

STEAMBOAT SKI & RESORT CORPORATION

SSRC | BASE AREA IMPROVEMENTS

2305 Mount Werner Circle
Steamboat Springs, CO 80487

BP2A: DEMOLITION - LOWER GONDOLA BUILDING
(LGB), BUILDING B, STAGE
2021.02.26



ALTERRA east west partners
MOUNTAIN COMPANY

2305 Mount Werner Circle
Steamboat Springs, CO 80487

Gensler

1225 17th Street
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14143 Denver West Pkwy
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Golden, CO
United States
Tel 303.421.6655

△	Date	Description
1	2021.02.26	BP2A: DEMOLITION-LGB, BLDG B, STAGE

Seal / Signature



Project Name
SSRC | BASE AREA
IMPROVEMENTS

Project Number
003.7835.000

Description
COVER

Scale
NOT TO SCALE

G0.000

GENERAL NOTES

1. COMPLY WITH CODES, LAWS, ORDINANCES, RULES, AND REGULATIONS OF PUBLIC AUTHORITIES GOVERNING THE WORK.
2. OBTAIN AND PAY FOR PERMITS AND INSPECTIONS REQUIRED BY PUBLIC AUTHORITIES GOVERNING THE WORK.
3. REVIEW DOCUMENTS, VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN. REPORT ANY CONFLICTS OR OMISSIONS TO THE ARCHITECT FOR CLARIFICATION PRIOR TO PERFORMING ANY WORK IN QUESTION.
4. SUBMIT REQUESTS FOR SUBSTITUTIONS, REVISIONS, OR CHANGES TO ARCHITECT FOR REVIEW PRIOR TO PURCHASE, FABRICATION OR INSTALLATION.
5. COORDINATE WORK WITH THE LANDLORD AND OWNER, INCLUDING SCHEDULING TIME AND LOCATIONS FOR DELIVERIES, BUILDING ACCESS, USE OF BUILDING SERVICES AND FACILITIES, AND USE OF ELEVATORS. MINIMIZE DISTURBANCE OF BUILDING FUNCTIONS AND OCCUPANTS.
6. OWNER WILL PROVIDE WORK NOTED "BY OTHERS" OR "NIC" UNDER SEPARATE CONTRACT. INCLUDE SCHEDULE REQUIREMENTS IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.
7. MAINTAIN EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES, AND ALARMS IN CONFORMANCE WITH CODES AND ORDINANCES.
8. MAINTAIN WORK AREAS SECURE AND LOCKABLE DURING CONSTRUCTION. COORDINATE WITH LANDLORD TO ENSURE SECURITY.
9. PROVIDE ALL ACCESS PANELS REQUIRED FOR ALL JUNCTION BOXES, VALVES, CLEANOUTS, PLUGS, FILTERS, EQUIPMENT, AND ALL OTHER ITEMS REQUIRING SERVICE OR MAINTENANCE.
10. PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE.
11. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE ARCHITECT.
12. PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, UNLESS OTHERWISE NOTED. MAINTAIN DIMENSIONS MARKED "CLEAR". ALLOW FOR THICKNESS OF FINISHES.
13. PROVIDE CONCEALED BLOCKING AS REQUIRED FOR WORK BY OWNERS' OTHER CONTRACTORS. COORDINATE WITH OTHER CONTRACTORS FOR SIZE, TYPE AND LOCATION OF REQUIRED BLOCKING.

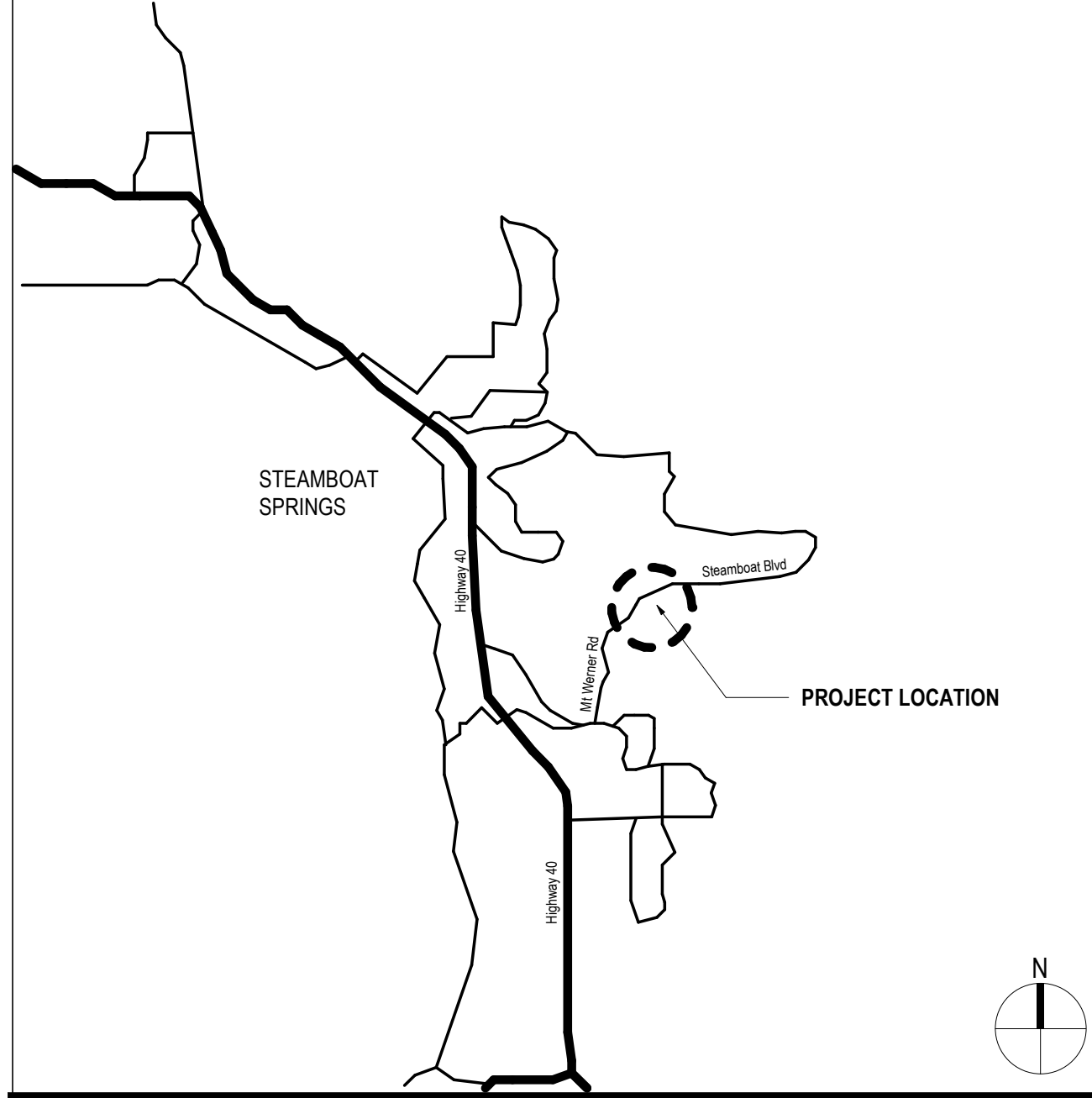
FIRE PREVENTION NOTES

1. THIS PROJECT DOES NOT INCLUDE STORAGE, DISPENSING OR USE OF ANY FLAMMABLE OR COMBUSTIBLE LIQUIDS, FLAMMABLE GAS OR HAZARDOUS SUBSTANCES.
2. ALL WOOD BLOCKING, CLEATS, GROUNDS, SHEATHING AND OTHER MISC. CARPENTRY ITEMS SHALL BE FIRE RETARDANT TREATED
3. EXTEND OR MODIFY EXISTING FIRE/LIFE SAFETY SYSTEM AS REQUIRED TO PROVIDE AN APPROVED FIRE/LIFE SAFETY SYSTEM. SUBMIT PLANS TO FIRE DEPARTMENT WITH COMPLETE DESCRIPTION OF SEQUENCE OF OPERATION, AND OBTAIN APPROVAL PRIOR TO INSTALLATION.
4. EXTEND OR MODIFY EXISTING AUTOMATIC FIRE EXTINGUISHING SYSTEM AS REQUIRED TO PROVIDE AN APPROVED AUTOMATIC FIRE EXTINGUISHING SYSTEM. SUBMIT PLANS TO FIRE DEPARTMENT AND OBTAIN APPROVAL PRIOR TO INSTALLATION.
5. AUTOMATIC SPRINKLER SYSTEMS SHALL BE SUPERVISED BY AN APPROVED CENTRAL, PROPRIETARY OR REMOTE STATION SERVICE OR A LOCAL ALARM WHICH WILL GIVE AN AUDIBLE SIGNAL AT A CONSTANTLY ATTENDED LOCATION.

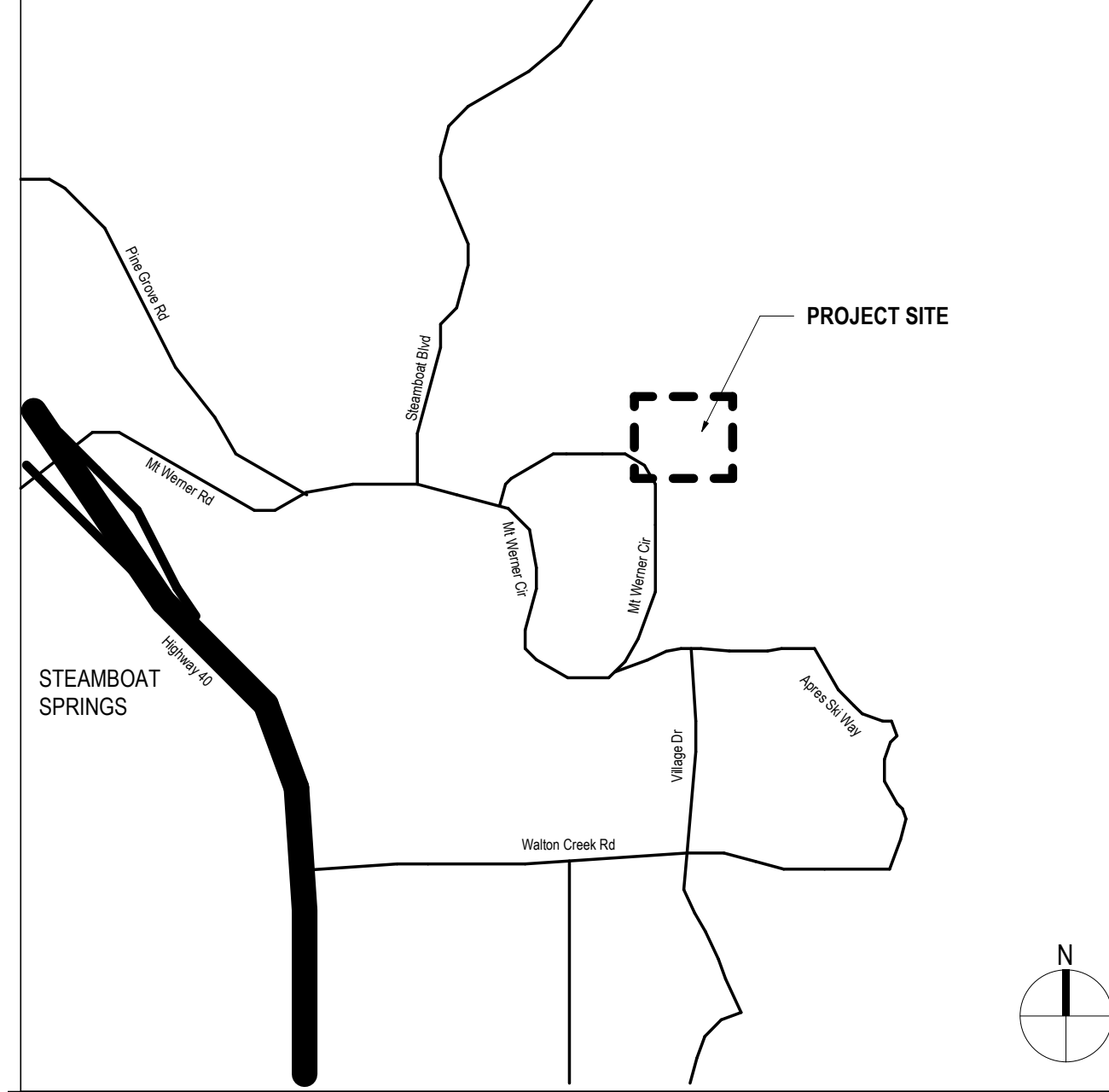
DEMOLITION NOTES

1. CONTRACTOR TO SCHEDULE ALL UTILITY SHUTDOWNS AND COORDINATE CUT AND CAP ACTIVITY WITH LOCAL UTILITY PROVIDERS. THE SURROUNDING BUILDINGS ARE OCCUPIED AND WILL REMAIN IN USE DURING CONSTRUCTION. CONTRACTOR TO COORDINATE WITH OWNER CONSTRUCTION OPERATIONS TO MINIMIZE DISRUPTION TO SURROUNDING BUILDING ACTIVITIES, INCLUDING NOISY OPERATIONS. ALL DEMOLITION DEBRIS TO BE REMOVED AND DISPOSED OF OFF SITE. REFERENCE SPECIFICATION SECTION 01 74 19 CONSTRUCTION WASTE MANAGEMENT PROCEDURES. OWNER SHALL REMOVE ALL ITEMS TO BE SALVAGED PRIOR TO DEMOLITION. REFERENCE OWNER PROVIDED CONSTRUCTION DRAWINGS FOR SPECIFIC CONSTRUCTION OF BUILDING ELEMENTS.
2. CONTRACTOR TO RETAIN AND SALVAGE SUFFICIENT QUANTITIES OF EXISTING MATERIALS TO BE REMOVED TO REPLACE AND PATCH WORK IN OTHER AREAS OF THE PROJECT.
3. REMOVE ABANDONED HVAC EQUIPMENT, DUCT WORK, CONTROLS, REGISTERS, GRILLES AND ALL ASSOCIATED HARDWARE & ACCESSORIES.
4. REMOVE ABANDONED ELECTRICAL, TELEPHONE, DATA, CONTROLS, AND SIMILAR OTHER CABLING, CONDUIT, EQUIPMENT AND DEVICES, UNLESS OTHERWISE NOTED.
5. REMOVE ABANDONED PLUMBING EQUIPMENT, VALVES, PIPING AND ALL ASSOCIATED HARDWARE & ACCESSORIES.
6. REMOVE DESIGNATED PARTITIONS, CEILINGS COMPONENTS, BUILDING EQUIPMENT, AND FIXTURES AS REQUIRED FOR NEW WORK.
7. PROVIDE AND MAINTAIN BARRICADES, LIGHTING, AND GUARDRAILS AS REQUIRED BY APPLICABLE CODES AND REGULATIONS TO PROTECT OCCUPANTS OF BUILDING AND WORKERS.
8. ERECT AND MAINTAIN DUSTPROOF PARTITIONS AS REQUIRED TO PREVENT SPREAD OF DUST, FUMES, AND SMOKE, ETC. TO OTHER PARTS OF THE BUILDING. ON COMPLETION, REMOVE PARTITIONS AND REPAIR DAMAGED SURFACES TO MATCH ADJACENT SURFACES.
9. REMOVE FROM SITE DAILY AND LEGALLY DISPOSE OF REFUSE, DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS. LEAVE ALL AREAS BROOM CLEAN DAILY.
10. IF DEMOLITION IS PERFORMED IN EXCESS OF THAT REQUIRED, RESTORE EFFECTED AREAS AT NO COST TO THE OWNER.
11. COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTION.
12. REMOVE EXISTING WORK AS REQUIRED TO ACCOMMODATE NEW WORK, EVEN WHERE NOT EXPRESSLY INDICATED ON DEMOLITION PLANS.
13. GENERAL CONTRACTOR TO INFORM ARCHITECT IMMEDIATELY IF UNFORESEEN CONDITIONS ARE UNCOVERED DURING DEMOLITION

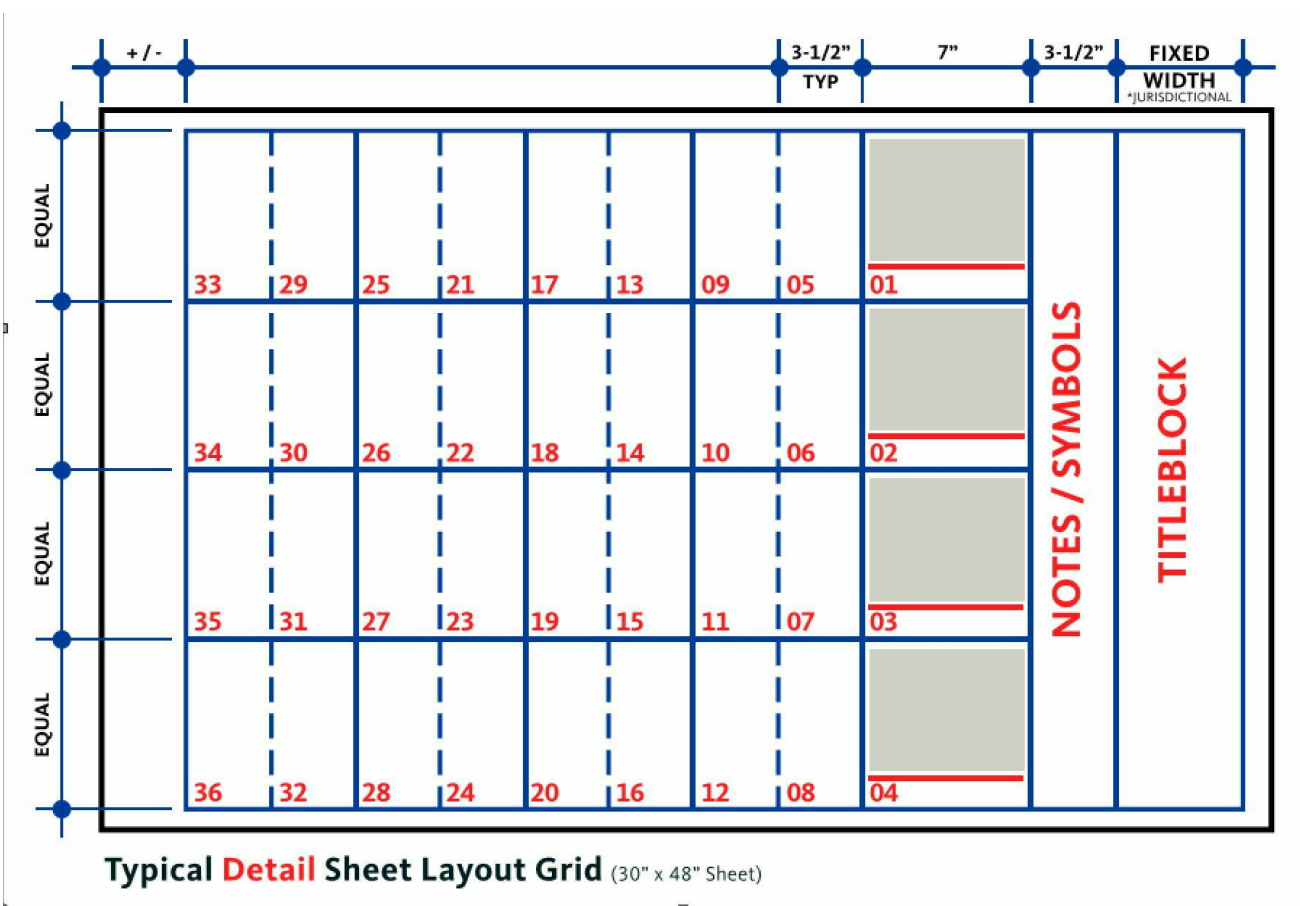
VICINITY MAP



LOCATION MAP



SHEET LAYOUT GRID SYSTEM



PROJECT INFORMATION

FOLLOWING ARE THE PLANS OUTLINING THE SCOPE OF WORK REQUIRED FOR THE COMPLETE DEMOLITION AND REMOVAL OF THE LOWER GONDOLA TERMINAL BUILDING (LGB) AND GONDOLA SQUARE BUILDING B AND THE STAGE ADJACENT TO THE LBG. ALL BUILDINGS ARE PART OF THE STEAMBOAT BASE VILLAGE COMPLEX.

THE DRAWINGS, IN CONCERT WITH THE PROJECT MANUAL, COMPRISE THE CONTRACT DOCUMENTS OUTLINING THE DESIGN INTENT AND PROJECT SCOPE, AND MAY BE SUPPLEMENTED BY FURTHER INFORMATION ISSUED BY ARCHITECT.

THE DRAWINGS ARE ARRANGED IN GENERAL TO SPECIFIC ORDER, FOLLOWING A TOP TO BOTTOM, RIGHT TO LEFT FORMAT. CONTRACTORS ARE ADVISED TO READ AND FAMILIARIZE THEMSELVES WITH THE INFORMATION IN THE PROJECT MANUAL, AS WELL AS THE GENERAL LEGENDS CONTAINED IN THE G SERIES OF DRAWINGS, PRIOR TO REVIEW OF THE PLANS, ELEVATIONS AND DETAILS. ADVISE THE ARCHITECT WHERE INTENT IS NOT CLEARLY PERCEIVED, PRIOR TO PROCEEDING WITH WORK.

BUILDING ADDRESS: 2305 MT. WERNER CIRCLE
STEAMBOAT SPRINGS, CO 80487

BUILDING JURISDICTION: ROUTT COUNTY, STEAMBOAT SPRINGS CO

APPLICABLE CODES: 2018 INTERNATIONAL BUILDING CODE
2018 INTERNATIONAL MECHANICAL CODE
2018 INTERNATIONAL PLUMBING CODE
2018 INTERNATIONAL FUEL GAS CODE
2018 INTERNATIONAL FIRE CODE
2020 NATIONAL ELECTRIC CODE
2018 INTERNATIONAL ENERGY CONSERVATION CODE
2009 ICC A117.1, ACCESSIBILITY REQUIREMENTS
2010 ADA ACCESSIBILITY GUIDELINES
ANSI/ASME A17.1, SAFETY CODE FOR ELEVATORS 2013
USEABLE BUILDING & FACILITIES CODE

OCCUPANCY TYPE: N/A

CONSTRUCTION TYPE: N/A

FIRE ALARM SYSTEM: N/A

FIRE SUPPRESSION: N/A

LEED: LEED BD&C V4 'CERTIFIED' LEVEL

PROJECT TEAM

OWNER: ALTRERRA MTN CO REAL ESTATE DEVELOPMENT, INC
3501 WAZEE STREET, SUITE 400
DENVER, CO 80216
ATTN: MIKE SCHMIDT

CIVIL ENGINEER: LANDMARK CONSULTANTS, INC.
141 9TH STREET
STEAMBOAT SPRINGS, CO 80477
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LANDSCAPE ARCHITECT: DESIGN WORKSHOP
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ARCHITECT: GENSLER
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STRUCTURAL ENGINEER: MARTIN / MARTIN CONSULTING ENGINEERS
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(303) 431-6100

MECHANICAL ENGINEER: ME-ENGINEERS
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GOLDEN, CO 80401
(303) 421-6655

PLUMBING ENGINEER: ME-ENGINEERS
14143 DENVER WEST PARKWAY, SUITE 300
GOLDEN, CO 80401
(303) 421-6655

ELECTRICAL ENGINEER: ME-ENGINEERS
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GOLDEN, CO 80401
(303) 421-6655

DRAWING INDEX

Sheet Number	Sheet Name	Latest	Current Revision to IFC (If applicable)	Description	Date
01 - GENERAL					
G0.000	COVER	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
G0.001	DRAWING INDEX & PROJECT INFORMATION	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
G0.201	SYMBOLS & ABBREVIATIONS	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
02 - CIVIL					
C.002	CIVIL NOTES	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
C.003	EXISTING CONDITIONS PLAN	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
C.004	EXISTING PROPERTY EXHIBIT	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
C.020	CIVIL DEMOLITION PLAN	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
C.021	DETAILED DEMOLITION PLAN	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
04 - STRUCTURAL					
A-DS1.01	LOWER GONDOLA BUILDING DEMO PLAN	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
B-DS1.00	BUILDING B DEMO PLAN	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
05 - ARCHITECTURE					
AS0.000	SITE PLAN - EXISTING CONDITIONS	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
D0.100	DEMOLITION COMPOSITE PLAN - LOWER LEVEL B1	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
D0.101	DEMOLITION COMPOSITE PLAN - LEVEL 01	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
D0.102	DEMOLITION COMPOSITE PLAN - LEVEL 02	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
D0.103	DEMOLITION COMPOSITE PLAN - LEVEL 03	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
D0.106	DEMOLITION COMPOSITE PLAN - LEVEL ROOF	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
A-D1.100	DEMOLITION PLANS - LOWER GONDOLA BUILDING - LOWER LEVEL B1	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
A-D1.101	DEMOLITION PLANS - LOWER GONDOLA BUILDING - LEVEL 01	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
A-D1.102	DEMOLITION PLANS - LOWER GONDOLA BUILDING - LEVEL 02	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
A-D1.103	DEMOLITION PLANS - LOWER GONDOLA BUILDING - LEVEL 03	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
D0.106	DEMOLITION PLANS - LOWER GONDOLA BUILDING - ROOF	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
A-D2.100	DEMOLITION ELEVATIONS - LOWER GONDOLA BUILDING	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
A-D2.101	DEMOLITION ELEVATIONS - LOWER GONDOLA BUILDING	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
A-D3.100	DEMOLITION SECTIONS - LOWER GONDOLA BUILDING	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
A-D3.101	DEMOLITION SECTIONS - LOWER GONDOLA BUILDING	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
A-D4.100	DEMOLITION AXONOMETRIC - LOWER GONDOLA BUILDING & STAGE	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
B-D1.101	DEMOLITION PLANS - BUILDING B - LEVEL 01	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
B-D1.102	DEMOLITION PLANS - BUILDING B - LEVEL 02	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
B-D1.103	DEMOLITION PLANS - BUILDING B - LEVEL 03	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
B-D1.106	DEMOLITION PLANS - BUILDING B - ROOF	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
B-D2.100	DEMOLITION ELEVATIONS - BUILDING B	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
B-D3.100	DEMOLITION SECTIONS - BUILDING B - EW	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
B-D3.101	DEMOLITION SECTIONS - BUILDING B - EW	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
B-D3.102	DEMOLITION SECTIONS - BUILDING B - NS	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
B-D4.100	DEMOLITION AXONOMETRIC - BUILDING B	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
B-D4.101	DEMOLITION AXONOMETRIC - BUILDING B	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
08 - MECHANICAL					
M0.000	MECHANICAL LEGEND	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
M0.001	MECHANICAL GENERAL NOTES	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
A-DM1.100	MECHANICAL DEMOLITION PLAN - LOWER GONDOLA BUILDING - LOWER LEVEL 01	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
A-DM1.101	MECHANICAL DEMOLITION PLAN - LOWER GONDOLA BUILDING - LEVEL 01	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
A-DM1.102	MECHANICAL DEMOLITION PLAN - LOWER GONDOLA BUILDING - LEVEL 02	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
A-DM1.103	MECHANICAL DEMOLITION PLAN - LOWER GONDOLA BUILDING - LEVEL 03	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
A-DM1.104	MECHANICAL DEMOLITION PLAN - LOWER GONDOLA BUILDING - LEVEL 04 (ROOF)	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
B-DM1.101A	MECHANICAL DEMOLITION PLAN - BUILDING B - LEVEL 01 - NORTH	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
B-DM1.101B	MECHANICAL DEMOLITION PLAN - BUILDING B - LEVEL 01 - SOUTH	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
B-DM1.102A	MECHANICAL DEMOLITION PLAN - BUILDING B - LEVEL 02 - NORTH	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
B-DM1.102B	MECHANICAL DEMOLITION PLAN - BUILDING B - LEVEL 02 - SOUTH	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
B-DM1.103	MECHANICAL DEMOLITION PLAN - BUILDING B - LEVEL 03	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
B-M1.101A	MECHANICAL PLAN - BUILDING B - LEVEL 01 - NORTH	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
B-M1.101B	MECHANICAL PLAN - BUILDING B - LEVEL 01 - SOUTH	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
B-M1.102A	MECHANICAL PLAN - BUILDING B - LEVEL 02 - NORTH	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
B-DM2.100	SITE PLAN DEMOLITION SNOWMELT	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
B-DM2.101	BOILER ROOM MECHANICAL DEMOLITION	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
10 - ELECTRICAL					
A-DE0.000	ELECTRICAL LEGEND	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
A-DE1.100	ELECTRICAL DEMOLITION PLAN - LOWER GONDOLA BUILDING - LOWER LEVEL 01	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
A-DE1.101	ELECTRICAL DEMOLITION PLAN - LOWER GONDOLA BUILDING - LEVEL 01	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
A-DE1.102	ELECTRICAL DEMOLITION PLAN - LOWER GONDOLA BUILDING - LEVEL 02	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
A-DE1.103	ELECTRICAL DEMOLITION PLAN - LOWER GONDOLA BUILDING - LEVEL 03	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
A-DE1.104	ELECTRICAL DEMOLITION PLAN - LOWER GONDOLA BUILDING - LEVEL 04 (ROOF)	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
B-DE1.101	ELECTRICAL DEMOLITION PLAN - BUILDING B - LEVEL 01 - NORTH	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
B-DE1.102	ELECTRICAL DEMOLITION PLAN - BUILDING B - LEVEL 02 - NORTH	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
B-DE1.103	ELECTRICAL DEMOLITION PLAN - BUILDING B - LEVEL 03	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26
B-DE1.104	ELECTRICAL DEMOLITION PLAN - BUILDING B - ROOF	1	BP2A: DEMOLITION+LGB, BLDG B, STAGE		2021.02.26



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MOUNTAIN COMPANY

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Date	Description
1 2021.02.26	BP2A: DEMOLITION+LGB, BLDG B, STAGE

Seal / Signature



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Description
DRAWING INDEX & PROJECT INFORMATION

Scale
12" = 1'-0"

G0.001

ABBREVIATIONS

	WITH	RH	RIGHT HAND	MONO	MONOLITHIC
W/O	WITHOUT	RM	ROOM	MOT	MOTOR(ZED)
WB	WOOD BASE	RMV	REMOVE	MOV	MOVABLE
WC	WATER CLOSET	RO	ROUGH OPENING	MP	METAL ACOUSTICAL PANEL
WD	WOOD	RO	ROUGH OPENING	MR	MOP RECEPTOR
WDW	WINDOW	ROW	RIGHT OF WAY	MRO	METAL ROOF DECK
WF	WIDE FLANGE (STRUCTURAL STEEL)	RPT	REPEAT (LIKE "DITTO")	MTD	MOUNTED
WH	WATER HEATER	RR	RAILROAD	MTL	MOUNTED
WLD	WELD			MTR	MOTOR
WM	WIRE MESH	S		MULL	MULLION
WP	WATERPROOFING	S4S	SURFACED 4 SIDES	MWK	MILLWORK
WPT	WORKING POINT	SALV	SALVAGE		
WR	WATER RESISTANT OR WATER REPELLANT	SAN	SANITARY	N	NATURAL
WRSTP	WEATHERSTRIPPING	SC	SOLID CORE	NAT	NATURAL
WT	WEIGHT	SCHED	SCHEDULE	NEUT	NEUTRAL
WTRPRF	WATERPROOFING	SCR	SCRIBE	NIC	NOT IN CONTACT
WWF	WELDED WIRE FABRIC	SCRN	SCREEN	NMT	NON-METALLIC
		SCUP	SCUPPER	NO	NUMBER
		SCWD	SOLID CORE WOOD DOOR	NOM	NOMINAL
X		SE	STRUCTURAL ENGINEER	NR	NOISE REDUCTION
X H/Y	EXTRA HEAVY	SECT	SECTION	NRC	NOISE REDUCTION COEFFICIENT
X STR	EXTRA STRONG	SECUR	SECURITY	NS	NEAR SIDE
XH	EXTRA HEAVY	SECY	SECRETARY	NTS	NOT TO SCALE
		SED	SEWAGE EJECTOR DISCHARGE		
Y		SEL	SELECT	O	OUT TO OUT
YD	YARD	SERV	SERVICE	O TO O	OUT TO OUT
YR	YEAR	SEV	SEWAGE EJECTOR VENT	O, O/	OVER
		SF	SQUARE FEET	OA	OVERALL
		SF	SQUARE FOOT	OC	ON CENTER
		SFGL	SAFETY GLASS	OD	OUTSIDE DIAMETER
		SG	SINGLE	OF	OUTSIDE FACE
		SGG	STRUCTURAL GLAZING GASKET	OFF	OFFICE
		SGL	SINGLE	OH	OVERHEAD
		SGS	SILICONE GLAZING SEALANT	OHD	OVERHEAD DOOR
		SHORG	SHORING	OPNG	OPENING(S)
		SHT	SHEET	OPP	OPPOSITE
		SHTHG	SHEATHING	OPP H	OPPOSITE HAND
		SHWR	SHOWER	OPER	OPERABLE
		SIM	SIMILAR	ORD	OVERFLOW ROOF DRAIN
		SK	SINK	ORN	ORNAMENTAL
		SLOT	SLOTTED	ORNA	ORNAMENTAL
		SLV	SLEEVE	OSD	OPEN SIGHT DRAIN
		SNT	SEALANT	OUT	OUTLET
		SP	SOIL PIPE	OVFL	OVERFLOW
		SPEC	SPECIFICATION	OVHD	OVERHEAD
		SPECS	SPECIFICATIONS	OZ	OUNCE
		SPK	SPEAKER		
		SPL	SPECIAL	P	PIPE
		SPLR	SPRINKLER	P SL	PIPE SLEEVE
		SQ	SQUARE	PA	PUBLIC ADDRESS
		SSD	SUB-SOIL DRAIN	PB	PULL BOX
		SSGS	SILICONE STRUCTURAL GLAZING SEALANT	PBD	PARTICLE BOARD
		SST	STAINLESS STEEL	PCF	POUNDS PER CUBIC FOOT
		STC	SOUND TRANSMISSION CLASS	PCPL	PORTLAND CEMENT PLASTER
		STD	STANDARD	PD	PLAZA DRAIN
		STG	SEATING	PED	PEDESTAL OR PEDESTRIAN
		STGG	STRUCTURAL GLAZING GASKET	PEDR	PEDESTRIAN
		STGR	STAGGER	PERF	PERFORATE
		STIFF	STIFFENER	PERIM	PERIMETER
		STL	STEEL	PERP	PERPENDICULAR
		STM	STEAM	PKG	PARKING
		STOR	STORAGE	PKWY	PARKWAY
		STR	STRAIGHT (RE-BARS)	PL	PLATE
		STRFR	STOREFRONT	PLAM	PLASTIC LAMINATE
		STRUC	STRUCTURAL	PLAS	PLASTER
		STRUCT	STRUCTURAL	PLBG	PLUMBING
		STW	STORM WATER	PLSTC	PLASTIC
		SUPP	SUPPLEMENTARY, SUPPLEMENT	PLTF	PLATFORM
		SUR	SURFACE	PLYWD	PLYWOOD
		SURF	SURFACE	PNEU	PNEUMATIC
		SUSP	SUSPENDED	PNL	PANEL
		SW	SWITCH	PNT	PANT
		SY	SQUARE YARD	POL	POLISHED
		SYM	SYMMETRICAL	POLYST	POLYSTYRENE
		SYN	SYNTHETIC	PORT	PORTABLE
		SYS	SYSTEM(S)	POT W	POTABLE WATER
				PR	PAIR
		T		PRCST	PRECAST
		T		PRI	PREFINISHED
		T&G	TOUNGUE AND GROOVE	PREFAB	PREFABRICATED
		TI	TOP	PREFIN	PREFINISHED
		TAN	TANGENT	PRESS	POLYSTYRENE
		TC	TOP OF CURB	PRI	PRIMARY
		TD	TRENCH DRAIN	PRTECN	PROTECTION
		TEL	TELEPHONE	PRTN	PARTITION
		TEMP	TEMPORARY	PSF	POUNDS PER SQUARE FOOT
		TERR	TERRAZZO	PSI	POUNDS PER SQUARE INCH
		THK	THICK	PT	PAINT
		THRESH	THRESHOLD	PTC	POST-TENSIONED CONCRETE
		THRU	THROUGH	PTD	PAINTED
		TKBD	TACKBOARD	PTN	PARTITION
		TLT	TOILET	PVC	POLYVINYL CHLORIDE
		TOC	TOP OF CONCRETE	PVF	POLYVINYLIDENE FINISH
		TOL	TOLERANCE	PVG	PAVING
		TOS	TOP OF STEEL	PVMT	PAVEMENT
		TOW	TOP OF WALL	PVT	PRIVATE
		TP	TOP OF PAVEMENT	PWR	POWER
		TPTN	TOILET PARTITION		
		TRAF	TRAFFIC	Q	QUARTER
		TRANS	TRANSPARENT	QT	QUARRY TILE
		TRAV	TRAVERTINE	QTR	QUARTER
		TRD	TREAD	QTY	QUANTITY
		TRYD	TREATED	QUAL	QUALITY
		TSL	TOP OF SLAB		
		TST	TOP OF STEEL	R	
		TSTAT	THERMOSTAT	RA	RETURN AIR
		TV	TELEVISION	RAD	RADIUS
		TYP	TYPICAL	RADN	RADIANT
				RB	RUBBER BASE
		U		RBT	RABBIT
		UL	UNDERWRITERS' LABORATORIES	RCP	REFLECTED CEILING PLAN
		UNDRLAY	UNDERLAYMENT	RDR	ROOF DRAIN
		UNO	UNLESS NOTED OTHERWISE	RDL	ROOF DRAIN LEADER
		USS	UNITED STATES STANDARD	RDR	READER
		UTIL, UTIL	UTILITY	REBAR	REINFORCING BAR
				REC	RECEIVER
		V		RECEP	RECEPTACLE
		VAC	VACUUM	RECES	RECESSED
		VAR	VARIES	RECP	RECEPTACLE
		VB	VAPOR BARRIER	RED	REDUCER
		VBC	VINYL BASE (COVERED)	REF	REFERENCE
		VBS	VINYL BASE (STRAIGHT)	REFL	REFLECTED
		VCT	VINYL COMPOSITION TILE	REFR	REFRIGERATOR
		VEH	VEHICLE	REG	REGULAR
		VENT	VENTILATE	REIN	REINFORCED(D)(ING)(MENT)
		VERT	VERTICAL	REM	REMOVE
		VEST	VESTIBULE	REQ	REQUIRED
		VIF	VERIFY IN FIELD	REQD	REQUIRED
		VIT	VITREOUS	RESIL	RESILIENT
		VLT	VAULT	RESIS	RESIST(ANT)(IVE)
		VOL	VOLUME	RET	RETURN OR RETAINING
		VP	VENT PIPE	REV	REVERSE OR REVISE OR REVISION
		VR	VAPOR RETARDER	REV DR	REVOLVING DOOR
		VS	VENT STACK	RF	ROOF
		VWC	VINYL WALL COVERING	RFG	ROOFING
				RGH	ROUGH
		W		RGTR	REGISTER

GRAPHIC SYMBOLS (CONT.)

