

GENERAL NOTES

- TOPOGRAPHIC AND EXISTING CONDITIONS MAPPED BY LANDMARK CONSULTANTS, INC.
- CITY OF STEAMBOAT SPRINGS PLAN REVIEW AND APPROVAL IS ONLY FOR GENERAL CONFORMANCE WITH CITY DESIGN CRITERIA AND THE CITY CODE. THE CITY IS NOT RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF THE DRAWINGS, DESIGN, DIMENSIONS, AND ELEVATIONS SHALL BE CONFIRMED AND CORRELATED AT THE JOB SITE.
- ONE COPY OF THE APPROVED CONSTRUCTION PLANS AND SPECIFICATIONS SHALL BE KEPT ON THE JOB SITE AT ALL TIMES. PRIOR TO THE START OF CONSTRUCTION, VERIFY WITH PROJECT ENGINEER THE LATEST REVISION DATE OF THE APPROVED CONSTRUCTION PLANS.
- ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION OF PUBLIC IMPROVEMENTS SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS SET FORTH IN THE CITY OF STEAMBOAT SPRINGS TECHNICAL SPECIFICATIONS (MARCH 2010 EDITION), THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION BY THE COLORADO DEPARTMENT OF TRANSPORTATION, (2017 EDITION), AND APPLICABLE STATE AND FEDERAL REGULATIONS, WHERE THERE IS A DIRECT CONFLICT BETWEEN THESE PLANS AND THE SPECIFICATIONS, OR ANY APPLICABLE STANDARDS, THE MOST RESTRICTIVE STANDARD SHALL APPLY.
- ALL WATER AND SANITARY SEWER CONSTRUCTION AND RELATED WORK SHALL CONFORM TO THE MOUNT WERNER WATER STANDARD SPECIFICATIONS FOR WATER AND WASTEWATER UTILITIES, CURRENT EDITION.
- ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AS REQUIRED MUST BE OBTAINED IN ORDER TO PERFORM THE WORK. THIS INCLUDES, BUT IS NOT LIMITED TO, RIGHT-OF-WAY PERMIT, GRADING AND EXCAVATION PERMIT, CONSTRUCTION DEWATERING PERMIT, STORM WATER QUALITY PERMIT, ANY CORP OF ENGINEER PERMIT, ETC. IT IS THE APPLICABLE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF ALL APPLICABLE CODES, LICENSES, SPECIFICATIONS, AND STANDARDS NECESSARY TO PERFORM THE WORK, AND BE FAMILIAR WITH THEIR CONTENTS PRIOR TO COMMENCING ANY WORK.
- PRIOR TO ANY WORK IN THE CITY RIGHT-OF-WAY INCLUDING STREET CUTS, CONTACT THE CITY OF STEAMBOAT SPRINGS STREET DEPARTMENT AT 970.879.1807 FOR PERMIT REQUIREMENTS. NO WORK SHALL OCCUR IN THE ROW BETWEEN NOVEMBER 1 - APRIL 1 UNLESS A WRITTEN VARIANCE HAS BEEN APPROVED AND ISSUED BY THE CITY PUBLIC WORKS DIRECTOR.
- PRIOR TO CLOSURE OF ANY STREET OR PART OF STREET, AN APPROVED OBSTRUCTION PERMIT MUST BE ISSUED BY CITY CONSTRUCTION SERVICES FOREMAN.
- PRIOR TO START OF CONSTRUCTION A PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED WITH THE APPROPRIATE CONTRACTORS, ENGINEER, SURVEYOR, TESTING COMPANY, AFFECTED AGENCIES AND KEY SUBCONTRACTORS A MINIMUM OF 48-HOURS PRIOR TO THE START OF WORK.
- THE LOCAL ENTITY AND ENGINEER SHALL BE NOTIFIED AT LEAST 2 WORKING DAYS PRIOR TO THE START OF ANY EARTH DISTURBING ACTIVITY, OR CONSTRUCTION ON AND ANY ALL PUBLIC IMPROVEMENTS. THE LOCAL ENTITY RESERVES THE RIGHT NOT TO ACCEPT THE IMPROVEMENTS IF SUBSEQUENT TESTING REVEALS AN IMPROPER INSTALLATION.
- COORDINATE WITH THE PROJECT ENGINEER TO IDENTIFY PROJECT INSPECTION AND TESTING REQUIREMENTS. PROVIDE FOR INSPECTIONS AND TESTING AT AN ADEQUATE FREQUENCY FOR THE PROJECT ENGINEER TO DOCUMENT THAT PROJECT IS CONSTRUCTED IN CONFORMANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. PRIOR TO MAKING ANY CHANGES TO THE APPROVED PLANS, IT IS THE APPROPRIATE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE PROJECT ENGINEER.
- PROVIDE THE OWNER, ENGINEER, THEIR CONSULTANTS, INDEPENDENT TESTING LABORATORIES, ANY GOVERNMENTAL AGENCIES WITH JURISDICTIONAL INTERESTS, OTHER REPRESENTATIVES AND PERSONNEL, ACCESS TO THE SITE AND THE WORK AT REASONABLE TIMES FOR THEIR OBSERVATION, INSPECTING, AND TESTING. PROVIDE THEM PROPER AND SAFE CONDITIONS FOR SUCH ACCESS AND ADVISE THEM OF THE DEVELOPERS SITE SAFETY PROCEDURES AND PROGRAMS SO THAT THEY MAY COMPLY THEREWITH AS IS APPLICABLE. COORDINATE WITH THE PROJECT ENGINEER SO THAT INSPECTING AND TESTING ARE PROVIDED AT AN ADEQUATE FREQUENCY FOR THE PROJECT ENGINEER TO AFFIRM THAT WORK WAS COMPLETED IN SUBSTANTIAL CONFORMANCE WITH THESE APPROVED PLANS.
- NO WORK MAY COMMENCE WITHIN ANY IMPROVED PUBLIC RIGHT-OF-WAY UNTIL A RIGHT-OF-WAY PERMIT OR APPROVED CONSTRUCTION PERMIT IS OBTAINED. IF APPLICABLE, SUBMIT A CONSTRUCTION TRAFFIC CONTROL PLAN, IN ACCORDANCE WITH MUTCD, TO THE APPROPRIATE RIGHT-OF-WAY AUTHORITY, (LOCAL ENTITY, COUNTY OR STATE), FOR APPROVAL, PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN, OR AFFECTING, THE RIGHT-OF-WAY. PROVIDE ANY AND ALL TRAFFIC CONTROL DEVICES AS MAY BE REQUIRED BY THE CONSTRUCTION ACTIVITIES.
- SUBMIT A CONSTRUCTION SITE MANAGEMENT PLAN (CSMP) FOR REVIEW AND APPROVAL BY THE CITY CONSTRUCTION SERVICES FOREMAN PRIOR TO START OF CONSTRUCTION. THE CSMP MUST BE MAINTAINED ON-SITE AND UPDATED AS NEEDED TO REFLECT CURRENT CONDITIONS.
- ALL CONTRACTORS ARE SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES, AS SHOWN ON THESE PLANS, IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (NOC) AT 1-800-922-1987, AT LEAST 48 HOURS PRIOR TO BEGINNING EXCAVATION OR GRADING, TO HAVE ALL REGISTERED UTILITY LOCATIONS MARKED. OTHER UNREGISTERED UTILITY ENTITIES (I.E. DITCH (IRRIGATION COMPANY) ARE TO BE LOCATED BY CONTACTING THE RESPECTIVE REPRESENTATIVE. UTILITY SERVICE LATERALS ARE ALSO TO BE LOCATED PRIOR TO BEGINNING EXCAVATION OR GRADING. THE TYPE, SIZE, LOCATION AND NUMBER OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THE DRAWINGS. VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ALONG THE ROUTE OF THE WORK BEFORE COMMENCING NEW CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
- FIELD LOCATE AND VERIFY ELEVATIONS OF ALL EXISTING SEWER MAINS, WATER MAINS, CURBS, GUTTERS AND OTHER UTILITIES AT THE POINTS OF CONNECTION SHOWN ON THE PLANS, AND AT ANY UTILITY CROSSINGS PRIOR TO INSTALLING ANY OF THE NEW IMPROVEMENTS. IF A CONFLICT EXISTS AND/OR A DESIGN MODIFICATION IS REQUIRED, COORDINATE WITH THE ENGINEER DURING THE DESIGN. DESIGN MODIFICATION(S) MUST BE APPROVED BY THE LOCAL ENTITY PRIOR TO BEGINNING CONSTRUCTION.
- ALL UTILITY INSTALLATIONS WITHIN OR ACROSS THE ROADBED OR OTHER PAVED AREAS MUST BE COMPLETED PRIOR TO THE FINAL STAGES OF ROAD CONSTRUCTION, FOR THE PURPOSES OF THESE STANDARDS, ANY WORK INCLUDING, GRAVELS, PAVEMENTS, CURB AND GUTTER ABOVE THE SUBGRADE IS CONSIDERED FINAL STAGE WORK. ALL SERVICE LINES MUST BE TIED BEYOND THE ROAD PLATFORM OR TO THE PROPERTY LINES AND MARKED SO AS TO REDUCE THE EXCAVATION NECESSARY FOR BUILDING CONNECTIONS.
- COORDINATE AND COOPERATE WITH THE LOCAL ENTITY, AND ALL UTILITY COMPANIES INVOLVED, WITH REGARD TO RELOCATIONS, ADJUSTMENTS, EXTENSIONS AND REARRANGEMENTS OF EXISTING UTILITIES DURING CONSTRUCTION, AND TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY FASHION AND WITH A MINIMUM DISRUPTION OF SERVICE. CONTACT, IN ADVANCE, ALL PARTIES AFFECTED BY ANY DISRUPTION OF ANY UTILITY SERVICE AS WELL AS THE UTILITY COMPANIES.
- NO WORK MAY COMMENCE WITHIN ANY PUBLIC STORM WATER, SANITARY SEWER OR POTABLE WATER SYSTEM UNTIL THE UTILITY PROVIDERS ARE NOTIFIED. NOTIFICATION SHALL BE A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO COMMENCEMENT OF ANY WORK. AT THE DISCRETION OF THE WATER UTILITY PROVIDER, A PRE-CONSTRUCTION MEETING MAY BE REQUIRED PRIOR TO COMMENCEMENT OF ANY WORK.
- PROTECT ALL UTILITIES DURING CONSTRUCTION AND FOR COORDINATE WITH THE APPROPRIATE UTILITY COMPANY FOR ANY UTILITY CROSSINGS REQUIRED.
- WHEN APPLICABLE, THE DEVELOPER AND/OR CONTRACTOR SHALL HAVE ONSITE AT ALL TIMES, EACH OF THE FOLLOWING:
 - BEST MANAGEMENT PRACTICES (BMP) MAINTENANCE FOLDER
 - UP TO DATE STORMWATER MANAGEMENT PLAN (SWMP) THAT ACCURATELY REPRESENTS CURRENT FIELD CONDITIONS
 - ONE (1) SIGNED COPY OF THE APPROVED PLANS
 - ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS
 - A COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB.
- IF, DURING THE CONSTRUCTION PROCESS, CONDITIONS ARE ENCOUNTERED WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, CONTACT THE DESIGNER AND THE LOCAL ENTITY ENGINEER IMMEDIATELY.
- ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.
- PROVIDE ALL LABOR AND MATERIALS NECESSARY FOR THE COMPLETION OF THE INTENDED IMPROVEMENTS SHOWN ON THESE DRAWINGS, OR DESIGNATED TO BE PROVIDED, INSTALLED, OR CONSTRUCTED, UNLESS SPECIFICALLY NOTED OTHERWISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING AS-BUILT INFORMATION ON A SET OF RECORD DRAWINGS KEPT ON THE CONSTRUCTION SITE, AND AVAILABLE TO THE LOCAL ENTITY'S INSPECTOR AT ALL TIMES.
- DIMENSIONS FOR LAYOUT AND CONSTRUCTION ARE NOT TO BE SCALED FROM ANY DRAWING. IF PERTINENT DIMENSIONS OR ELEVATIONS ARE NOT SHOWN, CONTACT THE DESIGNER FOR CLARIFICATION, AND ANNOTATE THE PROVIDED DIMENSION ON THE AS-BUILT RECORD DRAWINGS. SCOURERS ARE NOT SUITABLE FOR CONSTRUCTION LAYOUT.
- SEQUENCE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO MINIMIZE POTENTIAL UTILITY CONFLICTS. IN GENERAL, GRADE RESTRICTED UTILITIES SUCH AS STORM SEWER AND SANITARY SEWER, SHOULD BE CONSTRUCTED PRIOR TO INSTALLATION OF THE WATER LINES AND DRY UTILITIES.
- EXISTING FENCES, TREES, STREETS, SIDEWALKS, CURBS AND GUTTERS, LANDSCAPING, STRUCTURES, AND IMPROVEMENTS DESTROYED, DAMAGED OR REMOVED DUE TO CONSTRUCTION OF THIS PROJECT SHALL BE REPLACED OR RESTORED IN LIKE KIND AT THE CONTRACTOR'S EXPENSE, UNLESS OTHERWISE INDICATED ON THESE PLANS.
- THESE CONSTRUCTION PLANS SHALL BE VALID FOR A PERIOD OF THREE YEARS FROM THE DATE OF APPROVAL BY THE AHA. USE OF THESE PLANS AFTER THE EXPIRATION DATE WILL REQUIRE A NEW REVIEW AND APPROVAL PROCESS BY THE LOCAL ENTITY PRIOR TO COMMENCEMENT OF ANY WORK SHOWN IN THESE PLANS.
- ALL CONSTRUCTION IN AREAS DESIGNATED AS WILD FIRE HAZARD AREAS SHALL BE DONE IN ACCORDANCE WITH THE CONSTRUCTION CRITERIA AS ESTABLISHED IN THE WILD FIRE HAZARD AREA MITIGATION REGULATIONS IN FORCE AT THE TIME OF CONSTRUCTION.
- THE CONTRACTOR AGREES THAT BY COMMENCING CONSTRUCTION THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE CONSTRUCTION OF THE PROJECT, INCLUDING, BUT NOT LIMITED TO THE SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD T THE ENGINEER, AND THE GOVERNING AGENCIES AND THE OFFICERS, DIRECTORS, PARTNERS, EMPLOYEES, AGENTS AND OTHER CONSULTANTS OF EACH AND ANY OF THEM HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE NEGLIGENCE OF THE OWNER, THE ENGINEER, OR THE GOVERNING AGENCIES.
- NOTIFY THE ENGINEER IMMEDIATELY UPON DISCOVERING ANY CONFLICTS OR OTHER PROBLEMS IN CONFORMING TO THE APPROVED CONSTRUCTION DRAWINGS, SPECIFICATIONS OR DETAILS FOR ANY ELEMENT OF THE PROPOSED IMPROVEMENTS PRIOR TO PROCEEDING WITH ITS CONSTRUCTION.
- COORDINATE THE INSTALLATION OR RELOCATION OF THE DRY UTILITY COMPANY'S FACILITIES. COST OF THE DRY UTILITY WORK SHALL BE BORNE BY THE OWNER, EXCEPT AS INDICATED IN THE PLANS AND SPECIFICATIONS.
- PRESERVE PRIVATE AND PUBLIC PROPERTY AND PROTECT IT FROM DAMAGE THAT MAY RESULT FROM CONSTRUCTING THESE PROPOSED IMPROVEMENTS.

