN NO.</b> <b>M-208-1</b>	
Creation Date: 07/31/19 Designer Initials: JBK Last Modification Date: 07/31/19 Detailer Initials: LTA CAD Ver.: MicroStation V8 Scale: Not to Scale Units: English		Date: _____ Comments: _____		 <b>Project Development Branch</b>		<b>JBK</b>		<b>Standard Sheet No. 1 of 11</b>	
						Issued by the Project Development Branch: July 31, 2019		Project Sheet Number:	



- NOTES:
1. EROSION LOGS USED AT TOE OF SLOPE SHALL BE PLACED 5 TO 10 FEET BEYOND TOE OF SLOPE TO PROVIDE STORAGE CAPACITY.
  2. EROSION LOGS SHALL BE PLACED ON THE CONTOUR WITH ENDS FLARED UP SLOPE.
  3. SEE SHEET 2 OF 11 FOR JOINING LOGS DETAIL.

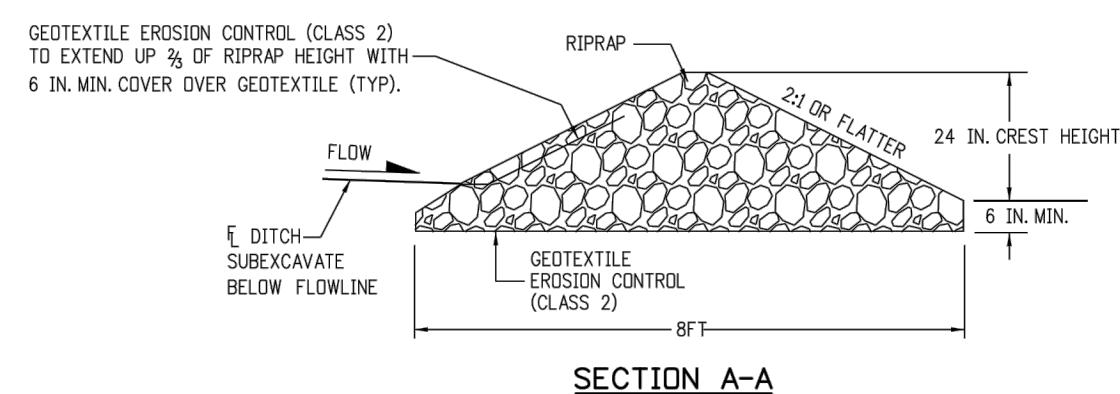
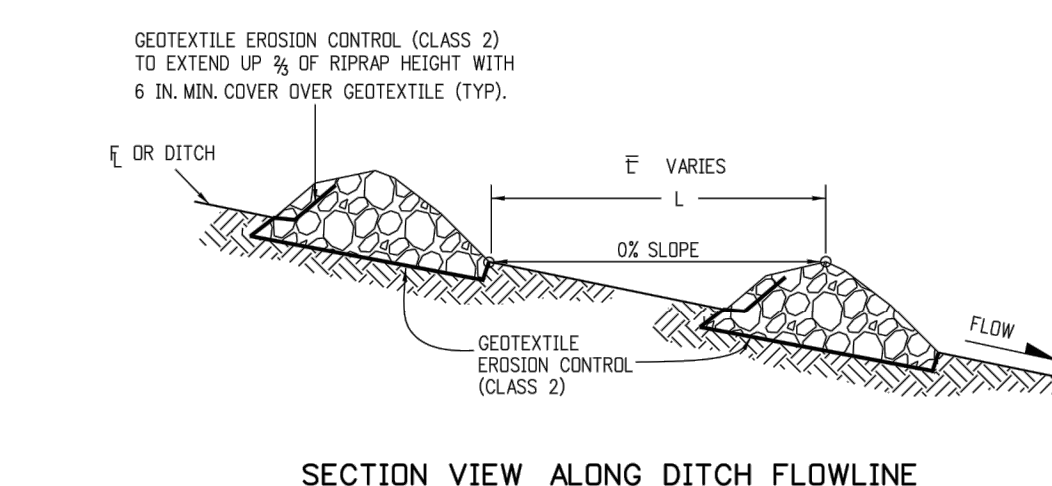
EROSION LOG TOE OF SLOPE PROTECTION