SECTION INDICATIONS

	ACOUSTICAL CEILING TILE
	ALUMINUM
	BRICK
	CARPET
	CONCRETE
	CONCRETE MASONRY UNIT
	CUT STONE
	EARTH
	FABRIC WRAPPED PANEL
	GLASS
	GRAVEL
	GYPSUM PLASTER
	INSULATION (LOOSE OR BATT)
	INSULATION (RIGID)
	METAL
	PLASTIC
	PLYWOOD
	PRE-CAST PANELS
	SAND OR GROUT
	STONE
	WOOD (FINISHED)
	WOOD (INTERRUPTED MEMBER)

REFLECTED CEILING

	ACOUSTICAL CEILING AND GRID
	CEILING HEIGHT CHANGE SYMBOL
	FINISH CEILING HEIGHT SYMBOL
	GRID STARTPOINT SYMBOL
	CEILING FINISH TAG
	MOTION SENSOR
	CEILING MOUNTED SPEAKER
	CEILING MOUNTED CAMERA
	CEILING MOUNTED SPRINKLER
	CEILING MOUNTED SMOKE DETECTOR
	CEILING MOUNTED STROBE LIGHT
	CEILING MOUNTED EXIT SIGNS
	WALL MOUNTED EXIT SIGNS - PA
	WALL MOUNTED EXIT SIGNS - PE
	DENOTES EXISTING TO REMAIN
	DENOTES EXISTING TO BE RELOCATED
	ACCESS DOOR

TOPOGRAPHIC AND EXISTING CONDITIONS MAPPED BY LANDMARK CONSULTANTS, INC. (LANDMARK)

1. CITY OF STEAMBOAT SPRINGS PLAN REVIEW AND APPROVAL IS ONLY FOR GENERAL CONFORMANCE WITH CITY DESIGN CRITERIA AND THE CITY CODE. THE CITY IS NOT RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF THE DRAWINGS, DESIGN, DIMENSIONS, AND ELEVATIONS SHALL BE CONFIRMED AND CORRELATED TO THE JOB SITE.

2. ONE COPY OF THE APPROVED CONSTRUCTION PLANS AND SPECIFICATIONS SHALL BE KEPT ON THE JOB SITE AT ALL TIMES. PRIOR TO THE START OF CONSTRUCTION, VERIFY WITH PROJECT ENGINEER THE LATEST REVISION DATE OF THE APPROVED CONSTRUCTION PLANS.

3. ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION OF PUBLIC IMPROVEMENTS SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS SET FORTH IN THE CITY OF STEAMBOAT SPRINGS TECHNICAL SPECIFICATIONS (MARCH, 2018 EDITION), THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, ANY COPY OF ENGINEER PERMIT, IT IS THE APPLICABLE CONTRACTORS RESPONSIBILITY TO OBTAIN A COPY OF ALL APPLICABLE CODES, ORDINANCES, SPECIFICATIONS, AND STANDARDS NECESSARY TO PERFORM THE WORK, AND BE FAMILIAR WITH THEIR CONTENTS PRIOR TO COMMENCING ANY WORK.

4. ALL WATER AND SANITARY SEWER CONSTRUCTION AND RELATED WORK SHALL CONFORM TO THE MOUNT WERNER WATER STANDARD SPECIFICATIONS FOR WATER AND WASTEWATER UTILITIES, CURRENT EDITION

5. ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AS REQUIRED MUST BE OBTAINED IN ORDER TO PERFORM THE WORK. THIS INCLUDES, BUT IS NOT LIMITED TO, RIGHT-OF-WAY PERMIT, GRADING AND EXCAVATION PERMIT, CONSTRUCTION Dewatering PERMIT, STORM WATER QUALITY PERMIT, ANY COPY OF ENGINEER PERMIT, IT IS THE APPLICABLE CONTRACTORS RESPONSIBILITY TO OBTAIN A COPY OF ALL APPLICABLE CODES, ORDINANCES, SPECIFICATIONS, AND STANDARDS NECESSARY TO PERFORM THE WORK, AND BE FAMILIAR WITH THEIR CONTENTS PRIOR TO COMMENCING ANY WORK.

6. PRIOR TO ANY WORK IN THE CITY RIGHT-OF-WAY INCLUDING STREET CUTS, CONTACT THE CITY OF STEAMBOAT SPRINGS STREET DEPARTMENT AT 970.879.1807 FOR PERMIT REQUIREMENTS. NO WORK SHALL OCCUR IN THE ROW BETWEEN NOVEMBER 1 - APRIL 1 UNLESS A WRITTEN VARIANCE HAS BEEN APPROVED AND ISSUED BY THE CITY PUBLIC WORKS DIRECTOR.

7. PRIOR TO CLOSURE OF ANY STREET OR PART OF STREET, AN APPROVED OBSTRUCTION PERMIT MUST BE ISSUED BY CITY CONSTRUCTION SERVICES FOREMAN.

8. PRIOR TO START OF CONSTRUCTION A PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED WITH THE APPROPRIATE CONTRACTORS, ENGINEER, SURVEYOR, TESTING COMPANY, AFFECTED AGENCIES AND KEY SUBCONTRACTORS A MINIMUM OF 48-HOURS PRIOR TO THE START OF WORK.

9. THE LOCAL ENTITY AND ENGINEER SHALL BE NOTIFIED AT LEAST 2 WORKING DAYS PRIOR TO THE START OF ANY EARTH DISTURBING ACTIVITY, OR AN OBSTRUCTION OF THE ROADWAY AND ALL CITY DEPARTMENTS, AGENCIES, THE LOCAL ENTITY RESERVES THE RIGHT TO ACCEPT THE IMPROVEMENTS IF SUBSEQUENT TESTING REVEALS AN IMPROPER INSTALLATION.

10. COORDINATE WITH THE PROJECT ENGINEER TO IDENTIFY PROJECT INSPECTION AND TESTING REQUIREMENTS. PROVIDE FOR INSPECTIONS AND TESTING AT AN ADEQUATE FREQUENCY FOR THE PROJECT ENGINEER TO DOCUMENT THAT PROJECT IS CONSTRUCTED IN CONFORMANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. PROVIDE FOR MAKING ANY CHANGES TO THE APPROVED PLANS, IT IS THE APPROPRIATE CONTRACTORS RESPONSIBILITY TO COORDINATE WITH THE PROJECT ENGINEER.

11. PROVIDE THE OWNER, ENGINEER, THEIR CONSULTANTS, INDEPENDENT TESTING LABORATORIES, ANY GOVERNMENTAL AGENCIES WITH JURISDICTIONAL INTERESTS, OTHER REPRESENTATIVES AND PERSONNEL, ACCESS TO THE SITE AND THE WORK AT REASONABLE TIMES FOR THEIR OBSERVATION, INSPECTING, ANALYSING, PROVIDE THEM PROPER AND SAFE CONDITIONS FOR SUCH ACCESS, AND ADVISE THEM OF THE DEVELOPERS SITE SAFETY PROCEDURES AND PROGRAMS SO THAT THEY MAY COMPLY THEREWITH AS IS APPLICABLE. COORDINATE WITH THE PROJECT ENGINEER SO THAT INSPECTING AND TESTING ARE AT AN ADEQUATE FREQUENCY FOR THE PROJECT ENGINEER TO AFFIRM THAT THE WORK WAS COMPLETED IN SUBSTANTIAL CONFORMANCE WITH THESE APPROVED PLANS.

12. IF APPLICABLE, SUBMIT A CONSTRUCTION TRAFFIC CONTROL PLAN, RIGHT-OF-WAY PERMIT OR APPROPRIATE CONSTRUCTION PERMIT IS OBTAINED, IF WORK MAY COME WITHIN THE CONSTRUCTION TRAFFIC CONTROL PLAN, IN ACCORDANCE WITH MUTCD, TO THE APPROPRIATE RIGHT-OF-WAY AUTHORITY, LOCAL AGENCY OR STATE HIGHWAY DEPARTMENT OF TRANSPORTATION (2017 EDITION), AND APPLICABLE STATE AND FEDERAL REGULATIONS. WHERE THERE IS NO TRAFFIC CONTROL, DEVICES AS MAY BE REQUIRED BY THE CONSTRUCTION ACTIVITIES.

13. SUBMIT A CONSTRUCTION SITE MANAGEMENT PLAN (CSMP) FOR REVIEW AND APPROVAL BY THE CITY CONSTRUCTION SERVICES FOREMAN PRIOR TO START OF CONSTRUCTION. THE CSMP MUST BE MAINTAINED ON-SITE AND UPDATED AS NEEDED TO REFLECT CURRENT CONDITIONS.

14. ALL CONTRACTORS ARE SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES, AS SHOWN ON THESE PLANS, IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) AT 1-800-922-1987, AT LEAST 2 WORKING DAYS PRIOR TO BEGINNING EXCAVATION OR GRADING, TO HAVE ALL REGISTERED UTILITY LOCATIONS MARKED. OTHER UNREGISTERED UTILITY ENTITIES I.E. DITCH / IRRIGATION COMPANY ARE TO BE LOCATED BY CONTACTING THE RESPECTIVE REPRESENTATIVE. UTILITY SERVICE LINES ARE ALSO TO BE LOCATED PRIOR TO BEGINNING EXCAVATION OR GRADING. THE TYPE, SIZE, LOCATION AND NUMBER OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE PLANS. THE CITY OF STEAMBOAT SPRINGS DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED. IF A CONFLICT EXISTS AND/OR A DESIGN MODIFICATION IS REQUIRED, COORDINATE WITH THE ENGINEER TO MODIFY THE DESIGN. DESIGN MODIFICATIONS MUST BE APPROVED BY THE LOCAL ENTITY PRIOR TO BEGINNING CONSTRUCTION.

15. FIELD LOCATE AND VERIFY ELEVATIONS OF ALL EXISTING SEWER MAINS, WATER MAINS, CURBS, GUTTERS AND OTHER UTILITIES AT THE POINTS OF CONNECTION AND/OR THE POINTS OF DISCHARGE. PRIOR TO INSTALLING ANY OF THE NEW IMPROVEMENTS, IF A CONFLICT EXISTS AND/OR A DESIGN MODIFICATION IS REQUIRED, COORDINATE WITH THE ENGINEER TO MODIFY THE DESIGN. DESIGN MODIFICATIONS MUST BE APPROVED BY THE LOCAL ENTITY PRIOR TO BEGINNING CONSTRUCTION.

16. ALL UTILITY INSTALLATIONS WITHIN OR ACROSS THE ROADBED OR OTHER PAVED AREAS MUST BE COMPLETED PRIOR TO THE FINAL STAGES OF ROAD CONSTRUCTION OR THE START OF ANY OTHER WORK INCLUDING, GRADING, PAVEMENT, CURB AND GUTTER. WORK ON THE SUBGRADE IS CONSIDERED FINAL. STAGE WORK, ALL SERVICE LINES MUST BE STUBBED ABOVE THE ROAD PLATFORM OR TO THE PROPERTY LINES AND MARKED SO AS TO REDUCE THE EXCAVATION NECESSARY FOR BUILDING CONNECTIONS.

17. COORDINATE AND COOPERATE WITH THE LOCAL ENTITY, AND ALL UTILITY COMPANIES INVOLVED, WITH REGARD TO RELOCATIONS, ADJUSTMENTS, EXTENSIONS AND REARRANGEMENTS OF EXISTING UTILITIES DURING CONSTRUCTION, AND TO ASSURE THAT THE WORK IS COMPLETED IN A TIMELY FASHION AND WITH A MINIMUM DISRUPTION OF SERVICE. CONTACT, IN ADVANCE, ALL PARTIES AFFECTED BY ANY DISRUPTION OF ANY UTILITY SERVICE AS WELL AS THE UTILITY COMPANIES.

18. NO WORK MAY COMMENCE WITHIN ANY PUBLIC STORM WATER, SANITARY SEWER OR POTABLE WATER SYSTEM UNTIL THE UTILITY PROVIDERS ARE NOTIFIED. NOTIFICATION SHALL BE A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO COMMENCEMENT OF ANY WORK, AT THE DISCRETION OF THE WATER UTILITY PROVIDER. A PRE-CONSTRUCTION MEETING MAY BE REQUIRED PRIOR TO COMMENCEMENT OF ANY WORK.

19. PROTECT ALL UTILITIES DURING CONSTRUCTION AND FOR COORDINATE WITH THE APPROPRIATE UTILITY COMPANY FOR ANY UTILITY CROSSINGS REQUIRED.

20. WHEN APPLICABLE, THE DEVELOPER AND/OR CONTRACTOR SHALL HAVE ON-SITE AT ALL TIMES, EACH OF THE FOLLOWING:

- BEST MANAGEMENT PRACTICES (BMP) MAINTENANCE FOLDER
- UP TO DATE STORMWATER MANAGEMENT PLAN (SWMP) THAT ACCURATELY REPRESENTS CURRENT FIELD CONDITIONS
- ONE (1) SIGNED COPY OF THE APPROVED PLANS
- ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS
- A COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB.

21. IF, DURING THE CONSTRUCTION PROCESS, CONDITIONS ARE ENCOUNTERED WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, CONTACT THE DESIGNER AND THE LOCAL ENTITY ENGINEER IMMEDIATELY.

22. ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.

23. PROVIDE ALL LABOR AND MATERIALS NECESSARY FOR THE COMPLETION OF THE INTENDED IMPROVEMENTS SHOWN ON THESE DRAWINGS, OR DESIGNATED TO BE PROVIDED, INSTALLED, OR CONSTRUCTED, UNLESS SPECIFICALLY NOTED OTHERWISE.

24. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING AS-BUILT INFORMATION ON A SET OF RECORD DRAWINGS KEPT ON THE CONSTRUCTION SITE, AND AVAILABLE TO THE LOCAL ENTITY'S INSPECTOR AT ALL TIMES.

25. DIMENSIONS FOR LAYOUT AND CONSTRUCTION ARE NOT TO BE SCALED FROM ANY DRAWING, IF PERTINENT DIMENSIONS OR ELEVATIONS ARE NOT SHOWN, OR DIMENSIONS ARE NOT QUANTIFIED IN THE PLANS AND SPECIFICATIONS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE AS-BUILT DIMENSIONS FOR LAYOUT AND CONSTRUCTION LAYOUT.

26. SEQUENCE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO MINIMIZE POTENTIAL UTILITY CONFLICTS. IN GENERAL, GRADE RESTRICTED UTILITIES SUCH AS STORM SEWER AND SANITARY SEWER, SHOULD BE CONSTRUCTED PRIOR TO INSTALLATION OF THE WATER LINES AND DRY UTILITIES.

27. EXISTING FENCES, TREES, STREETS, SIDEWALKS, CURBS AND GUTTERS, LANDSCAPING, STRUCTURES, AND IMPROVEMENTS DESTROYED, DAMAGED OR REMOVED DUE TO CONSTRUCTION OF THIS PROJECT SHALL BE REPLACED OR RESTORED IN LIKE KIND AT THE CONTRACTOR'S EXPENSE, UNLESS OTHERWISE INDICATED ON THESE PLANS.

28. THESE CONSTRUCTION PLANS SHALL BE VALID FOR A PERIOD OF THREE YEARS FROM THE DATE OF APPROVAL BY THE AHI. USE OF THESE PLANS AFTER THE EXPIRATION DATE, WILL REQUIRE A NEW REVIEW AND APPROVAL PROCESS BY THE LOCAL ENTITY PRIOR TO COMMENCEMENT OF ANY WORK SHOWN IN THESE PLANS.

29. ALL CONSTRUCTION IN AREAS DESIGNATED AS WILD FIRE HAZARD AREAS SHALL BE DONE IN ACCORDANCE WITH THE CONSTRUCTION CRITERIA AS ESTABLISHED IN THE WILD FIRE HAZARD AREA MITIGATION REGULATIONS IN FORCE AT THE TIME OF CONSTRUCTION.

30. THE CONTRACTOR AGREES THAT BY COMMENCING CONSTRUCTION THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE CONSTRUCTION OF THE PROJECT, INCLUDING, BUT NOT LIMITED TO THE SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY TO ALL PERSONS, INCLUDING BUT NOT LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE ENGINEER, AND THE GOVERNING AGENCIES AND THE OFFICERS, DIRECTORS, PARTNERS, EMPLOYEES, AGENTS AND OTHER CONSULTANTS OF EACH AND ANY OF THEM HARMLESS FROM AND AGAINST ALL SUCH CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES AND COSTS OF LITIGATION, ARISING FROM THE NEGLIGENCE OF THE OWNER, THE ENGINEER, OR THE GOVERNING AGENCIES.

31. NOTIFY THE ENGINEER IMMEDIATELY UPON DISCOVERING ANY CONFLICTS OR OTHER PROBLEMS IN CONFORMING TO THE APPROVED CONSTRUCTION DRAWINGS, SPECIFICATIONS OR DETAILS FOR ANY ELEMENT OF THE PROPOSED IMPROVEMENTS PRIOR TO PROCEEDING WITH ITS CONSTRUCTION.

32. COORDINATE THE INSTALLATION OR RELOCATION OF THE DRY UTILITY COMPANY'S FACILITIES. COST OF THE DRY UTILITY WORK SHALL BE BORNE BY THE OWNER, AS NOTED OR INDICATED IN THE PLANS AND SPECIFICATIONS.

33. PRESERVE PRIVATE AND PUBLIC PROPERTY AND PROTECT IT FROM DAMAGE THAT MAY RESULT FROM CONSTRUCTING THESE PROPOSED IMPROVEMENTS.

34. ACCESS TO ALL ADJACENT PROPERTIES AND FACILITIES SHALL BE MAINTAINED AT ALL TIMES. REQUIRED INTERRUPTION OF ACCESS SHALL BE COORDINATED WITH THE PROPERTY AND PROJECT OWNERS.

35. IF HAZARDOUS MATERIAL OR SUSPECT MATERIAL IS ENCOUNTERED NOTIFY THE OWNER AND ENGINEER BEFORE CONTINUING WORK. HAZARDOUS MATERIALS SHALL BE REMOVED AS REQUIRED.

36. THE APPROPRIATE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SOURCE OF CONSTRUCTION WATER FOR USE ON THIS PROJECT.

37. EXCESS MATERIAL SHALL BE REMOVED FROM SITE AND HANDLED IN ACCORDANCE TO ALL RULES AND REQUIREMENTS. A SEPARATE PERMIT MAY BE REQUIRED AND SHALL BE COORDINATED WITH THE AUTHORITY HAVING JURISDICTION.

38. OFFSITE AND ADJACENT SITE DATA IS FOR REFERENCE PURPOSES ONLY.

39. ALL LANDSCAPING, REVEGETATION AND WETLANDS REQUIREMENTS'S DESIGN BY OTHERS. ALL DISTURBED AREAS ARE TO BE REVEGETATED UNLESS OTHERWISE NOTED.

40. ENSURE THAT WORK FOR THIS PROJECT BE PERFORMED BY CONTRACTORS (INCLUDING CONTRACTORS EMPLOYEES AND AGENTS) POSSESSING THE SKILLS, EXPERIENCE AND TRAINING OF THE DESIGNER, ENGINEER, ARCHITECTS AND MANUFACTURER REQUIREMENTS. BY COMMENCING WORK, THE CONTRACTORS REPRESENT THAT THEY UNDERSTAND AND ACCEPT THIS REQUIREMENT.

41. ALL CONSTRUCTION ACTIVITIES AND DISTURBANCES SHALL OCCUR WITHIN THE PROPERTY LIMITS. WHERE OFF-SITE WORK IS APPROVED, WRITTEN PERMISSION OF THE ADJACENT PROPERTY OWNER MUST BE OBTAINED PRIOR TO ANY OFF-SITE GRADING OR CONSTRUCTION.

2. **GRAVING AND DRAINAGE**

4. NO WORK SHALL OCCUR IN WETLANDS OR FLOODPLAINS WITHOUT PERMITS. ANY WORK SHALL BE IN ACCORDANCE WITH PERMITS.

5. VEGETATED SLOPES GREATER THAN 3:1 REQUIRE SOIL STABILIZATION.

6. CLEAN ALL INSTALLED CULVERTS AND STORM SEWERS PRIOR TO SUBSTANTIAL COMPLETION INSPECTIONS.

7. LENGTHS SHOWN ON PLANS ARE HORIZONTAL LENGTHS FROM CENTER OF MANHOLE TO CENTER OF MANHOLE OR TO THE END OF THE FLARED END SECTIONS. ACTUAL LENGTHS MAY VARY.

8. SLOPES ARE CALCULATED FROM INSIDE EDGE OF MANHOLE/STRUCTURE TO INSIDE EDGE OF MANHOLE/STRUCTURE.

9. IMPERVIOUS CLAY DAMS ARE REQUIRED IN TRENCH AT 50-FT INTERVALS AND AT CHANGES IN PIPE DIRECTION AND/OR AT PIPE JUNCTIONS FOR ALL DRAINAGE STRUCTURES.

10. MINIMUM RECOMMENDATIONS TO BE CONFIRMED OR REPLACED BY GEOTECHNICAL ENGINEER: PROPOSED FILL AREAS WHERE PAVEMENT OR SITE CONCRETE IS ANTICIPATED SHOULD BE PREPARED BY STRIPPING EXISTING TOPSOIL, AND ORGANIC MATERIALS, SCARIFICATION TO A DEPTH OF AT LEAST 18 INCHES AND COMPACTION TO MINIMUM VALUES GIVEN BELOW. MOISTURE CONDITIONING MAY BE REQUIRED TO ATTAIN STABILITY AND MINIMUM COMPACTION.

SITE FILLS AND TRENCH BACKFILL SHOULD BE COMPLETED ON SITE OR IMPORTED MATERIALS. FILLS SHOULD BE UNIFORMLY PLACED AND COMPACTED IN 6 TO 8 INCH LOOSE LIFTS TO AT LEAST 95 PERCENT OF THE MAXIMUM STANDARD PROCTOR DENSITY AND WITHIN 2 PERCENT OF THE OPTIMUM MOISTURE CONTENT (ASTM D698). MOISTURE CONDITIONING OF FILL MATERIALS MAY BE REQUIRED TO ATTAIN MINIMUM COMPACTION AND STABILITY REQUIREMENTS.

51. A GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED UNDER THE TITLE OF "SUBSOIL AND FOUNDATION INVESTIGATION, STEAMBOAT BASE AREA REDEVELOPMENT" BY NWCX DATED DECEMBER 30, 2020, AND THEIR RECOMMENDATIONS ARE HEREBY INCORPORATED HEREIN. IF A CONFLICT OR DISCREPANCY OCCURS, NOTIFY THE ENGINEER IMMEDIATELY UPON DISCOVERY.

B. CONSTRUCTION SITE AND STORMWATER MANAGEMENT

52. CONTRACTOR SHALL SUBMIT A CONSTRUCTION SITE MANAGEMENT PLAN TO THE CITY FOR APPROVAL PRIOR TO BUILDING PERMIT ISSUANCE.

53. WHEN REQUIRED THE CONTRACTOR SHALL PREPARE A STORMWATER MANAGEMENT PLAN. THE STORMWATER MANAGEMENT PLAN SHALL BE PREPARED BY A QUALIFIED INDIVIDUAL WITH KNOWLEDGE IN THE PRINCIPLES AND PRACTICES OF EROSION AND SEDIMENT CONTROL AND POLLUTION PREVENTION. THIS INDIVIDUAL SHOULD BE RESPONSIBLE FOR DEVELOPING, IMPLEMENTING, MAINTAINING, AND REVISING THE STORMWATER MANAGEMENT PLAN FOR THE DURATION OF THE PROJECT.

54. THE STORMWATER MANAGEMENT PLAN SHOULD ADDRESS INSTALLATION, INSPECTION AND MAINTENANCE OF ALL NECESSARY EROSION AND SEDIMENT CONTROL DURING CONSTRUCTION AND REMOVE EROSION/STRUCTURE WHEN INSIDE EROSION IS COMPLETE AND VEGETATION IS ESTABLISHED. WHEN TEMPORARY EROSION CONTROL MEASURES ARE REMOVED, CLEAN UP AND REMOVE ALL SEDIMENT AND DEBRIS FROM ALL DRAINAGE INFRASTRUCTURE AND OTHER PUBLIC FACILITIES.

55. ALL REQUIRED PERIMETER SILT AND CONSTRUCTION FENCING SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITY (STOCKPILING, STRIPPING, GRADING, ETC.). ALL OTHER REQUIRED EROSION CONTROL MEASURES SHALL BE INSTALLED AT THE APPROPRIATE TIME IN THE CONSTRUCTION SEQUENCE AS INDICATED IN THE APPROVED PROJECT SCHEDULE, CONSTRUCTION PLANS, AND STORMWATER MANAGEMENT PLAN.

56. ENSURE THAT NO MUD OR DEBRIS SHALL BE TRACKED ONTO THE EXISTING PUBLIC STREET SYSTEM. MUD AND DEBRIS MUST BE REMOVED BY THE END OF EACH WORKING DAY BY AN APPROPRIATE MECHANICAL METHOD (I.E. MACHINE BROOM SWEEP, LIGHT DUTY FRONT-END LOADER, ETC.) OR AS APPROVED BY THE LOCAL ENTITY STREET INSPECTOR.

57. ALL STRUCTURAL EROSION CONTROL MEASURES SHALL BE INSTALLED AT THE LIMITS OF CONSTRUCTION AND AT AREAS WITH DISTURBED SOIL ON- OR OFF-SITE, AND WORK TO ANY OTHER GROUND-DISTURBING ACTIVITY. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN GOOD REPAIR UNTIL SUCH TIME AS THE ENTIRE DISTURBED AREAS IS STABILIZED WITH HARD SURFACE OR LANDSCAPING. TO MITIGATE EROSION, UTILIZE STANDARD EROSION CONTROL TECHNIQUES DESCRIBED IN THE URBAN STORM DRAINAGE CRITERIA MANUAL, VOLUME 3 - BEST MANAGEMENT PRACTICES, AS PUBLISHED BY THE URBAN DRAINAGE AND FLOOD CONTROL DISTRICT (UDFCD).

58. PRE-DISTURBANCE VEGETATION SHALL BE PROTECTED AND RETAINED WHEREVER POSSIBLE. REMOVAL OR DISTURBANCE OF EXISTING VEGETATION SHALL BE LIMITED TO THE AREA(S) REQUIRED FOR IMMEDIATE CONSTRUCTION OPERATIONS, AND FOR THE SHORTEST PRACTICAL PERIOD OF TIME.

59. IMMEDIATELY CLEAN UP ANY CONSTRUCTION MATERIALS INADVERTENTLY DEPOSITED ON EXISTING STREETS, SIDEWALKS, OR OTHER PUBLIC RIGHTS OF WAY, AND MAKE SURE STREETS AND WALKWAYS ARE CLEANED AT THE END OF EACH WORKING DAY.

60. ALL RETAINED SEDIMENTS, PARTICULARLY THOSE ON PAVED ROADWAYS AND SURFACES, SHALL BE REMOVED AND DISPOSED OF IN A MANNER AND LOCATION SO AS NOT TO CAUSE THEIR RELEASE INTO ANY WATERS OF THE UNITED STATES.

61. THE STORMWATER VOLUME CAPACITY OF DETENTION PONDS WILL BE RESTORED AND STORM SEWER LINES WILL BE CLEANED UPON COMPLETION OF THE PROJECT.

THE COLORADO DISCHARGE PERMIT SYSTEM (CDPS) REQUIREMENTS MAKE IT UNLAWFUL TO DISCHARGE OR ALLOW THE DISCHARGE OF ANY POLLUTANT OR CONTAMINATED WATER FROM CONSTRUCTION SITES. POLLUTANTS INCLUDE, BUT ARE NOT LIMITED TO DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASHWATER, OIL, AND GAS PRODUCTS, LITTER, AND SANITARY WASTE. TAKE WATERSHED MEASURES ARE NECESSARY TO ASSURE THE PROPER CONTAINMENT AND DISPOSAL OF POLLUTANTS ON THE SITE IN ACCORDANCE WITH ANY AND ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.

63. THE DRAINAGE REPORT SHALL BE REFERENCED WHEN PREPARING THE PROJECT'S STORMWATER MANAGEMENT PLAN. A DRAFT DRAINAGE LETTER FOR THIS PROJECT WAS COMPLETED BY LANDMARK CONSULTANTS TITLED "DRAINAGE LETTER AND STORMWATER QUALITY PLAN GONDOLA PLAZA LOT 1 REPLAT OF PARCEL D & DRAINAGE LETTER AND STORMWATER QUALITY PLAN THE GOLDWALK GONDOLA SQUARE CONDOMINIUMS" AND ARE BOTH DATED FEBRUARY 10, 2021.

C. WATER AND SEWER NOTES

41. ALL WATER AND SEWER CONSTRUCTION SHALL BE PER MT. WERNER WATER STANDARD SPECIFICATIONS, LATEST EDITION, AS APPLICABLE.

60. MAINTAIN 1' HORIZONTAL AND 18" VERTICAL MINIMUM SEPARATION BETWEEN ALL SANITARY SEWER MAINS, WATER MAINS & SERVICES.

61. MANHOLES LOCATED OUTSIDE OF THE ROADWAY SHALL PROVIDE 1' ABOVE EXISTING GRADE TO REDUCE INFILTRATION. GRADE SURFACE TO DRAIN AROUND/IN/ANY FROM MANHOLE RIMS.

62. ALL MANHOLES LOCATED IN THE ROADWAY SHALL HAVE RIM ELEVATIONS ADJUSTED TO 1" BELOW FINISHED GRADE. IF NECESSARY, CONE SECTIONS SHALL BE ROTATED TO PREVENT LIDS BEING LOCATED WITHIN VEHICLE OR BICYCLE WHEEL PATHS.

63. SEWER SERVICE SHALL HAVE A MINIMUM OF 4'-0" COVER.

64. WATER SERVICE SHALL HAVE A MINIMUM OF 7'-0" COVER.

65. ALL WATER PIPE SHALL BE INSTALLED WITH A #10 SOLID COPPER PIPE COATED WITH 45 MIL POLYETHYLENE FOR LOCATING PURPOSES. "CLEAN TEST STATIONS" BY VALVCO, INC TRACER WIRE TEST STATIONS SHALL BE INSTALLED ADJACENT TO ALL FIRE HYDRANTS. ADDITIONAL LOCATIONS MAY BE REQUIRED.

66. THE PARTICLE SIZE OF BEDDING AND SHADING MATERIAL SHALL BE 3/4 INCH WASHED OR SCREENED ROCK (NOT ROAD BASE OR CLASS 6) AND SHALL EXTEND THE FULL WIDTH OF THE TRENCH.

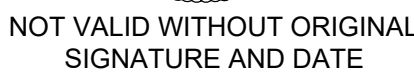
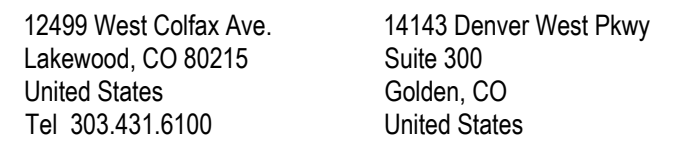
67. ALL MATERIALS USED FOR BACKFILL SHALL BE FREE FROM REFUSE ORGANIC MATERIAL, COBBLES, BOULDERS, LARGE ROCKS OR STONES OR FROZEN SOILS GREATER THAN 6-INCHES IN DIAMETER.

68. ALL TRENCHES SHALL BE COMPACTED TO 95% AS DETERMINED BY ASTM D698 (STANDARD PROCTOR) OR AS SPECIFIED BY GEOTECHNICAL ENGINEER.

CONSTRUCTION PHASE SERVICES

IT IS UNDERSTOOD AND AGREED THAT LANDMARK DOES NOT HAVE AN OBLIGATION TO CONDUCT CONSTRUCTION OBSERVATION OR REVIEW OF THE CONTRACTORS PERFORMANCE ON ANY OTHER CONSTRUCTION PHASE SERVICES, AND THAT SUCH SERVICES WILL BE PROVIDED FOR BY THE OWNER AS A SEPARATE AGREEMENT. THIS AGREEMENT SPECIFICALLY STATES THAT THE SURETIES ARE PROVIDING CONSTRUCTION OBSERVATION AND THE OWNER WAIVES ANY CLAIMS AGAINST LANDMARK THAT MAY BE IN ANY WAY CONNECTED THEREWITH. IN ADDITION, THE OWNER AGREES, TO THE FULLEST EXTENT PERMITTED BY LAW, TO INDEMNIFY AND HOLD HARMLESS LANDMARK'S OFFICERS, DIRECTORS, EMPLOYEES, AGENTS, REPRESENTATIVES, SUBCONTRACTORS, CONSULTANTS, ADVISORS, ATTORNEYS, ACCOUNTANTS, ENGINEERS, ARCHITECTS AND DEFENSE COUNSEL, ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PERFORMANCE OF SUCH SERVICES BY OTHER PERSONS OR ENTITIES FROM ALL SUCH CLAIMS, DAMAGES, LOSSES, COSTS, REASONABLE ATTORNEY'S FEES AND REASONABLE EXPENSES INCURRED BY THEM IN CONNECTION WITH SUCH CLAIMS, DAMAGES, LOSSES, COSTS, REASONABLE ATTORNEY'S FEES AND REASONABLE EXPENSES. LANDMARK SHALL NOT BE RESPONSIBLE FOR ANY CHANGES TO THESE CONDITIONS OR DOCUMENTS TO REFLECT CHANGED FIELD OR OTHER CONDITIONS, EXCEPT FOR CLAIMS ARISING FROM THE SAME NEGLIGENCE OR WILLFUL MISFEASANCE OF LANDMARK.