- ACCESS TO ALL ADJACENT PROPERTIES AND FACILITIES SHALL BE MAINTAINED AT ALL TIMES. REQUIRED INTERRUPTION OF ACCESS SHALL BE COORDINATED WITH THE PROPERTY AND PROJECT OWNERS.
- IF HAZARDOUS MATERIAL OR SUSPECT MATERIAL IS ENCOUNTERED NOTIFY THE OWNER AND ENGINEER BEFORE CONTINUING WORK. HAZARDOUS MATERIALS SHALL BE REMOVED AS REQUIRED.
- THE APPROPRIATE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SOURCE OF CONSTRUCTION WATER FOR USE ON THIS PROJECT.
- EXCESS MATERIAL SHALL BE REMOVED FROM SITE AND HANDLED IN ACCORDANCE TO ALL RULES AND REQUIREMENTS. A SEPARATE PERMIT MAY BE REQUIRED AND SHALL BE COORDINATED WITH THE AUTHORITY HAVING JURISDICTION.
- OFFSITE AND ADJACENT SITE DATA IS FOR REFERENCE PURPOSES ONLY.
- ALL LANDSCAPING, REVEGETATION AND WETLANDS REQUIREMENTS DESIGN BY OTHERS. ALL DISTURBED AREAS ARE TO BE REVEGETATED UNLESS OTHERWISE NOTED.
- ENSURE THAT WORK FOR THIS PROJECT BE PERFORMED BY CONTRACTORS (INCLUDING CONTRACTOR'S EMPLOYEES AND AGENTS) POSSESSING THE SKILLS, EXPERTISE AND UNDERSTANDING OF ALL APPLICABLE CODES, SPECIFICATIONS, STANDARDS AND MANUFACTURER REQUIREMENTS. BY COMMENCING WORK, THE CONTRACTORS REPRESENT THAT THEY UNDERSTAND AND ACCEPT THIS REQUIREMENT.
- ALL CONSTRUCTION ACTIVITIES AND DISTURBANCES SHALL OCCUR WITHIN THE PROPERTY LIMITS, WHERE OFF-SITE WORK IS APPROVED, WRITTEN PERMISSION OF THE ADJACENT PROPERTY OWNER MUST BE OBTAINED PRIOR TO ANY OFF-SITE GRADING OR CONSTRUCTION.

CONSTRUCTION NOTES

A. GRADING AND DRAINAGE

- NO WORK SHALL OCCUR IN WETLANDS OR ON FLOODPLAINS WITHOUT PERMITS. ANY WORK SHALL BE IN ACCORDANCE WITH ISSUED PERMITS.
- VEGETATED SLOPES GREATER THAN 3:1 REQUIRE SOIL STABILIZATION.
- CLEAN ALL INSTALLED CULVERTS AND STORM SEWERS PRIOR TO SUBSTANTIAL COMPLETION INSPECTIONS.
- LENGTHS SHOWN ON PLANS ARE HORIZONTAL. LENGTHS FROM CENTER OF MANHOLE TO CENTER OF MANHOLE OR TO THE END OF THE FLARED END SECTIONS, ACTUAL LENGTHS MAY VARY.
- SLOPES ARE CALCULATED FROM INSIDE EDGE OF MANHOLE/STRUCTURE TO INSIDE EDGE OF MANHOLE/STRUCTURE.
- IMPERVIOUS CLAY DAMS ARE REQUIRED IN TRENCH AT 50-FT INTERVALS AND AT CHANGES IN PIPE DIRECTION AND/OR AT PIPE JUNCTIONS FOR ALL DRAINAGE STRUCTURES.
- MINIMUM RECOMMENDATIONS (TO BE CONFIRMED OR REPLACED BY GEOTECHNICAL ENGINEER): PROPOSED FILL AREAS WHERE PAVEMENT OR SITE CONCRETE IS ANTICIPATED SHOULD BE PREPARED BY STRIPPING EXISTING TOPSOIL, AND ORGANIC MATERIALS, SCARIFICATION TO A DEPTH OF AT LEAST 8 INCHES AND COMPACTION TO MINIMUM VALUES GIVEN BELOW. MOISTURE CONDITIONING MAY BE REQUIRED TO ATTAIN STABILITY AND MINIMUM COMPACTION.

SITE FILLS AND TRENCH BACKFILL SHOULD CONSIST OF APPROVED ON-SITE OR IMPORTED MATERIALS. FILLS SHOULD BE UNIFORMLY PLACED AND COMPACTED IN 6 TO 8 INCH LODES UP TO AT LEAST 95 PERCENT OF THE MAXIMUM STANDARD PROCTOR DENSITY AND WITHIN 2 PERCENT OF THE OPTIMUM MOISTURE CONTENT (ASTM D698). MOISTURE CONDITIONING OF FILL MATERIALS MAY BE REQUIRED TO ATTAIN MINIMUM COMPACTION AND STABILITY REQUIREMENTS.

- A GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED UNDER THE TITLE OF "SUBSOIL AND FOUNDATION INVESTIGATION, STEAMBOAT BASE AREA REDEVELOPMENT, STEAMBOAT SPRINGS, COLORADO" BY NWCC DATED DECEMBER 30, 2020, AND THEIR RECOMMENDATIONS ARE HEREBY INCORPORATED HEREIN. IF A CONFLICT OR DISCREPANCY OCCURS, NOTIFY THE ENGINEER IMMEDIATELY UPON DISCOVERY.

B. CONSTRUCTION SITE AND STORMWATER MANAGEMENT

- CONTRACTOR SHALL SUBMIT A CONSTRUCTION SITE MANAGEMENT PLAN TO THE CITY FOR APPROVAL PRIOR TO BUILDING PERMIT ISSUANCE.
- WHEN REQUIRED THE CONTRACTOR SHALL PREPARE A STORMWATER MANAGEMENT PLAN. THE STORMWATER MANAGEMENT PLAN SHALL BE PREPARED BY A QUALIFIED INDIVIDUAL WITH KNOWLEDGE IN THE PRINCIPLES AND PRACTICES OF EROSION AND SEDIMENT CONTROL AND POLLUTION PREVENTION. THIS INDIVIDUAL SHOULD BE RESPONSIBLE FOR DEVELOPING, IMPLEMENTING, MAINTAINING, AND REVISING THE STORMWATER MANAGEMENT PLAN FOR THE DURATION OF THE PROJECT.
- THE STORMWATER MANAGEMENT PLAN SHOULD ADDRESS INSTALLATION, INSPECTION AND MAINTENANCE OF ALL NECESSARY EROSION AND SEDIMENT CONTROL DURING CONSTRUCTION AND REMOVE EROSION CONTROL WHEN PROJECT IS COMPLETE AND VEGETATION IS ESTABLISHED. WHEN TEMPORARY EROSION CONTROL MEASURES ARE REMOVED, CLEAN UP AND REMOVE ALL SEDIMENT AND DEBRIS FROM ALL DRAINAGE INFRASTRUCTURE AND OTHER PUBLIC FACILITIES.
- ALL REQUIRED PERIMETER SILT AND CONSTRUCTION FENCING SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITY (STOCKPILING, STRIPPING, GRADING, ETC.). ALL OTHER REQUIRED EROSION CONTROL MEASURES SHALL BE INSTALLED AT THE APPROPRIATE TIME IN THE CONSTRUCTION SEQUENCE AS INDICATED IN THE APPROVED PROJECT SCHEDULE, CONSTRUCTION PLANS, AND STORMWATER MANAGEMENT PLAN.
- ENSURE THAT NO MUD OR DEBRIS SHALL BE TRACKED ONTO THE EXISTING PUBLIC STREET SYSTEM. MUD AND DEBRIS MUST BE REMOVED BY THE END OF EACH WORKING DAY BY AN APPROPRIATE MECHANICAL METHOD (I.E. MACHINE BROOM SWEEP, LIGHT DUTY FRONT-END LOADER, ETC.) OR AS APPROVED BY THE LOCAL ENTITY STREET INSPECTOR.
- ALL STRUCTURAL EROSION CONTROL MEASURES SHALL BE INSTALLED AT THE LIMITS OF CONSTRUCTION AND AT AREAS WITH DISTURBED SOIL, ON- OR OFF-SITE, PRIOR TO ANY OTHER GROUND-DISTURBING ACTIVITY. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN GOOD REPAIR UNTIL SUCH TIME AS THE ENTIRE DISTURBED AREAS IS STABILIZED WITH HARD SURFACE OR LANDSCAPING TO MITIGATE EROSION. UTILIZE STANDARD EROSION CONTROL TECHNIQUES DESCRIBED IN THE URBAN STORM DRAINAGE CRITERIA MANUAL, VOLUME 3 - BEST MANAGEMENT PRACTICES, AS PUBLISHED BY THE URBAN DRAINAGE AND FLOOD CONTROL DISTRICT (UDFC).
- PRE-DISTURBANCE VEGETATION SHALL BE PROTECTED AND RETAINED WHEREVER POSSIBLE. REMOVAL OR DISTURBANCE OF EXISTING VEGETATION SHALL BE LIMITED TO THE AREA(S) REQUIRED FOR IMMEDIATE CONSTRUCTION OPERATIONS, AND FOR THE SHORTEST PRACTICAL PERIOD OF TIME.
- IMMEDIATELY CLEAN UP ANY CONSTRUCTION MATERIALS INADVERTENTLY DEPOSITED ON EXISTING STREETS, SIDEWALKS, OR OTHER PUBLIC RIGHTS OF WAY, AND MAKE SURE STREETS AND WALKWAYS ARE CLEANED AT THE END OF EACH WORKING DAY.
- ALL RETAINED SEDIMENTS, PARTICULARLY THOSE ON PAVED ROADWAY SURFACES, SHALL BE REMOVED AND DISPOSED OF IN A MANNER AND LOCATION SO AS NOT TO CAUSE THEIR RELEASE INTO ANY WATERS OF THE UNITED STATES.
- THE STORMWATER VOLUME CAPACITY OF DETENTION PONDS WILL BE RESTORED AND STORM SEWER LINES WILL BE CLEANED UPON COMPLETION OF THE PROJECT.
- THE COLORADO DISCHARGE PERMIT SYSTEM (CDPS) REQUIREMENTS MAKE IT UNLAWFUL TO DISCHARGE OR ALLOW THE DISCHARGE OF ANY POLLUTANT OR CONTAMINATED WATER FROM CONSTRUCTION SITES. POLLUTANTS INCLUDE, BUT ARE NOT LIMITED TO DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASHOUT, CHEMICALS, OIL AND GAS PRODUCTS, LITTER, AND SANITARY WASTE. TAKE WHATEVER MEASURES ARE NECESSARY TO ASSURE THE PROPER CONTAINMENT AND DISPOSAL OF POLLUTANTS ON THE SITE IN ACCORDANCE WITH ANY AND ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.
- THE DRAINAGE REPORT SHALL BE REFERENCED WHEN PREPARING THE PROJECT'S STORMWATER MANAGEMENT PLAN. A DRAINAGE REPORT FOR THIS PROJECT WAS COMPLETED BY LANDMARK CONSULTANTS TITLED "T100" AND IS DATED "T100".

C. PAVING

- UNLESS NOTED OTHERWISE, THE PAVEMENT SECTION SHALL CONSIST OF:
 - 8-INCH THICK AGGREGATE SUBBASE COURSE: MODIFIED CDOT STANDARD CLASS 3 BASE AGGREGATE OR WELL GRADED PIT RUN CONFORMING TO CDOT STANDARD SPECIFICATION SECTION 703 FOR AGGREGATES
 - 4-INCH THICK AGGREGATE BASE COURSE: CDOT STANDARD SPECIFICATIONS SECTION 703.03 FOR CLASS 6 AGGREGATE BASE COURSE;
 - 4-INCH THICK ASPHALT PAVEMENT: CDOT STANDARD SPECIFICATIONS, LATEST EDITION, WITH TYPE SX GRADATION AND PG58-28 BINDER. TACK COATS SHALL BE SS-1H AND CONFORM TO ASHTO M140 PAVING OF PUBLIC STREETS SHALL NOT START UNTIL SUBGRADE COMPACTION AND MATERIAL TESTS ARE TAKEN AND ACCEPTED BY THE PUBLIC WORKS DIRECTOR.
- EXISTING ASPHALT PAVEMENT SHALL BE STRAIGHT SAW CUT A MINIMUM DISTANCE OF 12 INCHES FROM THE EXISTING EDGE, TO CREATE A CLEAN CONSTRUCTION JOINT. REMOVE EXISTING PAVEMENT TO A DISTANCE WHERE A CLEAN CONSTRUCTION JOINT CAN BE MADE. TACK COAT SHALL BE APPLIED TO ALL EXPOSED SURFACES INCLUDING SAW CUTS, POTHOLES, TRENCHES, AND ASPHALT OVERLAY. ASPHALT PATCHES IN THE RIGHT-OF-WAY SHALL BE PER CITY SPECIFICATIONS.
- CONTACT CITY STREETS SUPERINTENDENT AT (970) 879-1807 TO SCHEDULE INSTALLATION OF PUBLIC STREET SIGNS. ALL OTHER TRAFFIC CONTROL SIGNS ARE THE RESPONSIBILITY OF THE DEVELOPER.
- NO BASE MATERIAL SHALL BE LAID UNTIL THE SUBGRADE HAS BEEN INSPECTED AND APPROVED BY THE ENGINEER.
- VALVE BOXES, CLEANOUTS AND MANHOLES ARE TO BE BROUGHT UP TO GRADE AT THE TIME OF PAVEMENT PLACEMENT OR OVERLAY. VALVE BOX ADJUSTING RINGS ARE NOT ALLOWED.
- WHEN AN EXISTING ASPHALT STREET MUST BE CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE EXISTING STREET CONDITION SHALL BE DOCUMENTED BY THE ENGINEER BEFORE ANY CUTS ARE MADE. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE.
- PERFORM A GUTTER WATER FLOW TEST IN THE PRESENCE OF THE ENGINEER AND PRIOR TO INSTALLATION OF ASPHALT. GUTTERS THAT HOLD MORE THAN 1/4

INCH DEEP OR 5 FEET LONGITUDINALLY, OF WATER, SHALL BE COMPLETELY REMOVED AND RECONSTRUCTED TO DRAIN PROPERLY.