SILT FENCE TOE OF SLOPE PROTECTION

NOTE: THE PAY ITEM NUMBER FOR SILT FENCE (LF) IS 208-00020

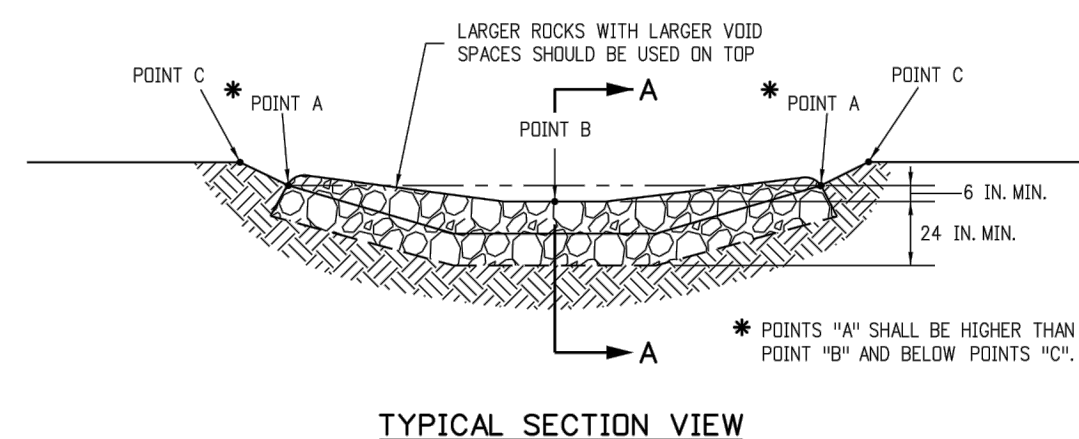
Computer File Information		Sheet Revisions		Colorado Department of Transportation		TEMPORARY		STANDARD PLAN NO.	
Creation Date: 07/31/19		Date:	Comments		2829 West Howard Place 2307 160, 3rd Floor Denver, CO 80204 Phone: 303-757-9021 FAX: 303-757-9888	EROSION CONTROL		M-208-1	
Designer Initials: JIBK	(R-2)							Project Sheet No. 3 of 11	
Last Modification Date: 07/31/19	(R-2)								
Detailer Initials: LTA	(R-2)								
CAD Ver.: MicroStation V8    Scale: Not to Scale    Units: English				Project Development Branch    JIBK		Issued by the Project Development Branch: July 31, 2019		Project Sheet Number:	



- NOTES:
1. RIPRAP SIZE  $D_{90} = 6$  IN OR AS SHOWN ON THE PLANS.
  2. THE GEOTECHNICAL EROSION CONTROL SHALL BE CLASS 2 AND CONFORM TO THE REQUIREMENTS OF SUBSECTION 712.08.
  3. THE ENDS OF RIPRAP CHECK DAM SHALL BE A MINIMUM OF 6 IN. HIGHER THAN CENTER OF CHECK DAM.
  4. FOR USE AS TEMPORARY CHECK DAMS ONLY AND NOT FOR PERMANENT INSTALLATIONS.
  5. THE PAY ITEM NUMBER FOR ROCK CHECK DAM (EA) IS 208-00045.

ROCK CHECK DAM

NOTE: ALL MATERIALS AND LABOR TO COMPLETE THE ROCK CHECK DAM SHALL BE INCLUDED IN THE COST OF WORK.



<b>Computer File Information</b>		<b>Sheet Revisions</b>		<b>Colorado Department of Transportation</b>		<b>TEMPORARY EROSION CONTROL</b>		<b>STANDARD PLAN NO.</b>	
Creation Date: 07/31/19		Date: _____		2829 West Howard Place		2829 West Howard Place		STANDARD PLAN NO. 11	
Designer Initials: JBK		Comments		2307 W. 3rd Floor		2307 W. 3rd Floor		STANDARD PLAN NO. 11	
Last Modification Date: 07/31/19				Denver, CO 80204		Denver, CO 80204		STANDARD PLAN NO. 11	
Detailer Initials: LTA				Phone: 303-757-9921 Fax: 303-757-9868		Phone: 303-757-9921 Fax: 303-757-9868		STANDARD PLAN NO. 11	
CAD Ver.: MicroStation V8 Scale: Not to Scale Units: English				<b>Project Development Branch</b>		<b>JBK</b>		Issued by the Project Development Branch on July 31, 2019	

Know what's below.  
Call before you dig.

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU  
DIG, GRADE, OR EXCAVATE FOR THE MARKING OF  
UNDERGROUND MEMBER UTILITIES

NOT VALID WITHOUT ORIGINAL  
SIGNATURE AND DATE