ADA	AMERICANS WITH DISABILITIES ACT
ADP	APPROPRIATE
BMP	BEST MANAGEMENT PRACTICE
BOT	BOTTOM
BVCS	BEGIN VERTICAL CURVE STATION
BVCE	BEGIN VERTICAL CURVE ELEVATION
BW OR BOW	BOTTOM OF WALL
C&C	CUT & CAPPED
CL	CORRUGATED ALUMINUM PIPE
C&I	C&I IN PLACE
CE	CENTERLINE
CMP	CORRUGATED METAL PIPE
C.O.	CLEAN OUT
CP	CONCRETE PIPE
CSP	CORRUGATED STEEL PIPE
DIA	DIAMETER
DIP	DUCTILE IRON PIPE
EGS	EXISTING GROUND
EL	ELEVATION
EOA OR EA	EDGE OF ASPHALT
EOC	EDGE OF CONCRETE
EOP	EDGE OF PAVEMENT
EVCS	END VERTICAL CURVE ELEVATION
EVCE	END VERTICAL CURVE STATION
EX	EXISTING
FG&G	FRAME & GRATE
F&C	FRAME & COVER
FES	FLARED END SECTION
FFE	FINISH FLOOR ELEVATION
FH	FIRE HYDRANT
FL	FLOW LINE
FG	FINISH GRADE
GB	GRADE BREAK AT BOTTOM OF WALL
GB	GRADE BREAK
GFFE	GARAGE FINISH FLOOR ELEVATION
GTD	GRADE TO DRAIN
HDPE	HIGH DENSITY POLYETHYLENE PIPE
INV	INVERT
LEBNS	LEAKS
LEP	LIMITS OF DISTURBANCE
M&D	MECHANICAL, ELECTRIC, AND PLUMBING
MAX	MAXIMUM
ME	MATCH EXISTING
MH	MANHOLE
MJ	MINIMUM
MI	MECHANICAL JOINT
NIP OR N.A.P.	NOT A PART (NOT INCLUDED IN SCOPE)
NTS	NOT TO SCALE
OFF	OFFSET
PC	POINT OF CURVE
P	POINT OF INTERSECTION
PC	POINT OF CONCAVE CURVE
PLDP	POROUS LANDSCAPE DETENTION POND
PRC	POINT OF REVERSE CURVE
PT	POINT OF TANGENT
PV	POINT OF VERTICAL CURVE
PV	POLYVINYL CHLORIDE PIPE
PVI	POINT OF VERTICAL INTERSECTION
PVT	POINT OF VERTICAL TANGENT
R	RADIUS
RCR	REINFORCED CONCRETE PIPE
REQ	REQUIRED
ROW	RIGHT OF WAY
STA	STATION
TB	THRUST BLOCK
TBR	TOP BACK OF CURB
TBR	TO BE REMOVED
TG	TOP OF GRATE
TOP	TOP OF PIPE
TTP	TAPERED TO GRADE
TW OR TOW	TOP OF WALL
TYP	TYPICAL
VCP	VITRIFIED CLAY PIPE
VOL	VOLUME
WI	WITH



Seal / Signature

Project Name

SSRC | BASE AREA IMPROVEMENTS

Project Number

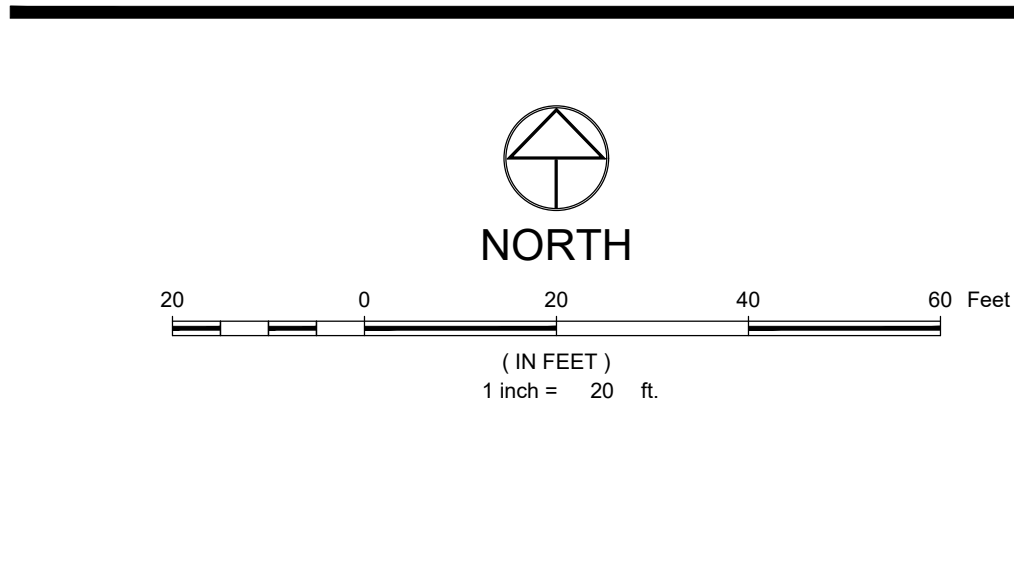
003.7835.000

Description

Scale

SEE GRAPHICAL SCALE

C.002



EASEMENT LEGEND

- 1 RECEPTION NO. 693016 20' ACCESS EASEMENT EAST HOTEL ACROSS OSP
- 2 BOOK 729, PAGE 338, RECEPTION NO. 746875, BUDDY'S RUN DECK ENCROACHMENT EASEMENT
- 3 RECEPTION NO. 693287 INTERFACE EASEMENT
- 4 RECEPTION NO. 693287 INTERFACE EASEMENT, REVOCABLE PORTION
- 5 BOOK 532, PAGE 620 10' SANITARY SEWER EASEMENT
- 6 RECEPTION NO. 693286 PARKING, ACCESS & MAINTENANCE EASEMENT
- 7 BOOK 729, PAGE 338, RECEPTION NO. 687253, RECEPTION NO. 705974, EAST HOTEL ACCESS EASEMENT AS AMENDED BY RECEPTION NO.
- 8 BOOK 534, PAGE 49 10' PEDESTRIAN AND BICYCLE PATH EASEMENT
- 9 RECEPTION NO. 307130, FILE NO. 8623 12' PEDESTRIAN EASEMENT
- 10 BOOK 374, PAGE 345, BOOK 376, PAGE 318, RECEPTION NO. 770599 20' WATER LINE EASEMENT
- 11 BOOK 337, PAGE 337 PERPETUAL VISUAL EASEMENT
- 12 BOOK 393, PAGE 509 & BOOK 395, PAGE 576 ROAD EASEMENT
- 13 BOOK 412, PAGE 341 ENTRYWAY EASEMENT
- 14 BOOK 412, PAGE 343 ACCESS EASEMENT
- 15 BOOK 580, PAGE 70, RECEPTION NO. 727257, RECEPTION NO. 727903, LANDSCAPING AND ACCESS EASEMENT (BEAR CLAW R)
- 16 BOOK 745, PAGE 286 20' SEWER EASEMENT
- 17 RECEPTION NO. 673610, RECEPTION NO. 705975, RECEPTION NO. 789275 SEWER EASEMENT
- 18 RECEPTION NO. 673610 & 705975 SEWER EASEMENT RELOCATION AREA
- 19 RECEPTION NO. 789275 SEWER ENCROACHMENT AREA
- 20 RECEPTION NO. 679035 FIRE SEPARATION EASEMENT
- 21 RECEPTION NO. 692162 SKI EASEMENT
- 22 RECEPTION NO. 693153 WATER MAINS EASEMENT
- 23 RECEPTION NO. 696297, RECEPTION NO. 748729, RECEPTION NO. 702319, RECEPTION NO. 713742, PUBLIC IMPROVEMENTS EASEMENT (HATCHED)
- 24 RECEPTION NO. 696297, RECEPTION NO. 713142, PUBLIC IMPROVEMENTS EASEMENT (BOLTER HOUSE)
- 25 RECEPTION NO. 699720 SEWER MAINS EASEMENT
- 26 RECEPTION NO. 699721 WATER MAINS EASEMENT
- 27 RECEPTION NO. 716939, RECEPTION NO. 738617, PUBLIC IMPROVEMENTS EASEMENT (LITTLE P EASEMENT)
- 28 RECEPTION NO. 728342 ACCESS AND LANDSCAPE EASEMENT
- 29 BOOK 580, PAGE 238 & RECEPTION NO. 695278 ACCESS EASEMENT (1ST AMENDMENT EAST HOTEL ACCESS)
- 30 RECEPTION NO. 696296 STORM SEWER & ACCESS AND MAINTENANCE EASEMENT
- 31 RECEPTION NO. 693152 SANITARY SEWER EASEMENT
- 32 RECEPTION NO. ELECTRIC EASEMENT
- 33 RECEPTION NO. GAS EASEMENT
- 34 BOOK 532, PAGE 756 TELEPHONE EASEMENT
- 35 BOOK 601, PAGE 648 10' BICYCLE AND PEDESTRIAN EASEMENT
- 36 RECEPTION NO. 789276 DECK EASEMENT AGREEMENT
- 37 BOOK 629, PAGE 632 PEDESTRIAN ACCESS EASEMENT
- 38 BOOK 532, PAGE 620, BOOK 532, PAGE 774 10' SANITARY SEWER EASEMENT
- 39 BOOK 760, PAGE 976 BUILDING ENCROACHMENT EASEMENT
- 40 RECEPTION NO. 513746 (FILE NO. 12770), RECEPTION NO. 307130 (FILE NO. 8623), STORM SEWER EASEMENT
- 41 BOOK 532, PAGE 758 10' TELEPHONE EASEMENT
- 42 BOOK 596, PAGE 1611 EXCLUSIVE PARKING SPACES, ENTRANCE FROM ACCESS ROUTE NO. 1, ENTRANCE FROM ACCESS ROUTE NO. 2, VEHICULAR AND PEDESTRIAN INGRESS AND EGRESS ACCESS EASEMENT, ACCESS ROUTE 2, STORAGE, CLOSET, ELEVATOR & STAIRWAY
- 43 BOOK 532, PAGE 774 10' ELECTRIC EASEMENT
- 44 BOOK 729, PAGE 342 HOTEL ACCESS EASEMENT
- 45 RECEPTION NO. 307130 ACCESS EASEMENT SKI HILL SUBDIVISION
- 46 BOOK 599, PAGE 98 TRUCK TURNAROUND LICENSE AGREEMENT
- 47 RECEPTION NO. 693286 INTERFACE EASEMENT
- 48 RECEPTION NO. 693289 NO BUILD EASEMENT
- 49 BOOK 596, PAGE 1487, EX C-7 BUILDING IMPROVEMENT EASEMENT
- 50 RECEPTION NO. 605980 AERIAL TRAMWAY EASEMENT
- 51 RECEPTION NO. 690175 SHORING EASEMENT AGREEMENT
- 52 RECEPTION NO. 596296 GONDOLA EXPANSION EASEMENT (MULTIPLE EXHIBITS), GONDOLA SQUARE ACCESS EASEMENT, WEST SIDE DRAINAGE EASEMENT, ETC.
- 53 RECEPTION NO. 693283 PEDESTRIAN ACCESS EASEMENT OSP
- 54 BOOK 532, PAGE 622 10' WATERLINE EASEMENT
- 55 RECEPTION NO. 693285 PATIO EASEMENT, DOORWAY EASEMENT, ENTRY EASEMENTS
- 56 RECEPTION NO. 693280 SANITARY SEWER EASEMENT
- 57 RECEPTION NO. 693283 EMERGENCY ACCESS EASEMENT OSP
- 58 RECEPTION NO. 693289 SKI AREA EASEMENT, STORM SEWER & DRAINAGE EASEMENT, RETROFICIAL UTILITY EASEMENT, GONDOLA SQUARE ACCESS EASEMENT
- 59 RECEPTION NO. 693016, BOOK 729, PAGE 338 AGREEMENT (ACCESS TO EASTERN SIDE OF HOTEL)
- 60 RECEPTION NO. 693278 DECLARATION OF EASEMENT
- 61 RECEPTION NO. 606975 ACCESS EASEMENT
- 62 BOOK 596, PAGE 1487, EX C-7 WALKWAY EASEMENT
- 63 RECEPTION NO. 596280, BOOK 596, PAGE 1487, EX C-8 AND C-9 STORM SEWER LINE EASEMENT AND STORM LINE EASEMENT
- 64 BOOK 328, PAGE 473 PRIVATE RIGHT-OF-WAY
- 65 RECEPTION NO. 691695 OSP EASEMENT AREA
- 66 RECEPTION NO. 693016 RIGHT OF WAY EASEMENT (ELECTRIC)
- 67 RECEPTION NO. 693275 SNOWMAKING LINE EASEMENT
- 68 BOOK 583, PAGE 236 30' ACCESS EASEMENT
- 69 BOOK 519, PAGE 577 10' TELEPHONE EASEMENT
- 70 BOOK 729, PAGE 343 HOTEL BRIDGE ACCESS, PEDESTRIAN AND EMERGENCY AND MAINTENANCE VEHICLE ACCESS
- 71 BOOK 532, PAGE 762 ELECTRIC EASEMENT



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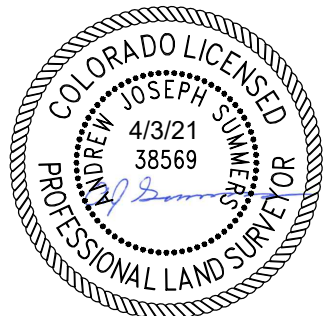
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△	Date	Description
1	2021.02.28	BP2A: DEMOLITION-LGB, BLDG B, STAGE

Seal / Signature



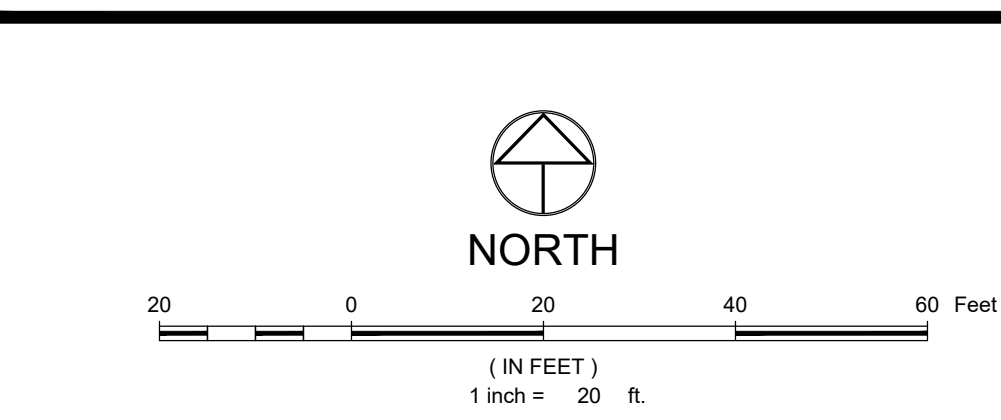
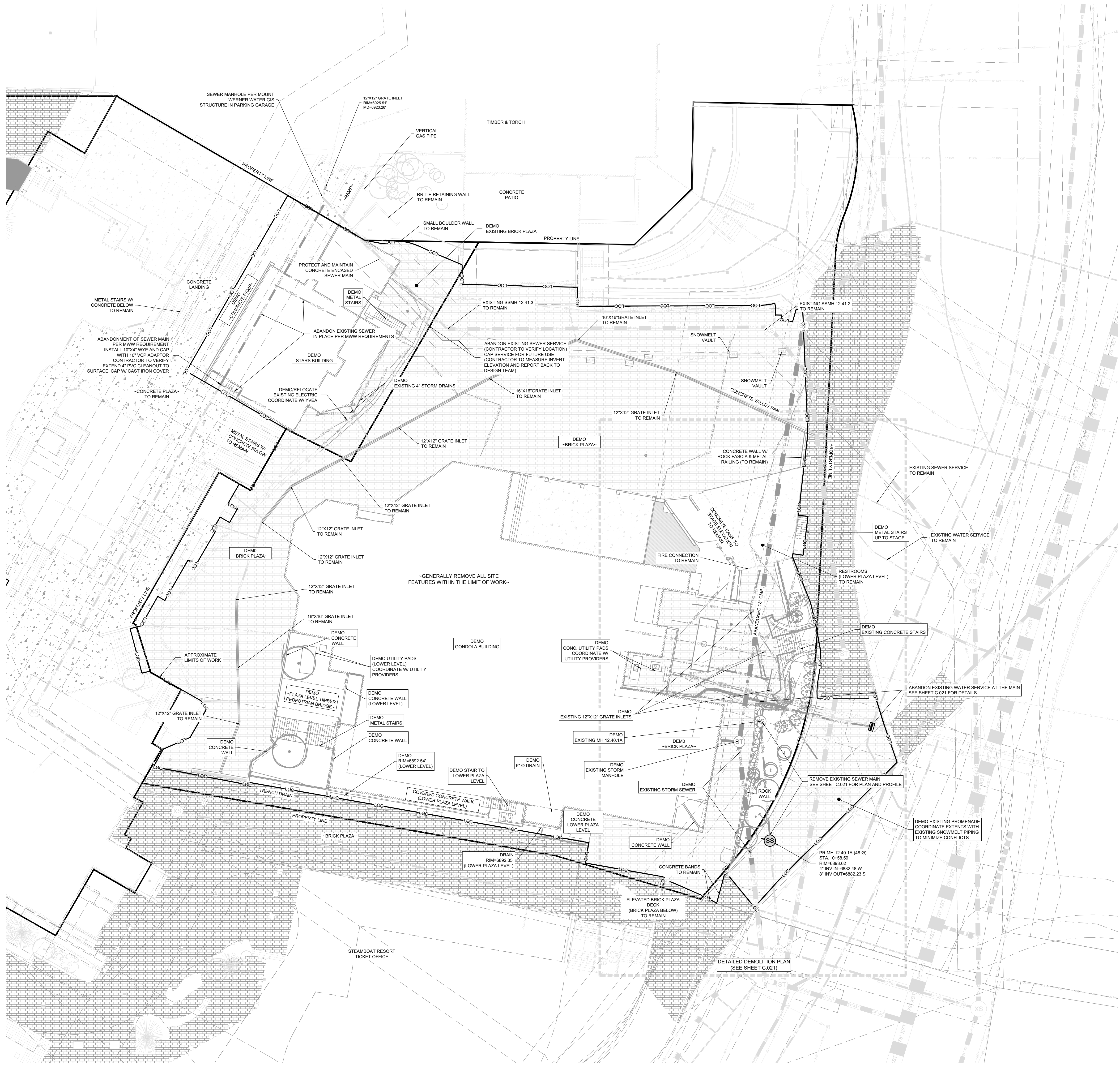
Project Name
SSRC | BASE AREA IMPROVEMENTS

Project Number
003.7835.000

Description
EXISTING PROPERTY EXHIBIT

Scale
SEE GRAPHICAL SCALE

C.004



LEGEND

PROPOSED 8" SANITARY SEWER W/ MH & C.O.	
EXISTING 8" SANITARY SEWER W/ MH & C.O.	
EX. SANITARY SEWER TO BE REMOVED OR ABANDONED	
PROPOSED 8" WATER PIPE	
EXISTING WATER	
EX. WATER TO BE REMOVED OR ABANDONED	
EXISTING GV & FH	
EXIST 8" STORMCULVERT, INLET, MH, END SECTION WITH RIPRAP	
EX. STORMCULVERT TO BE REMOVED OR ABANDONED	
EXISTING ELECTRIC	
EX. ELECTRIC TO BE REMOVED OR ABANDONED	
EXISTING TELEPHONE	
EX. TELEPHONE TO BE REMOVED OR ABANDONED	
EXISTING TELEPHONE	
EX. TELEPHONE TO BE REMOVED OR ABANDONED	
PROBABLE LIMITS OF CONSTRUCTION (SUBJECT TO CHANGE BASED ON ENCOUNTERED CONDITIONS AND CONTRACTOR MEASUREMENTS)	

NOTES

1. THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK. BEFORE COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UNKNOWN UNDERGROUND UTILITIES.
2. EXISTING UNDERGROUND AND OVERHEAD PUBLIC AND PRIVATE UTILITIES AS SHOWN ARE INDICATED ACCORDING TO THE BEST INFORMATION MADE AVAILABLE TO THE ENGINEER. THE ENGINEER DOES NOT GUARANTEE NOR IS RESPONSIBLE FOR THE ACCURACY OF SUCH INFORMATION. EXISTING UTILITY MAINS AND SERVICES MAY NOT BE STRAIGHT LINES OR AS INDICATED ON THESE DRAWINGS. CONTRACTOR TO VERIFY EXISTING HORIZONTAL AND VERTICAL LOCATIONS PRIOR TO CONSTRUCTION.
3. ALL SEWER CONSTRUCTION SHALL BE PER MOUNT WERNER WATER STANDARD SPECIFICATIONS, LATEST EDITION.
4. MAINTAIN 10" HORIZONTAL AND 18" VERTICAL MINIMUM SEPARATION BETWEEN ALL SANITARY SEWER MAINS, WATER MAINS & SERVICES.
5. MANHOLES LOCATED OUTSIDE OF PAVEMENTS SHALL PROTRUDE 1' ABOVE EXISTING GRADE TO REDUCE INFILTRATION. GRADE SURFACE TO DRAIN AROUND/AWAY FROM MANHOLE RIMS.
6. ALL MANHOLES LOCATED IN PAVEMENTS SHALL HAVE RIM ELEVATIONS ADJUSTED TO 1" BELOW FINISHED GRADE. IF NECESSARY, CONE SECTIONS SHALL BE ROTATED TO PREVENT LIDS BEING LOCATED WITHIN VEHICLE OR BICYCLE WHEEL PATHS.
7. SEWER SERVICE SHALL HAVE A MINIMUM OF 4-FT OF COVER.
8. WATER SERVICE SHALL HAVE A MINIMUM OF 7-FT OF COVER.
9. ALL WATER PIPE SHALL BE INSTALLED WITH A #10 SOLID COPPER WIRE COATED WITH 45 MIL POLYETHYLENE FOR LOCATING PURPOSES. "X" MARK TEST STATIONS" BY VALVCO, INC. TRACER WIRE TEST STATIONS SHALL BE INSTALLED ADJACENT TO ALL FIRE HYDRANTS. ADDITIONAL LOCATIONS MAY BE REQUIRED.
10. ALL MATERIALS USED FOR BACKFILL SHALL BE FREE FROM REFUSE ORGANIC MATERIAL, COBBLES, Boulders, LARGE ROCKS OR STONES OR FROZEN SOILS GREATER THAN 6-INCHES IN DIAMETER.
11. ALL TRENCHES SHALL BE COMPACTED TO 95% AS DETERMINED BY ASTM D698 (STANDARD PROCTOR) OR AS SPECIFIED BY GEOTECHNICAL ENGINEER.
12. BEDDING AND SHADING MATERIALS SHALL ONLY BE 3/4-INCH WASHED OR SCREENED ROCK, 3/4-INCH MINUS, SQUEEGEE OR REJECT SAND, OR CLASS 6 AGGREGATE BASE COURSE IS NOT ALLOWED.

DEMOLITION NOTES

1. CONTRACTOR IS ENCOURAGED TO PERFORM DEMOLITION IN A MANNER THAT MAXIMIZED SALVAGE, RE-USE, AND RECYCLING OF MATERIALS. THIS INCLUDES APPROPRIATE SORTING AND STORING. IN PARTICULAR DEMOLISHED CONCRETE, ASPHALT, AND BASE COURSE SHOULD BE RECYCLED IF POSSIBLE.
2. CONTRACTOR SHALL COORDINATE SITE DEMOLITION OPERATIONS WITH ALL OTHER TRADES PERFORMING WORK ON THE PROJECT.
3. CONTRACTOR SHALL REPLACE, REPAIR AND/OR RESTORE TO ORIGINAL CONDITION, ALL BUILDINGS AND SITE IMPROVEMENTS, NOT DESIGNATED FOR REMOVAL, THAT ARE DAMAGED AS A RESULT OF CONSTRUCTION OPERATIONS. AT NO ADDITIONAL COST TO OWNER. IF UTILITIES ARE DAMAGED, CONTRACTOR SHALL VERIFY REPLACEMENT REQUIREMENTS WITH UTILITY PROVIDERS AND ARRANGE FOR IMMEDIATE REPAIR.
4. QUANTITIES SHOWN ON DRAWINGS ARE APPROXIMATE AND SHALL BE VERIFIED IN THE FIELD.

PROMENADE NOTES

THE EXTENTS OF PROMENADE DEMOLITION IS SUBJECT TO VARY BASED UPON THE EXISTING SNOWMELT SYSTEM REGIONS. SNOWMELT SYSTEM REGIONS WILL BE IDENTIFIED IN THE FIELD AND RECOMMENDATIONS OF REMOVAL AND REPLACEMENT BEST PRACTICES WILL BE IDENTIFIED AT THAT TIME.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT AND MAINTAIN THE REMAINING PROMENADE AND SUBSEQUENT SNOWMELT REGIONS THROUGHOUT CONSTRUCTION.

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1 2021.02.28	BP2A: DEMOLITION-LGB, BLDG B, STAGE



NOT VALID WITHOUT ORIGINAL
SIGNATURE AND DATE

Seal / Signature

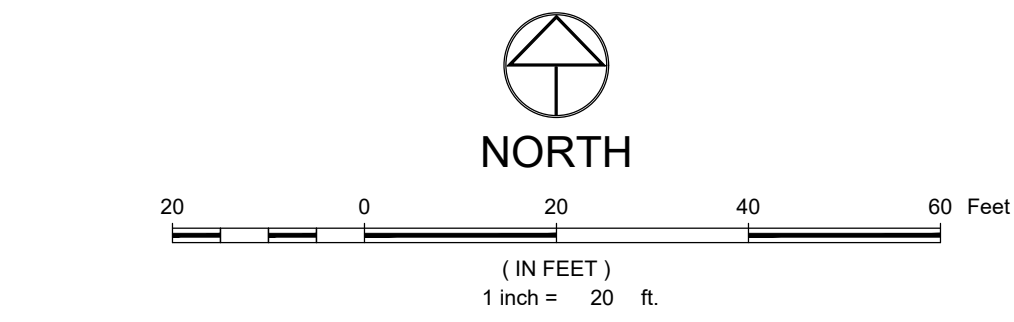
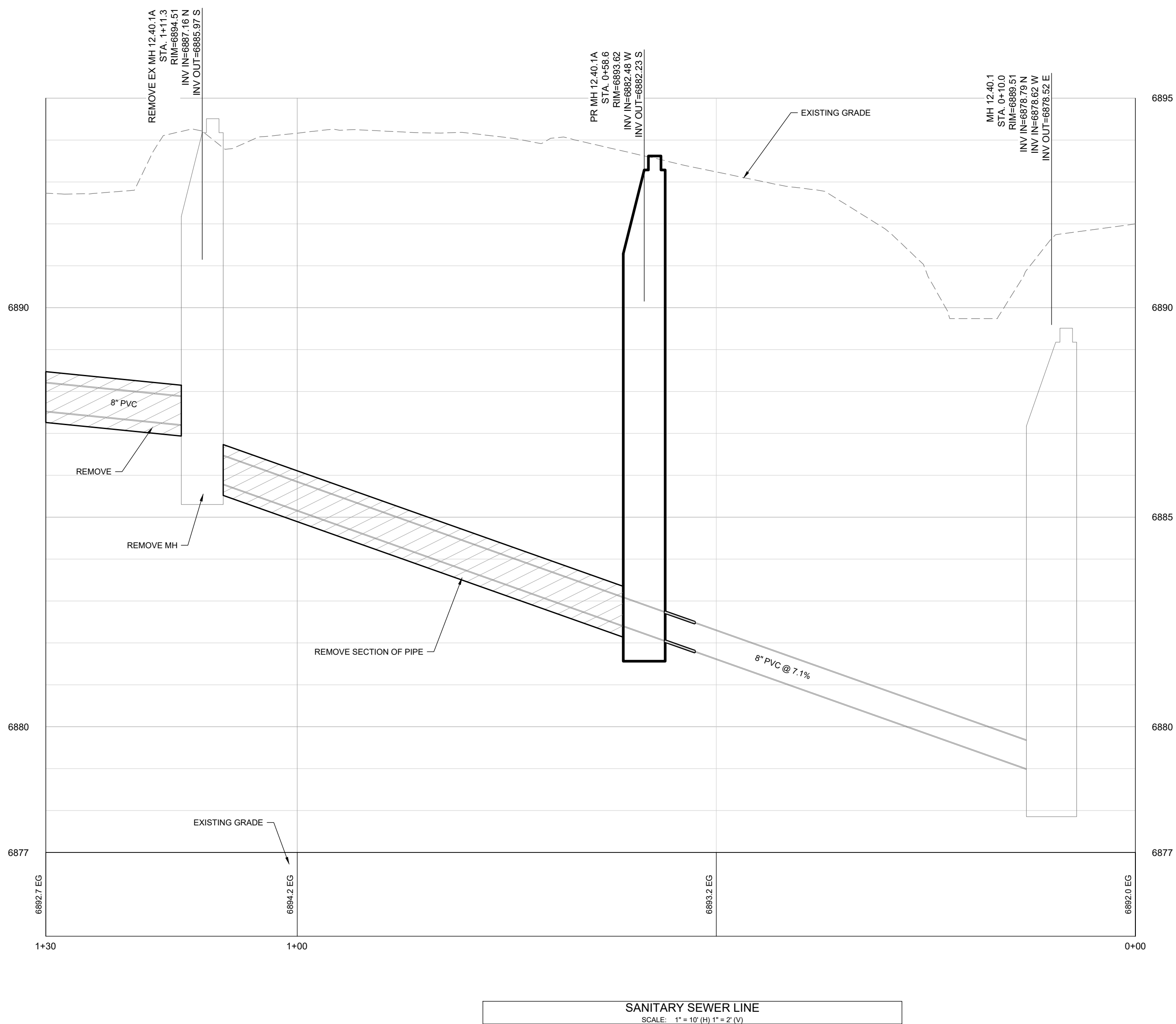
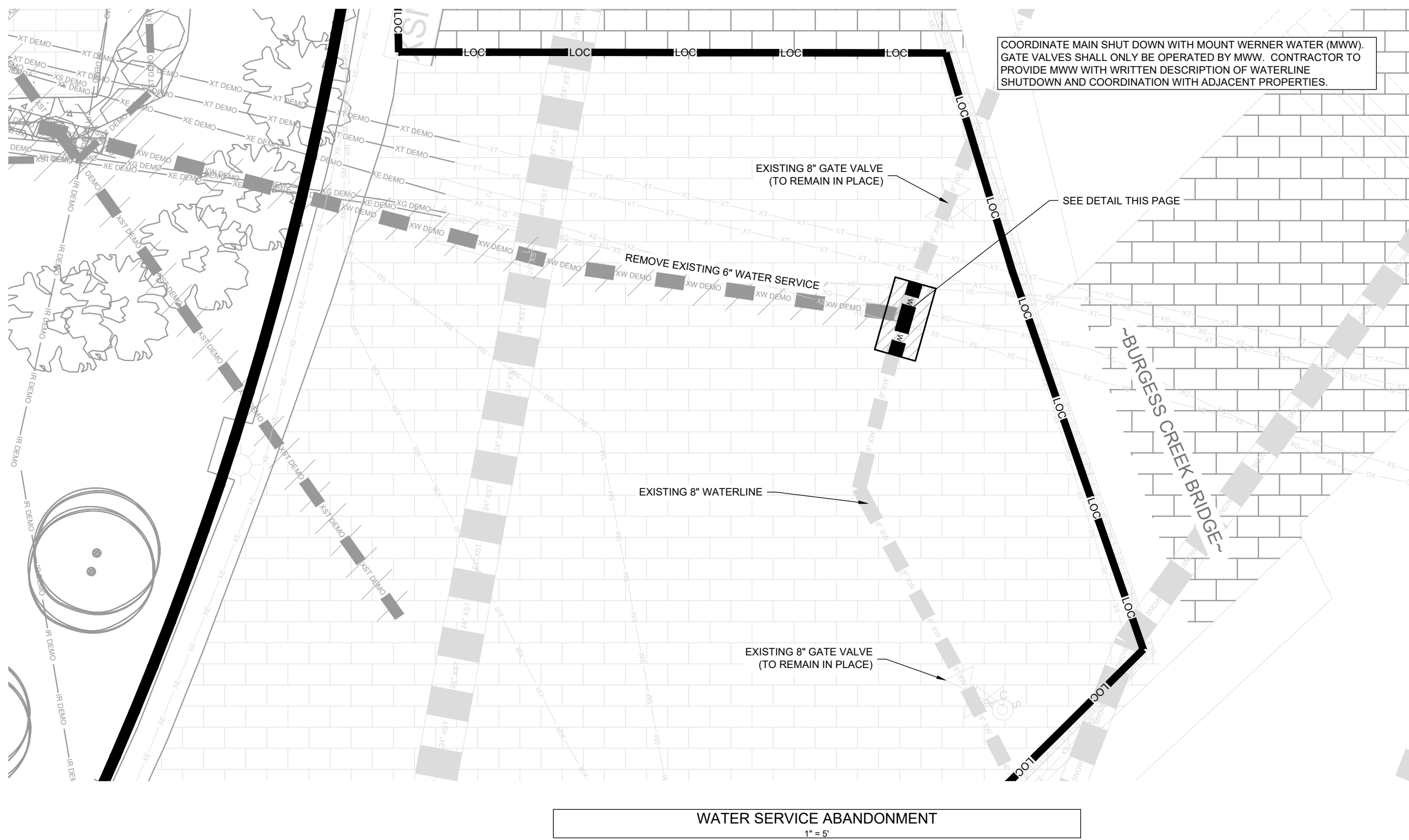
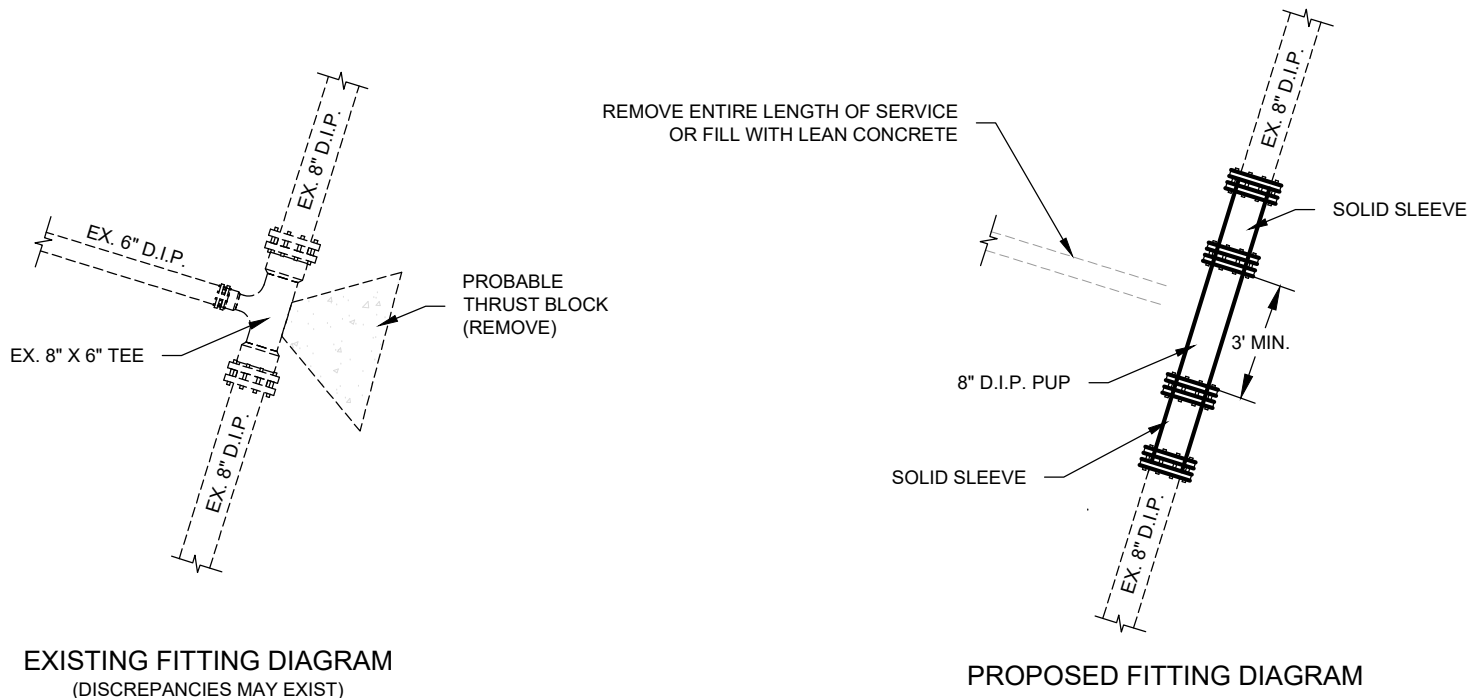
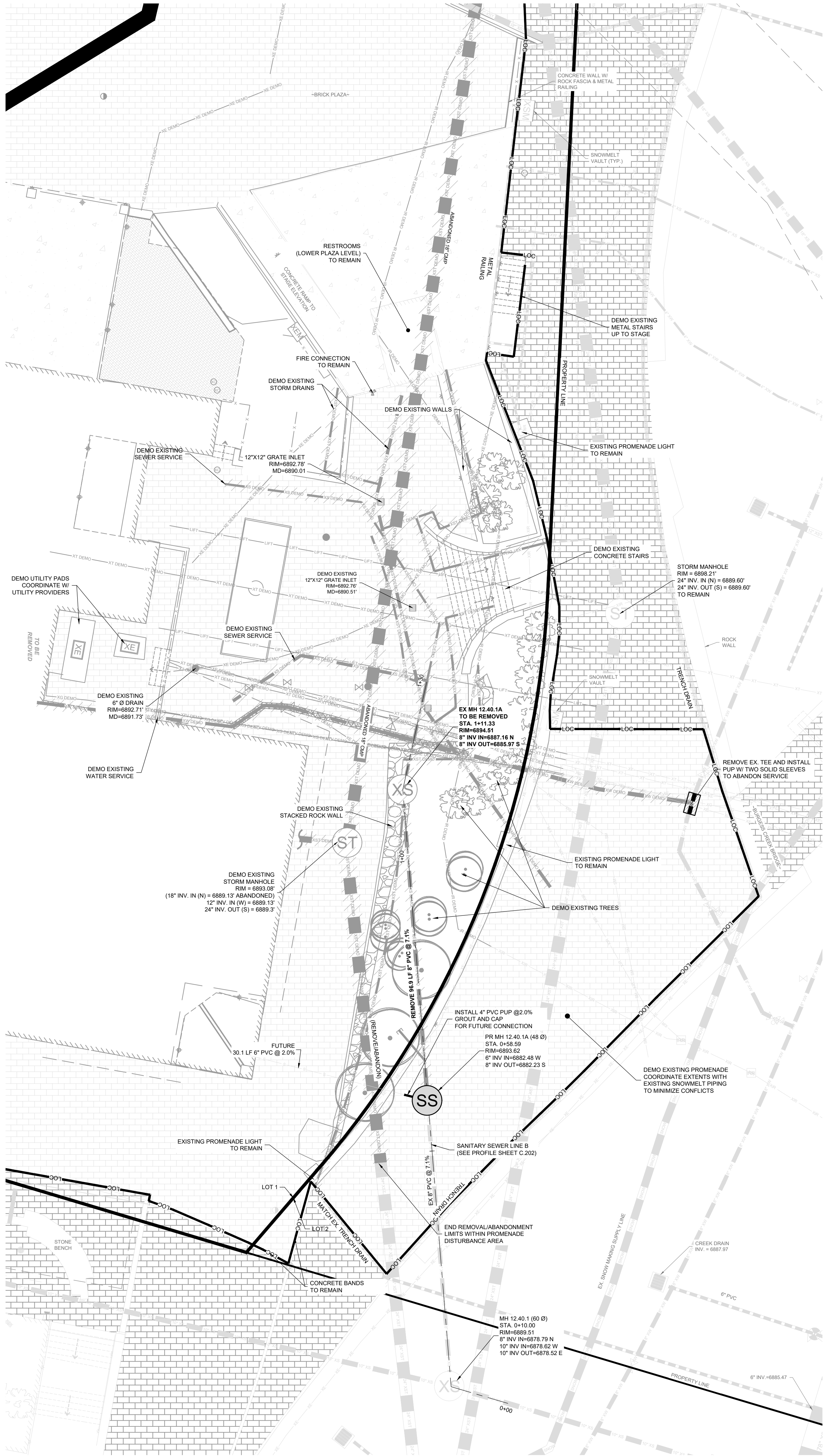
Project Name
SSRC | BASE AREA IMPROVEMENTS

Project Number
003.7835.000

Description
CIVIL DEMOLITION PLAN

Scale
SEE GRAPHICAL SCALE

C.020



LEGEND

PROPOSED 8" SANITARY SEWER W/ MH & C.O.	8" SS
EXISTING 8" SANITARY SEWER W/ MH & C.O.	8" SS
EX. SANITARY SEWER TO BE REMOVED OR ABANDONED	8" SS DEMO
PROPOSED 8" WATER PIPE	8" W
EXISTING WATER	8" W
EX. WATER TO BE REMOVED OR ABANDONED	8" W DEMO
EXISTING GV & FH	8" GV & FH
EXIST 8" STORM/CULVERT, INLET, MH, END SECTION WITH RIPRAP	8" ST
EX. STORM/CULVERT TO BE REMOVED OR ABANDONED	8" ST DEMO
EXISTING ELECTRIC	8" E
EX. ELECTRIC TO BE REMOVED OR ABANDONED	8" E DEMO
EXISTING TELEPHONE	8" T
EX. TELEPHONE TO BE REMOVED OR ABANDONED	8" T DEMO
EXISTING TELEPHONE	8" T
EX. TELEPHONE TO BE REMOVED OR ABANDONED	8" T DEMO
PROBABLE LIMITS OF CONSTRUCTION (SUBJECT TO CHANGE BASED ON ENCOUNTERED CONDITIONS AND CONTRACTOR MEANS/METHODS)	LOC

NOTES

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- EXISTING UNDERGROUND AND OVERHEAD PUBLIC AND PRIVATE UTILITIES AS SHOWN ARE INDICATED ACCORDING TO THE BEST INFORMATION MADE AVAILABLE TO THE ENGINEER. THE ENGINEER DOES NOT GUARANTEE NOR IS RESPONSIBLE FOR THE ACCURACY OF SUCH INFORMATION. EXISTING UTILITY MAINS AND SERVICES MAY NOT BE STRAIGHT LINES OR AS INDICATED ON THESE DRAWINGS. CONTRACTOR TO VERIFY EXISTING HORIZONTAL AND VERTICAL LOCATIONS PRIOR TO CONSTRUCTION.
- ALL SEWER CONSTRUCTION SHALL BE PER MOUNT WERNER WATER STANDARD SPECIFICATIONS, LATEST EDITION.
- MAINTAIN 10" HORIZONTAL AND 18" VERTICAL MINIMUM SEPARATION BETWEEN ALL SANITARY SEWER MAINS, WATER MAINS & SERVICES.
- MANHOLES LOCATED OUTSIDE OF PAVEMENTS SHALL PROTRUDE 1" ABOVE EXISTING GRADE TO REDUCE INFILTRATION. GRADE SURFACE TO DRAIN AROUND/AWAY FROM MANHOLE RIMS.
- ALL MANHOLES LOCATED IN PAVEMENTS SHALL HAVE RIM ELEVATIONS ADJUSTED TO 1" BELOW FINISHED GRADE. IF NECESSARY, CONE SECTIONS SHALL BE ROTATED TO PREVENT LIDS BEING LOCATED WITHIN VEHICLE OR BICYCLE WHEEL PATHS.
- SEWER SERVICE SHALL HAVE A MINIMUM OF 4-FT OF COVER.
- WATER SERVICE SHALL HAVE A MINIMUM OF 7-FT OF COVER.
- ALL WATER PIPE SHALL BE INSTALLED WITH A #10 SOLID COPPER WIRE COATED WITH 45 MIL POLYETHYLENE FOR LOCATING PURPOSES. "GLENN TEST STATIONS" BY VALVCO, INC. TRACER WIRE TEST STATIONS SHALL BE INSTALLED ADJACENT TO ALL FIRE HYDRANTS. ADDITIONAL LOCATIONS MAY BE REQUIRED.
- ALL MATERIALS USED FOR BACKFILL SHALL BE FREE FROM REFUSE, ORGANIC MATERIAL, COBBLES, BOULDERS, LARGE ROCKS OR STONES OR FROZEN SOLIDS GREATER THAN 6-INCHES IN DIAMETER.
- ALL TRENCHES SHALL BE COMPACTED TO 95% AS DETERMINED BY ASTM D698 (STANDARD PROCTOR) OR AS SPECIFIED BY GEOTECHNICAL ENGINEER.
- BEDDING AND SHADING MATERIALS SHALL ONLY BE 3/4-INCH WASHED OR SCREENED ROCK. 3/4-INCH MINUS, SQUEEGEE OR REJECT SAND, OR CLASS 6 AGGREGATE BASE COURSE IS NOT ALLOWED.