- PRIOR TO PLACEMENT OF H.B.P. OR CONCRETE WITHIN THE STREET AND AFTER MOISTURE/DENSITY TESTS HAVE BEEN TAKEN ON THE SUBGRADE MATERIAL (WHEN A FULL DEPTH SECTION IS PROPOSED) OR ON THE SUBGRADE AND BASE MATERIAL (WHEN A COMPOSITE SECTION IS PROPOSED), A MECHANICAL "PROOF ROLL" WILL BE REQUIRED. THE ENTIRE SUBGRADE AND/OR BASE MATERIAL SHALL BE ROLLED WITH A HEAVILY LOADED VEHICLE HAVING A TOTAL GVW OF NOT LESS THAN 50,000 LBS. AND A SINGLE AXLE WEIGHT OF AT LEAST 18,000 LBS. WITH PNEUMATIC TIRES INFLATED TO NOT LESS THAN 80 P.S.I.G. "PROOF ROLL" VEHICLES SHALL NOT TRAVEL AT SPEEDS GREATER THAN 3 M.P.H. ANY PORTION OF THE SUBGRADE OR BASE MATERIAL WHICH EXHIBITS EXCESSIVE FLUMPING OR DEFORMATION, AS DETERMINED BY THE ENGINEER, SHALL BE REMOVED, REPLACED OR OTHERWISE MODIFIED TO FORM A SMOOTH, NON-YIELDING SURFACE. THE ENGINEER SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO THE "PROOF ROLL." ALL "PROOF ROLLS" SHALL BE PERFORMED IN THE PRESENCE OF AN ENGINEER.

- NO UNDERMINING OF EXISTING PAVEMENT SHALL BE ALLOWED. IF UNDERMINING IS EVIDENT, PAVEMENT SHALL BE CUT BACK ACCORDINGLY. NO ADDITIONAL PAYMENT SHALL BE PROVIDED.

D. WATER AND SEWER NOTES

- ALL WATER AND SEWER CONSTRUCTION SHALL BE PER MT. WERNER WATER STANDARD SPECIFICATIONS, LATEST EDITION, AS APPLICABLE.
- MAINTAIN 10' HORIZONTAL AND 18" VERTICAL MINIMUM SEPARATION BETWEEN ALL SANITARY SEWER MAINS, WATER MAINS & SERVICES.
- MANHOLES LOCATED OUTSIDE OF THE ROADWAY SHALL PROTRUDE 1' ABOVE EXISTING GRADE TO REDUCE INFILTRATION. GRADE SURFACE TO DRAIN AROUND/AWAY FROM MANHOLE RIMS.
- ALL MANHOLES LOCATED IN THE ROADWAY SHALL HAVE RIM ELEVATIONS ADJUSTED TO 1/2" BELOW FINISHED GRADE. IF NECESSARY, CONE SECTIONS SHALL BE ROTATED TO PREVENT TIES BEING LOCATED WITHIN VEHICLE OR BICYCLE WHEEL PATHS.
- SEWER SERVICE SHALL HAVE A MINIMUM OF 4-FT OF COVER.
- WATER SERVICE SHALL HAVE A MINIMUM OF 7-FT OF COVER.
- ALL WATER PIPE SHALL BE INSTALLED WITH A #10 SOLID COPPER WIRE COATED WITH 45 MIL POLYETHYLENE FOR LOCATING PURPOSES. "CLEAN TEST STATIONS" BY VALVICO, INC. TRACER WIRE TEST STATIONS SHALL BE INSTALLED ADJACENT TO ALL FIRE HYDRANTS. ADDITIONAL LOCATIONS MAY BE REQUIRED.
- THE PARTICLE SIZE OF BEDDING AND SHADING MATERIAL SHALL BE 3/4 INCH WASHED OR SCREENED ROCK (NOT ROAD BASE OR CLASS 6) AND SHALL EXTEND THE FULL WIDTH OF THE TRENCH.
- ALL MATERIALS USED FOR BACKFILL SHALL BE FREE FROM REFUSE ORGANIC MATERIAL, COBBLES, BOULDERS, LARGE ROCKS OR STONES OR FROZEN SOILS GREATER THAN 6-INCHES IN DIAMETER.
- ALL TRENCHES SHALL BE COMPACTED TO 95% AS DETERMINED BY ASTM D608 (STANDARD PROCTOR) OR AS SPECIFIED BY GEOTECHNICAL ENGINEER.

PROJECT NOTES:

- AN AUTOCAD COMPATIBLE FILE WILL BE PROVIDED FOR CONSTRUCTION STAKING PURPOSES, UPON ACCEPTANCE OF LANDMARK'S CAD RELEASE POLICY.
- IF THESE DRAWINGS ARE PRESENTED IN A FORMAT OTHER THAN 24" X 36", THE GRAPHIC SCALE SHOULD NOT BE USED.

- THE CONTRACTOR ACKNOWLEDGES AND UNDERSTANDS THAT THE CONTRACT DOCUMENTS MAY REPRESENT IMPERFECT DATA AND MAY CONTAIN ERRORS, OMISSIONS, CONFLICTS, INCONSISTENCIES, CODE VIOLATIONS AND IMPROPER USE OF MATERIALS. SUCH DEFICIENCIES WILL BE CORRECTED CONTING IDENTIFIED. THE CONTRACTOR AGREES TO CAREFULLY STUDY AND COMPARE THE INDIVIDUAL CONTRACT DOCUMENTS AND REPORT AT ONCE IN WRITING T THE OWNER ANY DEFICIENCIES THE CONTRACTOR MAY DISCOVER. THE CONTRACTOR FURTHER AGREES TO REQUIRE EACH SUBCONTRACTOR TO LIKEWISE STUDY THE DOCUMENTS AND REPORT AT ONCE ANY DEFICIENCIES DISCOVERED.

THE CONTRACTOR SHALL RESOLVE ALL REPORTED APPLICABLE DEFICIENCIES WITH LANDMARK PRIOR TO AWARDDING ANY SUBCONTRACTS OR STARTING ANY WORK WITH THE CONTRACTOR'S OWN EMPLOYEES. IF ANY DEFICIENCIES CANNOT BE RESOLVED BY THE CONTRACTOR WITHOUT ADDITIONAL TIME OR ADDITIONAL EXPENSES, THE CONTRACTOR SHALL SO INFORM THE OWNER IN WRITING. ANY SUCH ADDITIONAL WORK PERFORMED PRIOR TO RECEIPT OF INSTRUCTIONS FROM THE OWNER WILL BE DONE AT THE CONTRACTOR'S RISK.

CONSTRUCTION PHASE SERVICES:

IT IS UNDERSTOOD AND AGREED THAT LANDMARK DOES NOT HAVE AN OBLIGATION TO CONDUCT CONSTRUCTION OBSERVATION OR REVIEW OF THE CONTRACTOR'S PERFORMANCE OR ANY OTHER CONSTRUCTION PHASE SERVICES, AND THAT SUCH SERVICES WILL BE PROVIDED FOR BY THE OWNER AS MAY BE REQUIRED BY THE AUTHORITY HAVING JURISDICTION OF STEAMBOAT SPRINGS. THE OWNER ASSUMES ALL RESPONSIBILITY FOR INTERPRETATION OF THESE CONSTRUCTION DOCUMENTS AND FOR CONSTRUCTION OBSERVATION AND THE OWNER WAIVES ANY CLAIMS AGAINST LANDMARK THAT MAY BE IN ANY WAY CONNECTED THERETO.

IN ADDITION, THE OWNER AGREES, TO THE FULLEST EXTENT PERMITTED BY LAW, TO INDEMNIFY AND HOLD HARMLESS LANDMARK, ITS OFFICERS, DIRECTORS, EMPLOYEES AND SUBCONSULTANTS (COLLECTIVELY, LANDMARK) AGAINST ALL DAMAGES, LIABILITIES OR COSTS, INCLUDING REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PERFORMANCE OF SUCH SERVICES BY OTHER PERSONS OR ENTITIES AND FROM ANY AND ALL CLAIMS ARISING FROM MODIFICATIONS, CLARIFICATIONS, INTERPRETATIONS, ADJUSTMENTS OR CHANGES MADE TO THESE CONSTRUCTION DOCUMENTS TO REFLECT CHANGED FIELD OR OTHER CONDITIONS, EXCEPT FOR CLAIMS ARISING FROM THE SOLE NEGLIGENCE OR WILLFUL MISCONDUCT OF LANDMARK.

ABBREVIATIONS	
ADA	AMERICANS WITH DISABILITIES ACT
APR	APPROXIMATE
BMP	BEST MANAGEMENT PRACTICE
BOY	BOTTOM
BVCS	BEGIN VERTICAL CURVE STATION
BVCE	BEGIN VERTICAL CURVE ELEVATION
BW OR BOW	BOTTOM OF WALL
CAC	CUT & COVER
CAP	CORRUGATED ALUMINUM PIPE
CIP	CAST-IN-PLACE
CL	CENTERLINE
CMP	CORRUGATED METAL PIPE
C.O	CLEAN-OUT
CP	CONCRETE PIPE
CSP	CORRUGATED STEEL PIPE
DIA	DIAMETER
DIP	DUCTILE IRON PIPE
EG	EXISTING GROUND
EL	ELEVATION
EOA OR EA	EDGE OF ASPHALT
ECC	EDGE OF CONCRETE
EOP	EDGE OF PAVEMENT
EVCE	END VERTICAL CURVE ELEVATION
EVCS	END VERTICAL CURVE STATION
EX	EXISTING
F&G	FRAME & GRATE
FAC	FRAME & COVER
FES	FLARED END SECTION
FFE	FINISH FLOOR ELEVATION
FIH	FIRE HYDRANT
FL	FLOW LINE
FG	FINISH GRADE
FG&BW	FINISH GRADE AT BOTTOM OF WALL
GB	GRADE BREAK
GFFE	GARAGE FINISH FLOOR ELEVATION
GTD	GRADE TO DRAIN
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HW	HWENT
LBS	POUNDS
LOD	LIMITS OF DISTURBANCE
MEP	MECHANICAL, ELECTRIC, AND PLUMBING
MAX	MAXIMUM
ME	MATCH EXISTING
MN	MANHOLE
MIN	MINIMUM
MJ	MECHANICAL JOINT
NAP OR N.A.P.	NOT A PART NOT INCLUDED IN SCOPE
N.T.S.	NOT TO SCALE
OFF	OFFSET
PC	POINT OF CURVE
PI	POINT OF INTERSECTION
PCOC	POINT OF CONCAVE CURVE
PLDP	POROUS LANDSCAPE DETENTION POND
PRC	POINT OF REVERSE CURVE
PT	POINT OF TANGENT
PVC	POINT OF VERTICAL CURVE
PVC	POLYVINYL CHLORIDE PIPE
PVI	POINT OF VERTICAL INTERSECTION
PVT	POINT OF VERTICAL TANGENT
R	RADIUS
RCR	REINFORCED CONCRETE PIPE
REQ	REQUIRED
ROW	RIGHT OF WAY
STA	STATION
TB	THRUST BLOCK
TBC	TOP BACK OF CURB
TBR	TO BE REMOVED
TG	TOP OF GRATE
TGP	TOP OF PIPE
TTS	TAPERED TO GRADE
TW OR TOW	TOP OF WALL
Typ	TYPICAL
VCP	VITRIFIED CLAY PIPE
VOL	VOLUME
W	WITH

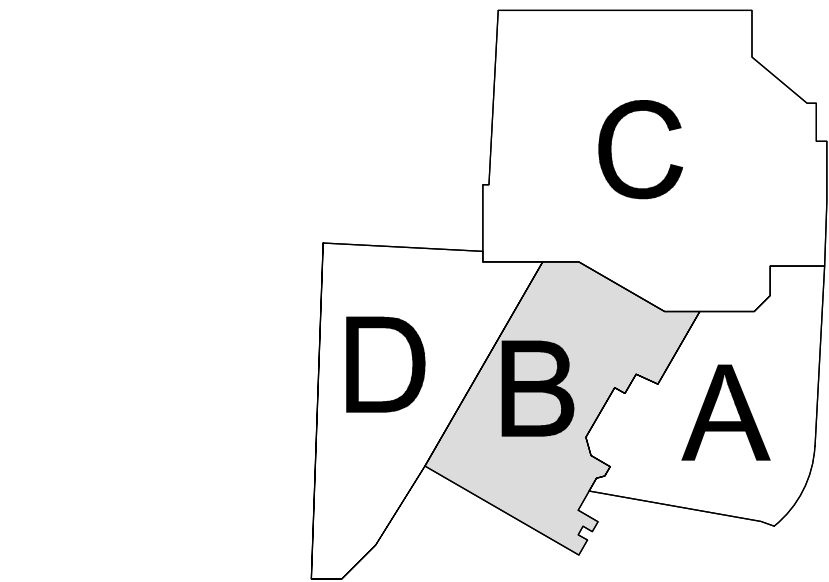
CALL UTILITY NOTIFICATION CENTER OF COLORADO

811

Know what's below.
Call before you dig.

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG. QUOTE OR CALL AHEAD OF TIME TO AVOID UNNECESSARY UNDERGROUND MEMBER UTILITIES.