DEMOLITION NOTES

- CONTRACTOR IS ENCOURAGED TO PERFORM DEMOLITION IN A MANNER THAT MAXIMIZED SALVAGE, RE-USE, AND RECYCLING OF MATERIALS. THIS INCLUDES APPROPRIATE SORTING AND STORING. IN PARTICULAR DEMOLISHED CONCRETE, ASPHALT, AND BASE COURSE SHOULD BE RECYCLED IF POSSIBLE.
- CONTRACTOR SHALL COORDINATE SITE DEMOLITION OPERATIONS WITH ALL OTHER TRADES PERFORMING WORK ON THE PROJECT.
- CONTRACTOR SHALL REPLACE, REPAIR AND/OR RESTORE TO ORIGINAL CONDITION, ALL BUILDINGS AND SITE IMPROVEMENTS, NOT DESIGNATED FOR REMOVAL, THAT ARE DAMAGED AS A RESULT OF CONSTRUCTION OPERATIONS. AT NO ADDITIONAL COST TO OWNER, IF UTILITIES ARE DAMAGED, CONTRACTOR SHALL VERIFY REPLACEMENT REQUIREMENTS WITH UTILITY PROVIDERS AND ARRANGE FOR IMMEDIATE REPAIR.
- QUANTITIES SHOWN ON DRAWINGS ARE APPROXIMATE AND SHALL BE VERIFIED IN THE FIELD.

PROMENADE NOTES

THE EXTENTS OF PROMENADE DEMOLITION IS SUBJECT TO VARY BASED UPON THE EXISTING SNOWMELT SYSTEM REGIONS. SNOWMELT SYSTEM REGIONS WILL BE IDENTIFIED IN THE FIELD AND RECOMMENDATIONS OF REMOVAL AND REPLACEMENT BEST PRACTICES WILL BE IDENTIFIED AT THAT TIME.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT AND MAINTAIN THE REMAINING PROMENADE AND SUBSEQUENT SNOWMELT REGIONS THROUGHOUT CONSTRUCTION.

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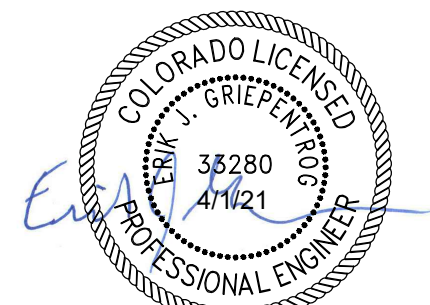


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1 2021.02.26	BP2A: DEMOLITION-LGB, BLDG B, STAGE



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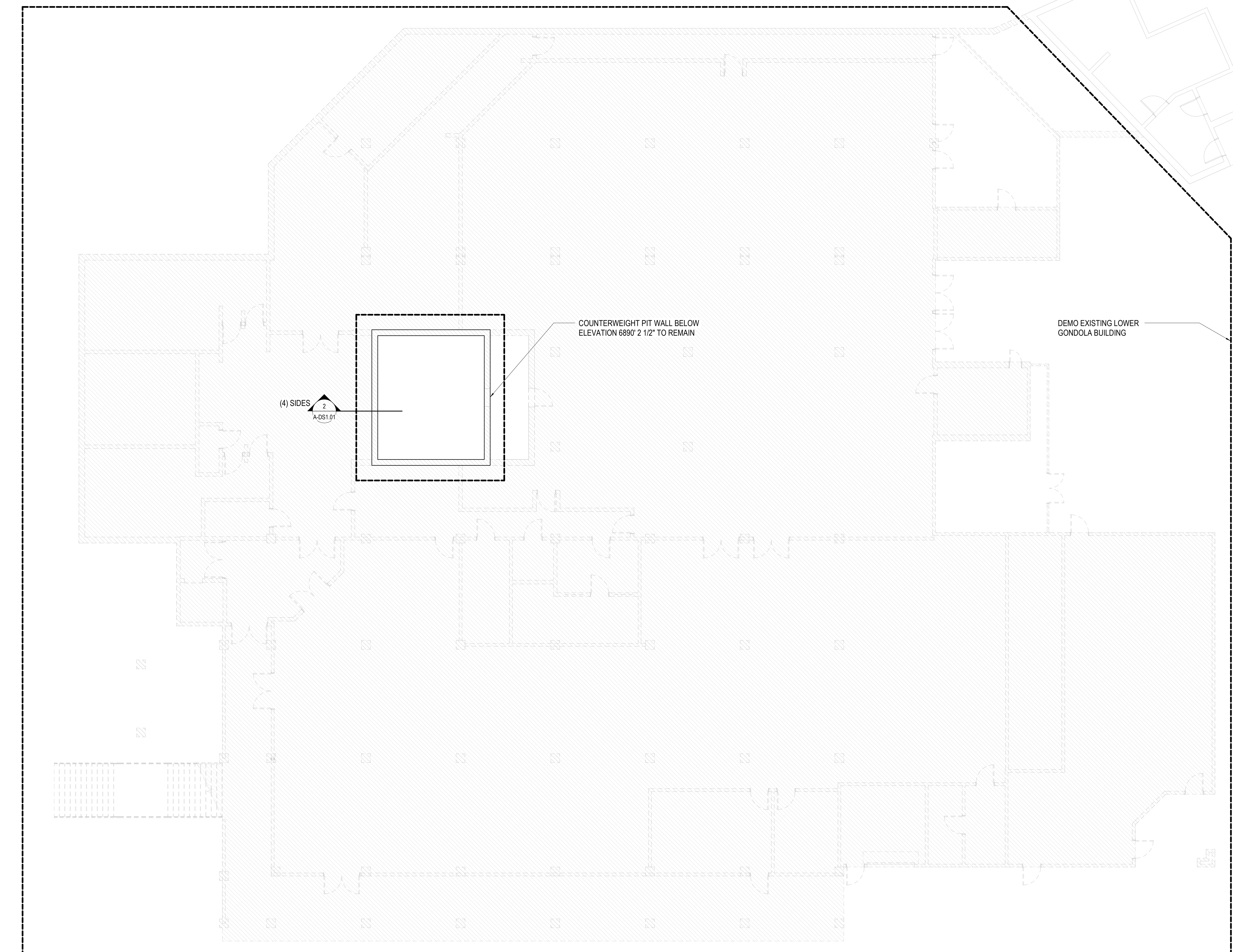
Seal / Signature

Project Name	SSRC BASE AREA IMPROVEMENTS
Project Number	003.7835.000
Description	DETAILED CIVIL DEMOLITION PLAN

Scale
SEE GRAPHICAL SCALE

DESIGNER: NG MARTIN
LEAD REVIT TECH: JIM MONNIES
DATE PRINTED: 2/26/2021 2:12:19 PM
FILE PATH: S:\03\7835\003_7835_000 - Steamboat Redevel\03_7835_000_Structural_SBR_GSD_001_2021.rvt

MM: JCB # 20141115.01
PRINCIPAL: KELLY KNOWLES
EOR: KELLY KNOWLES
PROJECT MANAGER: C.A. CHEN



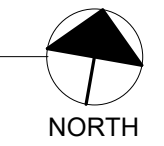
1 DEMO PLAN - LOWER GONDOLA BUILDING

1/8" = 1'-0"

SYMBOL	DESCRIPTION
-	GRID LINES
X XX	SECTION OR DETAIL CUT
XXX-XX	SHEET NUMBER
XXX-XX	ELEVATION CALLOUT
△	DRAWING REVISION NUMBER
☁	CURRENT REVISION CLOUD

NOTES:
1. ITEMS NOT DESIGNED BY MM ARE SHOWN HALFTONED,
2. ITEMS INCLUDE:
- EXISTING CONSTRUCTION
- PERFORMANCE SPECIFIED ITEMS (STAIRS, RAILINGS, ETC.)

DEMO PLAN NOTES:
1. DEMO DRAWING ARE CREATED BASED ON THE EXISTING DRAWING BY ERIC SMITH ASSOCIATES, PROJECT NUMBER 87004, DATED 1989.



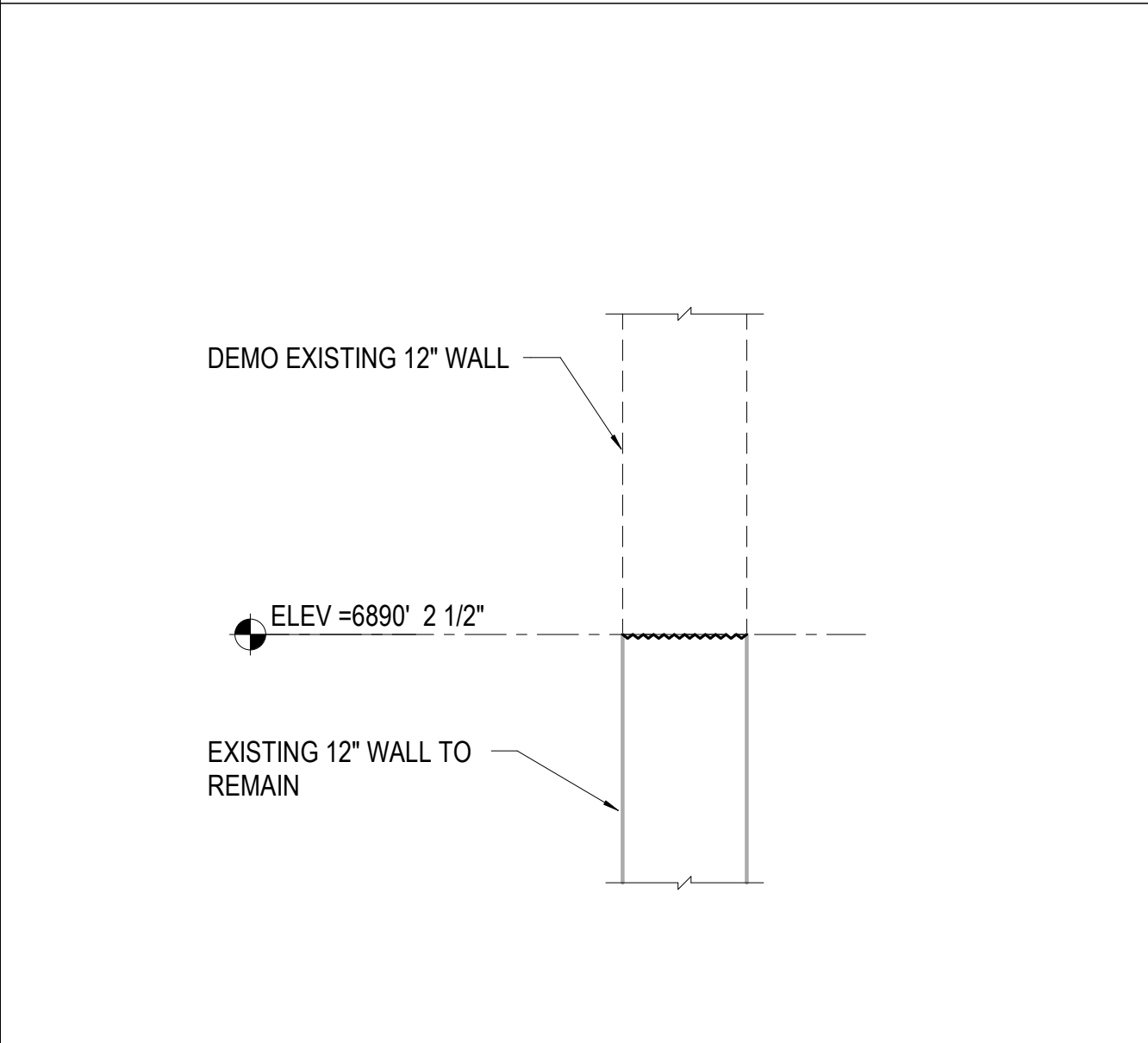
GENERAL NOTES

1) GENERAL:
1A) ENGINEER: REFERENCES ON THE STRUCTURAL DRAWINGS TO 'ENGINEER' MEAN THE STRUCTURAL ENGINEER OF RECORD. OTHER ENTITIES ARE SPECIFICALLY NOTED AS "CONTRACTOR'S ENGINEER", "MECHANICAL ENGINEER", ETC.
1B) THESE NOTES SUPPLEMENT THE SPECIFICATIONS, WHICH SHALL BE REFERENCED FOR ADDITIONAL REQUIREMENTS.

2) EXISTING STRUCTURES:
2A) CONTRACT DOCUMENTS HAVE BEEN PREPARED USING AVAILABLE DRAWINGS AND SITE OBSERVATION AS PERMITTED BY ACCESS RESTRICTIONS DURING DESIGN.
2B) DURING CONSTRUCTION, THE CONTRACTOR MAY ENCOUNTER EXISTING CONDITIONS WHICH ARE NOT KNOWN OR ARE AT VARIANCE WITH PROJECT DOCUMENTATION. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ALL CONDITIONS NOT PER THE CONTRACT DOCUMENTS. EXAMPLES INCLUDE:
- SIZES OR DIMENSIONS OTHER THAN THOSE SHOWN
- DAMAGE OR DETERIORATION TO MATERIALS AND COMPONENTS
- CONDITIONS OF INSTABILITY OR LACK OF SUPPORT
- ITEMS NOTED AS EXISTING ON THE DRAWINGS BUT NOT FOUND IN THE FIELD
2C) PREPARE DIMENSIONAL DRAWINGS OF ALL DISCOVERED ITEMS.
2D) CONTRACTOR SHALL FIELD VERIFY ALL EXISTING STRUCTURAL CONDITIONS PRIOR TO SUBMITTING SHOP DRAWINGS.
2E) CONTRACTOR SHALL MAKE ALLOWANCE FOR THE RESOLUTION OF SUCH DISCOVERIES IN THE CONSTRUCTION SCHEDULE.
2F) SUBMIT A DIMENSIONED DRAWING OF ALL NEW OPENINGS THROUGH EXISTING STRUCTURE AND SECURE APPROVAL PRIOR TO CUTTING. NEW OPENING MAY BE EITHER SHOWN ON THE CONTRACT DOCUMENTS OR PROPOSED BY THE CONTRACTOR. DRAWING SHALL SHOW:
- VERTICAL & HORIZONTAL LOCATION AND SIZE OF NEW OPENING(S)
- ALL EXISTING OPENINGS IN THE VICINITY OF THE NEW OPENING(S)
- ALL EXISTING STRUCTURE (BEAMS, COLUMNS, SLABS, WALLS, ETC.) IN THE VICINITY OF THE NEW OPENING(S)
- ALL REINFORCING BAR SIZES AND POSITIONS (LAYOUT LOCATION AND DEPTH) CONFLICTING WITH OR IN THE VICINITY OF THE NEW OPENING(S).

4) COORDINATION:
4A) STRUCTURAL DRAWINGS ARE NOT STAND-ALONE DOCUMENTS AND ARE INTENDED TO BE USED IN CONJUNCTION WITH CIVIL, ARCHITECTURAL, MECHANICAL, ELECTRICAL AND DRAWINGS FROM OTHER DISCIPLINES. THE CONTRACTOR SHALL COORDINATE ALL REQUIREMENTS OF THE CONTRACT DOCUMENTS INTO SHOP DRAWINGS AND WORK.
4B) COORDINATE DIMENSIONS OF ALL OPENINGS, BLOCKOUTS, DEPRESSIONS, ETC., WITH ARCHITECTURAL DRAWINGS, DRAWINGS FROM OTHER DISCIPLINES, AND FIELD CONDITIONS PRIOR TO SHOP DRAWING SUBMITTAL.

6) TEMPORARY CONDITIONS, CONSTRUCTION ENGINEERING, AND OSHA STANDARDS:
6A) THE STRUCTURE IS DESIGNED TO FUNCTION AS A UNIT UPON COMPLETION AND ONLY FOR LOADS ANTICIPATED DURING THE STRUCTURE'S SERVICE LIFE.
6B) THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL TEMPORARY BRACING AND/OR SUPPORT THAT MAY BE REQUIRED AS THE RESULT OF THE CONTRACTOR'S CONSTRUCTION METHODS AND/OR SEQUENCES. REFER TO "LATERAL LOAD RESISTING SYSTEM DESCRIPTION" IN DESIGN CRITERIA FOR ADDITIONAL INFORMATION. CONTRACTOR SHALL PROVIDE ALL REQUIRED ENGINEERING AND OTHER MEASURES TO ACHIEVE THE MEANS, METHODS, AND SEQUENCES OF WORK WHICH MAY INCLUDE, BUT IS NOT LIMITED TO:
- LAYOUT
- DESIGN FOR FORMWORK, SHORING, AND RESHORING
- ERECTION PROCEDURES WHICH ADDRESS STABILITY OF THE FRAME DURING CONSTRUCTION
- WELD PROCEDURES
- DESIGN OF TEMPORARY BRACING OF WALLS FOR WIND, SEISMIC, OR SOIL LOADS
- SURVEYING TO VERIFY CONSTRUCTION TOLERANCES
- EVALUATION OF TEMPORARY CONSTRUCTION LOADS ON STRUCTURE DUE TO EQUIPMENT AND MATERIALS
- STRUCTURAL ENGINEERING TO RESIST ANY OTHER LOADS NOT IDENTIFIED ON DESIGN DRAWINGS
6D) NOTHING SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE CONSTRUED AS ELIMINATING THE NEED FOR THE CONTRACTOR TO COMPLY WITH ALL OSHA REQUIREMENTS. WHERE THE STRUCTURAL DRAWINGS APPEAR TO CONFLICT WITH OSHA REQUIREMENTS, THE STRUCTURAL DRAWINGS REPRESENT FINAL CONDITIONS ONLY.
- THE CONTRACTOR SHALL ADD ALL ERECTION FRAMING NECESSARY TO COMPLY WITH OSHA.
- THE CONTRACTOR SHALL ADD ALL NECESSARY BOLTS, ANCHOR BOLTS, PLATES, STIFFENER PLATES, STABILIZER PLATES, BRIDGING, BRACING, BEARING SEATS, COLUMN SPLICES, ETC., AS WELL AS CLOSURES FOR OPENINGS. IN ADDITION, FIELD WELD ANYTHING THAT MAY BE CONSIDERED A TRIP HAZARD, SUCH AS SHEAR STUDS, AFTER PROTECTIVE DECKING IS INSTALLED.
- WASHERS OR RINGS MAY BE WELDED TO COLUMNS TO PROVIDE FOR SAFETY CABLES. HOLES IN COLUMNS FOR SAFETY CABLES SHALL BE SHOP INSTALLED AND SHALL BE INDICATED ON SHOP DRAWINGS; ADJUST COLUMN SPLICE LOCATIONS OR ADD COLUMN SPLICES AS NECESSARY TO COMPLY WITH OSHA REQUIREMENTS; SUBMIT PROPOSED LOCATIONS.
- HOLES IN CONCRETE COLUMNS FOR SAFETY CABLES SHALL BE INDICATED ON THE SHOP DRAWINGS. SHALL BE LIMITED TO 1"Ø MAXIMUM, LOCATED WITHIN THE MIDDLE THIRD OF THE COLUMN AND SHALL BE CREATED USING SLEEVES. DO NOT DRILL OR CORE COLUMNS TO INSTALL SAFETY CABLES.
- ALL METAL JOISTS REQUIRED BY OSHA TO BE BOLTED SHALL HAVE ERECTION BOLTS INSTALLED REGARDLESS OF FINAL CONNECTION SHOWN ON THE STRUCTURAL DRAWINGS.



2 3/4" = 1'-0" EXISTING COUNTERWEIGHT WALL

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△ Date Description

2021.02.26 BP2A: DEMOLITION+LB, BLDG B, STAGE

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April 1, 2021

Project Name

SSRC | BASE AREA IMPROVEMENTS

Project Number

003.7835.000

Description

LOWER GONDOLA BUILDING DEMO PLAN

Scale

As indicated

A-DS1.01

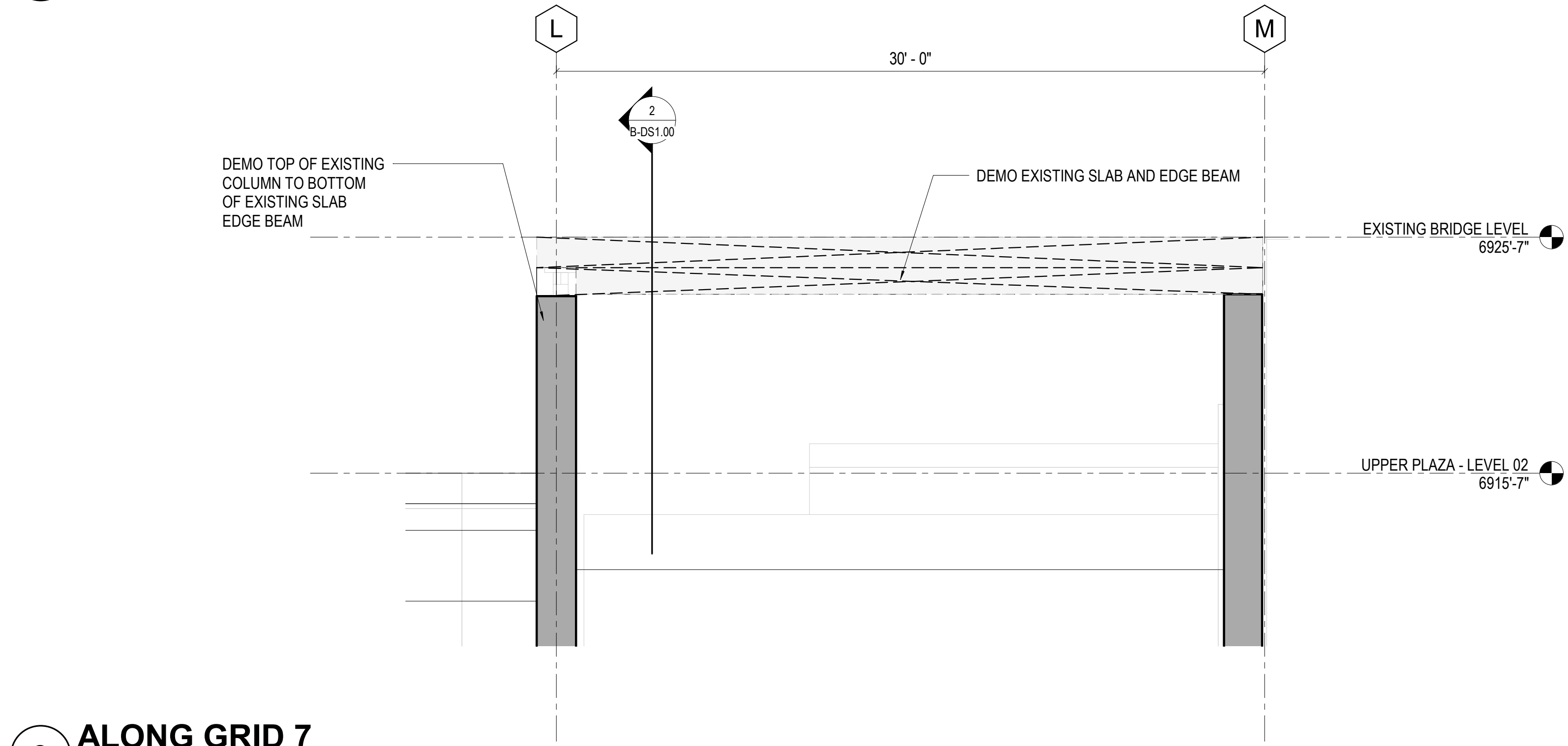
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DESIGNED BY: M. MARTIN
LEAD REVIT TECH: J. MONNIES
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MW: JCB & 2014/11/15/21
PRINCIPAL: KELLY KNOWLES
EOR: KELLY KNOWLES
PROJECT MANAGER: C.A. CHEN

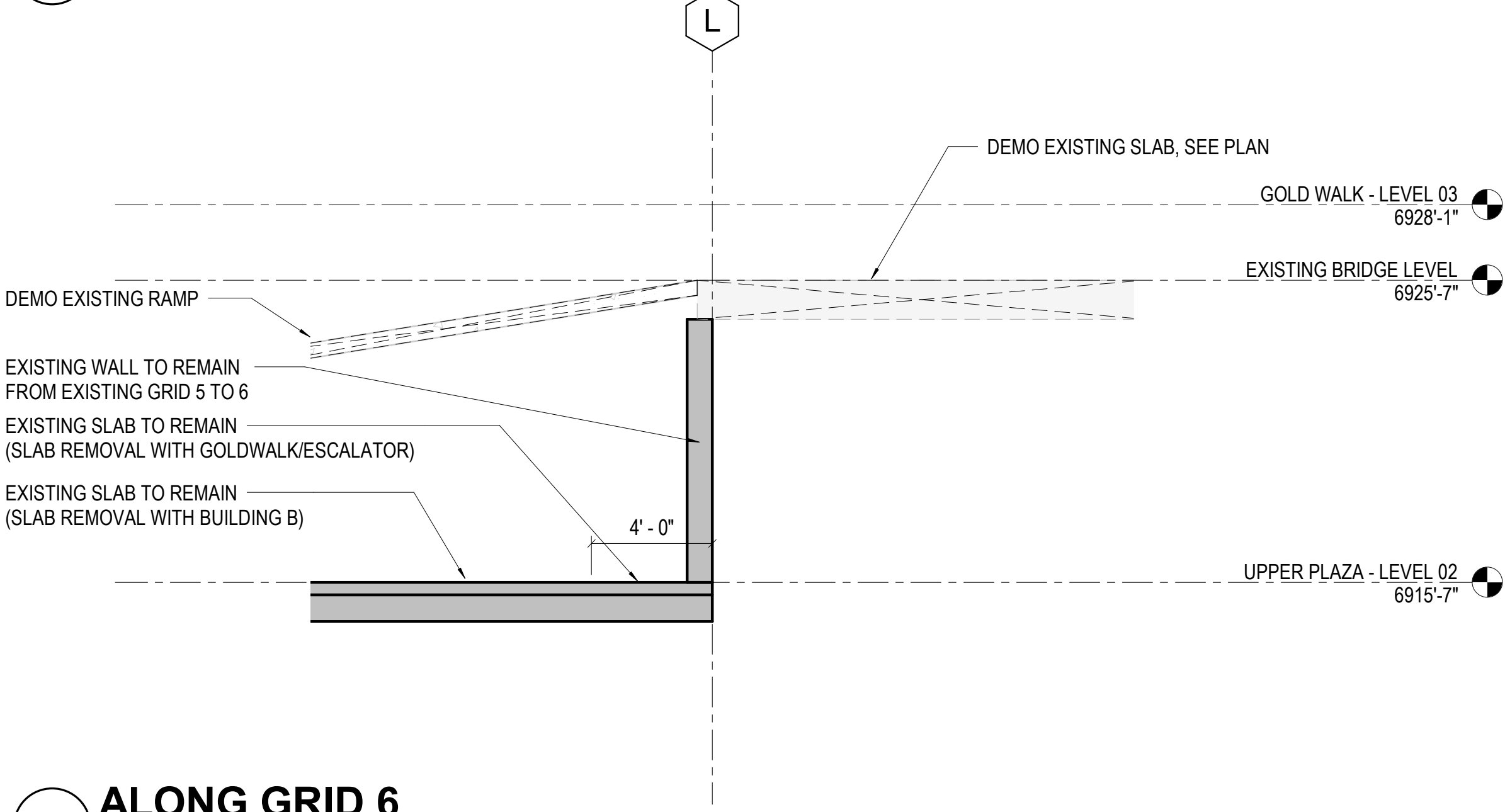
2 ALONG GRID L

1/4" = 1'-0"



3 ALONG GRID 7

1/4" = 1'-0"



4 ALONG GRID 6

1/4" = 1'-0"

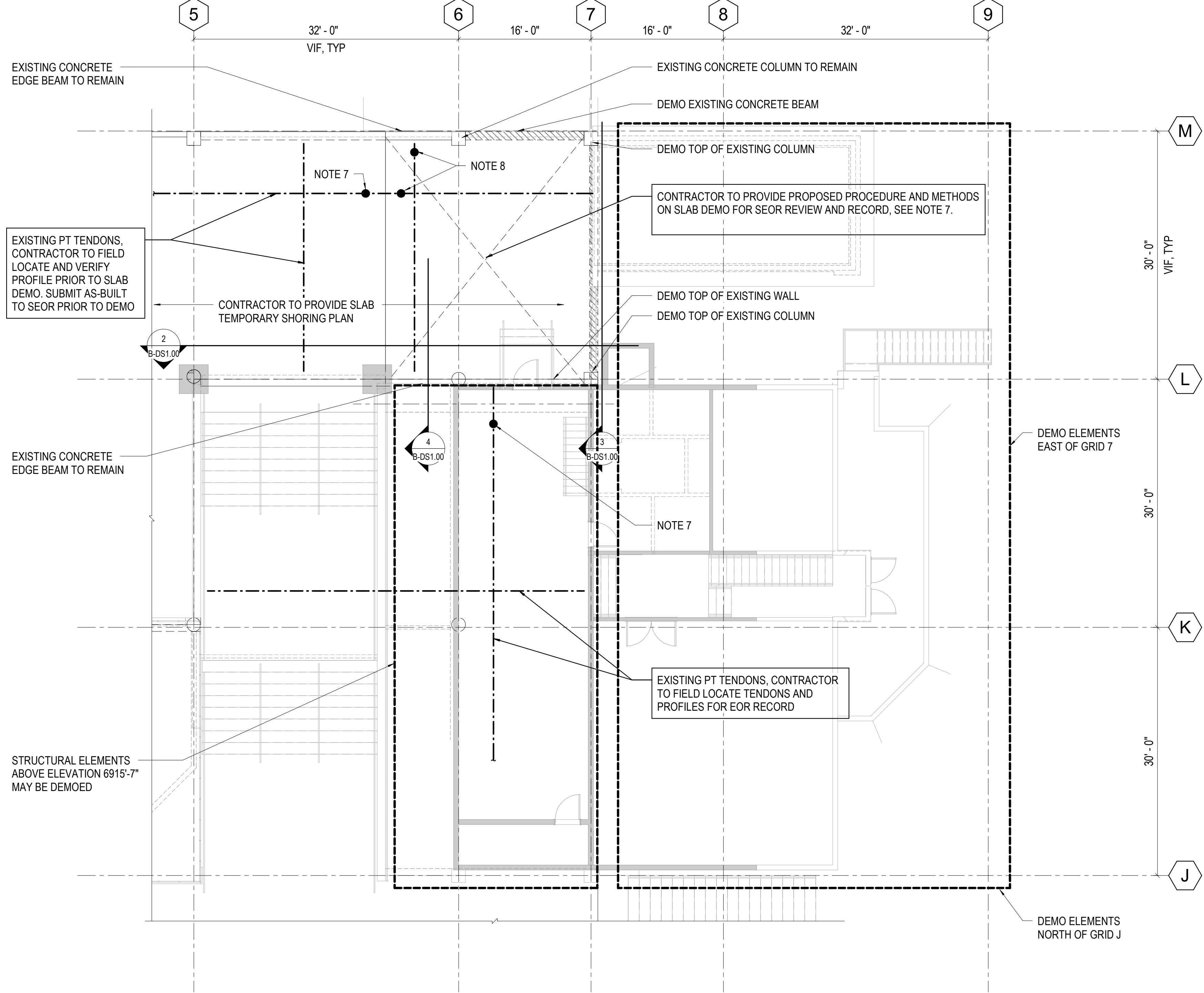


SYMBOL LEGEND

SYMBOL	DESCRIPTION
-	GRID LINES
X XX	SECTION OR DETAIL CUT
XXX-XX	SHEET NUMBER
XXX-XX	ELEVATION CALLOUT
△	DRAWING REVISION NUMBER
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NOTES:

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 - PERFORMANCE SPECIFIED ITEMS (STAIRS, RAILINGS, ETC.)



1 DEMO PLAN - EXISTING BUILDING B

1/8" = 1'-0"

DEMO PLAN NOTES:

- SEE A-DS1.01 FOR GENERAL NOTES.
- THIS PORTION OF THE DEMO DRAWINGS ARE CREATED BASED ON THE EXISTING DRAWING BY 'THE KEN R. WHITE COMPANY' AND 'ALEXANDER MCILVAINE', DATED 1971.
- PROVIDE AND MAINTAIN SHORING, BRACING, OR STRUCTURAL SUPPORT TO PRESERVE STABILITY AND PREVENT UNEXPECTED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED.
- LOCATE TENSIONED STEEL TENDONS AND DETENSION IF REQUIRED.
- STRENGTHEN OR ADD NEW SUPPORTS AS REQUIRED DURING THE PROCESS OF DEMOLITION.
- SHORING LOAD INCLUDES SELF WEIGHT PLUS 20 PSF CONSTRUCTION LIVE LOAD.
- CONTRACTOR TO FIELD VERIFY ALL POST-TENSIONED TENDON LOCATIONS AND PROFILES. SUBMIT A PLAN FOR STRUCTURAL EOR REVIEW. PRIOR TO SLAB DEMO, CONTRACTOR TO LOCATE AND PROVIDE METHODS IN MAINTAINING TENDON STRESSES WITHIN THE REMAINING SLAB, WITH OPTION AS LOCK OFF DEVICE METHODS PER ACI 423.6. PROVIDE PROCEDURE AND DETAILS FOR REVIEW.
- PROVIDE PROCEDURE ON DE-TENSIONING THE EXISTING TENDONS FOR REVIEW.

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Project Name

SSRC | BASE AREA
IMPROVEMENTS

Project Number

003.7835.000

Description

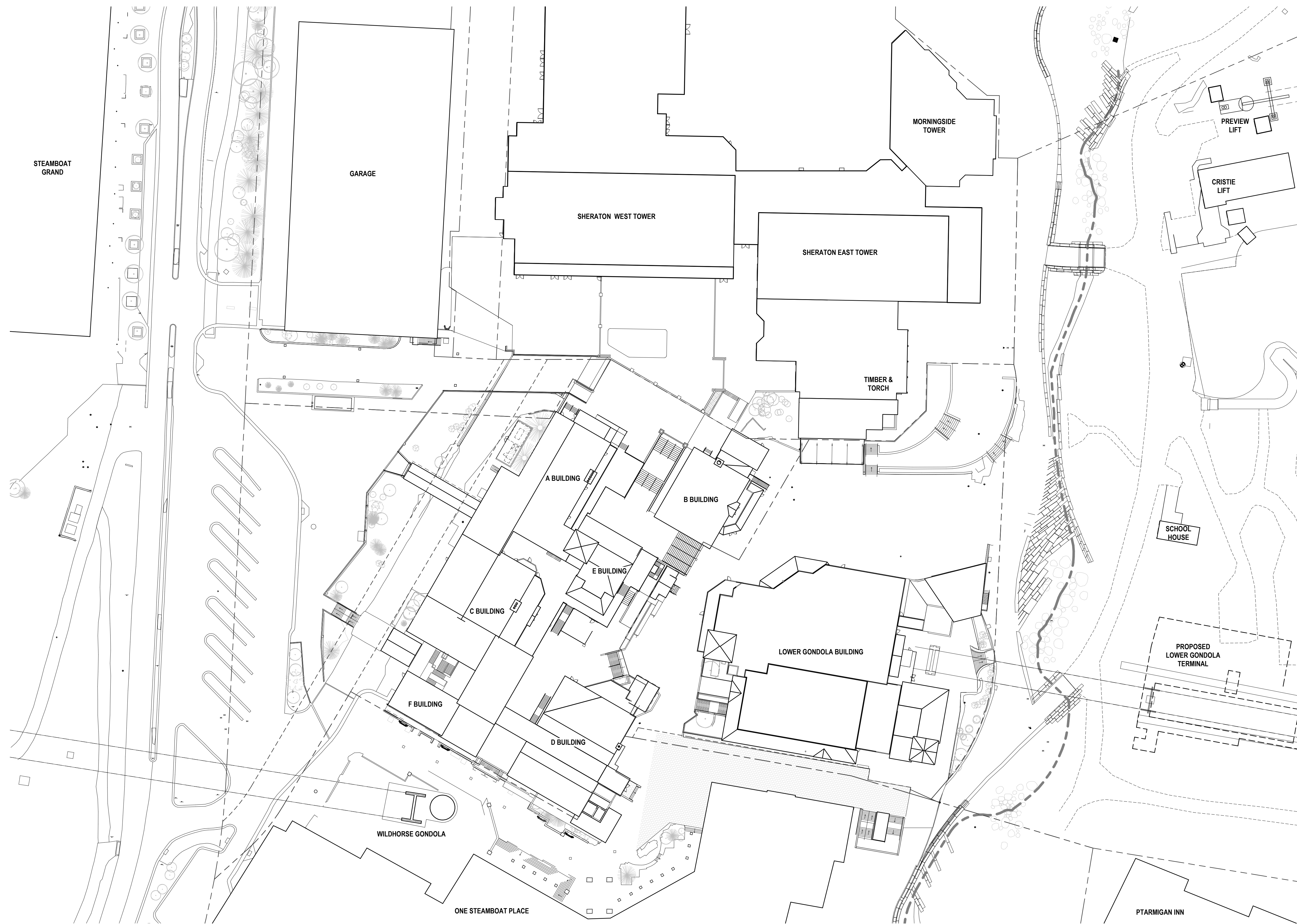
BUILDING B DEMO PLAN

Scale

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B-DS1.00

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SITE PLAN - EXISTING CONDITIONS

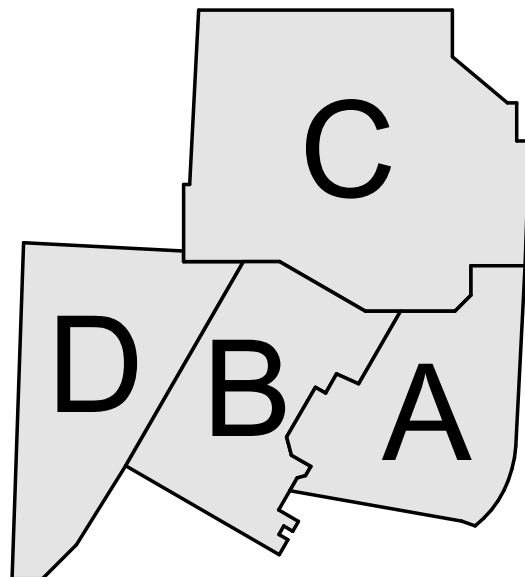
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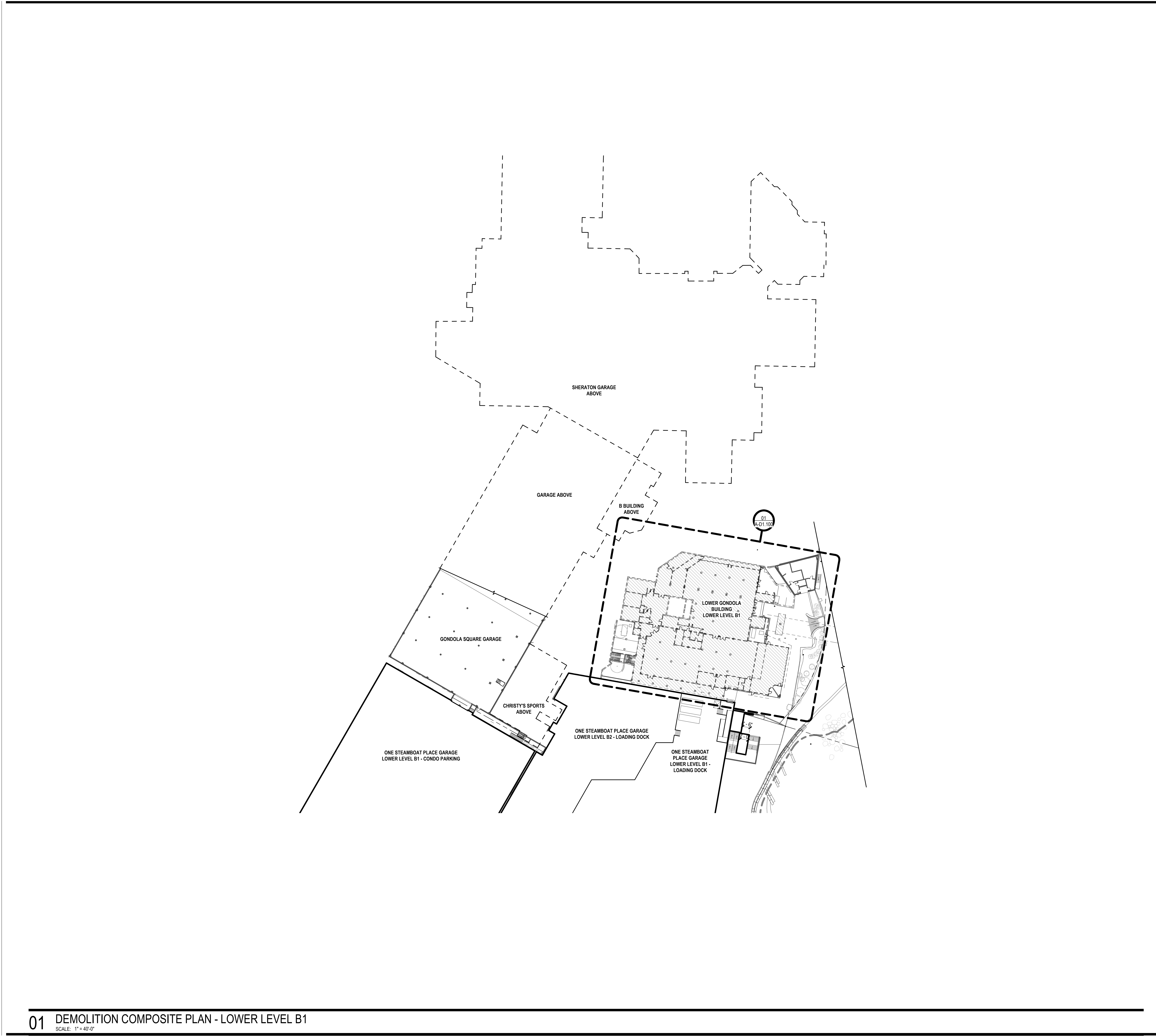
1" = 40'-0"

AS0.000

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KEY PLAN





01 DEMOLITION COMPOSITE PLAN - LOWER LEVEL B1
SCALE: 1" = 40'-0"

GENERAL NOTES



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Project Name

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IMPROVEMENTS

Project Number

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Description

DEMOLITION COMPOSITE PLAN -
LOWER LEVEL B1

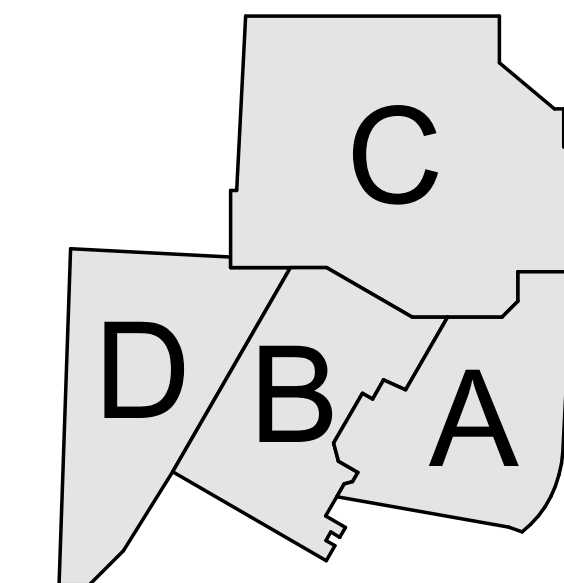
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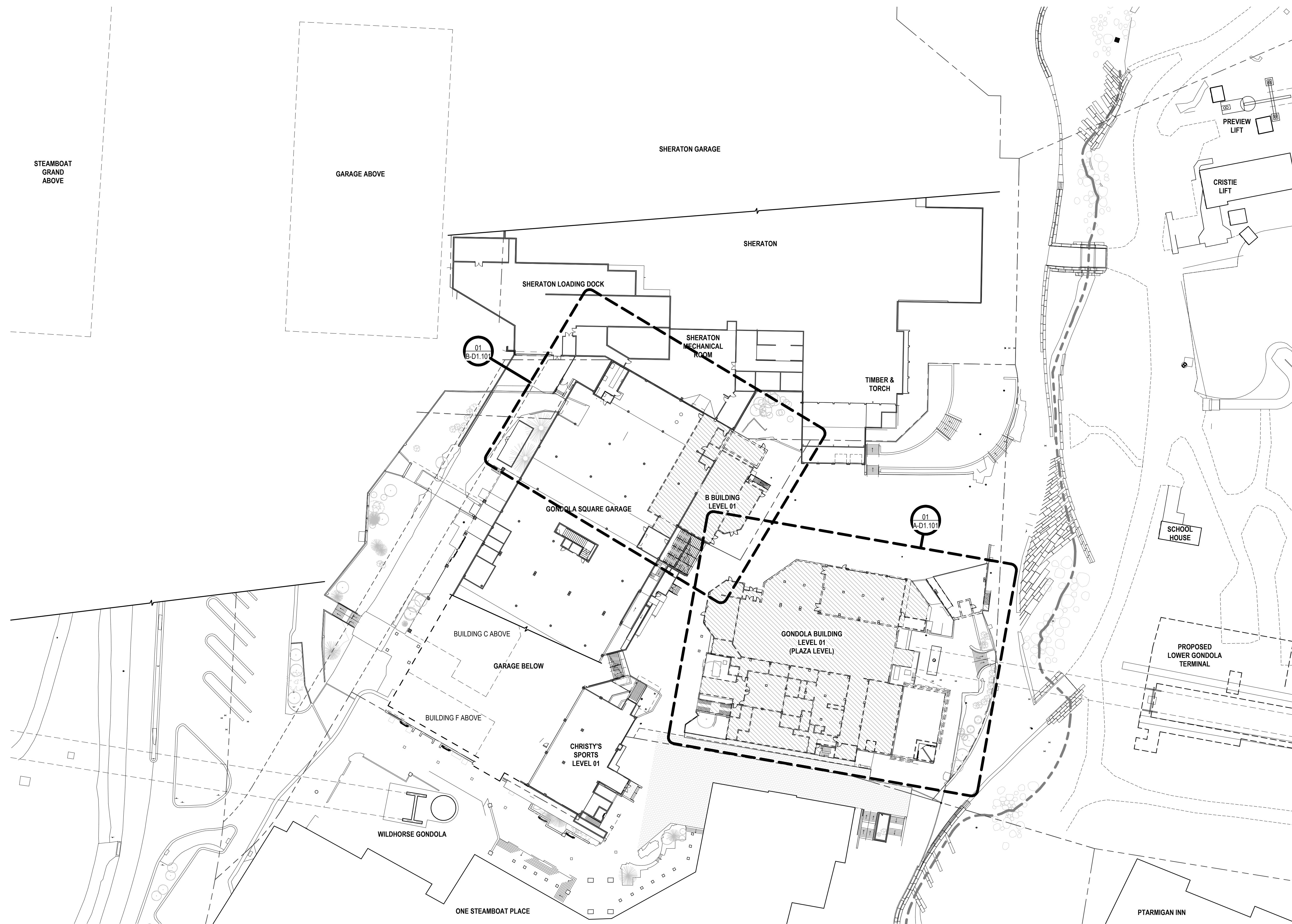
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KEY PLAN

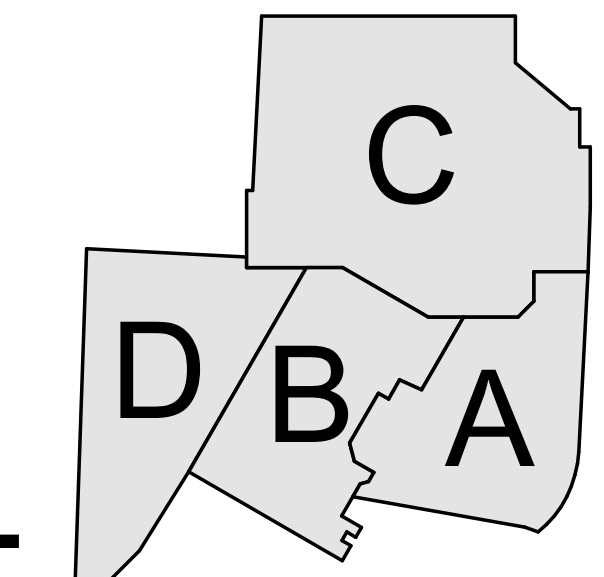


LEGEND
EXISTING TO REMAIN
TO BE DEMOLISHED
TO BE DEMOLISHED



- LEGEND
- EXISTING TO REMAIN
 - TO BE DEMOLISHED
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KEY PLAN





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1	2021.02.26 BP2A: DEMOLITION-LGB, BLDG B, STAGE

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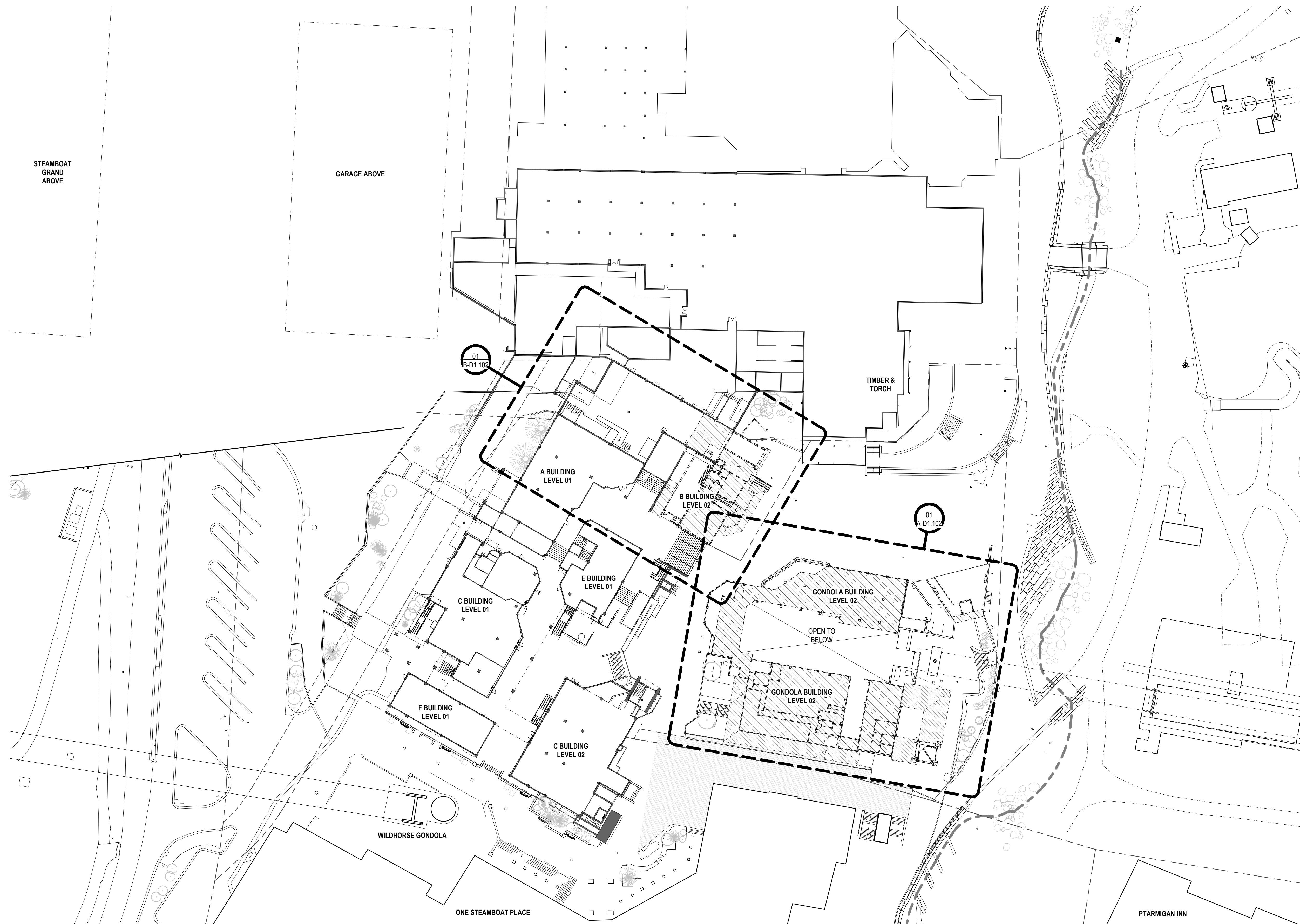
Project Name
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Project Number
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Description
DEMOLITION COMPOSITE PLAN - LEVEL 01

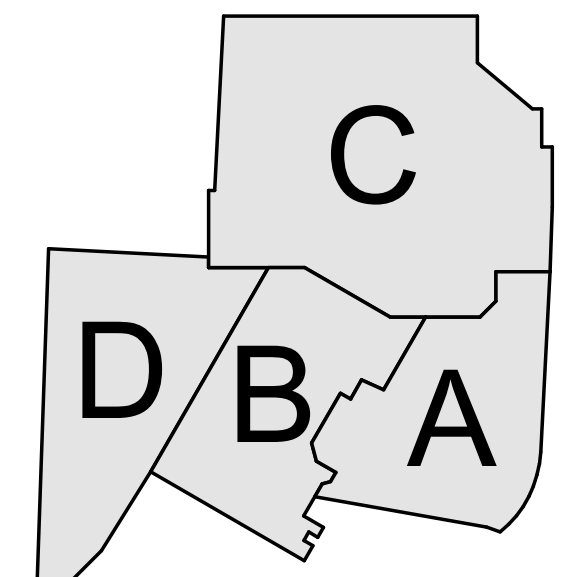
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- LEGEND
- EXISTING TO REMAIN
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KEY PLAN






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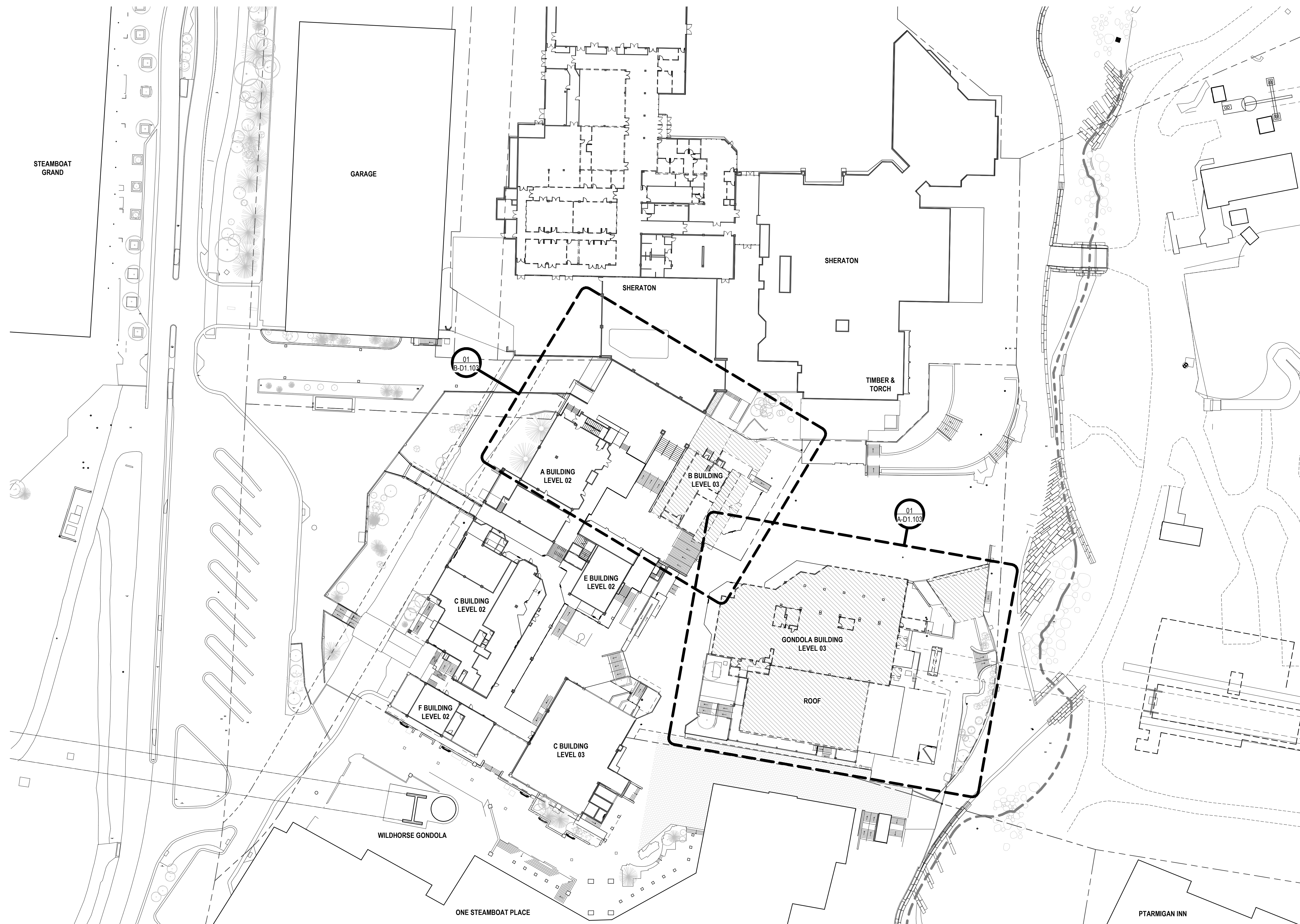


Project Name
SSRC | BASE AREA IMPROVEMENTS

Project Number
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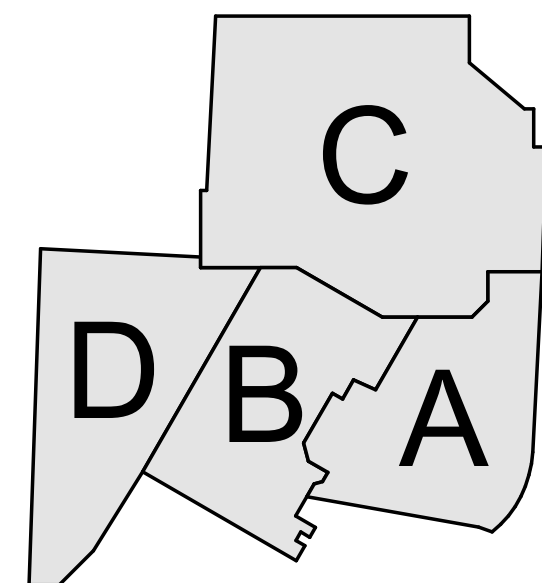
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DEMOLITION COMPOSITE PLAN - LEVEL 02

Scale
As indicated



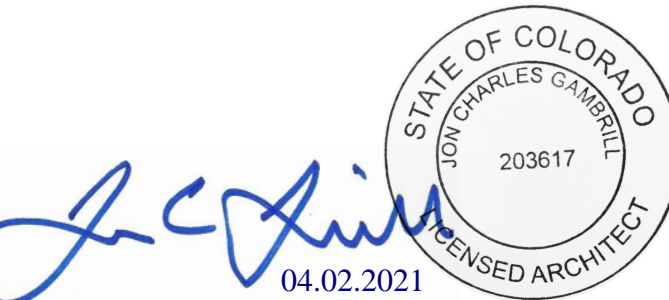
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- EXISTING TO REMAIN
 - TO BE DEMOLISHED
 - TO BE DEMOLISHED

KEY PLAN



Date	Description
1 2021.02.26	BP2A: DEMOLITION-LGB, BLDG B, STAGE

Seal / Signature



Project Name

SSRC | BASE AREA
IMPROVEMENTS

Project Number

003.7835.000

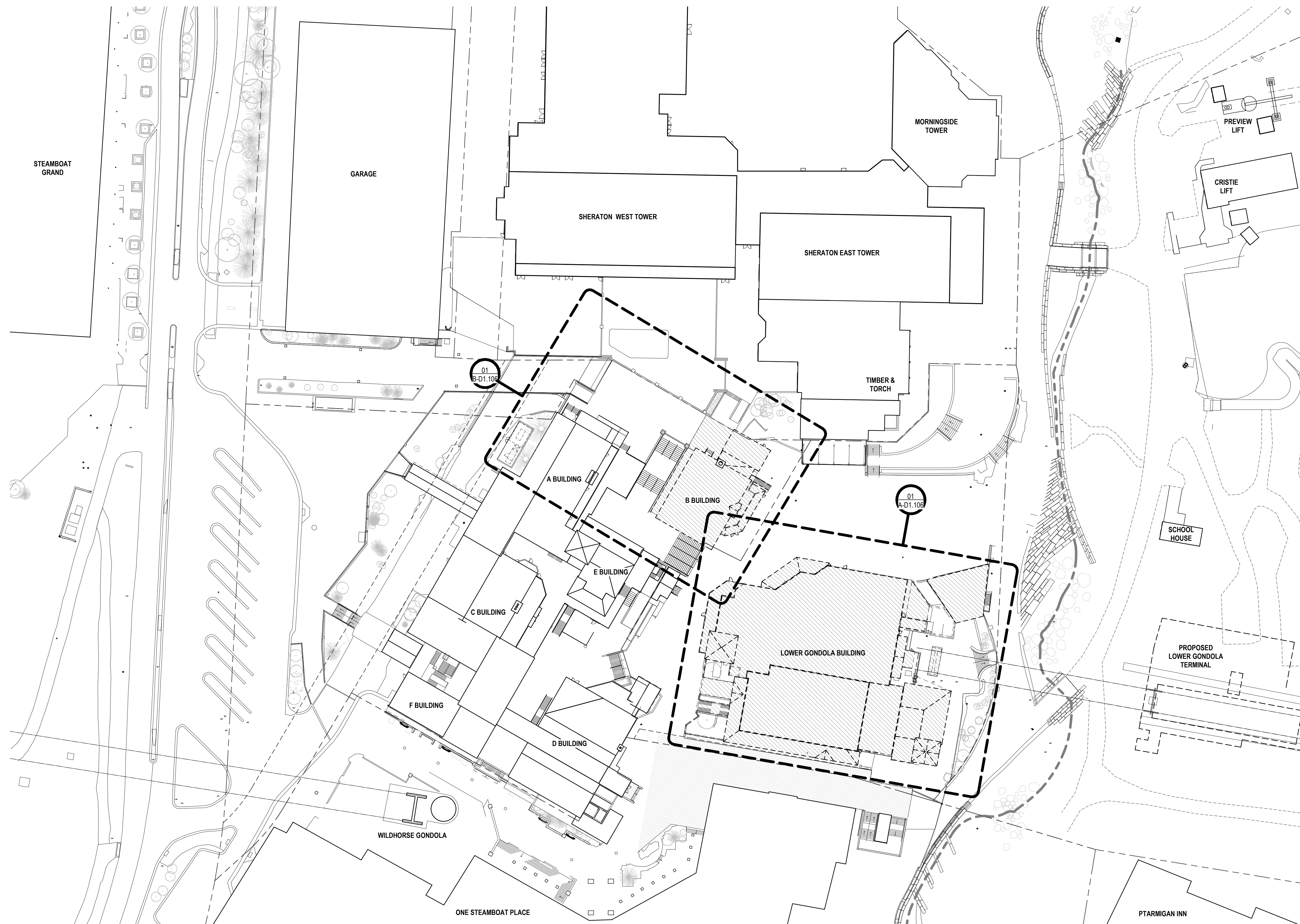
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DEMOLITION COMPOSITE PLAN -
LEVEL 03

Scale

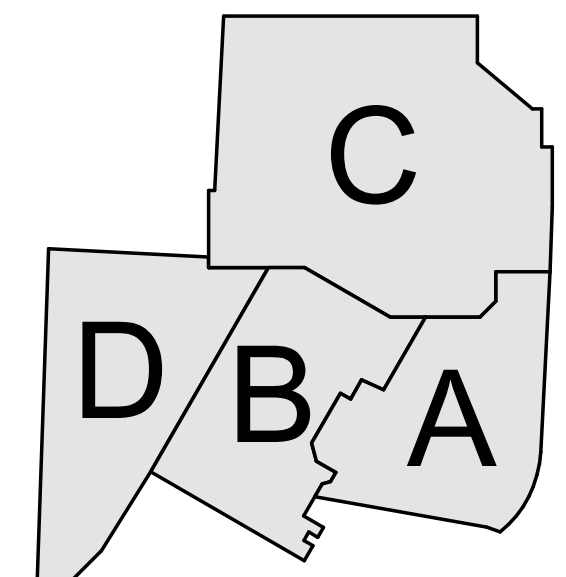
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- LEGEND
- EXISTING TO REMAIN
 - TO BE DEMOLISHED
 - TO BE DEMOLISHED

KEY PLAN



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Date

Description

12021.02.26BP2A: DEMOLITION-I.GB, BLDG B, STAGE

Seal / Signature

STATE OF COLORADO
JAN MARKEE GARDNER
203617
REGISTERED ARCHITECT

04.02.2021

Project Name

SSRC | BASE AREA
IMPROVEMENTS

Project Number

003.7835.000

Description

DEMOLITION COMPOSITE PLAN -
LEVEL ROOF

Scale

As indicated

D0.106

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△	Date	Description
1	2021.02.26	BP2A: DEMOLITION-LGB, BLDG B, STAGE

Seal / Signature

Project Name

SSRC | BASE AREA
IMPROVEMENTS

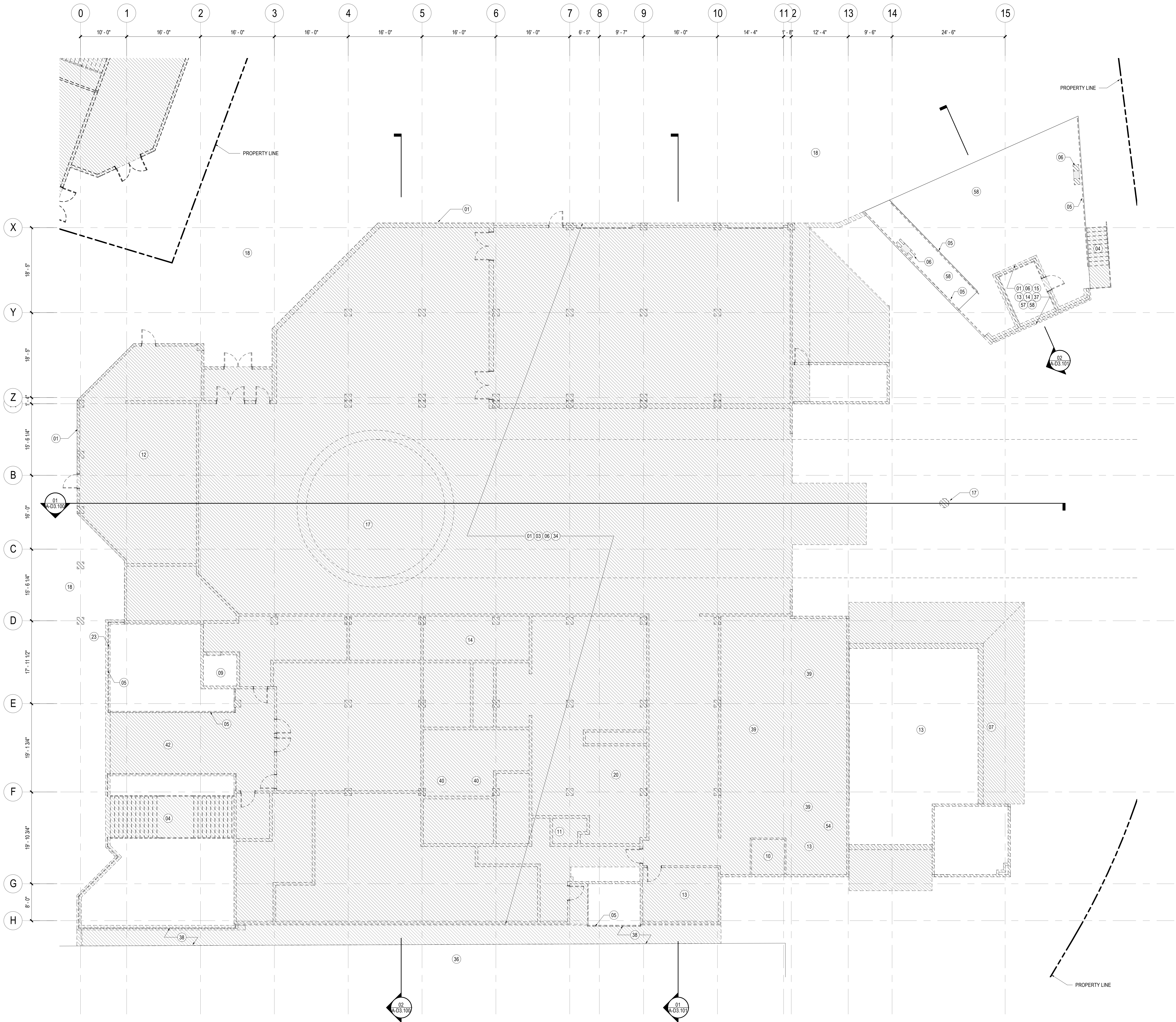
003.7835.000

Description
DEMOLITION PLANS - LOWER GONDOLA BUILDING - LOWER LEVEL B1

Scale
As indicated

A-D1.100

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01 DEMOLITION PLAN - LEVEL 01 - LOWER GONDOLA BUILDING

SCALE: 1/8" = 1'-0"

SHEET NOTES

- 01 REMOVE [E] WALL
- 03 REMOVE [E] FLOOR
- 04 REMOVE [E] STAIR
- 05 REMOVE [E] RAILING
- 06 REMOVE [E] STRUCTURE
- 07 REMOVE [E] ROOF
- 09 REMOVE [E] ELEVATOR AND ALL RELATED MACHINERY, INCLUDING PIT, SUMP, SHAFT, AND PISTON
- 10 REMOVE [E] HOIST
- 11 REMOVE [E] RESTROOM FIXTURES, CASEWORK, AND ASSOCIATED MECHANICAL AND PLUMBING
- 12 REMOVE [E] KITCHEN, FIXTURES, CASEWORK, AND ASSOCIATED MECHANICAL AND PLUMBING
- 13 REMOVE [E] MECHANICAL EQUIPMENT, RE: MECHANICAL DRAWINGS
- 14 REMOVE [E] ELECTRICAL EQUIPMENT, RE: ELECTRICAL DRAWINGS
- 15 REMOVE [E] PLUMBING EQUIPMENT, RE: PLUMBING DRAWINGS
- 17 [E] COUNTERWEIGHT PIT TO REMAIN, REMOVE [E] STRUCTURE ABOVE 1' BELOW PROPOSED FINISHED FLOOR, RE: STRUCTURAL
- 18 [E] GONDOLA TERMINAL, CABLING, AND TOWER TO BE REMOVED BY OTHERS
- 20 REMOVE [E] GENERATOR AND REPURPOSE, RE: MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS
- 23 [E] WALK-IN REFRIGERATOR / FREEZER TO BE REPURPOSED
- 34 DASHED LINE AND HATCHED AREA OF [E] BUILDING B TO BE DEMOLISHED. REFER TO UTILITY PLANS FOR CUT AND MAKE SAFE EXTENTS OF UTILITIES
- 36 DASHED LINE OF [E] BOILER ROOM TO BE REMOVED INCLUDING ALL EQUIPMENT, UTILITIES, AND INTERIOR FINISHES. GENERAL CONTRACTOR TO COORDINATE WITH CLIENT AND NEW BOILER ROOM PLANS FOR EQUIPMENT THAT WILL BE SAVED FOR REUSE AND PREPARE ALL MEP CONNECTIONS FOR EXTENSION TO NEW BOILER HOUSE LOCATION
- 37 [E] PAVERS TO REMAIN
- 38 DASHED LINE AND HATCHED AREA OF [E] STAGE STRUCTURE ABOVE RESTROOM LID TO BE REMOVED. REFER TO UTILITY PLANS FOR CUT AND MAKE SAFE EXTENTS OF UTILITIES
- 39 DASHED LINE AND HATCHED AREA OF [E] ONE STEAMBOAT PLACE PLAZA FLOOR AND STRUCTURE TO BE DEMOLISHED
- 40 [E] SAFE TO BE REPURPOSED
- 42 REMOVE [E] BRIDGE
- 54 REMOVE [E] BOILERS, RE: SNOWMELT DRAWINGS
- 57 CUT WALLS CLEANLY AT DECK, PATCH AND REPAIR DECK SURFACE TO MATCH SURROUNDING SURFACE
- 58 EXISTING STRUCTURAL RAMP AND STAGE DECK TO REMAIN. FOR ALL DEMOLITION ACTIVITIES REQUIRED ON THIS SURFACE, CONTRACTOR TO PATCH AND REPAIR DECK TO PROVIDE WEATHERPROOF ENCLOSURE. RESTROOMS BELOW TO REMAIN. DECK ABOVE PROVIDES THE EXTERIOR ROOF ENCLOSURE.