KEY PLAN



Steamboat

ALTERRA east west partners
MOUNTAIN COMPANY

2305 Mount Werner Circle
Steamboat Springs, CO 80487

Gensler

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14199 West Colfax Ave.
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United States
Tel 303.431.6100



14143 Denver West Pkwy
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Golden, CO
United States
Tel 303.421.6555

Date	Description
2021.05.19	BP3: GOLDWALK - ISSUE FOR BID AND PERMIT



NOT VALID WITHOUT ORIGINAL SIGNATURE AND DATE

Seal / Signature

Project Name GOLD WALK

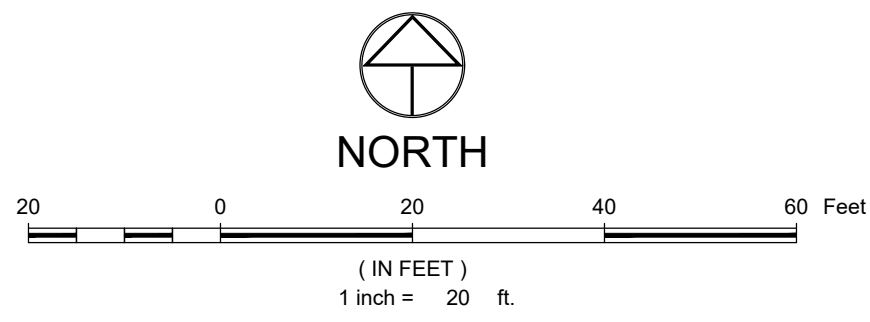
SSRC | BASE AREA IMPROVEMENTS

Project Number 003.7835.000

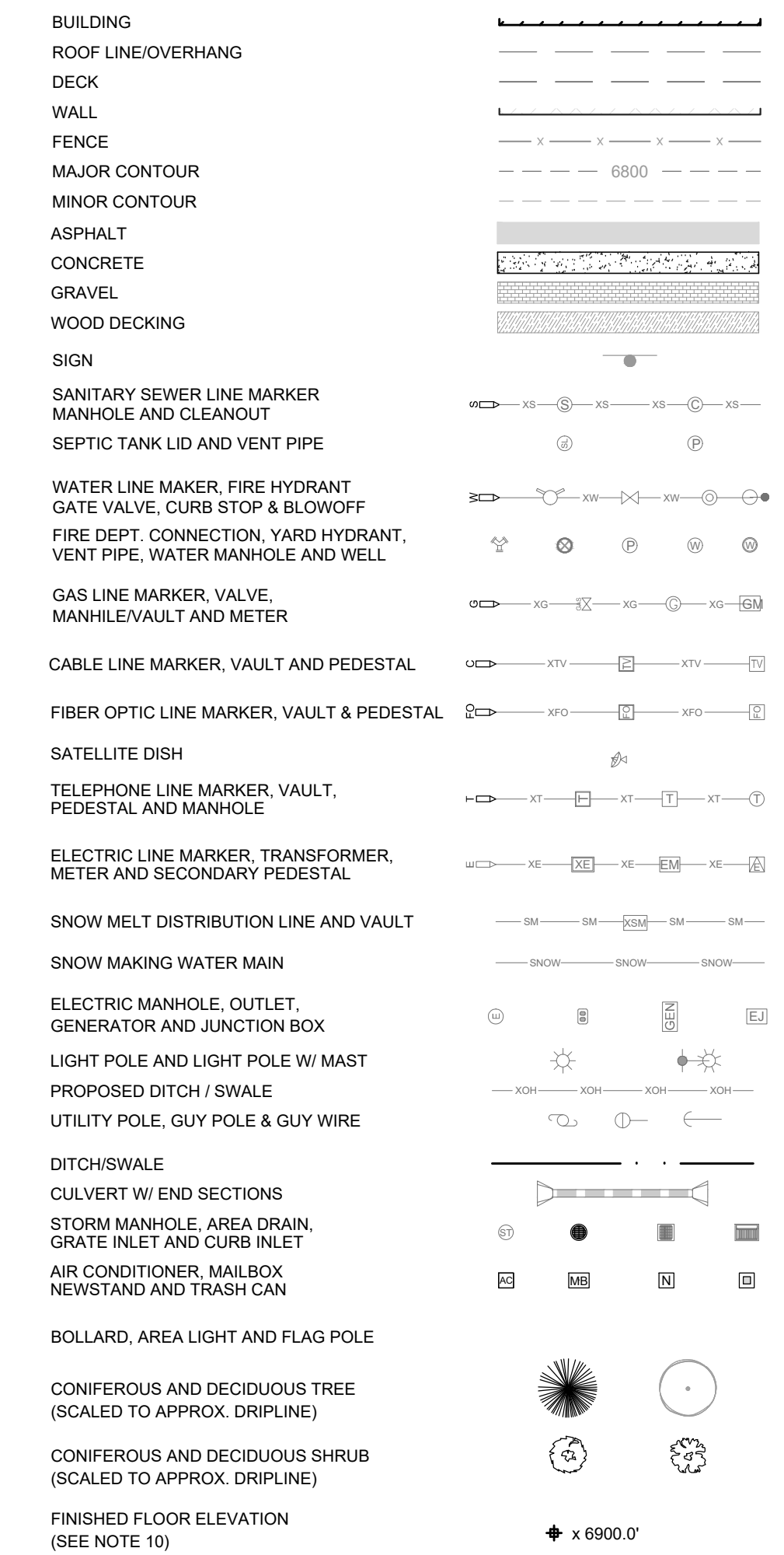
Description Civil Construction Notes

Scale SEE GRAPHICAL SCALE

1B-C.002



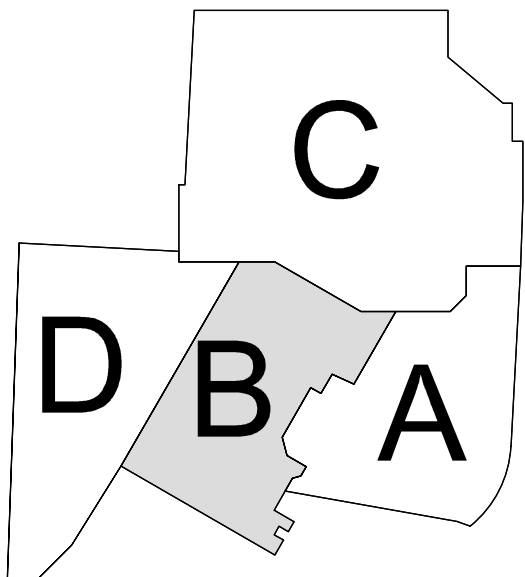
LEGEND



NOTES

- THIS EXISTING CONDITIONS PLAN DOES NOT REPRESENT A MONUMENTED LAND SURVEY OR IMPROVEMENT SURVEY. IT IS INTENDED ONLY TO DEPICT THAT INFORMATION REQUESTED BY OUR CLIENT.
- PARCEL AND RIGHT OF WAY BOUNDARIES ARE SHOWN HEREON BASED UPON THE APPLICABLE SUBDIVISION PLATS AND AVAILABLE PROPERTY CORNER MONUMENTS.
- BASIS OF HORIZONTAL CONTROL: COLORADO NORTH ZONE, STATE PLANE COORDINATE SYSTEM, NAD83(2011).
- UNITS SHOWN HEREON ARE IN US SURVEY FEET AND THE STANDARD OF DISTANCE ACCURACY FOR THIS MAP HAS BEEN DETERMINED TO BE GREATER THAN 1:10,000.
- SITE BENCHMARK: A RECOVERED 3" BRASS CAP MONUMENTING THE NORTHEAST CORNER OF SECTION 28, TOWNSHIP 6 NORTH, RANGE 84 WEST OF THE 6TH P.M. SHD BRASS CAP ALSO BEING CITY OF STEAMBOAT SPRINGS GIS CONTROL POINT NUMBER 344, HAVING AN ELEVATION OF 6935.31 BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), AS SHOWN HEREON.
- CONTOUR INTERVAL = 1 FOOT
- BURIED UTILITIES AND/OR PIPE LINES ARE SHOWN PER VISIBLE SURFACE EVIDENCE, AS-BUILT DRAWINGS OF THE CONSTRUCTED UTILITY LINES AND MARKINGS PROVIDED BY A UTILITY LOCATING SERVICE. LOCATIONS SHOWN ARE APPROXIMATE. IF ANY UNDERGROUND UTILITY LOCATIONS ARE REQUIRED, THEY WILL HAVE TO BE VERIFIED BY FIELD POT-HOLING THE UTILITIES. LANDMARK CONSULTANTS, INC. AND THE SURVEYOR OF RECORD SHALL NOT BE LIABLE FOR THE LOCATION OF OR THE FAILURE TO NOTE THE LOCATION OF NON-VISIBLE UTILITIES.
- THE LAST FIELD INSPECTION OF THE SITE WAS ON JANUARY 5, 2021.
- ALL SYMBOLS ARE ONLY GRAPHICALLY REPRESENTED AND ARE NOT TO SCALE.
- FINISH FLOOR ELEVATIONS WERE OBTAINED BY MEASUREMENTS MADE ON LANDINGS OR DOOR SILLS OUTSIDE THE BUILDING. INTERIOR FLOOR ELEVATIONS SHOULD BE VERIFIED WHERE APPROPRIATE.
- WHERE 'MD' IS NOTED FOR STORM/AREA DRAIN INVERTS, THE DRAINS WERE MEASURED DOWN BUT IT WAS UNKNOWN WHETHER THE MEASUREMENT WAS TO A WYE, BEND OR INVERT DUE TO LACK OF VISIBILITY. THE 'MD' IS INTENDED TO REPRESENT MEASURED DEPTH. SOME DISCREPANCIES MAY EXIST.

KEY PLAN



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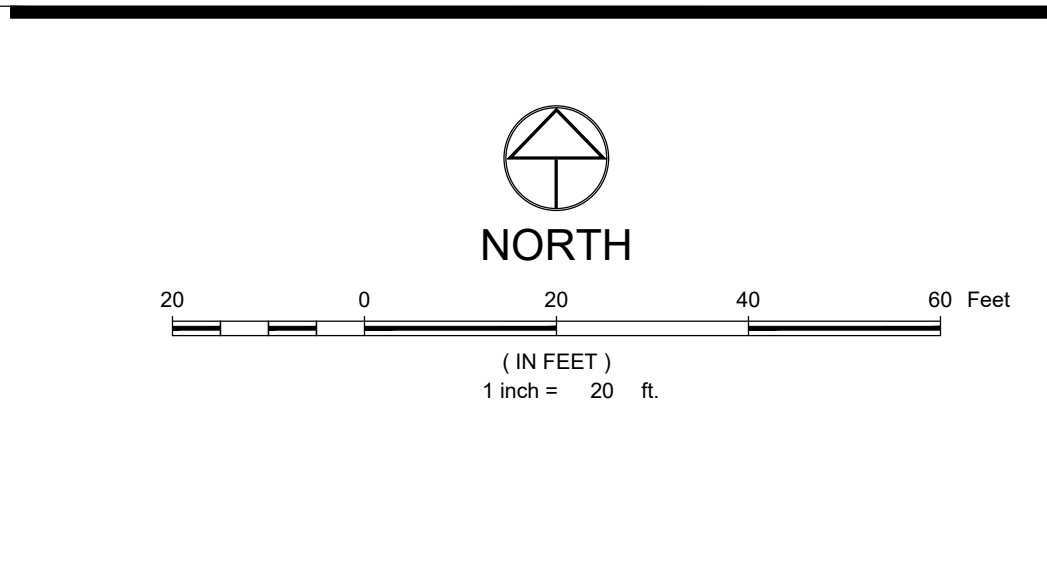
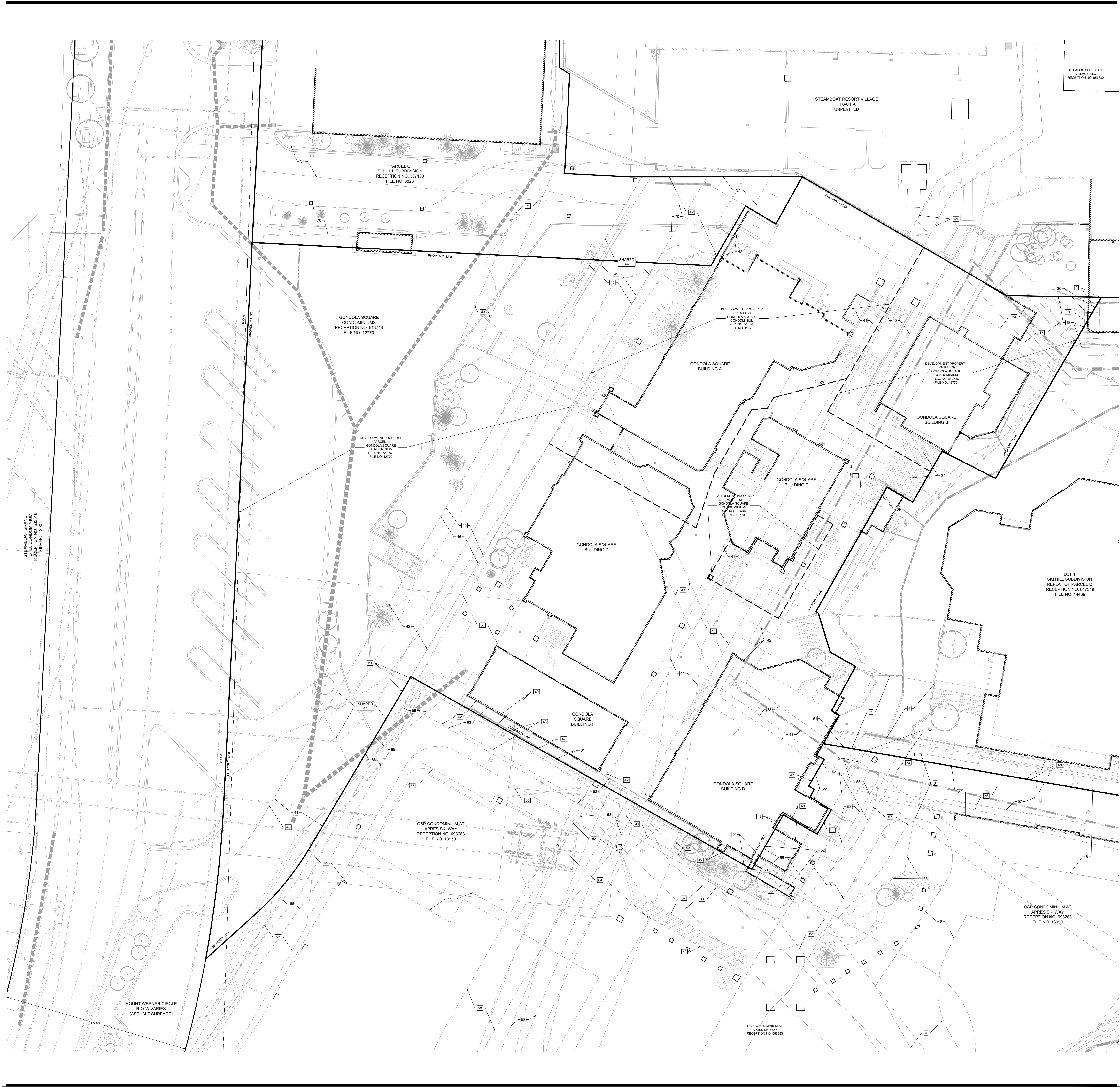
Seal / Signature

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Project Name GOLD WALK
SSRC | BASE AREA IMPROVEMENTS
Project Number 003.7835.000
Description Existing Conditions Plan

Scale SEE GRAPHICAL SCALE

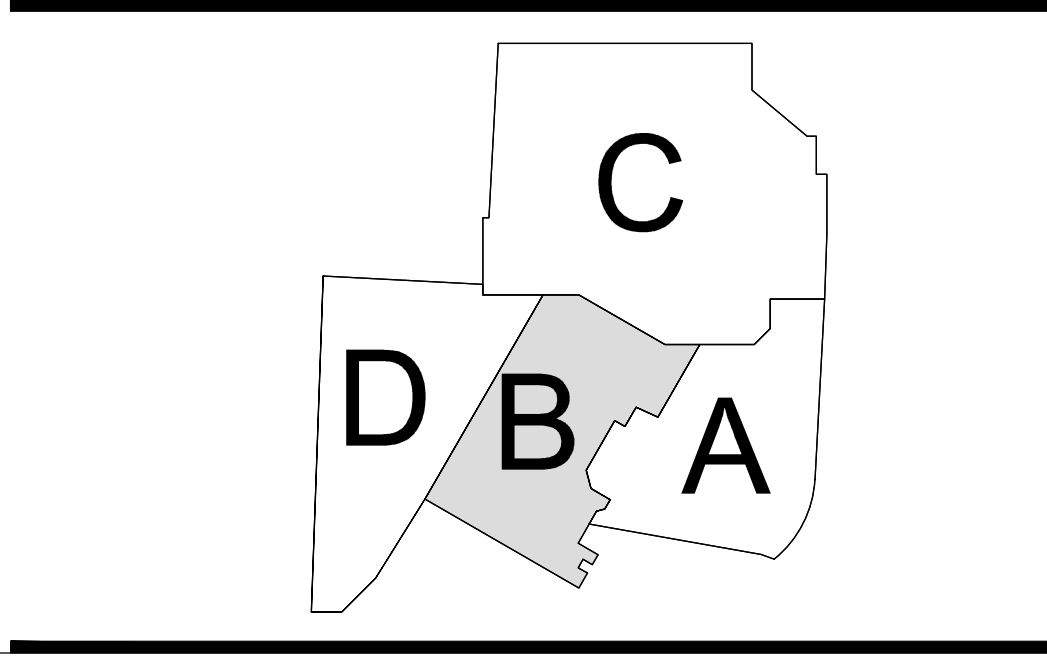
1B-C.003



EASEMENT LEGEND

- 1 RECEPTION NO. 693016: 20' ACCESS EASEMENT EAST HOTEL ACROSS OSP
- 2 BOOK 729, PAGE 338, RECEPTION NO. 746875: BUDDY'S RUN DECK ENCROACHMENT EASEMENT
- 3 RECEPTION NO. 693287: INTERFACE EASEMENT
- 4 RECEPTION NO. 693287: INTERFACE EASEMENT, REVOCABLE PORTION
- 5 BOOK 532, PAGE 620: 10' SANITARY SEWER EASEMENT
- 6 RECEPTION NO. 693286: PARKING, ACCESS & MAINTENANCE EASEMENT
- 7 BOOK 729, PAGE 338, RECEPTION NO. 687253, RECEPTION NO. 705974: EAST HOTEL ACCESS EASEMENT AS AMENDED BY RECEPTION NO.
- 8 BOOK 634, PAGE 49: 10' PEDESTRIAN AND BICYCLE PATH EASEMENT
- 9 RECEPTION NO. 307130, FILE NO. 8623: 12' PEDESTRIAN EASEMENT
- 10 BOOK 374, PAGE 345, BOOK 376, PAGE 318, RECEPTION NO. 770569: 20' WATER LINE EASEMENT
- 11 BOOK 337, PAGE 337: PERPETUAL VISUAL EASEMENT
- 12 BOOK 393, PAGE 509 & BOOK 395, PAGE 576: ROAD EASEMENT
- 13 BOOK 412, PAGE 341: ENTRYWAY EASEMENT
- 14 BOOK 412, PAGE 343: ACCESS EASEMENT
- 15 BOOK 580, PAGE 70, RECEPTION NO. 727257, RECEPTION NO. 727903: LANDSCAPING AND ACCESS EASEMENT (BEAR CLAW P)
- 16 BOOK 745, PAGE 286: 20' SEWER EASEMENT
- 17 RECEPTION NO. 673610 & 705975: SEWER EASEMENT RELOCATION AREA
- 18 RECEPTION NO. 789275: SEWER ENCROACHMENT AREA
- 19 RECEPTION NO. 678035: FIRE SEPARATION EASEMENT
- 20 RECEPTION NO. 692162: SKI EASEMENT
- 21 RECEPTION NO. 693153: WATER MAINS EASEMENT
- 22 RECEPTION NO. 696297, RECEPTION NO. 748729, RECEPTION NO. 702319, RECEPTION NO. 713742: PUBLIC IMPROVEMENTS EASEMENT (HATCHED)
- 23 RECEPTION NO. 696297, RECEPTION NO. 713142: PUBLIC IMPROVEMENTS EASEMENT (BOLTER HOUSE)
- 24 RECEPTION NO. 699720: SEWER MAINS EASEMENT
- 25 RECEPTION NO. 698771: WATER MAINS EASEMENT
- 26 RECEPTION NO. 716939, RECEPTION NO. 733617: PUBLIC IMPROVEMENTS EASEMENT (LITTLE P EASEMENT)
- 27 RECEPTION NO. 728342: ACCESS AND LANDSCAPE EASEMENT
- 28 BOOK 580, PAGE 238 & RECEPTION NO. 693278: ACCESS EASEMENT (1ST AMENDMENT EAST HOTEL ACCESS)
- 29 RECEPTION NO. 696296: STORM SEWER & ACCESS AND MAINTENANCE EASEMENT
- 30 RECEPTION NO. 693152: SANITARY SEWER EASEMENT
- 31 RECEPTION NO. : ELECTRIC EASEMENT
- 32 RECEPTION NO. : GAS EASEMENT
- 33 BOOK 532, PAGE 756: TELEPHONE EASEMENT
- 34 BOOK 601, PAGE 648: 10' BICYCLE AND PEDESTRIAN EASEMENT
- 35 RECEPTION NO. 789276: DECK EASEMENT AGREEMENT
- 36 BOOK 629, PAGE 632: PEDESTRIAN ACCESS EASEMENT
- 37 BOOK 532, PAGE 620, BOOK 532, PAGE 774: 10' SANITARY SEWER EASEMENT
- 38 BOOK 760, PAGE 976: BUILDING ENCROACHMENT EASEMENT
- 39 RECEPTION NO. 513746 (FILE NO. 12770), RECEPTION NO. 307130 (FILE NO. 8623): STORM SEWER EASEMENT
- 40 BOOK 532, PAGE 758: 10' TELEPHONE EASEMENT
- 41 BOOK 596, PAGE 1611: EXCLUSIVE PARKING SPACES; ENTRANCE FROM ACCESS ROUTE NO. 1; ENTRANCE FROM ACCESS ROUTE NO. 2; VEHICULAR AND PEDESTRIAN INGRESS AND EGRESS ACCESS EASEMENT; ACCESS ROUTE 2; STORAGE, CLOSET, ELEVATOR & STAIRWAY
- 42 BOOK 532, PAGE 774: 10' ELECTRIC EASEMENT
- 43 BOOK 729, PAGE 342: HOTEL ACCESS EASEMENT
- 44 RECEPTION NO. 307130: ACCESS EASEMENT SKI HILL SUBDIVISION
- 45 BOOK 599, PAGE 98: TRUCK TURNAROUND LICENSE AGREEMENT
- 46 RECEPTION NO. 693288: INTERFACE EASEMENT
- 47 RECEPTION NO. 693289: NO BUILD EASEMENT
- 48 BOOK 596, PAGE 1487, EX C-7: BUILDING IMPROVEMENT EASEMENT
- 49 RECEPTION NO. 693960: AERIAL TRAMWAY EASEMENT
- 50 RECEPTION NO. 690175: SHORING EASEMENT AGREEMENT
- 51 RECEPTION NO. 590285: GONDOLA EXPANSION EASEMENT (MULTIPLE EXHIBITS), GONDOLA SQUARE ACCESS EASEMENT, WEST SIDE DRAINAGE EASEMENT, ETC.
- 52 RECEPTION NO. 693283: PEDESTRIAN ACCESS EASEMENT OSP
- 53 BOOK 532, PAGE 622: 10' WATERLINE EASEMENT
- 54 RECEPTION NO. 693285: PATIO EASEMENT; DOORWAY EASEMENT; ENTRY EASEMENTS
- 55 RECEPTION NO. 693280: SANITARY SEWER EASEMENT
- 56 RECEPTION NO. 693283: EMERGENCY ACCESS EASEMENT OSP
- 57 RECEPTION NO. 693289: SKI AREA EASEMENT, STORM SEWER & DRAINAGE EASEMENT, REDIPROCAL UTILITY EASEMENT, GONDOLA SQUARE ACCESS EASEMENT
- 58 RECEPTION NO. 693016, BOOK 729, PAGE 338: AGREEMENT (ACCESS TO EASTERN SIDE OF HOTEL)
- 59 RECEPTION NO. 693278: DECLARATION OF EASEMENT
- 60 RECEPTION NO. 690979: ACCESS EASEMENT
- 61 BOOK 596, PAGE 1487, EX C-7: WALKWAY EASEMENT
- 62 RECEPTION NO. 590280, BOOK 596, PAGE 1487, EX C-8 AND C-9: STORM SEWER LINE EASEMENT AND STORM LINE EASEMENT
- 63 BOOK 328, PAGE 473: PRIVATE RIGHT-OF-WAY
- 64 RECEPTION NO. 691066: OSP EASEMENT AREA
- 65 RECEPTION NO. 693016: RIGHT OF WAY EASEMENT (ELECTRIC)
- 66 RECEPTION NO. 693275: SNOWMAKING LINE EASEMENT
- 67 BOOK 583, PAGE 238: 30' ACCESS EASEMENT
- 68 BOOK 519, PAGE 577: 10' TELEPHONE EASEMENT
- 69 BOOK 729, PAGE 343: HOTEL BRIDGE ACCESS, PEDESTRIAN AND EMERGENCY AND MAINTENANCE VEHICLE ACCESS
- 70 BOOK 532, PAGE 762: ELECTRIC EASEMENT

KEY PLAN



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MARTIN/MARTIN
ENGINEERS

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Seal / Signature

Project Name GOLD WALK

SSRC | BASE AREA IMPROVEMENTS

Project Number 003.7835.000

Description Existing Property Easement Exhibit

Scale SEE GRAPHICAL SCALE

1B-C.004

STEAMBOAT RESORT
VILLAGE, LLC
RECEPTION NO. 657630

GONDOLA SQUARE
CONDOMINIUMS
RECEPTION NO. 313746

PROJECT BENCHMARK
NORTHING: 1412122.85
EASTING: 263944.81
NAVD83 EL. 8934.90
CHISELED SQUARE ON
CONCRETE RETAINING WALL

ST 3°07'36"E

MT. WERNER CIRCLE

GONDOLA TRANSIT CENTER

BUILDING CONTROL
NORTHING: 1412042.62
EASTING: 2639653.96
GRIDLINE INTERSECTION B-2

S 80°00'00"E

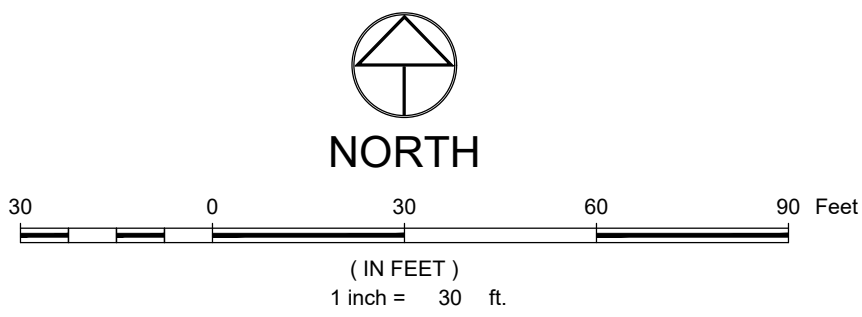
HORIZONTAL CONTROL POINT
NORTHING: 1412127.78
EASTING: 2639556.17

LOT 1
SKI HILL SUBDIVISION REPLAY OF PARCEL D
RECEPTION NO. 817319

EXISTING GONDOLA
BUILDING

PROJECT BENCHMARK
NORTHING: 1411938.05
EASTING: 2637112.05
NAVD83 EL. 8992.28
NAIL IN BRASS DISK
STAMPED "LC1LS 20039"

OSP CONDOMINIUM AT
APRES SKI WAY
RECEPTION NO. 693283



LEGEND

PROPERTY BOUNDARY	---
TIE	---
CONTROL POINT	⊙
BENCHMARK	⊕
GRID LINE (BY OTHERS)	--- A

NOTES

- ALL REFERENCES HEREON TO BOOKS, PAGES, FILES, RECEPTION NUMBERS AND FILE NUMBERS ARE TO PUBLIC DOCUMENTS FILED IN THE RECORDS OF ROUTT COUNTY, COLORADO.
- COORDINATES AND BEARINGS SHOWN HEREON ARE COLORADO COORDINATE SYSTEM, NORTH ZONE 6501, US SURVEY FEET, NAD83(2011).
- BASIS OF BEARINGS: A GRID BEARING OF 73°07'36" BETWEEN THE PROJECT BENCHMARKS AS MONUMENTED AND SHOWN HEREON.
- THE POSITION AND ALIGNMENT OF THE GRIDLINES SHOWN HEREON **MUST** BE COORDINATED WITH THE ARCHITECTURAL AND STRUCTURAL PLANS.