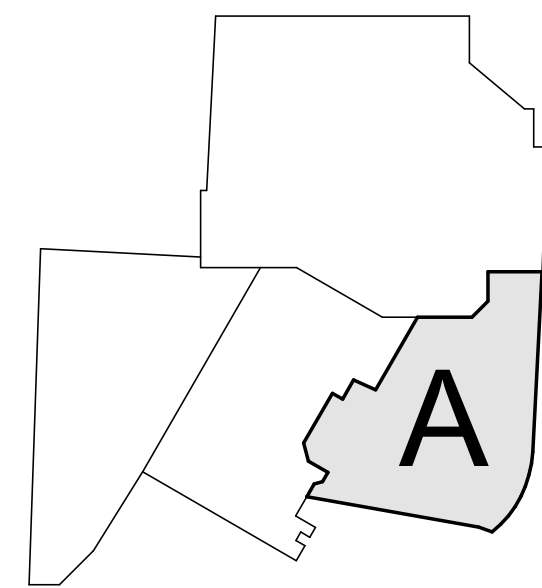
GENERAL NOTES

1. REMOVE THE EXISTING LOWER GONDOLA TERMINAL BUILDING COMPLETELY, INCLUDING ALL STRUCTURE, MECHANICAL, ELECTRICAL, PLUMBING, I.T. SYSTEMS, RE: MECHANICAL, ELECTRICAL, I.T. DRAWINGS FOR MORE INFORMATION
2. STRUCTURE TO BE REMOVED COMPLETELY, INCLUDING ALL FOUNDATIONS. THE EXISTING GONDOLA COUNTERWEIGHT TO REMAIN. TOP TO BE CUTDOWN AND PIT TO BE FILLED. RE: STRUCTURAL FOR MORE INFORMATION. ALL WATER IN PIT TO BE DRAINED AND REMOVED. CONTRACTOR TO PROVIDE DEWATERING OPERATIONS.
3. ALL UNDERGROUND UTILITIES BELOW BUILDING TO BE REMOVED COMPLETELY. UTILITY CONNECTIONS TO THE EXISTING BUILDING TO BE CUT AND CAPPED. RE: CIVIL DRAWINGS. CONTRACTOR TO SCHEDULE ALL UTILITY SHUTDOWNS AND COORDINATE CUT AND CAP ACTIVITY WITH LOCAL UTILITY PROVIDERS. THE GONDOLA WILL BE REMOVED AND PACKAGED FOR REUSE BY OWNER AS A SEPARATE CONTRACT. CONTRACTORS TO COORDINATE WORK AND SCHEDULE OF OPERATIONS.
4. REFERENCE OWNER PROVIDED CONSTRUCTION DRAWINGS FOR SPECIFIC CONSTRUCTION OF BUILDING ELEMENTS.
5. DASHED LINES AND HATCH AREAS ON PLANS, SECTIONS, AND ELEVATIONS REPRESENT AREAS TO BE DEMOLISHED, REFER TO SHEET NOTES.
6. REFER TO STRUCTURAL, CIVIL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR MORE INFORMATION ON DEMOLITION LOCATION AND TREATMENT OF EXISTING BUILDING SYSTEMS

LEGEND

- EXISTING TO REMAIN
- TO BE DEMOLISHED
- TO BE DEMOLISHED

KEY PLAN



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△	Date	Description
1	2021.02.26	BP2A: DEMOLITION-LGB, BLDG B, STAGE

Seal / Signature



Project Name
SSRC | BASE AREA IMPROVEMENTS

Project Number
003.7835.000

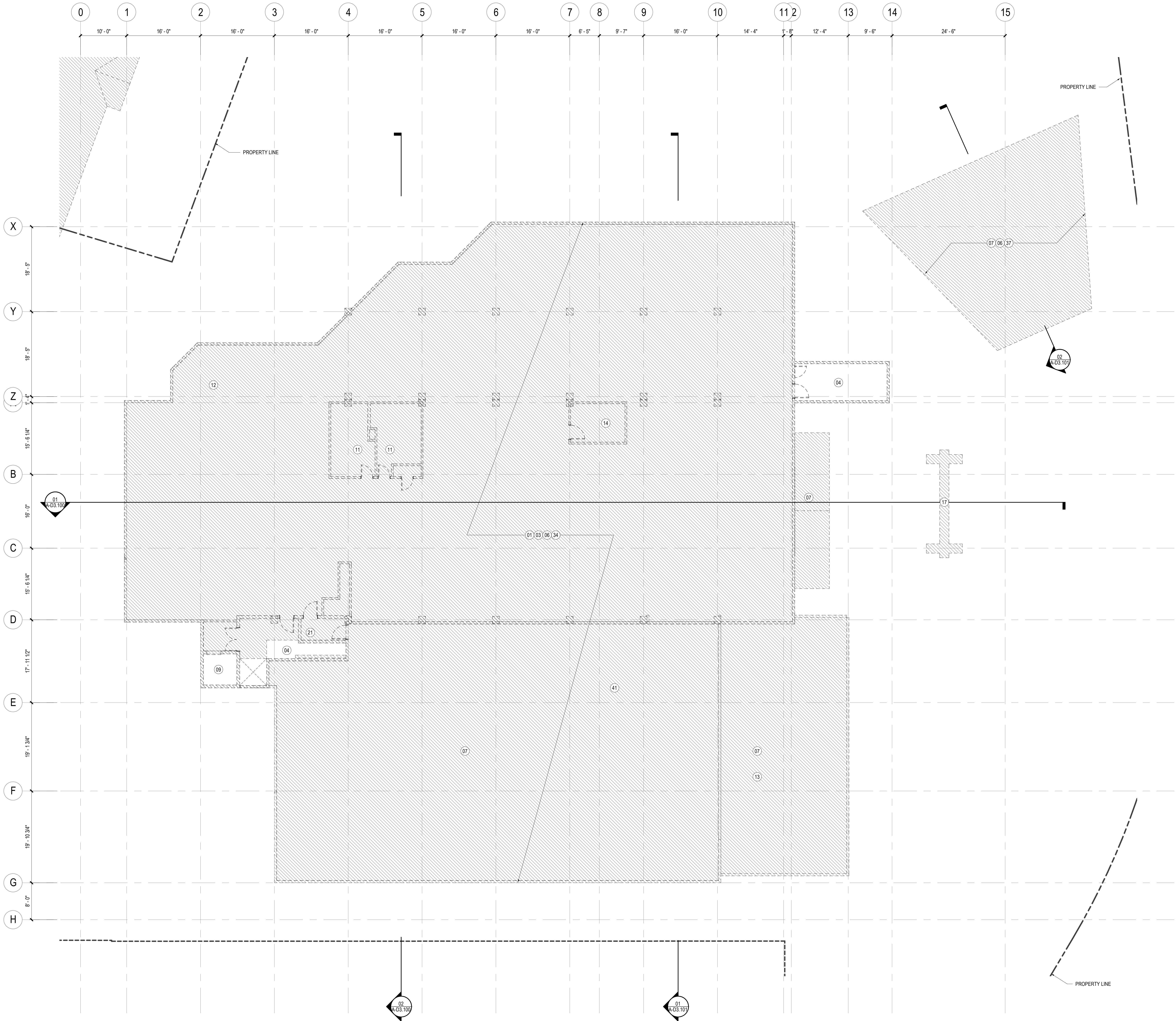
Description
DEMOLITION PLANS - LOWER GONDOLA BUILDING - LEVEL 01

Scale
As indicated

A-D1.101



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01 DEMOLITION PLAN - LEVEL 03 - LOWER GONDOLA BUILDING

SCALE: 1/8" = 1'-0"

SHEET NOTES

- 01 REMOVE [E] WALL
- 03 REMOVE [E] FLOOR
- 04 REMOVE [E] STAIR
- 06 REMOVE [E] STRUCTURE
- 07 REMOVE [E] ROOF
- 09 REMOVE [E] ELEVATOR AND ALL RELATED MACHINERY, INCLUDING PIT, SUMP, SHAFT, AND PISTON
- 11 REMOVE [E] RESTROOM FIXTURES, CASEWORK, AND ASSOCIATED MECHANICAL AND PLUMBING
- 12 REMOVE [E] KITCHEN, FIXTURES, CASEWORK, AND ASSOCIATED MECHANICAL AND PLUMBING
- 13 REMOVE [E] MECHANICAL EQUIPMENT. RE: MECHANICAL DRAWINGS
- 14 REMOVE [E] ELECTRICAL EQUIPMENT. RE: ELECTRICAL DRAWINGS
- 17 [E] COUNTERWEIGHT PIT TO REMAIN. REMOVE [E] STRUCTURE ABOVE. 1' BELOW PROPOSED FINISHED FLOOR. RE: STRUCTURAL
- 21 [E] LAUNDRY EQUIPMENT TO BE REPURPOSED. RE: MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS
- 34 DASHED LINE AND HATCHED AREA OF [E] BUILDING B TO BE DEMOLISHED. REFER TO UTILITY PLANS FOR CUT AND MAKE SAFE EXTENTS OF UTILITIES
- 37 [E] PAVERS TO REMAIN
- 41 REMOVE [E] TELECOM EQUIPMENT

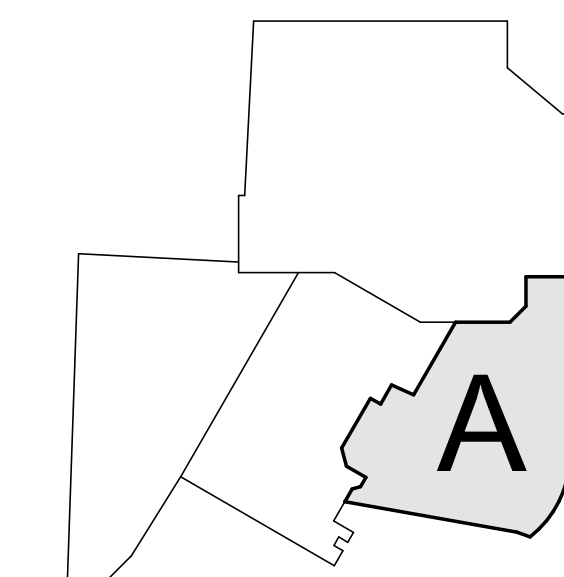
GENERAL NOTES

1. REMOVE THE EXISTING LOWER GONDOLA TERMINAL BUILDING COMPLETELY, INCLUDING ALL STRUCTURE, MECHANICAL, ELECTRICAL, PLUMBING, I.T. SYSTEMS. RE: MECHANICAL, ELECTRICAL, I.T. DRAWINGS FOR MORE INFORMATION
2. STRUCTURE TO BE REMOVED COMPLETELY, INCLUDING ALL FOUNDATIONS. THE EXISTING GONDOLA COUNTERWEIGHT TO REMAIN. TOP TO BE CUTDOWN AND PIT TO BE FILLED. RE: STRUCTURAL FOR MORE INFORMATION. ALL WATER IN PIT TO BE DRAINED AND REMOVED. CONTRACTOR TO PROVIDE DEWATERING OPERATIONS.
3. ALL UNDERGROUND UTILITIES BELOW BUILDING TO BE REMOVED COMPLETELY. UTILITY CONNECTIONS TO THE EXISTING BUILDING TO BE CUT AND CAPPED. RE: CIVIL DRAWINGS. CONTRACTOR TO SCHEDULE ALL UTILITY SHUTDOWNS AND COORDINATE CUT AND CAP ACTIVITY WITH LOCAL UTILITY PROVIDERS. THE GONDOLA WILL BE REMOVED AND PACKAGED FOR REUSE BY OWNER AS A SEPARATE CONTRACT. CONTRACTORS TO COORDINATE WORK AND SCHEDULE OF OPERATIONS.
4. REFERENCE OWNER PROVIDED CONSTRUCTION DRAWINGS FOR SPECIFIC CONSTRUCTION OF BUILDING ELEMENTS.
5. DASHED LINES AND HATCH AREAS ON PLANS, SECTIONS, AND ELEVATIONS REPRESENT AREAS TO BE DEMOLISHED. REFER TO SHEET NOTES.
6. REFER TO STRUCTURAL, CIVIL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR MORE INFORMATION ON DEMOLITION LOCATION AND TREATMENT OF EXISTING BUILDING SYSTEMS

LEGEND

- 01 EXISTING TO REMAIN
- 02 TO BE DEMOLISHED
- 03 TO BE DEMOLISHED

KEY PLAN



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engineers

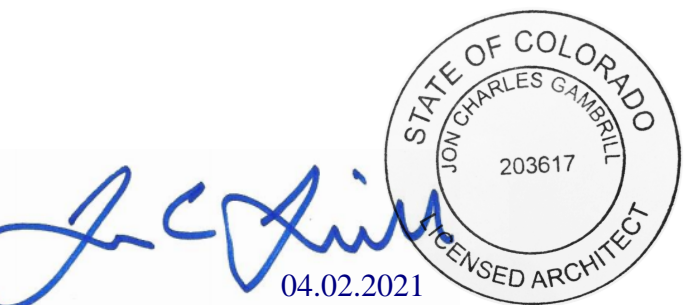
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Δ	Date	Description
1	2021.02.26	BP2A: DEMOLITION-LGB, BLDG B, STAGE

Seal / Signature



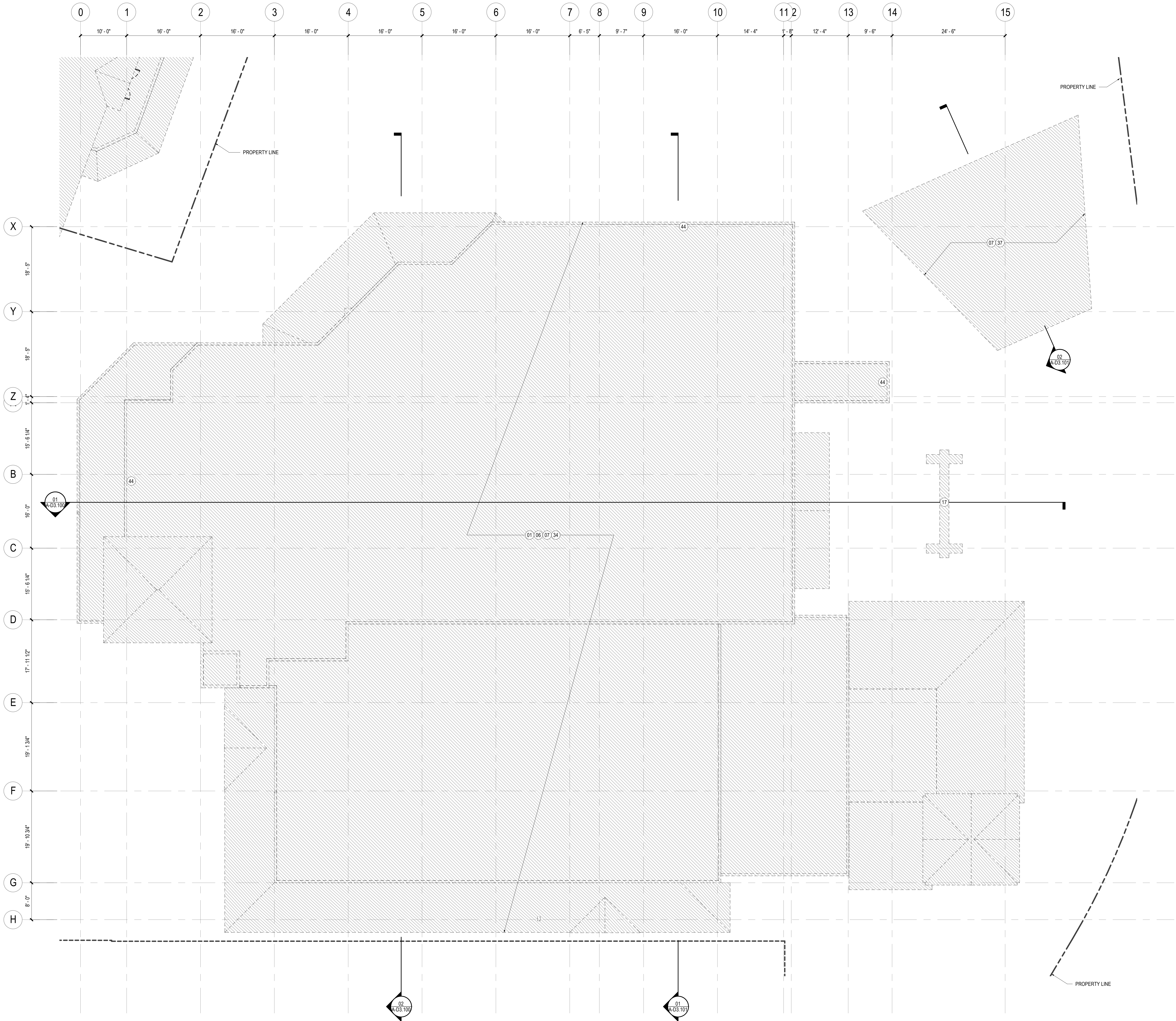
Project Name
SSRC | BASE AREA IMPROVEMENTS

Project Number
003.7835.000

Description
DEMOLITION PLANS - LOWER GONDOLA BUILDING - LEVEL 03

Scale
As indicated

A-D1.103



01 DEMOLITION PLAN - LEVEL ROOF - LOWER GONDOLA BUILDING

SCALE: 1/8" = 1'-0"

SHEET NOTES

- 01 REMOVE [E] WALL
- 06 REMOVE [E] STRUCTURE
- 07 REMOVE [E] ROOF
- 17 [E] COUNTERWEIGHT PIT TO REMAIN, REMOVE [E] STRUCTURE ABOVE IT BELOW PROPOSED FINISHED FLOOR, RE-STRUCTURAL
- 34 DASHED LINE AND HATCHED AREA OF [E] BUILDING B TO BE DEMOLISHED, REFER TO UTILITY PLANS FOR CUT AND MAKE SAFE EXTENTS OF UTILITIES
- 37 [E] PAVERS TO REMAIN
- 44 [E] CELLULAR EQUIPMENT TO BE REMOVED BY OTHERS



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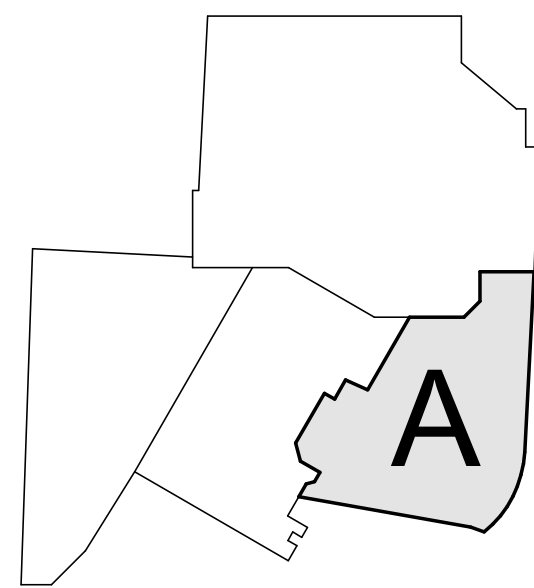
GENERAL NOTES

- REMOVE THE EXISTING LOWER GONDOLA TERMINAL BUILDING COMPLETELY, INCLUDING ALL STRUCTURE, MECHANICAL, ELECTRICAL, PLUMBING, I.T. SYSTEMS, RE: MECHANICAL, ELETRICAL, I.T. DRAWINGS FOR MORE INFORMATION
- STRUCTURE TO BE REMOVED COMPLETELY, INCLUDING ALL FOUNDATIONS. THE EXISTING GONDOLA COUNTERWEIGHT TO REMAIN, TOP TO BE CUTDOWN AND PIT TO BE FILLED, RE-STRUCTURAL FOR MORE INFORMATION. ALL WATER IN PIT TO BE DRAINED AND REMOVED. CONTRACTOR TO PROVIDE DEWATERING OPERATIONS.
- ALL UNDERGROUND UTILITIES BELOW BUILDING TO BE REMOVED COMPLETELY. UTILITY CONNECTIONS TO THE EXISTING BUILDING TO BE CUT AND CAPPED, RE: CIVIL DRAWINGS. CONTRACTOR TO SCHEDULE ALL UTILITY SHUTDOWNS AND COORDINATE CUT AND CAP ACTIVITY WITH LOCAL UTILITY PROVIDERS. THE GONDOLA WILL BE REMOVED AND PACKAGED FOR REUSE BY OWNER AS A SEPARATE CONTRACT. CONTRACTORS TO COORDINATE WORK AND SCHEDULE OF OPERATIONS.
- REFERENCE OWNER PROVIDED CONSTRUCTION DRAWINGS FOR SPECIFIC CONSTRUCTION OF BUILDING ELEMENTS.
- DASHED LINES AND HATCH AREAS ON PLANS, SECTIONS, AND ELEVATIONS REPRESENT AREAS TO BE DEMOLISHED, REFER TO SHEET NOTES.
- REFER TO STRUCTURAL, CIVIL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR MORE INFORMATION ON DEMOLITION LOCATION AND TREATMENT OF EXISTING BUILDING SYSTEMS

LEGEND

- EXISTING TO REMAIN
- TO BE DEMOLISHED
- TO BE DEMOLISHED

KEY PLAN



Seal / Signature



Project Name

SSRC | BASE AREA IMPROVEMENTS

Project Number

003.7835.000

Description

DEMOLITION PLANS - LOWER GONDOLA BUILDING - ROOF

Scale

As indicated

A-D1.106

SHEET NOTES

34 DASHED LINE AND HATCHED AREA OF (E) BUILDING B TO BE DEMOLISHED. REFER TO UTILITY PLANS FOR CUT AND MAKE SAFE EXTENTS OF UTILITIES



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GENERAL NOTES

Date	Description
1 2021.02.26	BP2A: DEMOLITION-1GB, BLDG B, STAGE

Seal / Signature



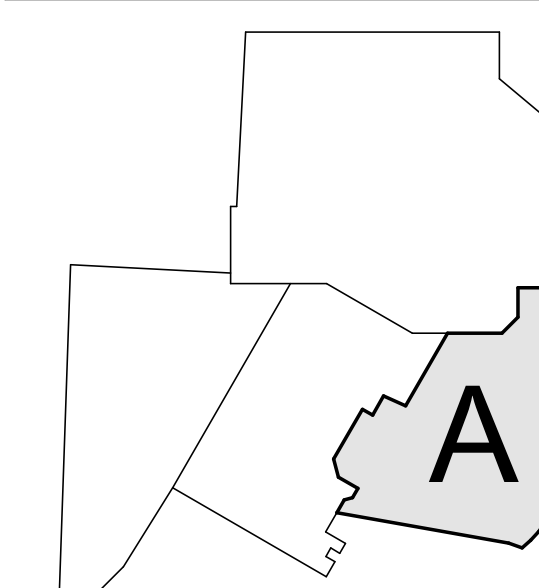
Project Name
SSRC | BASE AREA IMPROVEMENTS
Project Number
003.7835.000

Description
DEMOLITION ELEVATIONS - LOWER GONDOLA BUILDING

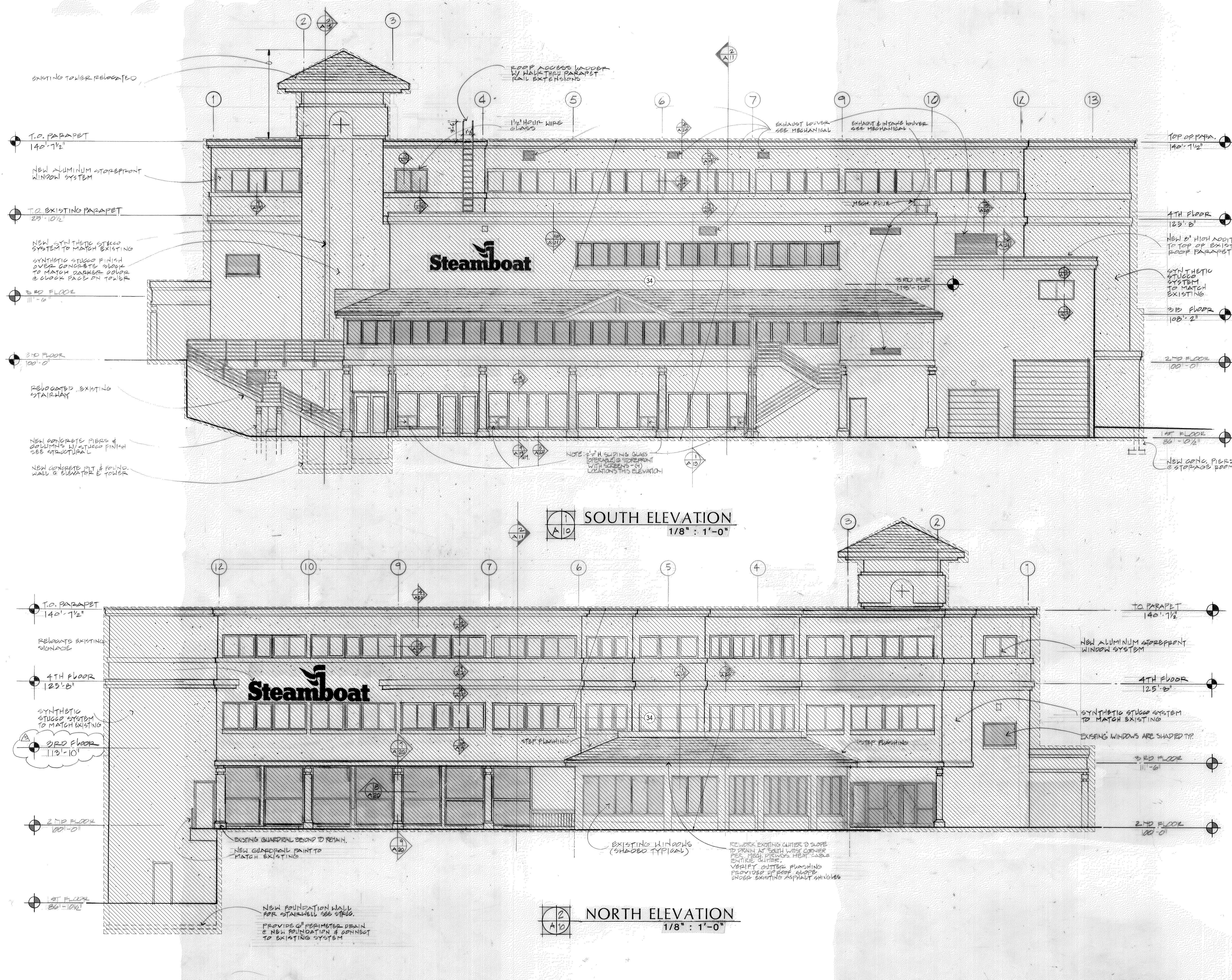
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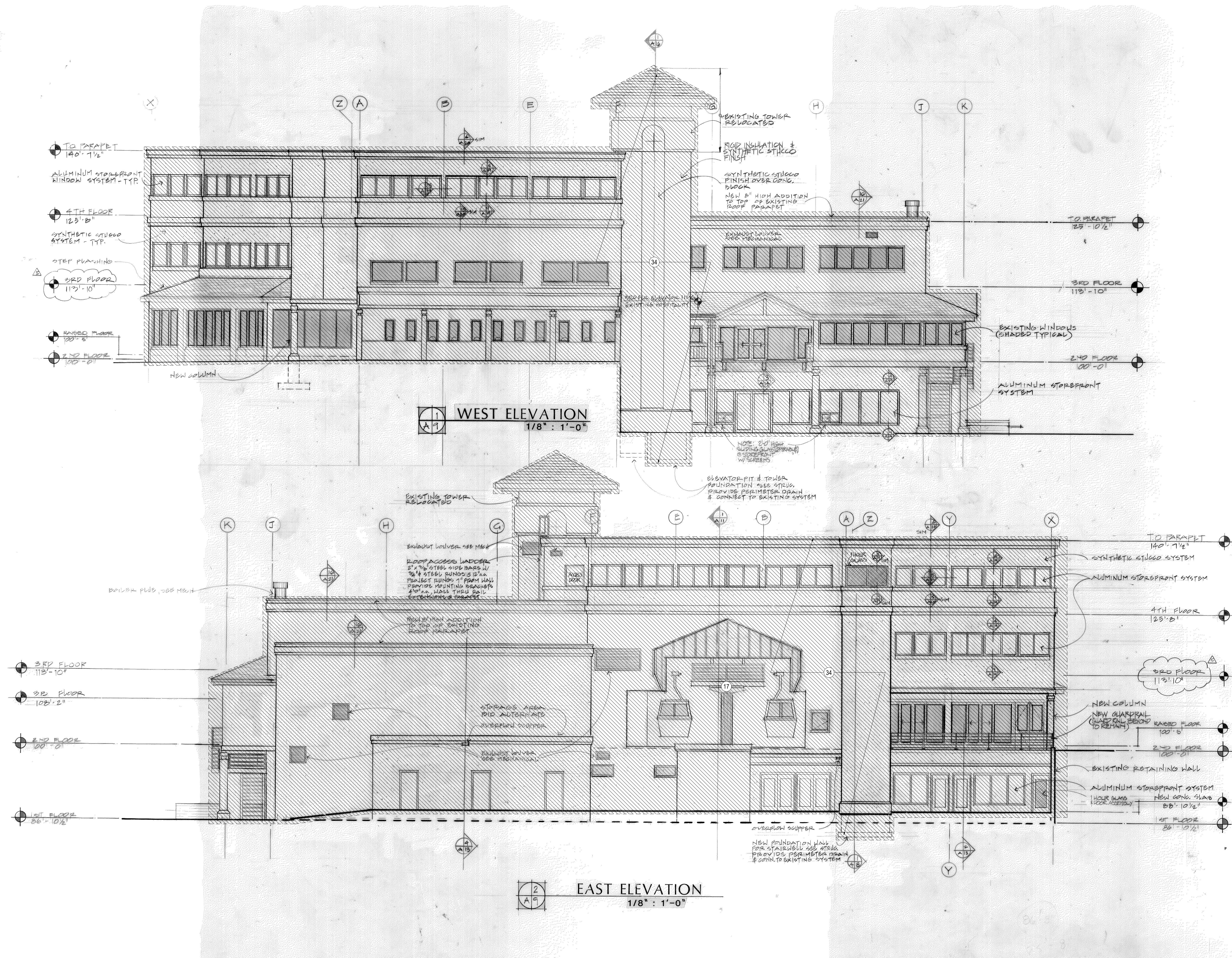
A-D2.100

KEY PLAN



LEGEND
EXISTING TO REMAIN
TO BE DEMOLISHED
TO BE DEMOLISHED





SHEET NOTES

- 17 [E] COUNTERWEIGHT PIT TO REMAIN, REMOVE [E] STRUCTURE ABOVE 1' BELOW PROPOSED FINISHED FLOOR, RE: STRUCTURAL
- 34 DASHED LINE AND HATCHED AREA OF [E] BUILDING B TO BE DEMOLISHED, REFER TO UTILITY PLANS FOR CUT AND MAKE SAFE EXTENTS OF UTILITIES

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GENERAL NOTES

Date	Description
1 2021.02.26	BP2A: DEMOLITION-LGB, BLDG B, STAGE

Seal / Signature



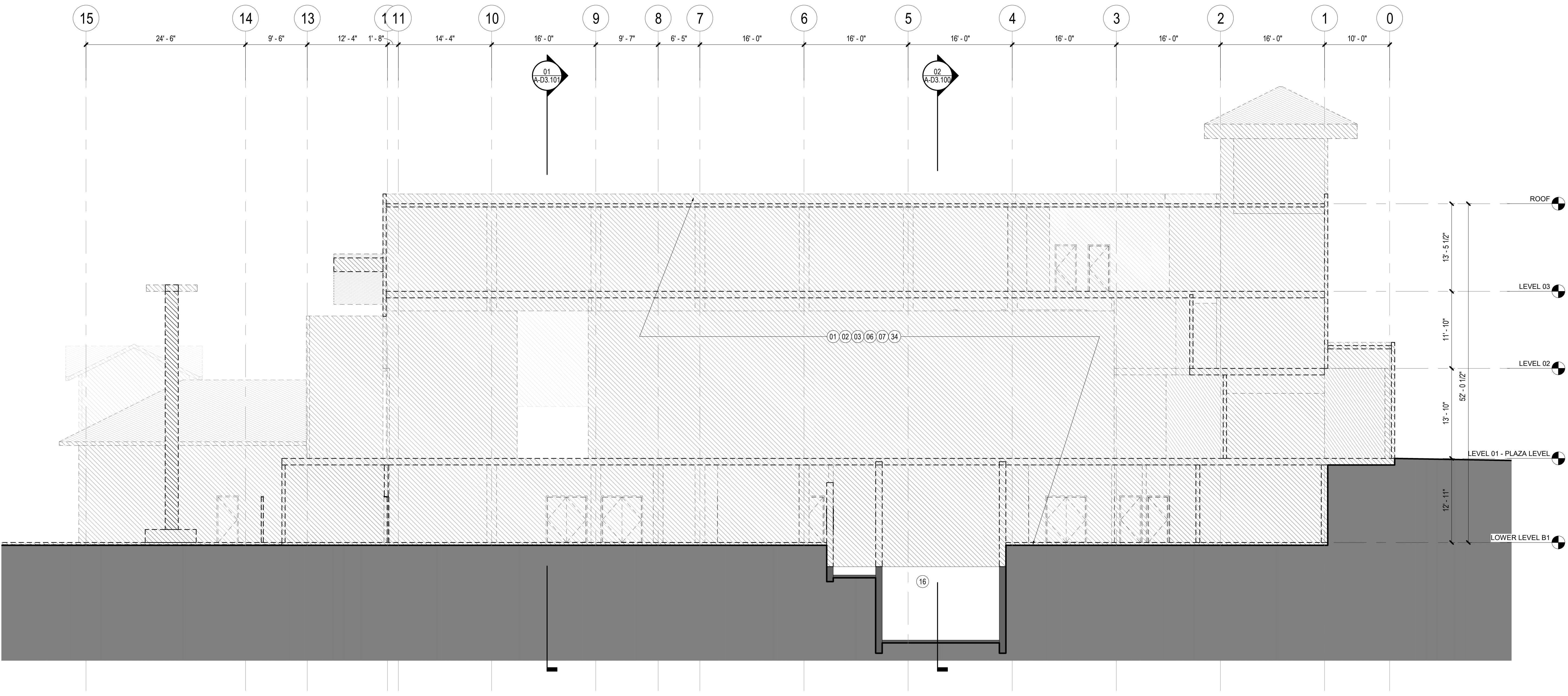
Project Name
SSRC | BASE AREA
IMPROVEMENTS

Project Number
003.7835.000

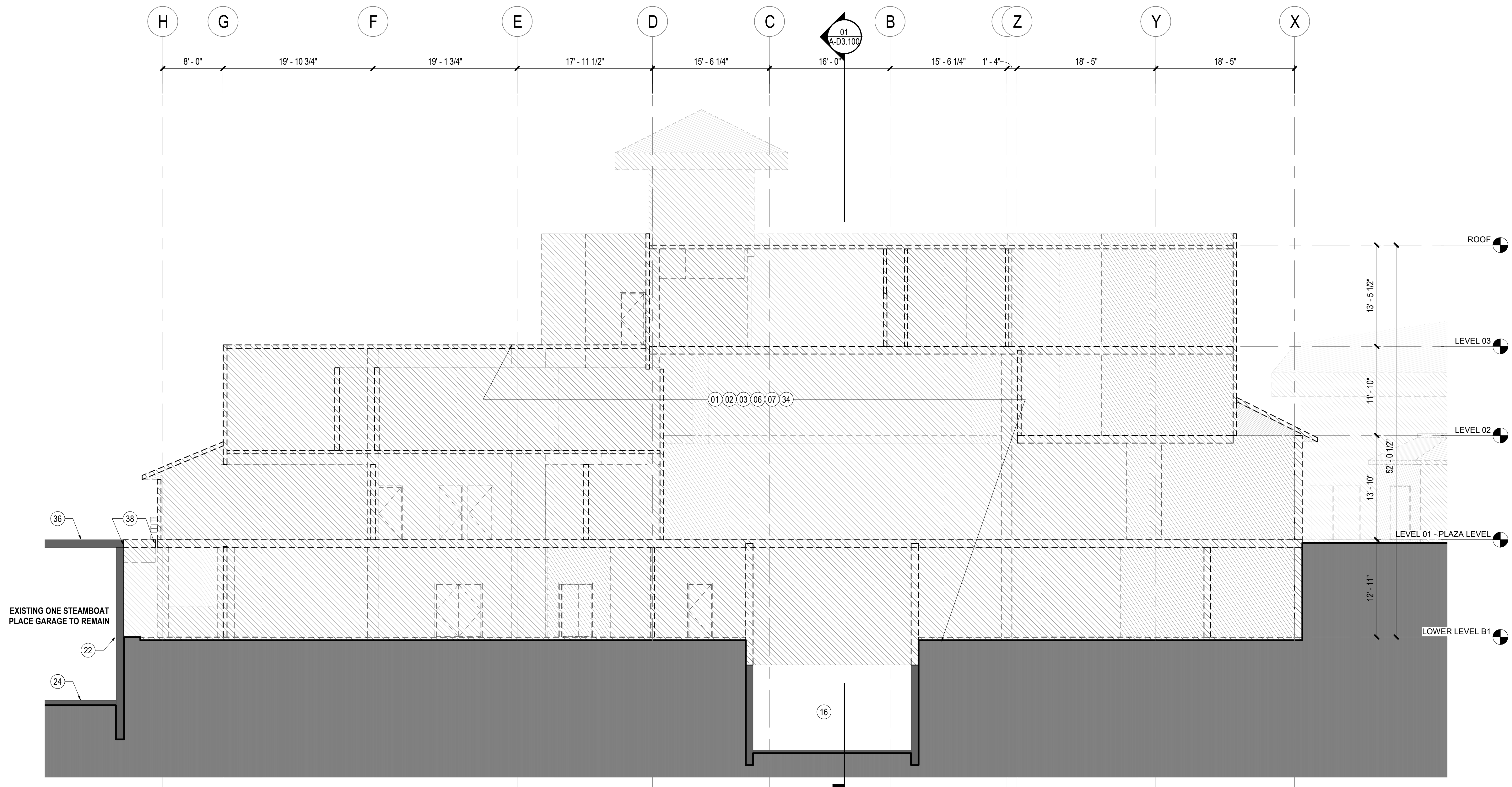
Description
DEMOLITION ELEVATIONS - LOWER
GONDOLA BUILDING