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engineers

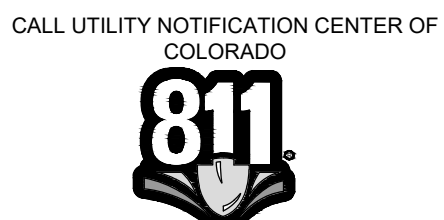
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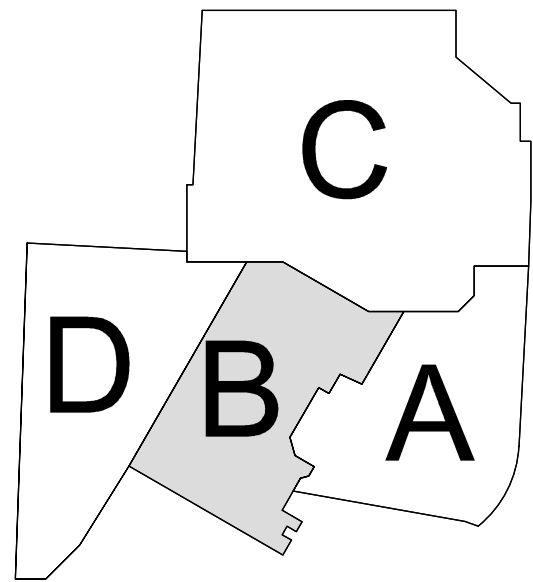
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KEY PLAN



Project Name GOLD WALK

SSRC | BASE AREA
IMPROVEMENTS

Project Number

003.7835.000

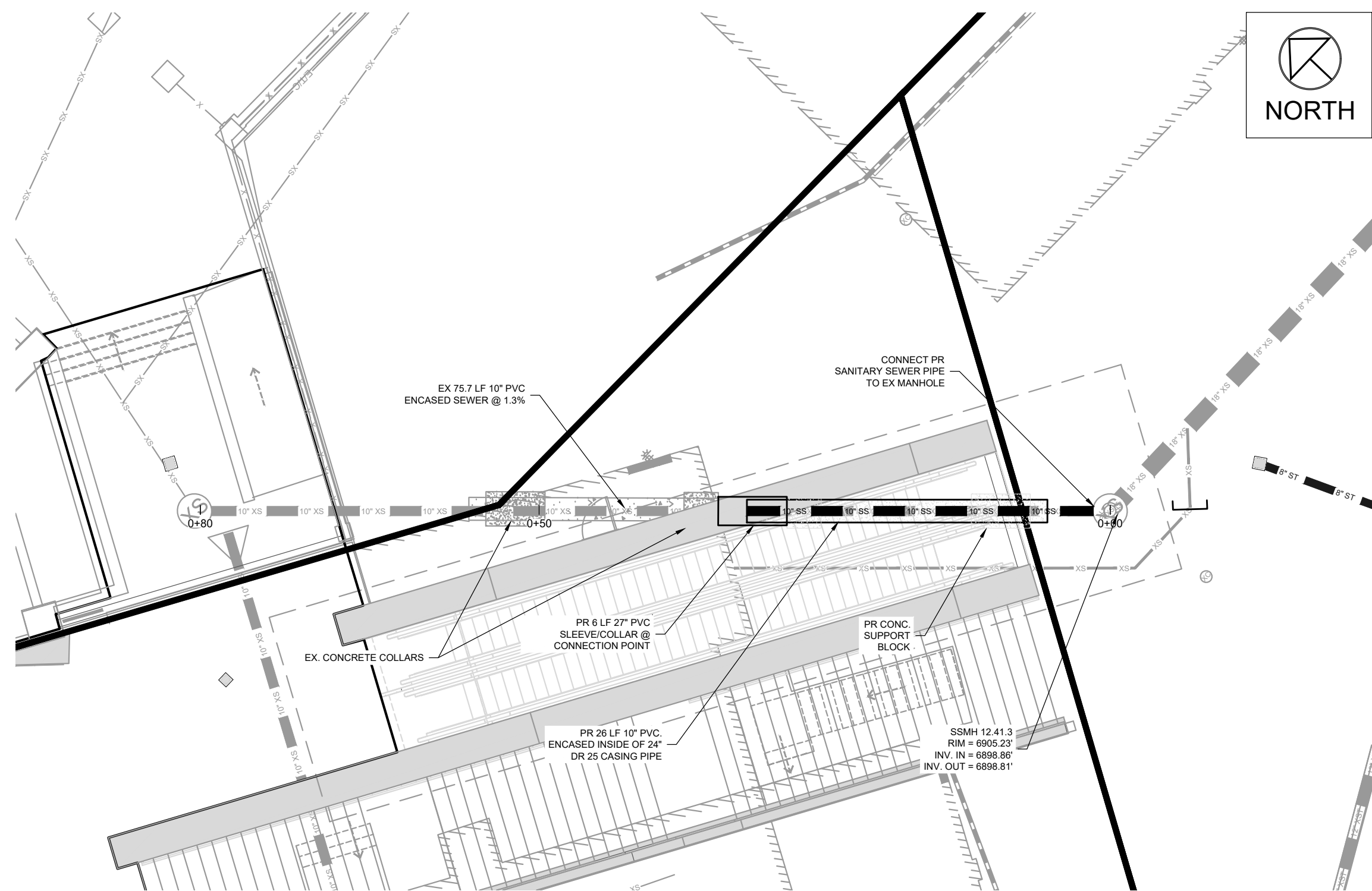
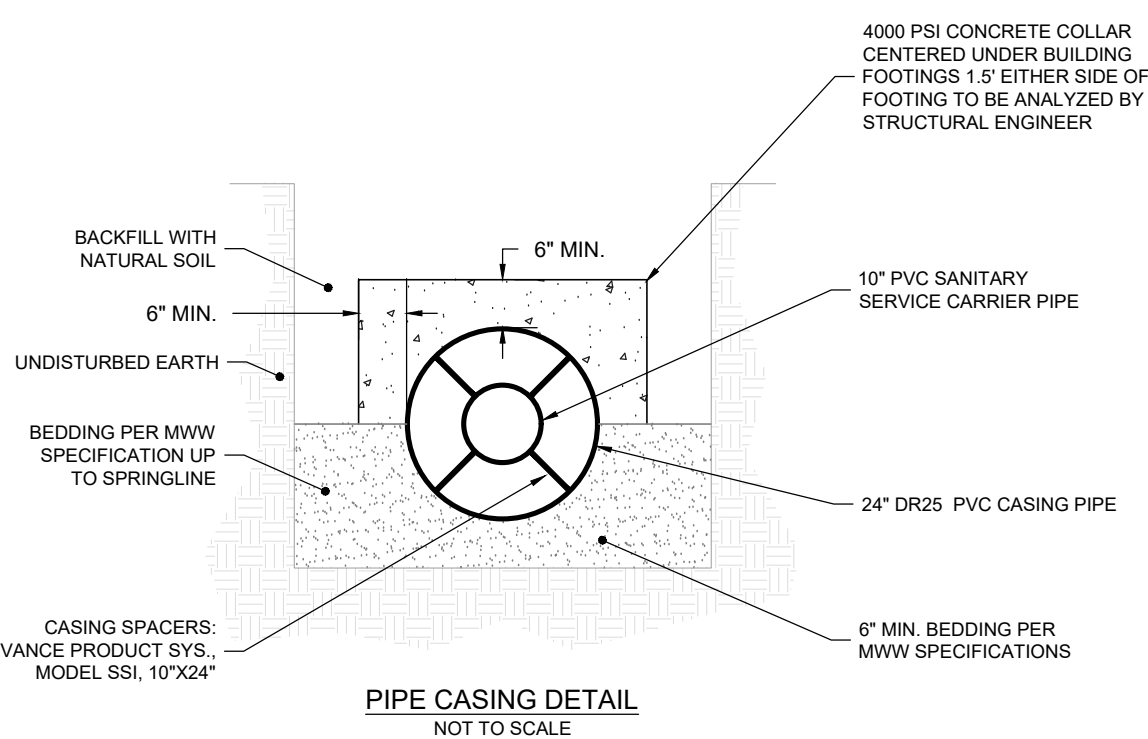
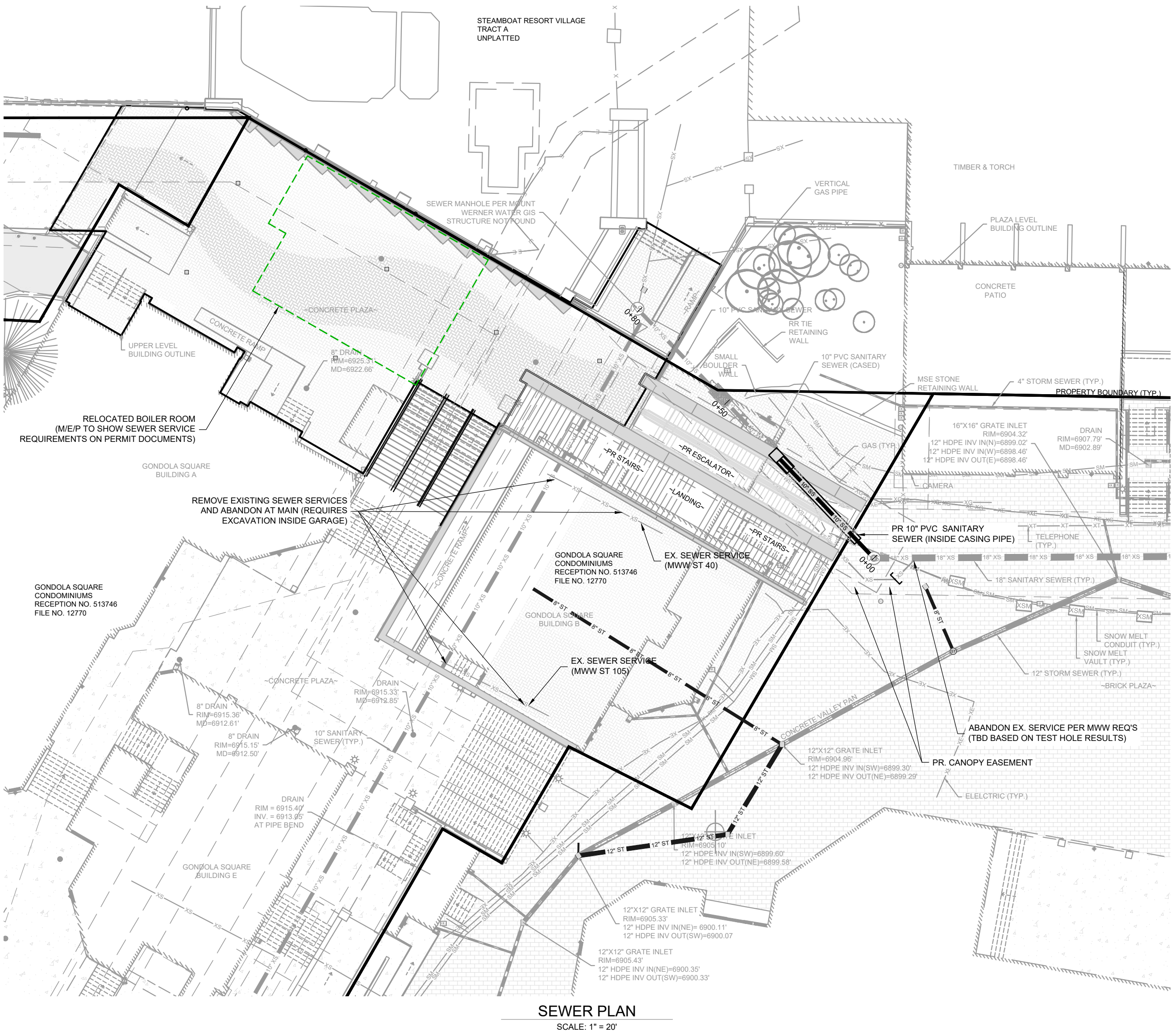
Description

HORIZONTAL CONTROL PLAN

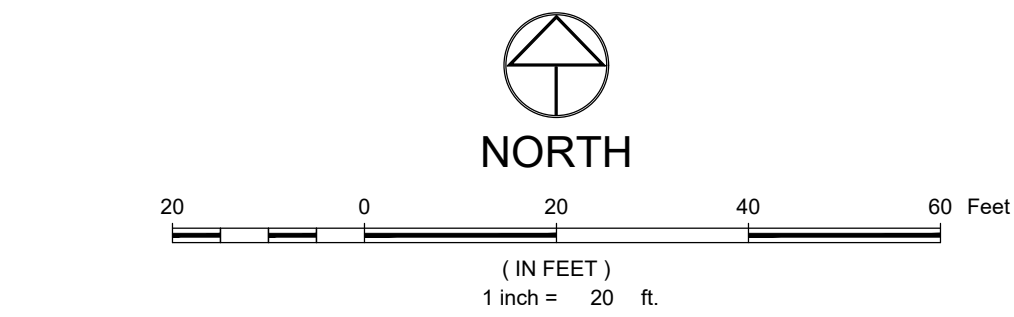
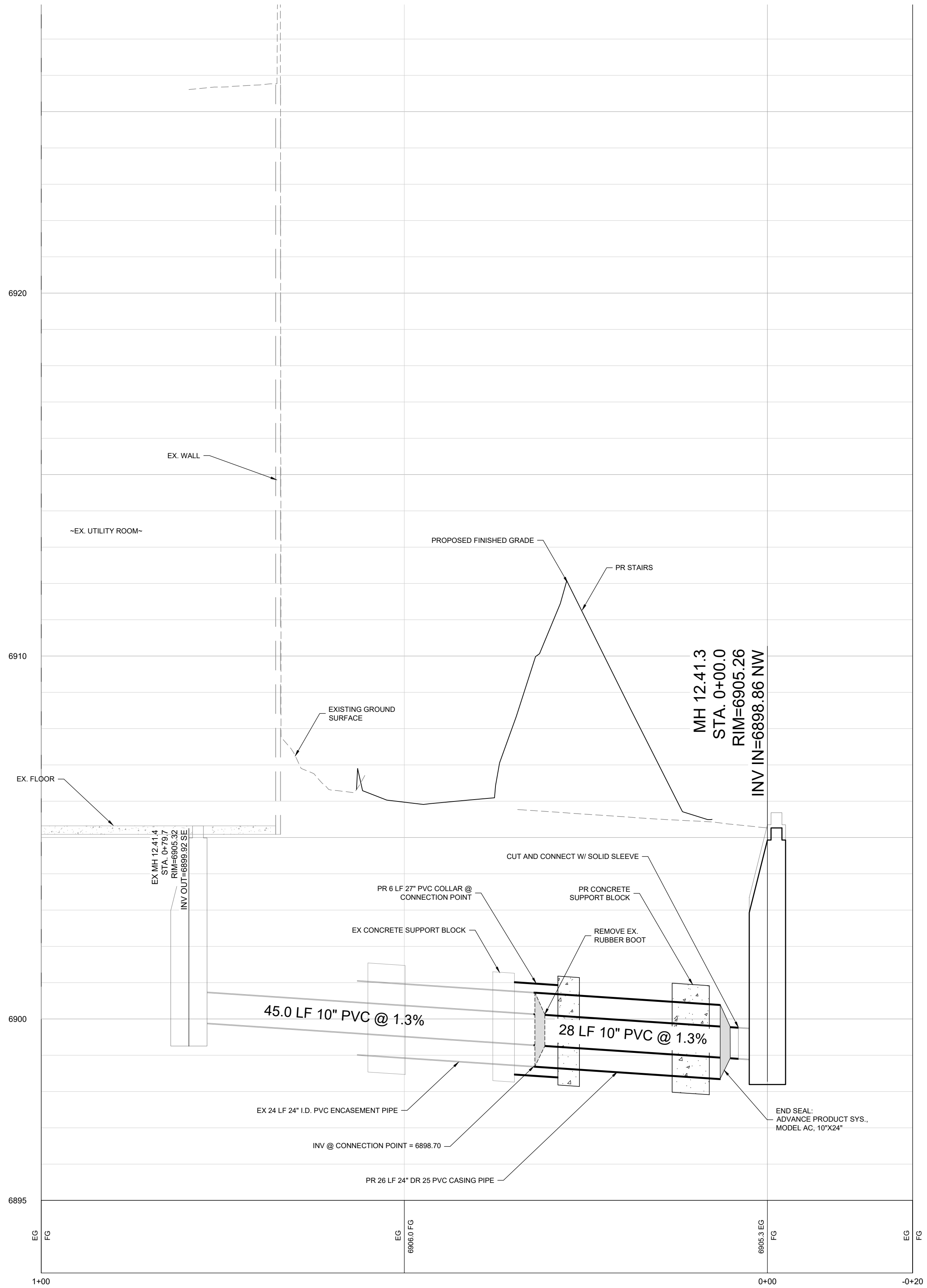
Scale

SEE GRAPHICAL SCALE

1B-C.090



SEWER PLAN & PROFILE (STA 0+00 - 0+80)
SCALE: 1" = 10' (H) 1" = 1' (V)



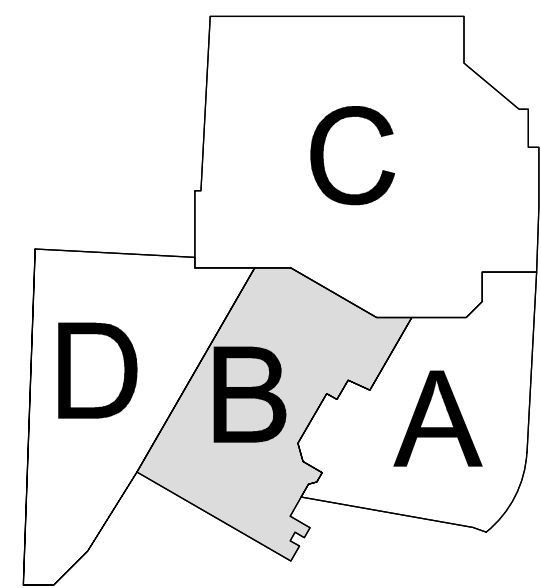
LEGEND

- PROPOSED 8" SANITARY SEWER W/ MH & C.O.
EXISTING 8" SANITARY SEWER W/ MH & C.O.
EX. SANITARY SEWER TO BE REMOVED OR ABANDONED
PROPOSED 8" WATER PIPE
PROPOSED GV, FH & CS
EXISTING WATER
EX. WATER TO BE REMOVED OR ABANDONED
EXISTING GV & FH
PROPOSED STORMCULVERT, INLET, MH, END SECTION WITH RIPRAP
EXIST 8" STORMCULVERT, INLET, MH, END SECTION WITH RIPRAP
EX. STORMCULVERT TO BE REMOVED OR ABANDONED
PROPOSED CONDUIT/DUCT BANK

NOTES

- THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK. BEFORE COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UNKNOWN UNDERGROUND UTILITIES.
- EXISTING UNDERGROUND AND OVERHEAD PUBLIC AND PRIVATE UTILITIES AS SHOWN ARE INDICATED ACCORDING TO THE BEST INFORMATION MADE AVAILABLE TO THE ENGINEER. THE ENGINEER DOES NOT GUARANTEE NOR IS RESPONSIBLE FOR THE ACCURACY OF SUCH INFORMATION. EXISTING UTILITY MAINS AND SERVICES MAY NOT BE STRAIGHT LINES OR AS INDICATED ON THESE DRAWINGS. CONTRACTOR TO VERIFY EXISTING HORIZONTAL AND VERTICAL LOCATIONS PRIOR TO CONSTRUCTION.
- ALL SEWER CONSTRUCTION SHALL BE PER MOUNT WERNER WATER STANDARD SPECIFICATIONS, LATEST EDITION.
- MAINTAIN 12" HORIZONTAL AND 18" VERTICAL MINIMUM SEPARATION BETWEEN ALL SANITARY SEWER MAINS, WATER MAINS & SERVICES.
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KEY PLAN



Steamboat
ALTERRA east west partners
MOUNTAIN COMPANY

2305 Mount Werner Circle
Steamboat Springs, CO 80487

Gensler
1225 17th Street
Suite 150
Denver, CO 80202
United States
Tel 303.595.8565
Fax 303.625.6823

LANDMARK
141 9th Street
PO Box 774943
Steamboat Springs, CO 80477
Tel 970.871.9494

DESIGNWORKSHOP
1390 Lawrence Street
Suite 100
Denver, CO 80204
Tel 303.623.5186

MARTIN/MARTIN
12499 West Cofax Ave.
Lakewood, CO 80215
United States
Tel 303.431.6100

me engineers
14143 Denver West Pkwy
Suite 300
Golden, CO
United States
Tel 303.421.6655

Date	Description
2021.05.19	BP3: GOLDWALK - ISSUE FOR BID AND PERMIT



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Seal / Signature

Project Name GOLD WALK

SSRC | BASE AREA IMPROVEMENTS

Project Number

003.7835.000

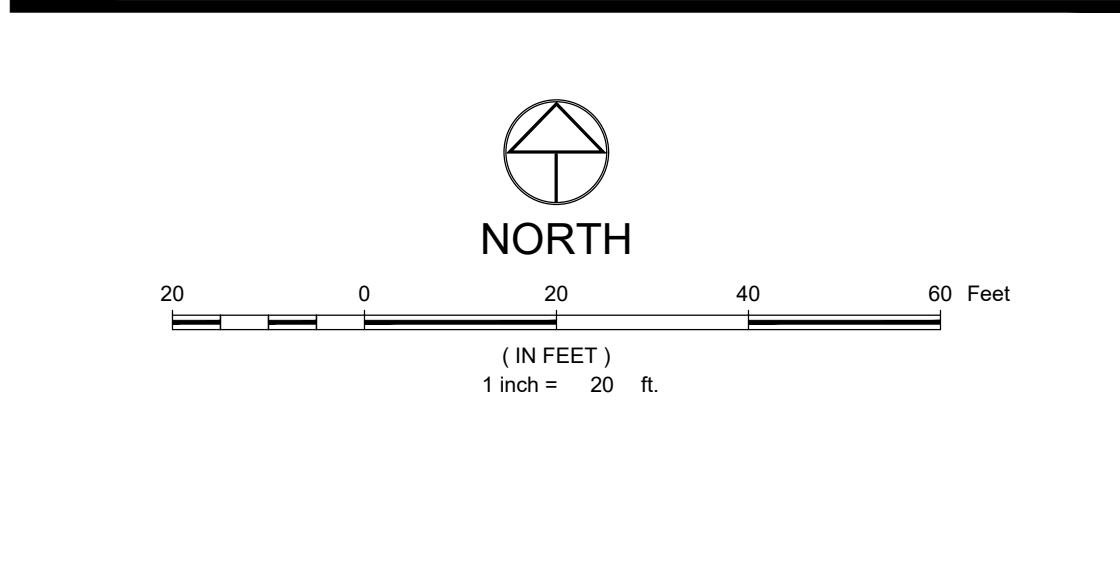
Description

Sewer Plan and Profile

Scale

SEE GRAPHICAL SCALE

1B-C.200



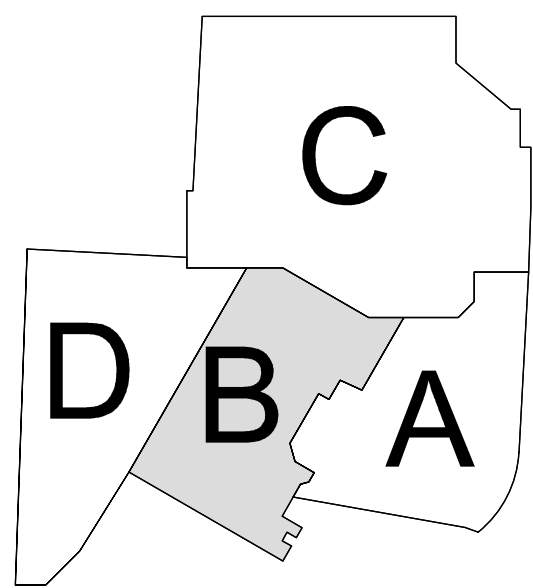
LEGEND

PROPOSED 8" SANITARY SEWER W/ MH & C.O.	8" SS
EXISTING 8" SANITARY SEWER W/ MH & C.O.	8" CS
EX. SANITARY SEWER TO BE REMOVED OR ABANDONED	XS DEMO
PROPOSED 8" WATER PIPE	8" W
PROPOSED 8" FH & CS	8" W
EXISTING WATER	8" XW
EX. WATER TO BE REMOVED OR ABANDONED	XW DEMO
EXISTING GV & FH	GV
PROPOSED STORMCULVERT, INLET, MH, END SECTION WITH RIPRAP	ST
EXIST 8" STORMCULVERT, INLET, MH, END SECTION WITH RIPRAP	8" ST
EX. STORMCULVERT TO BE REMOVED OR ABANDONED	ST DEMO
PROPOSED CONDUIT/DUCT BANK	CD

NOTES

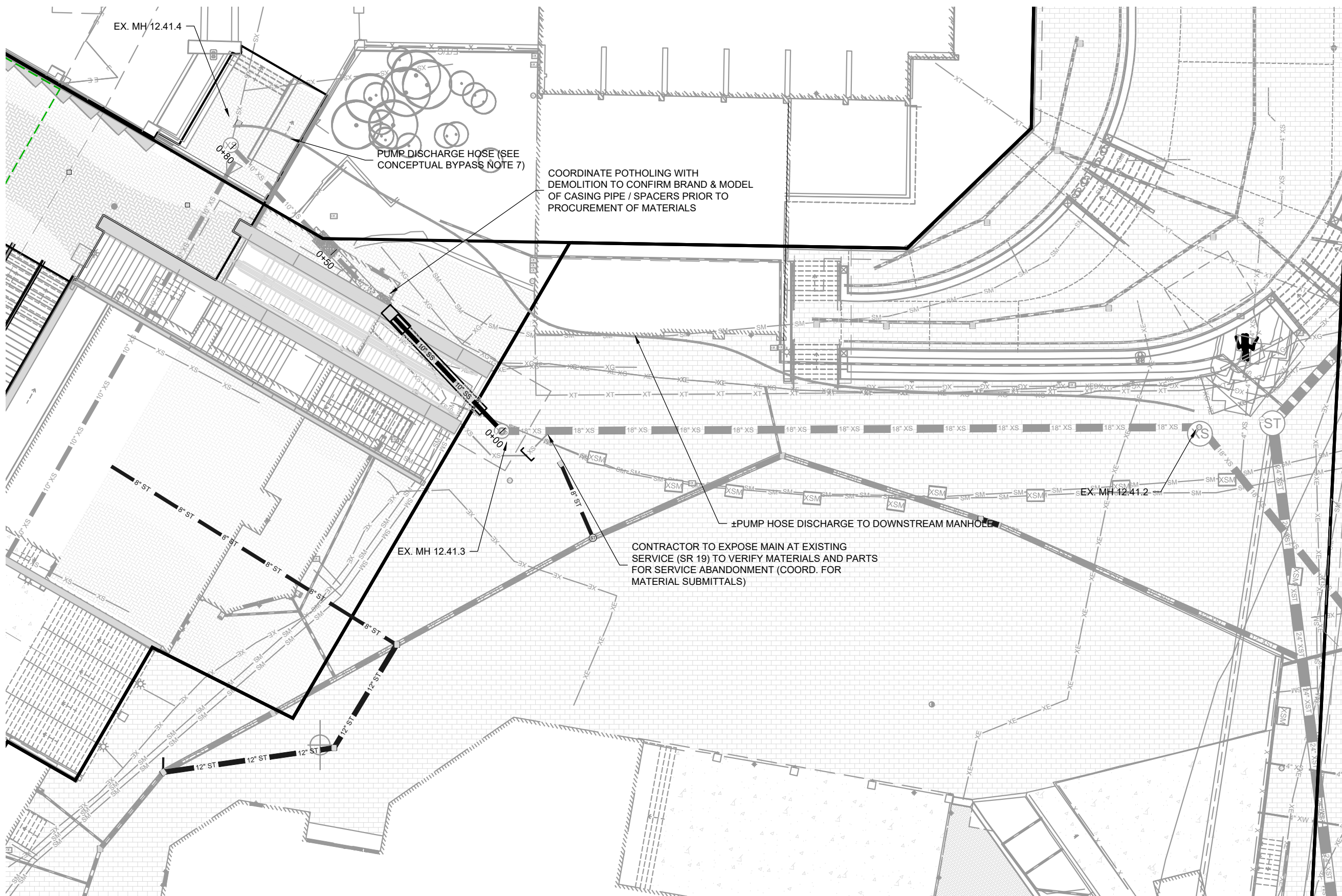
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KEY PLAN



CONCEPTUAL BYPASS NOTES:

- THE CONCEPTUAL BYPASS INFORMATION DEPICTED HEREON IS INTENDED TO ESTABLISH AN EXPECTATION OF THE ANTICIPATED MINIMUMS FOR CONSIDERATION TO CONSTRUCTION THE NECESSARY SEWER IMPROVEMENTS. ADDITIONAL INFORMATION WILL BE INCLUDED IN THE CONSTRUCTION DOCUMENTS AS THE FINAL PLAN PROGRESSES BEYOND THE DEVELOPMENT PLAN. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE MEANS AND METHODS TO PERFORM THE WORK.
- THE CONTRACTOR SHALL DEVELOP A PLAN TO CONSTRUCT THE REQUIRED SEWER IMPROVEMENTS AND PRESENT TO ENGINEER AND MT. WERNER WATER FOR REVIEW. AFTER ANY NECESSARY REVISIONS HAVE BEEN ADDRESSED, THE CONTRACTOR'S PLAN WILL BE PRESENTED TO THE OWNER FOR COORDINATION WITH THE SHERATON OPERATORS.
 - CONTRACTOR TO OBTAIN BEST AVAILABLE FLOW DATA FROM SHERATON OPERATORS AND/OR MT. WERNER WATER FOR DETERMINING PUMP CAPACITY.
 - CONTRACTOR TO EXPOSE THE EXISTING SEWER ENCASEMENT IN PRESENCE OF ENGINEER TO DETERMINE (OR CONFIRM) BRAND AND MODEL SPECIFICS FOR CASING PIPE, PIPE SPACERS AND THE RUBBER BOOT PRIOR TO PROCUREMENT.
 - TO REDUCE THE PERIOD OF BY-PASS PUMPING, THE CONTRACTOR SHALL EXPOSE THE LIMITS OF PIPE TO BE REPLACED AND PREPARE THE MANHOLE FOR ACCESSING THE WORK. PRE-ASSEMBLE THE PIPE ENCASEMENT TO THE EXTENT PRACTICABLE.
 - PRIOR TO INTERRUPTING THE SEWER SERVICE, PROVIDE 48 HOURS ADVANCE NOTIFICATION TO OWNER FOR COORDINATING WITH THE AFFECTED PARTIES.
 - CONTRACTOR TO PROVIDE ADEQUATE PERSONNEL TO SIMULTANEOUSLY WORK ON PIPE INSTALLATION AND MANHOLE CONNECTION WHILE MONITORING PUMPING SYSTEM.
 - POSITION PUMP DISCHARGE HOSE AROUND LIMITS OF PIPE AND MANHOLE WORK AND PROTECT FROM CONSTRUCTION ACTIVITY. IT IS ANTICIPATED THAT THE HOSE WILL EITHER RUN OUT OF THE UTILITY ROOM THROUGH THE EXISTING WALL VENT OR, IF TIMING ALLOWS, THROUGH THE BOILER ROOM RELOCATION PATH. A BACKUP GAS POWERED GENERATOR SHALL BE ON-HAND IN THE EVENT OF A POWER FAILURE.
 - PLUG DOWNSTREAM OUTLET OF MH 12.41.4 AND PUMP INTO MH 12.41.2. CONTRACTOR MAY ELECT TO CONDUCT AIR LEAKAGE TEST ON EXISTING SYSTEM PRIOR TO COMMENCEMENT. DO NOT DISCHARGE INTO ADJACENT CLEAN-OUT.
 - CUT EXISTING PIPE AT PREPARED LOCATION AND INSTALL PRE-ASSEMBLED Cased PIPE.
 - AFTER INSTALLATION, CONTRACTOR TO PERFORM AIR LEAKAGE TEST PRIOR TO PLACING CONCRETE COLLARS AND CORRECT ANY AREAS OF DEFICIENCY.
 - COMPLETE ENCASEMENT AND INITIAL BACKFILL.
 - REPEAT AIR TEST.
 - REMOVE PLUG AND END BY-PASS PUMPING AFTER ENGINEER APPROVAL.