Scale
1/4" = 1'-0"

A-D2.101



01 LOWER GONDOLA BUILDING DEMOLITION SECTION - EAST / WEST
SCALE: 1/8" = 1'-0"



02 LOWER GONDOLA BUILDING DEMOLITION SECTION - NORTH / SOUTH1
SCALE: 1/8" = 1'-0"

SHEET NOTES

- 01 REMOVE [E] WALL
- 02 REMOVE [E] SLAB
- 03 REMOVE [E] FLOOR
- 06 REMOVE [E] STRUCTURE
- 07 REMOVE [E] ROOF
- 16 REMOVE [E] BRICK PLAZA AS NEEDED FOR UNDERGROUND UTILITY WORK, RE: CIVIL DRAWINGS
- 22 [E] TELECOM EQUIPMENT TO BE REPURPOSED, RE: BP18 DRAWINGS
- 24 [E] WALL TO REMAIN
- 34 DASHED LINE AND HATCHED AREA OF [E] BUILDING B TO BE DEMOLISHED. REFER TO UTILITY PLANS FOR CUT AND MAKE SAFE EXTENTS OF UTILITIES
- 36 DASHED LINE OF THE [E] BOILER ROOM TO BE REMOVED INCLUDING ALL EQUIPMENT, UTILITIES, AND INTERIOR FINISHES. GENERAL CONTRACTOR TO COORDINATE WITH CLIENT AND NEW BOILER ROOM PLANS FOR EQUIPMENT THAT WILL BE SAVED FOR REUSE AND PREPARE ALL MEP CONNECTIONS FOR EXTENSION TO NEW BOILER HOUSE LOCATION
- 38 DASHED LINE AND HATCHED AREA OF [E] STAGE STRUCTURE ABOVE RESTROOM LID TO BE REMOVED. REFER TO UTILITY PLANS FOR CUT AND MAKE SAFE EXTENTS OF UTILITIES



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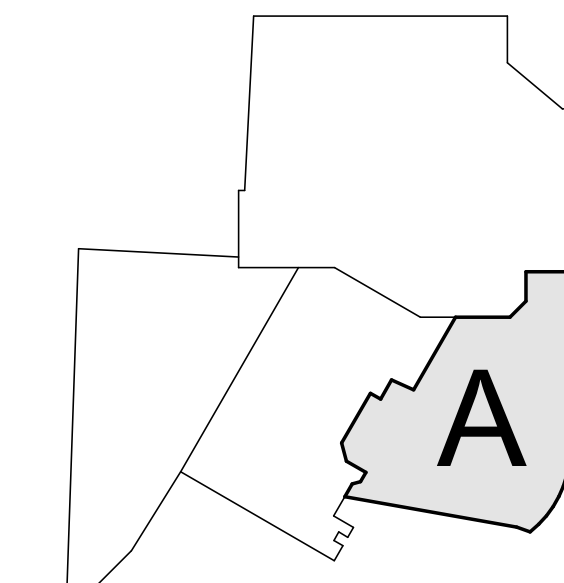
GENERAL NOTES

Date	Description
1 2021.02.26	BP2A: DEMOLITION-LGB, BLDG B, STAGE

LEGEND

- EXISTING TO REMAIN
- TO BE DEMOLISHED
- TO BE DEMOLISHED

KEY PLAN



Seal / Signature



Project Name

SSRC | BASE AREA
IMPROVEMENTS

Project Number

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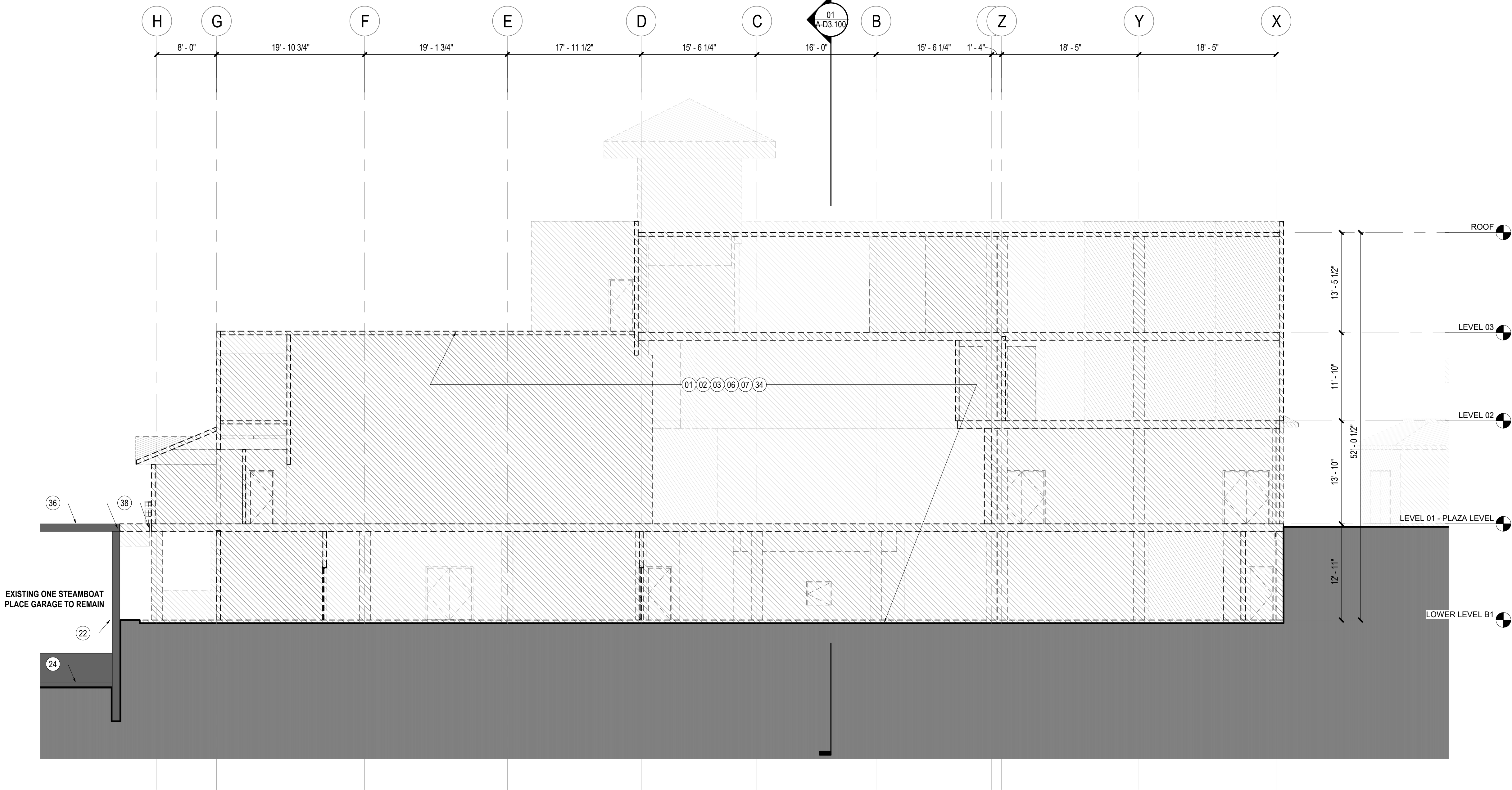
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DEMOLITION SECTIONS - LOWER
GONDOLA BUILDING

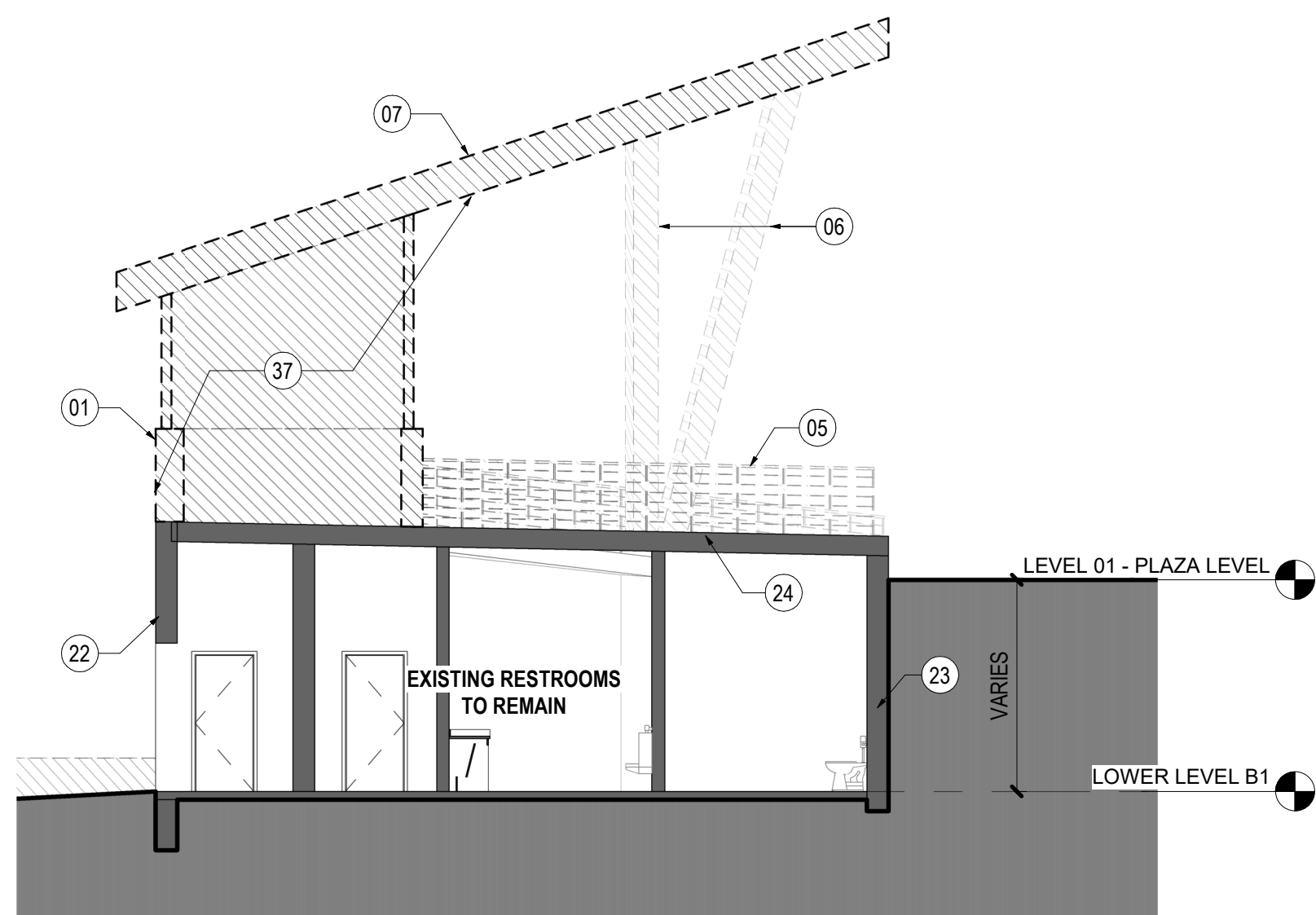
Scale

As indicated

A-D3.100




01 LOWER GONDOLA BUILDING DEMOLITION SECTION - NORTH / SOUTH
SCALE: 1/8" = 1'-0"



02 STAGE DEMOLITION SECTION - NORTH / SOUTH
SCALE: 1/8" = 1'-0"

SHEET NOTES

- 01 REMOVE [E] WALL
- 02 REMOVE [E] SLAB
- 03 REMOVE [E] FLOOR
- 05 REMOVE [E] RAILING
- 06 REMOVE [E] STRUCTURE
- 07 REMOVE [E] ROOF
- 22 [E] TELECOM EQUIPMENT TO BE REPURPOSED, RE: BP18 DRAWINGS
- 23 [E] WALK-IN REFRIGERATOR / FREEZER TO BE REPURPOSED
- 24 [E] WALL TO REMAIN
- 34 DASHED LINE AND HATCHED AREA OF [E] BUILDING B TO BE DEMOLISHED. REFER TO UTILITY PLANS FOR CUT AND MAKE SAFE EXTENTS OF UTILITIES
- 36 DASHED LINE OF THE [E] BOILER ROOM TO BE REMOVED INCLUDING ALL EQUIPMENT, UTILITIES, AND INTERIOR FINISHES. GENERAL CONTRACTOR TO COORDINATE WITH CLIENT AND NEW BOILER ROOM PLANS FOR EQUIPMENT THAT WILL BE SAVED FOR REUSE AND PREPARE ALL MEP CONNECTIONS FOR EXTENSION TO NEW BOILER HOUSE LOCATION
- 37 [E] PAVERS TO REMAIN
- 38 DASHED LINE AND HATCHED AREA OF [E] STAGE STRUCTURE ABOVE RESTROOM LID TO BE REMOVED. REFER TO UTILITY PLANS FOR CUT AND MAKE SAFE EXTENTS OF UTILITIES




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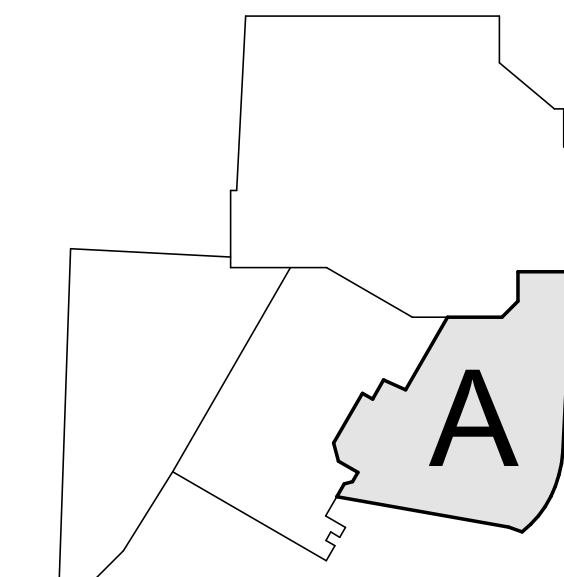
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engineers

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GENERAL NOTES


Date	Description
1 2021.02.26	BP2A: DEMOLITION-I,GB, BLDG B, STAGE

KEY PLAN



- LEGEND
- EXISTING TO REMAIN
 - TO BE DEMOLISHED
 - TO BE DEMOLISHED

Seal / Signature


04.02.2021

Project Name

SSRC | BASE AREA IMPROVEMENTS

Project Number

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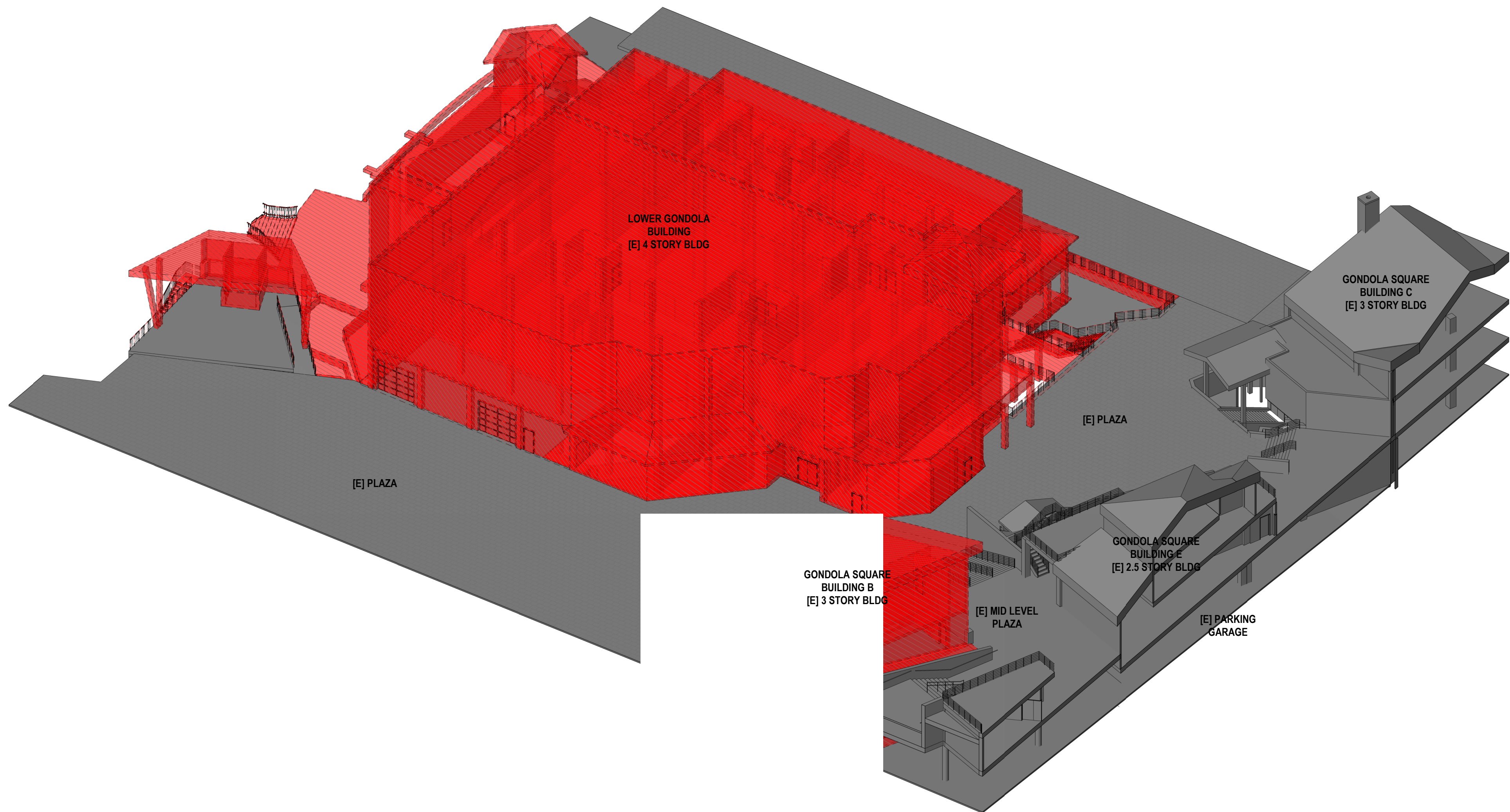
Description

DEMOLITION SECTIONS - LOWER GONDOLA BUILDING

Scale

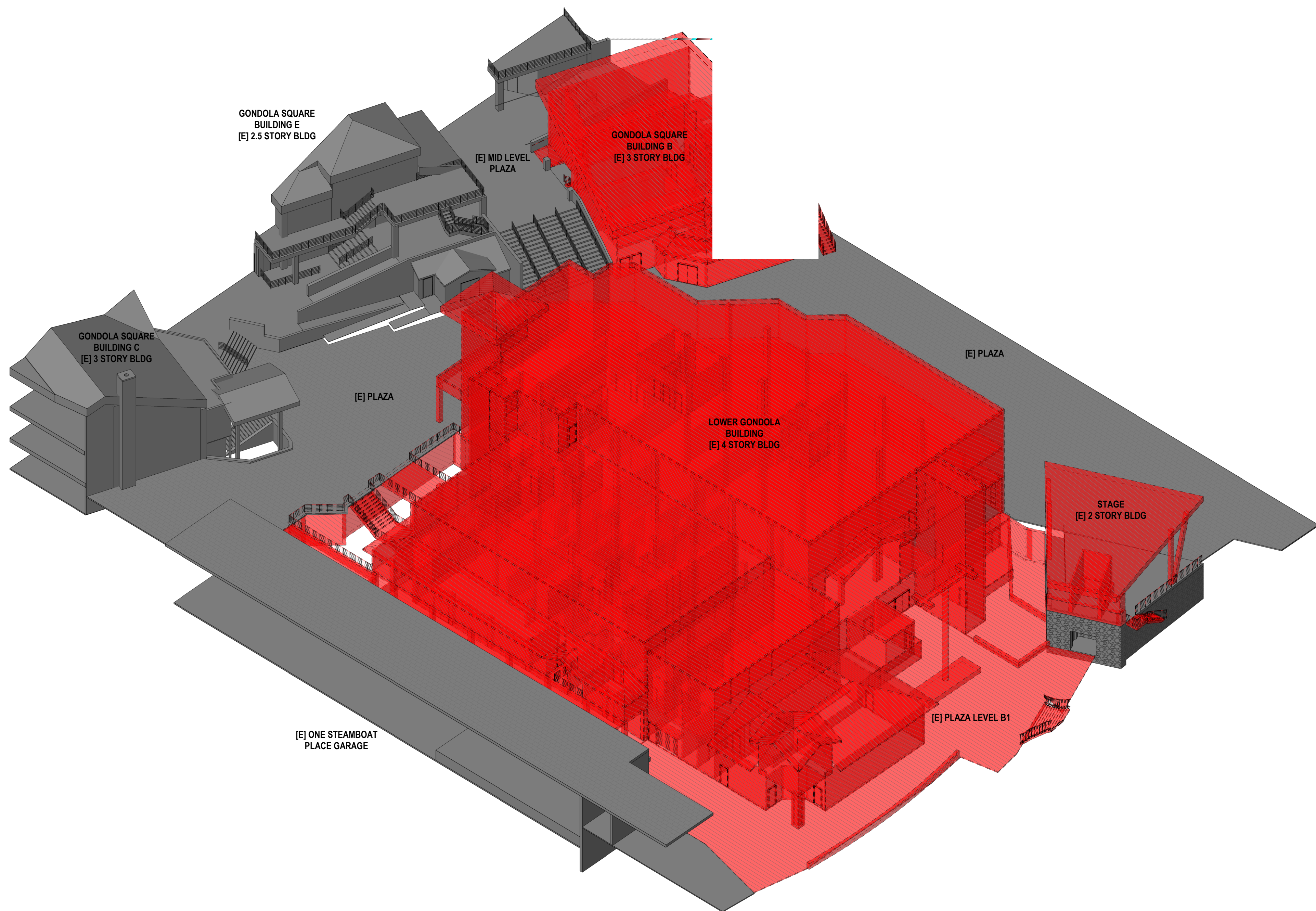
As indicated

A-D3.101



01 DEMOLITION - AXONOMETRIC NW

SCALE:



02 DEMOLITION - AXONOMETRIC SE

SCALE:

SHEET NOTES

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GENERAL NOTES

1. AXONOMETRIC VIEWS ARE PROVIDED FOR REFERENCE ONLY. SEE PLANS, SECTIONS, AND ELEVATIONS FOR THE SCOPE OF WORK.

Date	Description
1 2021.02.26	BP2A: DEMOLITION-LGB, BLDG B, STAGE

Seal / Signature

04.02.2021

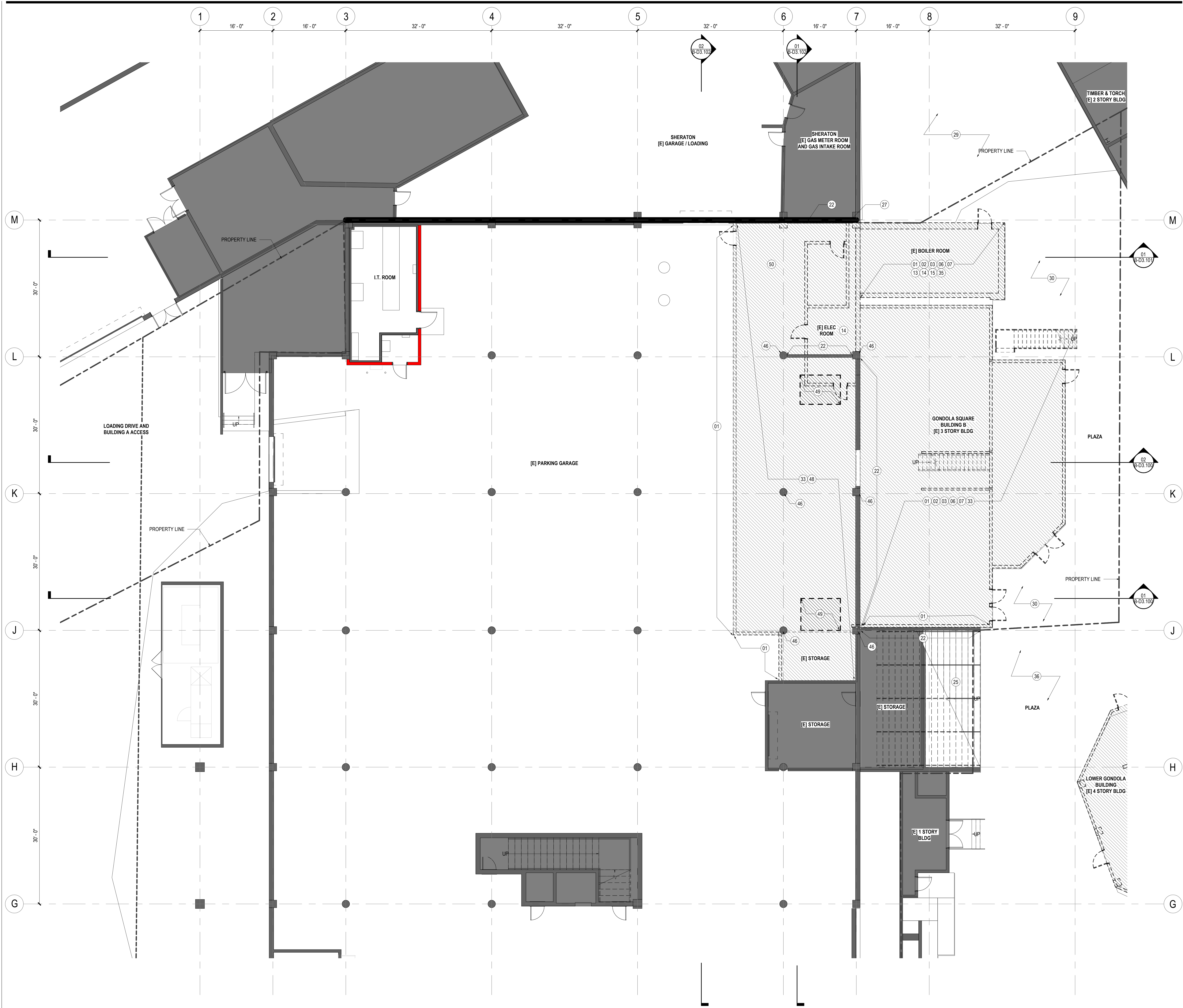
Project Name
SSRC | BASE AREA
IMPROVEMENTS

Project Number
003.7835.000

Description
DEMOLITION AXONOMETRIC - LOWER
GONDOLA BUILDING & STAGE

Scale
1/4" = 1'-0"

A-D4.100



01 DEMOLITION PLAN - LEVEL 01 - B BUILDING

SCALE: 1/8" = 1'-0"

SHEET NOTES

- 01 REMOVE [E] WALL
- 02 REMOVE [E] SLAB
- 03 REMOVE [E] FLOOR
- 06 REMOVE [E] STRUCTURE
- 07 REMOVE [E] ROOF
- 13 REMOVE [E] MECHANICAL EQUIPMENT. RE: MECHANICAL DRAWINGS
- 14 REMOVE [E] ELECTRICAL EQUIPMENT. RE: ELECTRICAL DRAWINGS
- 15 REMOVE [E] PLUMBING EQUIPMENT. RE: PLUMBING DRAWINGS
- 22 [E] TELECOM EQUIPMENT TO BE REPURPOSED, RE: BP18 DRAWINGS
- 25 [E] RETAINING WALL TO REMAIN
- 27 [E] STAIR TO REMAIN
- 29 [E] GAS LINES TO BE CUT CAPPED AND RE-ROUTED. RE: MECH DRAWINGS
- 30 [E] MECHANICAL LOUVER TO BE REMOVED. CONTRACTOR TO INFILL OPENING WITH CMU BLOCK TO MATCH EXISTING AND TO MEET A 2 HOUR FIRE RATED ASSEMBLY
- 33 DASHED LINE OF [E] STRUCTURE AND [E] PAVING TO BE REMOVED
- 35 DASHED LINE AND HATCHED AREA OF [E] LOWER GONDOLA BUILDING TO BE DEMOLISHED. REFER TO UTILITY PLANS FOR CUT AND MAKE SAFE EXTENTS OF UTILITIES
- 36 DASHED LINE OF THE [E] BOILER ROOM TO BE REMOVED INCLUDING ALL EQUIPMENT, UTILITIES, AND INTERIOR FINISHES. GENERAL CONTRACTOR TO COORDINATE WITH CLIENT AND NEW BOILER ROOM PLANS FOR EQUIPMENT THAT WILL BE SAVED FOR REUSE AND PREPARE ALL MEP CONNECTIONS FOR EXTENSION TO NEW BOILER HOUSE LOCATION
- 46 [E] STRUCTURAL COLUMNS TO REMAIN / BE MODIFIED. RE: STRUCTURAL SHEETS
- 48 REMOVE [E] WOOD FRAMED FLOOR IN ITS ENTIRETY INCLUDING STRUCTURE AND FINISHES TO EXPOSE SLAB BELOW
- 49 REMOVE / CUT [E] SLAB AS REQUIRED TO ABANDON SEWER SERVICE AT MAIN. RE: CIVIL SHEETS FOR MORE INFORMATION
- 50 CONTRACTOR TO PROVIDE TEMPORARY WEATHERPROOF ENCLOSURE OVER THIS AREA. ENCLOSURE INTENT IS TO CLOS OFF EXTERIOR FROM INTERIOR PARKING GARAGE.

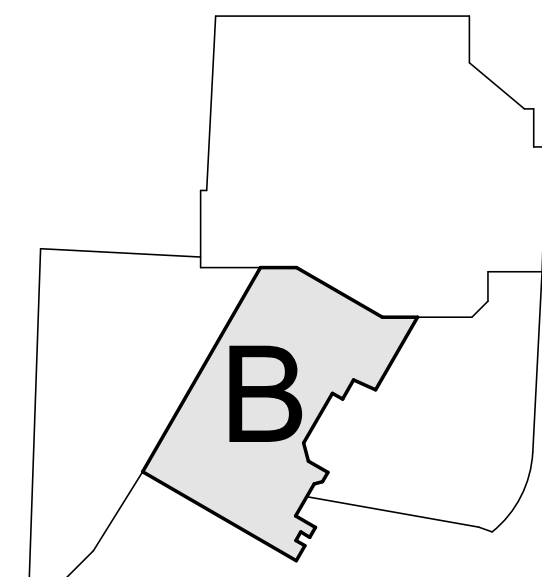
GENERAL NOTES

1. REMOVE THE EXISTING LOWER GONDOLA TERMINAL BUILDING COMPLETELY, INCLUDING ALL STRUCTURE, MECHANICAL, ELECTRICAL, PLUMBING, I.T. SYSTEMS. RE: MECHANICAL, ELECTRICAL, I.T. DRAWINGS FOR MORE INFORMATION
2. STRUCTURE TO BE REMOVED COMPLETELY, INCLUDING ALL FOUNDATIONS. THE EXISTING GONDOLA COUNTERWEIGHT TO REMAIN. TOP TO BE CUTDOWN AND PIT TO BE FILLED. RE: STRUCTURAL FOR MORE INFORMATION. ALL WATER IN PIT TO BE DRAINED AND REMOVED. CONTRACTOR TO PROVIDE DEWATERING OPERATIONS.
3. ALL UNDERGROUND UTILITIES BELOW BUILDING TO BE REMOVED COMPLETELY. UTILITY CONNECTIONS TO THE EXISTING BUILDING TO BE CUT AND CAPPED. RE: CIVIL DRAWINGS. CONTRACTOR TO SCHEDULE ALL UTILITY SHUTDOWNS AND COORDINATE CUT AND CAP ACTIVITY WITH LOCAL UTILITY PROVIDERS. THE GONDOLA WILL BE REMOVED AND PACKAGED FOR REUSE BY OWNER AS A SEPARATE CONTRACT. CONTRACTORS TO COORDINATE WORK AND SCHEDULE OF OPERATIONS.
4. REFERENCE OWNER PROVIDED CONSTRUCTION DRAWINGS FOR SPECIFIC CONSTRUCTION OF BUILDING ELEMENTS.
5. DASHED LINES AND HATCH AREAS ON PLANS, SECTIONS, AND ELEVATIONS REPRESENT AREAS TO BE DEMOLISHED, REFER TO SHEET NOTES.
6. REFER TO STRUCTURAL, CIVIL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR MORE INFORMATION ON DEMOLITION LOCATION AND TREATMENT OF EXISTING BUILDING SYSTEMS

LEGEND

- EXISTING TO REMAIN
- TO BE DEMOLISHED
- TO BE DEMOLISHED

KEY PLAN



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Date	Description
1 2021.02.26	BP2A: DEMOLITION-LGB, BLDG B, STAGE

Seal / Signature

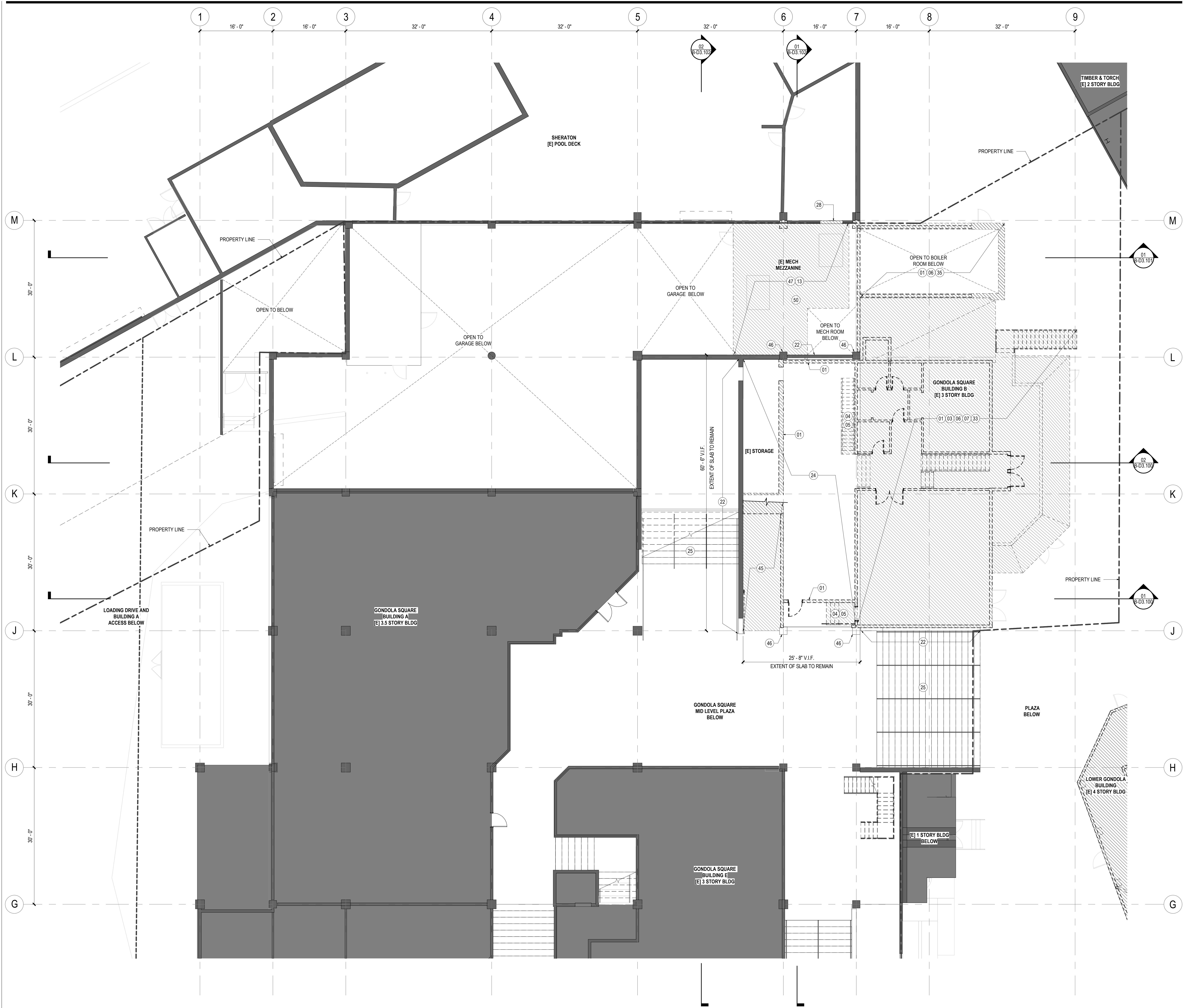


Project Name
SSRC | BASE AREA IMPROVEMENTS
Project Number
003.7835.000

Description
DEMOLITION PLANS - BUILDING B - LEVEL 01

Scale
As indicated

B-D1.101



01 DEMOLITION PLAN - LEVEL 02 - B BUILDING

SCALE: 1/8" = 1'-0"

SHEET NOTES

- 01 REMOVE [E] WALL
- 03 REMOVE [E] FLOOR
- 04 REMOVE [E] STAIR
- 05 REMOVE [E] RAILING
- 06 REMOVE [E] STRUCTURE
- 07 REMOVE [E] ROOF
- 13 REMOVE [E] MECHANICAL EQUIPMENT. RE: MECHANICAL DRAWINGS
- 22 [E] TELECOM EQUIPMENT TO BE REPURPOSED, RE: BP1B DRAWINGS
- 24 [E] WALL TO REMAIN
- 25 [E] RETAINING WALL TO REMAIN
- 28 [E] DOOR TO REMAIN
- 33 DASHED LINE OF [E] STRUCTURE AND [E] PAVING TO BE REMOVED
- 35 DASHED LINE AND HATCHED AREA OF [E] LOWER GONDOLA BUILDING TO BE DEMOLISHED. REFER TO UTILITY PLANS FOR CUT AND MAKE SAFE EXTENTS OF UTILITIES
- 45 DASHED LINE AND HATCHED AREA OF [E] RAMP, RAILING, AND STRUCTURE TO BE REMOVED UNLESS OTHERWISE NOTED
- 46 [E] STRUCTURAL COLUMNS TO REMAIN / BE MODIFIED. RE: STRUCTURAL SHEETS
- 47 DASHED LINE AND HATCHED AREA OF [E] MEZZANINE AND EQUIPMENT TO BE DEMOLISHED. REFER TO UTILITY PLANS FOR CUT AND MAKE SAFE EXTENTS OF UTILITIES
- 50 CONTRACTOR TO PROVIDE TEMPORARY WEATHERPROOF ENCLOSURE OVER THIS AREA. ENCLOSURE INTENT IS TO CLOS OFF EXTERIOR FROM INTERIOR PARKING GARAGE.