CONCEPTUAL SEWER BYPASS PUMPING PLAN
SCALE: 1" = 20'

Gensler

1225 17th Street
Suite 150
Denver, CO 80202
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Tel 303.595.8566
Fax 303.625.6823

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Tel 303.623.5186

14143 Denver West Pkwy
Suite 300
Golden, CO
United States
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- ## NOTES

1. THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN OBTAINED FROM THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE TO THE ENGINEER ALL INFORMATION CONCERNING ALL UTILITIES IN THE AREA OF THE WORK. BEFORE COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UNKNOWN UNDERGROUND UTILITIES.
2. ALL PROJECT DATA IS ON VERTICAL DATUM, NAVD 88. SEE NOTES SHEET FOR BENCHMARK REFERENCES.
3. ELEVATIONS FOR IMPROVEMENTS THAT ARE CONTROLLED BY ADJACENT EXISTING FACILITIES (SUCH AS PROPOSED CUTTERS ALONG EXISTING ASPHALT) MAY REQUIRE ADJUSTMENTS BASED ON FIELD SURVEY DATA. THE ENGINEER WILL REQUIRE TO ENSURE A CONSISTENT SECTION WITH SMOOTH TRANSITIONS WHERE NECESSARY.
4. SEE SOLS REPORT FOR PAVEMENT, SUBGRADE AND MATERIAL PREPARATION, DESIGN AND CONSTRUCTION.
5. ALL CURB SPOTS SHOWN ARE FLOWLINE ELEVATIONS, UNLESS NOTED OTHERWISE. ALL OTHER SPOTS ARE FINISHED GRADE ELEVATIONS.

NOTE: ALL INFORMATION SHOWN ON OR ABOVE STRUCTURES ARE FOR CONVENIENCE ONLY.
REFER TO GRADING INFORMATION BY OTHERS.

△ Date	Description
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SIGNATURE AND DATE

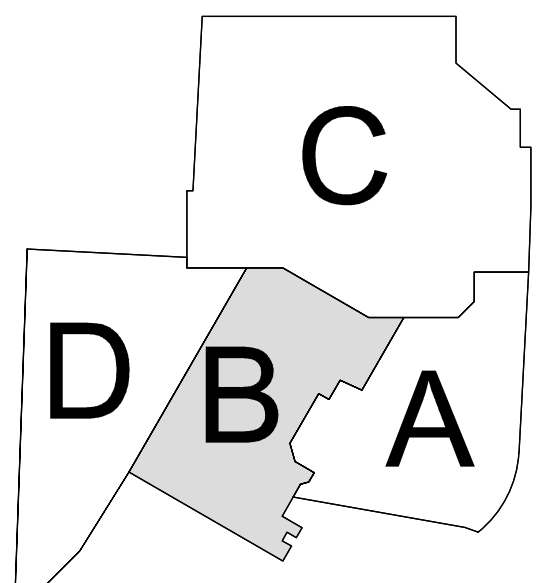
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CALL UTILITY NOTIFICATION CENTER OF
COLORADO
811

Know what's below.
Call 1-800-368-2267

Call before you dig.
CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU
DIG, GRADE, OR EXCAVATE FOR THE MARKING OF
UNDERGROUND MEMBER UTILITIES.

KEY PLAN



Project Name GOLD WALK

SSRC | BASE AREA
IMPROVEMENTS

Project Number

003.7835.000

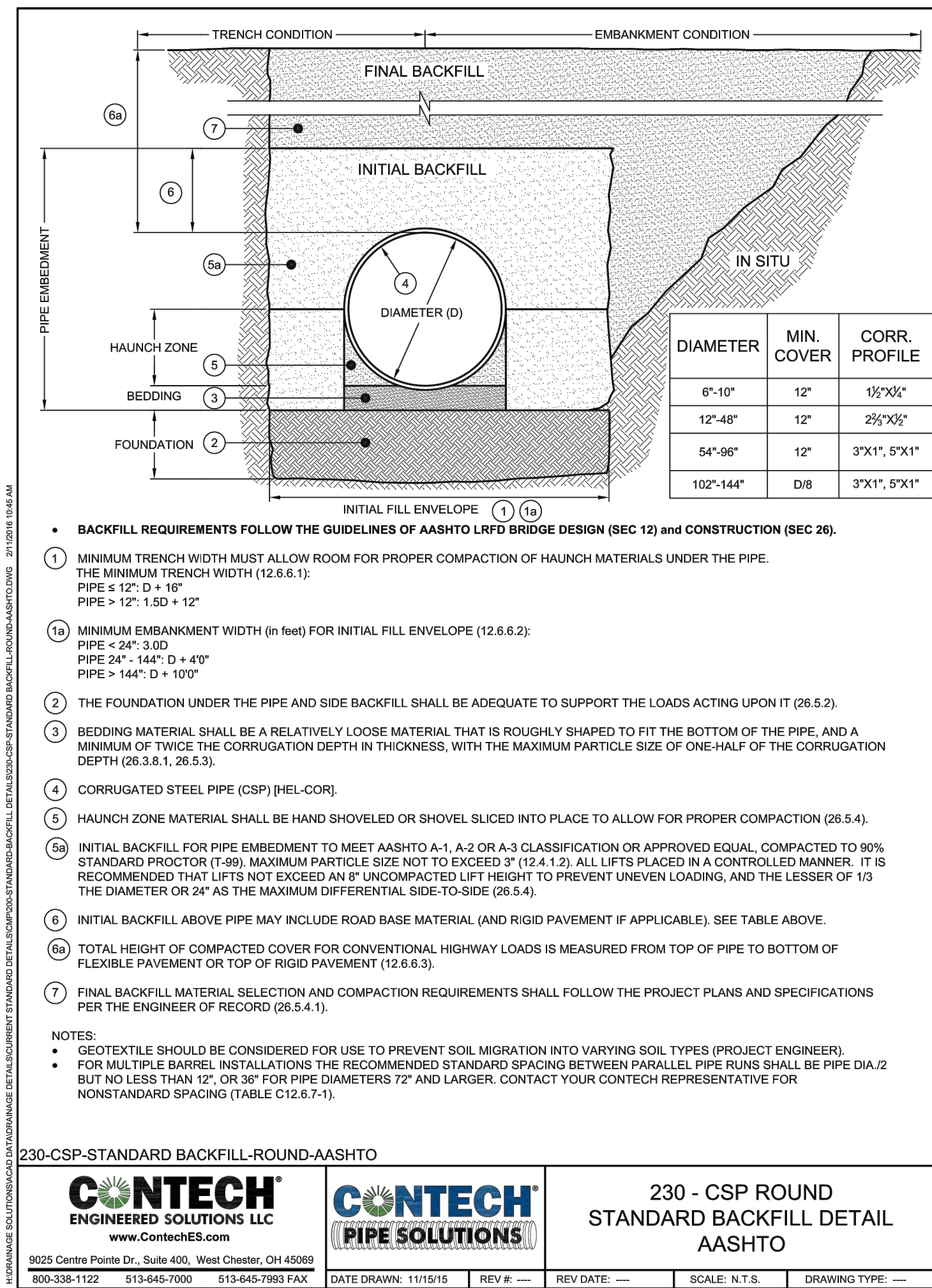
Description

Overall Grading Plan

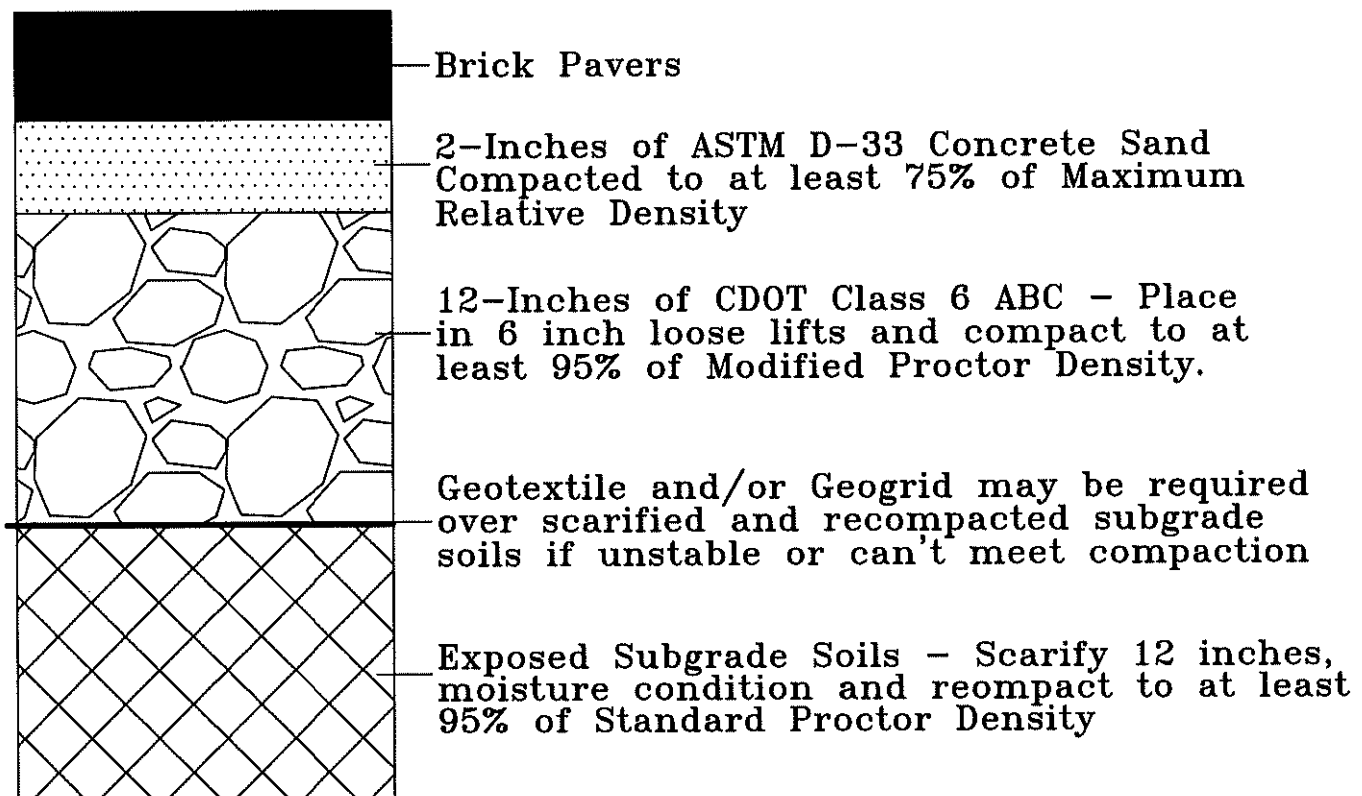
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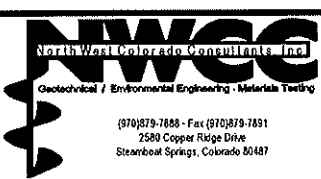
SEE GRAPHICAL SCALE

1B-C.300



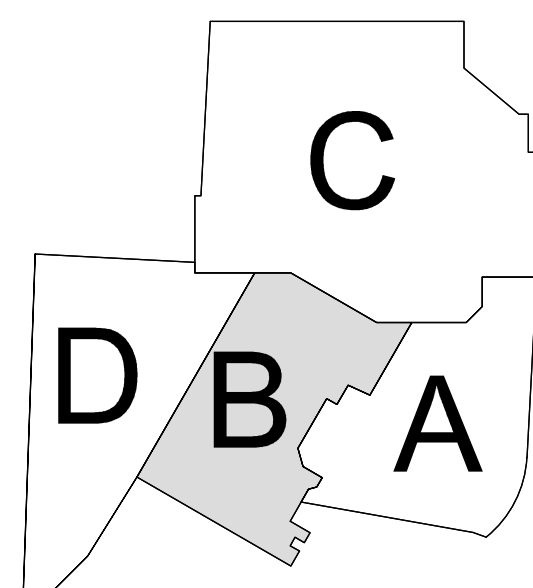
DETAIL EXTRACTED FROM NVCC'S "SUBSOIL AND FOUNDATION INVESTIGATION, STEAMBOAT BASE AREA REDEVELOPMENT, STEAMBOAT SPRINGS, COLORADO" DATED DECEMBER 30, 2020
REFER TO THEIR REPORT FOR ADDITIONAL INFORMATION.
SNOWMELT SYSTEM AND PAVEMENT SPECIFICS BY OTHERS.



Title: BRICK PAVER CROSS SECTION		Date: 12/16/2020	
Job Name: Steamboat Base Area Redevelopment	Job No.: 202-12000		
Location: Steamboat Ski Area, Steamboat Springs, Colorado	Figure: # 14		



KEY PLAN



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Description

Civil Construction Details

Scale

SEE GRAPHICAL SCALE

1B-C.500