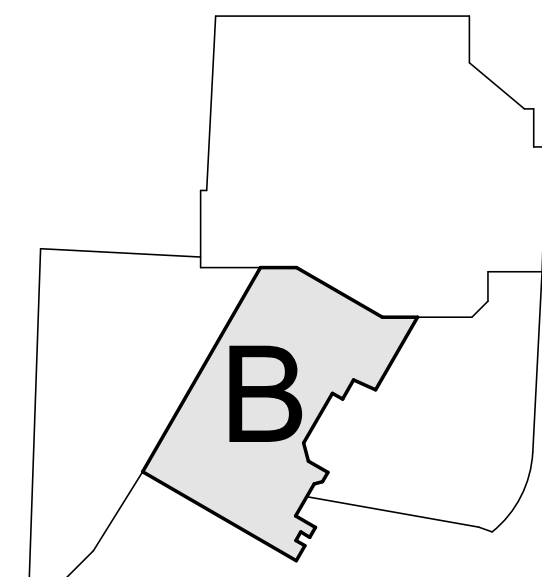
GENERAL NOTES

- REMOVE THE EXISTING LOWER GONDOLA TERMINAL BUILDING COMPLETELY, INCLUDING ALL STRUCTURE, MECHANICAL, ELECTRICAL, PLUMBING, I.T. SYSTEMS. RE: MECHANICAL, ELECTRICAL, I.T. DRAWINGS FOR MORE INFORMATION
- STRUCTURE TO BE REMOVED COMPLETELY, INCLUDING ALL FOUNDATIONS. THE EXISTING GONDOLA COUNTERWEIGHT TO REMAIN. TOP TO BE CUTDOWN AND PIT TO BE FILLED. RE: STRUCTURAL FOR MORE INFORMATION. ALL WATER IN PIT TO BE DRAINED AND REMOVED. CONTRACTOR TO PROVIDE DEWATERING OPERATIONS
- ALL UNDERGROUND UTILITIES BELOW BUILDING TO BE REMOVED COMPLETELY. UTILITY CONNECTIONS TO THE EXISTING BUILDING TO BE CUT AND CAPPED. RE: CIVIL DRAWINGS. CONTRACTOR TO SCHEDULE ALL UTILITY SHUTDOWNS AND COORDINATE CUT AND CAP ACTIVITY WITH LOCAL UTILITY PROVIDERS. THE GONDOLA WILL BE REMOVED AND PACKAGED FOR REUSE BY OWNER AS A SEPARATE CONTRACT. CONTRACTORS TO COORDINATE WORK AND SCHEDULE OF OPERATIONS
- REFERENCE OWNER PROVIDED CONSTRUCTION DRAWINGS FOR SPECIFIC CONSTRUCTION OF BUILDING ELEMENTS
- DASHED LINES AND HATCH AREAS ON PLANS, SECTIONS, AND ELEVATIONS REPRESENT AREAS TO BE DEMOLISHED, REFER TO SHEET NOTES
- REFER TO STRUCTURAL, CIVIL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR MORE INFORMATION ON DEMOLITION LOCATION AND TREATMENT OF EXISTING BUILDING SYSTEMS

LEGEND

- EXISTING TO REMAIN
- TO BE DEMOLISHED
- TO BE DEMOLISHED

KEY PLAN



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Date	Description
2021.02.26	BP2A: DEMOLITION-LGB, BLDG B, STAGE

Seal / Signature



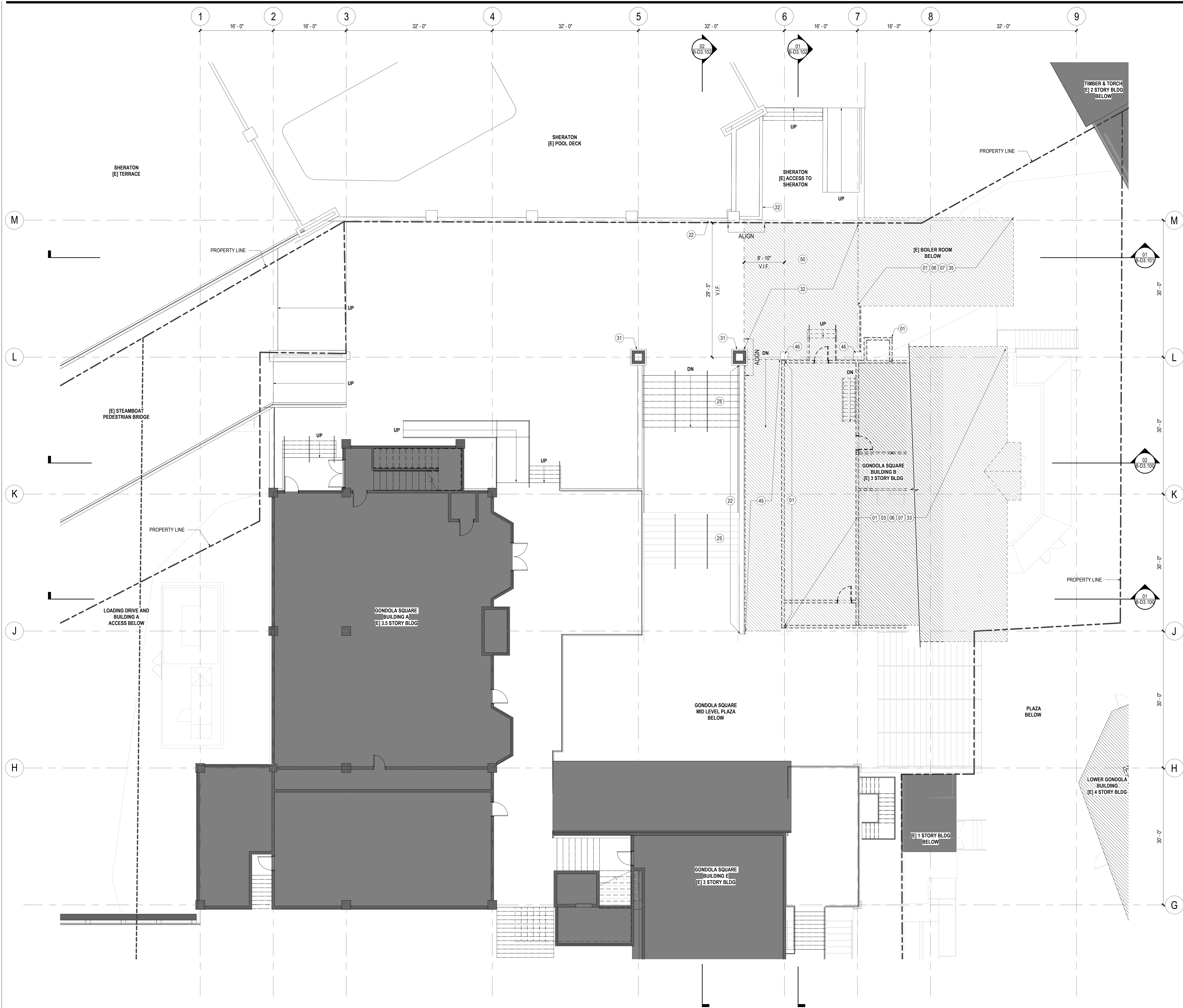
Project Name
SSRC | BASE AREA IMPROVEMENTS

Project Number
003.7835.000

Description
DEMOLITION PLANS - BUILDING B - LEVEL 02

Scale
As indicated

B-D1.102



01 DEMOLITION PLAN - LEVEL 03 - B BUILDING

SCALE: 1/8" = 1'-0"

SHEET NOTES

- 01 REMOVE [E] WALL
- 03 REMOVE [E] FLOOR
- 06 REMOVE [E] STRUCTURE
- 07 REMOVE [E] ROOF
- 22 [E] TELECOM EQUIPMENT TO BE REPURPOSED, RE: BP19 DRAWINGS
- 25 [E] RETAINING WALL TO REMAIN
- 31 [E] LANDSCAPE TO REMAIN
- 32 [E] VERTICAL PORTAL ELEMENT TO REMAIN
- 33 DASHED LINE OF [E] STRUCTURE AND [E] PAVING TO BE REMOVED
- 35 DASHED LINE AND HATCHED AREA OF [E] LOWER GONDOLA BUILDING TO BE DEMOLISHED, REFER TO UTILITY PLANS FOR CUT AND MAKE SAFE EXTENTS OF UTILITIES
- 45 DASHED LINE AND HATCHED AREA OF [E] RAMP, RAILING, AND STRUCTURE TO BE REMOVED UNLESS OTHERWISE NOTED
- 46 [E] STRUCTURAL COLUMNS TO REMAIN / BE MODIFIED, RE: STRUCTURAL SHEETS
- 50 CONTRACTOR TO PROVIDE TEMPORARY WEATHERPROOF ENCLOSURE OVER THIS AREA, ENCLOSURE INTENT IS TO CLOSE OFF EXTERIOR FROM INTERIOR PARKING GARAGE.

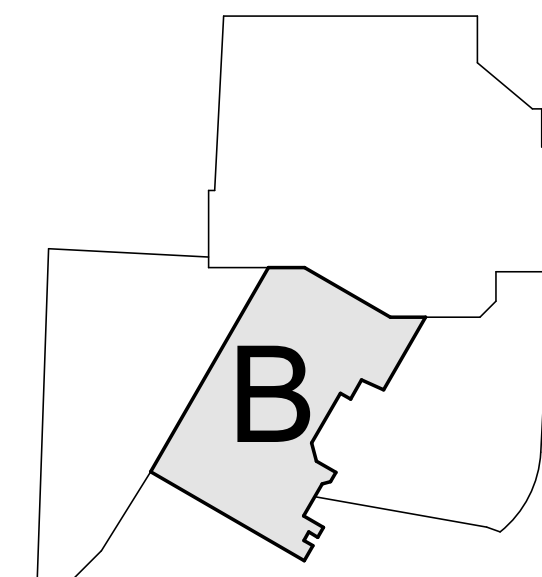
GENERAL NOTES

1. REMOVE THE EXISTING LOWER GONDOLA TERMINAL BUILDING COMPLETELY, INCLUDING ALL STRUCTURE, MECHANICAL, ELECTRICAL, PLUMBING, I.T. SYSTEMS, RE: MECHANICAL, ELECTRICAL, I.T. DRAWINGS FOR MORE INFORMATION
2. STRUCTURE TO BE REMOVED COMPLETELY, INCLUDING ALL FOUNDATIONS. THE EXISTING GONDOLA COUNTERWEIGHT TO REMAIN, TOP TO BE CUTDOWN AND PIT TO BE FILLED, RE: STRUCTURAL FOR MORE INFORMATION. ALL WATER IN PIT TO BE DRAINED AND REMOVED. CONTRACTOR TO PROVIDE DEWATERING OPERATIONS.
3. ALL UNDERGROUND UTILITIES BELOW BUILDING TO BE REMOVED COMPLETELY. UTILITY CONNECTIONS TO THE EXISTING BUILDING TO BE CUT AND CAPPED, RE: CIVIL DRAWINGS. CONTRACTOR TO SCHEDULE ALL UTILITY SHUTDOWNS AND COORDINATE CUT AND CAP ACTIVITY WITH LOCAL UTILITY PROVIDERS. THE GONDOLA WILL BE REMOVED AND PACKAGED FOR REUSE BY OWNER AS A SEPARATE CONTRACT. CONTRACTORS TO COORDINATE WORK AND SCHEDULE OF OPERATIONS.
4. REFERENCE OWNER PROVIDED CONSTRUCTION DRAWINGS FOR SPECIFIC CONSTRUCTION OF BUILDING ELEMENTS.
5. DASHED LINES AND HATCH AREAS ON PLANS, SECTIONS, AND ELEVATIONS REPRESENT AREAS TO BE DEMOLISHED, REFER TO SHEET NOTES.
6. REFER TO STRUCTURAL, CIVIL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR MORE INFORMATION ON DEMOLITION LOCATION AND TREATMENT OF EXISTING BUILDING SYSTEMS

LEGEND

- EXISTING TO REMAIN
- TO BE DEMOLISHED
- TO BE DEMOLISHED

KEY PLAN



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Δ	Date	Description
1	2021.02.26	BP2A: DEMOLITION-LGB, BLDG B, STAGE

Seal / Signature



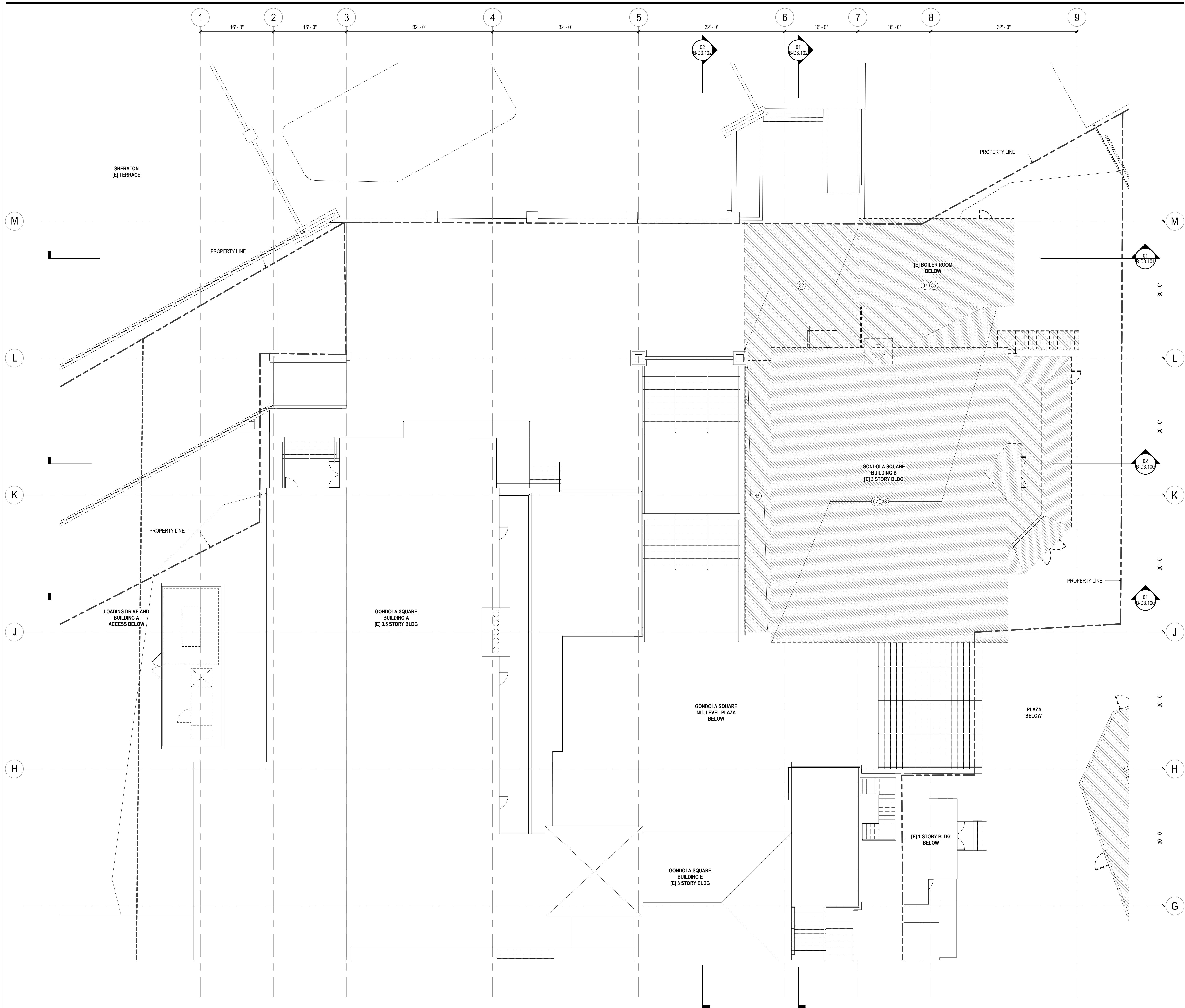
Project Name
SSRC | BASE AREA IMPROVEMENTS

Project Number
003.7835.000

Description
DEMOLITION PLANS - BUILDING B - LEVEL 03

Scale
As indicated

B-D1.103



01 DEMOLITION PLAN - ROOF - B BUILDING

SCALE: 1/8" = 1'-0"

SHEET NOTES

- 07 REMOVE [E] ROOF
32 [E] VERTICAL PORTAL ELEMENT TO REMAIN
33 DASHED LINE OF [E] STRUCTURE AND [E] PAVING TO BE REMOVED
35 DASHED LINE AND HATCHED AREA OF [E] LOWER GONDOLA BUILDING TO BE DEMOLISHED. REFER TO UTILITY PLANS FOR CUT AND MAKE SAFE EXTENTS OF UTILITIES
45 DASHED LINE AND HATCHED AREA OF [E] RAMP, RAILING, AND STRUCTURE TO BE REMOVED UNLESS OTHERWISE NOTED

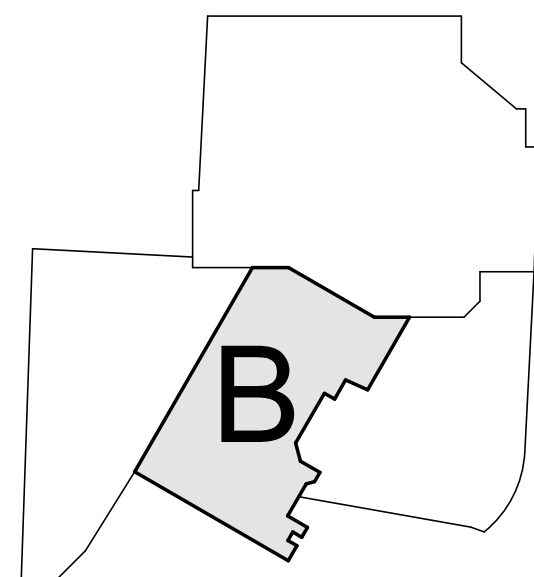
GENERAL NOTES

1. REMOVE THE EXISTING LOWER GONDOLA TERMINAL BUILDING COMPLETELY, INCLUDING ALL STRUCTURE, MECHANICAL, ELECTRICAL, PLUMBING, I.T. SYSTEMS. RE: MECHANICAL, ELECTRICAL, I.T. DRAWINGS FOR MORE INFORMATION.
2. STRUCTURE TO BE REMOVED COMPLETELY, INCLUDING ALL FOUNDATIONS. THE EXISTING GONDOLA COUNTERWEIGHT TO REMAIN. TOP TO BE CUTDOWN AND PIT TO BE FILLED. RE: STRUCTURAL FOR MORE INFORMATION. ALL WATER IN PIT TO BE DRAINED AND REMOVED. CONTRACTOR TO PROVIDE DEWATERING OPERATIONS.
3. ALL UNDERGROUND UTILITIES BELOW BUILDING TO BE REMOVED COMPLETELY. UTILITY CONNECTIONS TO THE EXISTING BUILDING TO BE CUT AND CAPPED. RE: CIVIL DRAWINGS. CONTRACTOR TO SCHEDULE ALL UTILITY SHUTDOWNS AND COORDINATE CUT AND CAP ACTIVITY WITH LOCAL UTILITY PROVIDERS. THE GONDOLA WILL BE REMOVED AND PACKAGED FOR REUSE BY OWNER AS A SEPARATE CONTRACT. CONTRACTORS TO COORDINATE WORK AND SCHEDULE OF OPERATIONS.
4. REFERENCE OWNER PROVIDED CONSTRUCTION DRAWINGS FOR SPECIFIC CONSTRUCTION OF BUILDING ELEMENTS.
5. DASHED LINES AND HATCH AREAS ON PLANS, SECTIONS, AND ELEVATIONS REPRESENT AREAS TO BE DEMOLISHED, REFER TO SHEET NOTES.
6. REFER TO STRUCTURAL, CIVIL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR MORE INFORMATION ON DEMOLITION LOCATION AND TREATMENT OF EXISTING BUILDING SYSTEMS

LEGEND

- EXISTING TO REMAIN
TO BE DEMOLISHED
TO BE DEMOLISHED

KEY PLAN



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Date	Description
1 2021.02.26	BP2A: DEMOLITION-I-GB, BLDG B, STAGE

Seal / Signature



Project Name

SSRC | BASE AREA
IMPROVEMENTS

Project Number

003.7835.000

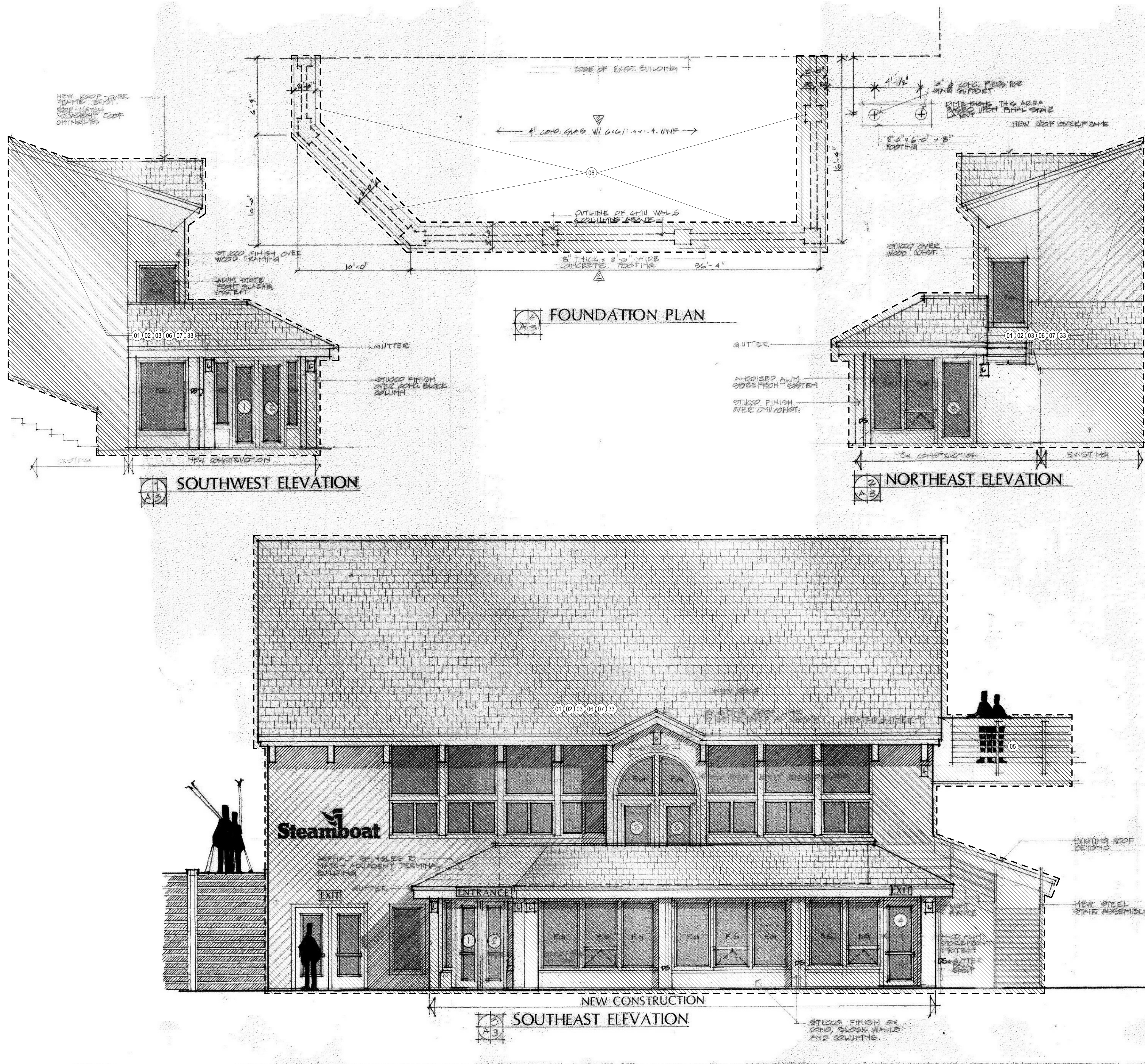
Description

DEMOLITION PLANS - BUILDING B -
ROOF


Scale

As indicated

B-D1.106



- SHEET NOTES**
- 01 REMOVE [E] WALL
 - 02 REMOVE [E] SLAB
 - 03 REMOVE [E] FLOOR
 - 05 REMOVE [E] RAILING
 - 06 REMOVE [E] STRUCTURE
 - 07 REMOVE [E] ROOF
 - 33 DASHED LINE OF [E] STRUCTURE AND [E] PAVING TO BE REMOVED



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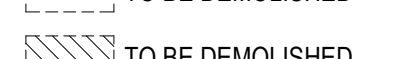
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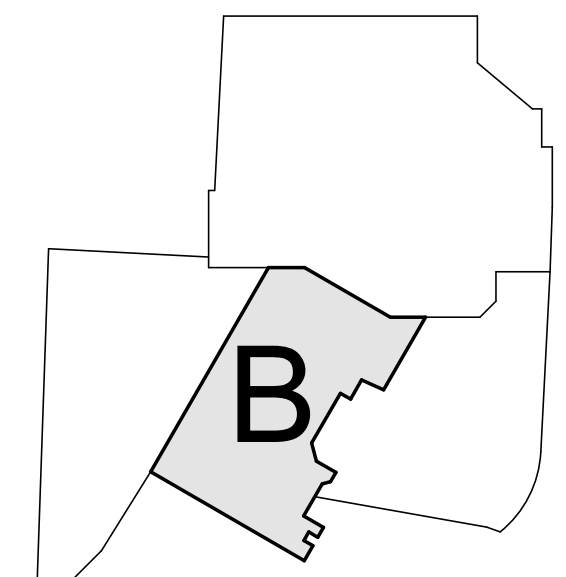
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Date	Description
1 2021.02.26	BP2A: DEMOLITION-LGB, BLDG B, STAGE

GENERAL NOTES

- LEGEND**
-  EXISTING TO REMAIN
 -  TO BE DEMOLISHED
 -  TO BE DEMOLISHED

KEY PLAN



Seal / Signature



Project Name
SSRC | BASE AREA IMPROVEMENTS

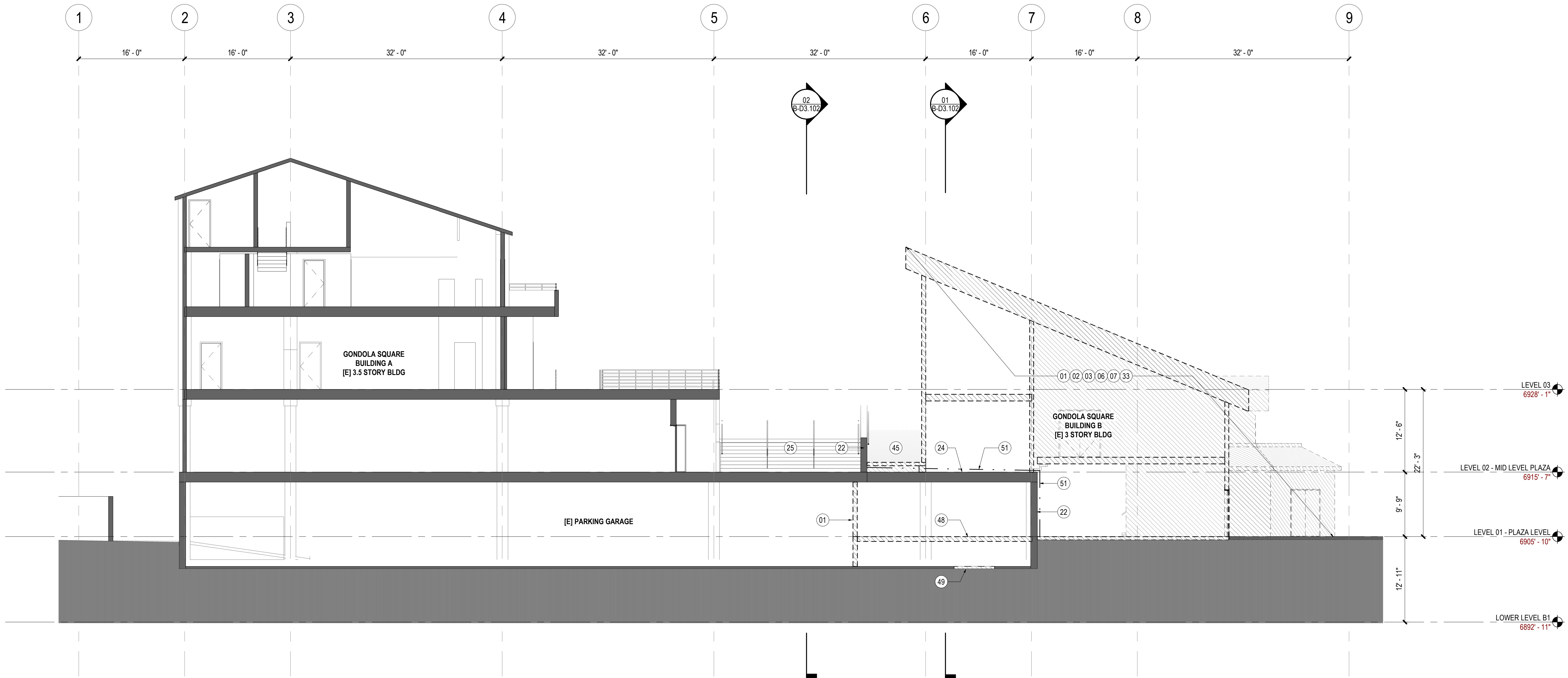
Project Number
003.7835.000

Description
DEMOLITION ELEVATIONS - BUILDING B

Scale
1/4" = 1'-0"

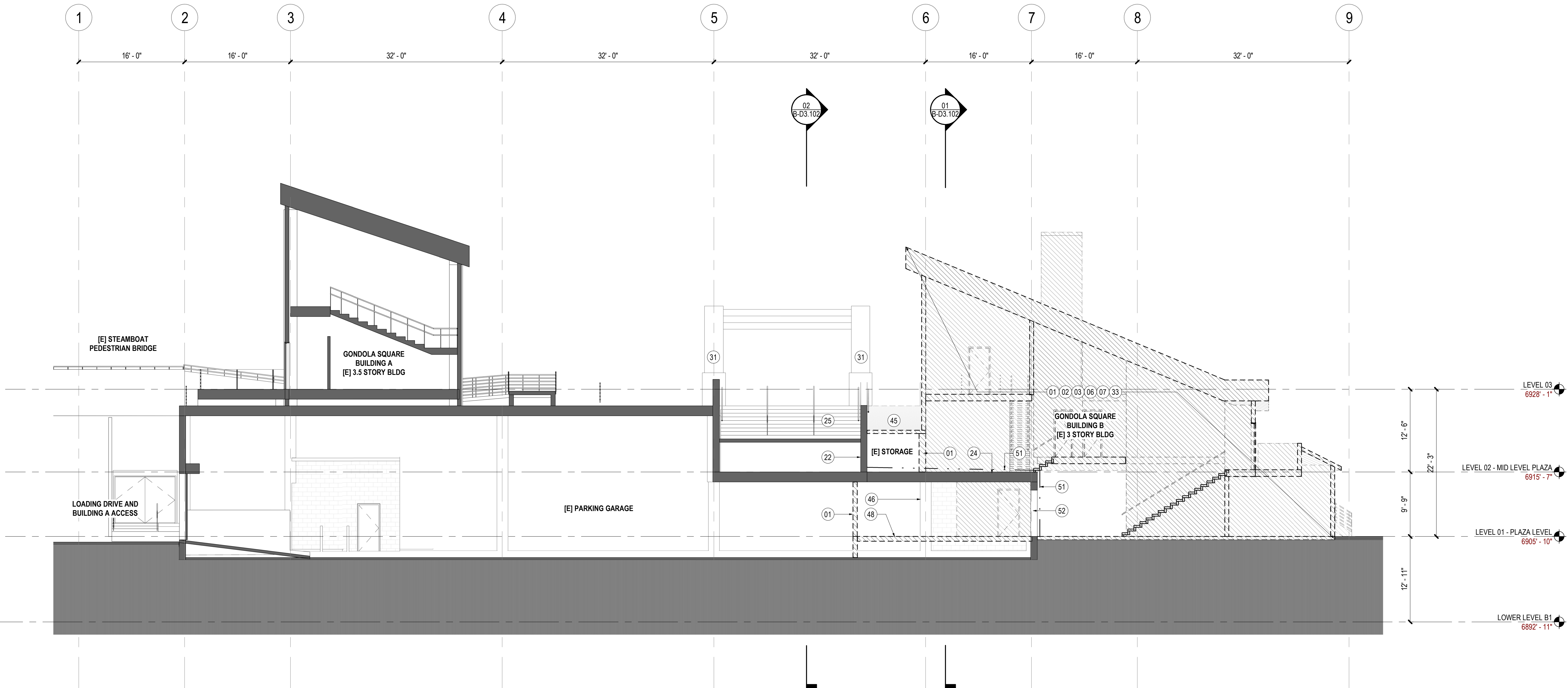
B-D2.100

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01 DEMOLITION - SECTION EW - 0

SCALE: 1/8" = 1'-0"



02 DEMOLITION - SECTION EW - 1

SCALE: 1/8" = 1'-0"

SHEET NOTES

- 01 REMOVE [E] WALL
- 02 REMOVE [E] SLAB
- 03 REMOVE [E] FLOOR
- 06 REMOVE [E] STRUCTURE
- 07 REMOVE [E] ROOF
- 22 [E] TELECOM EQUIPMENT TO BE REPURPOSED, RE: BP18 DRAWINGS
- 24 [E] WALL TO REMAIN
- 25 [E] RETAINING WALL TO REMAIN
- 31 [E] LANDSCAPE TO REMAIN
- 33 DASHED LINE OF [E] STRUCTURE AND [E] PAVING TO BE REMOVED
- 45 DASHED LINE AND HATCHED AREA OF [E] RAMP, RAILING, AND STRUCTURE TO BE REMOVED, UNLESS OTHERWISE NOTED
- 46 [E] STRUCTURAL COLUMNS TO REMAIN / BE MODIFIED, RE: STRUCTURAL SHEETS
- 48 REMOVE [E] WOOD FRAMED FLOOR IN ITS ENTIRETY INCLUDING STRUCTURE AND FINISHES TO EXPOSE SLAB BELOW
- 49 REMOVE / CUT [E] SLAB AS REQUIRED TO ABANDON SEWER SERVICE AT MAIN, RE: CIVIL SHEETS FOR MORE INFORMATION
- 51 [E] WALL AND SLAB TO REMAIN, PROVIDE TEMPORARY WEATHER PROOF MEMBRANE OVER WALL, TIE TO WEATHERPROOFING MEMBRANE AT SLAB, ENTIRE ASSEMBLY TO PROVIDE WEATHER TIGHT BARRIER FROM EXTERIOR TO INTERIOR PARKING GARAGE, WEATHERPROOFING MEMBRANE TO SLOPE TO DRAIN AT HORIZONTAL SLAB.
- 52 CONTRACTOR TO PROVIDE INFILL WALL AT WALL OPENING, PROVIDE WEATHERPROOF ENCLOSURE TIE TO SURROUNDING WALL AND SLAB WEATHERPROOFING MEMBRANE.

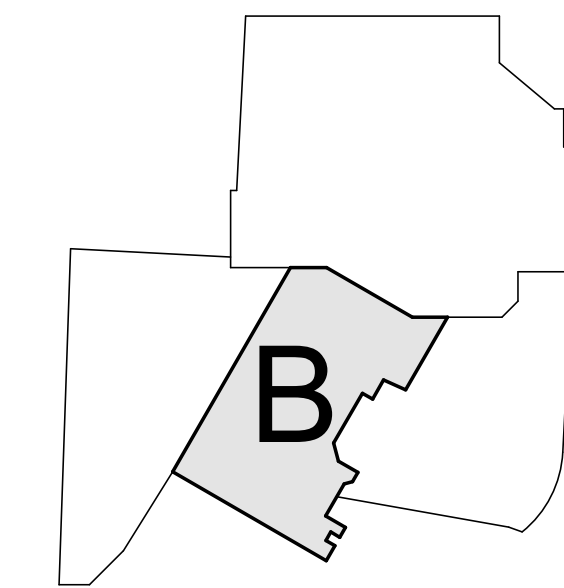
GENERAL NOTES

Date	Description
1 2021.02.26	BP2A: DEMOLITION-LGB, BLDG B, STAGE

LEGEND

- EXISTING TO REMAIN
- TO BE DEMOLISHED
- TO BE DEMOLISHED

KEY PLAN



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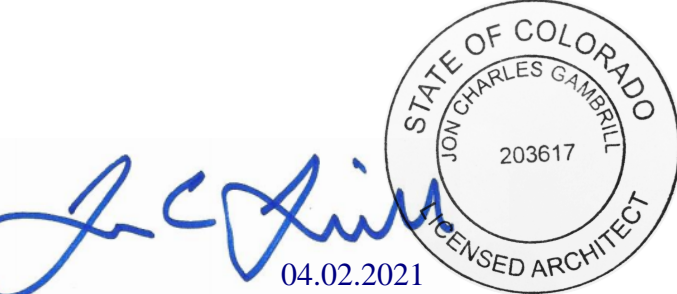


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Seal / Signature



Project Name

SSRC | BASE AREA
IMPROVEMENTS

Project Number

003.7835.000

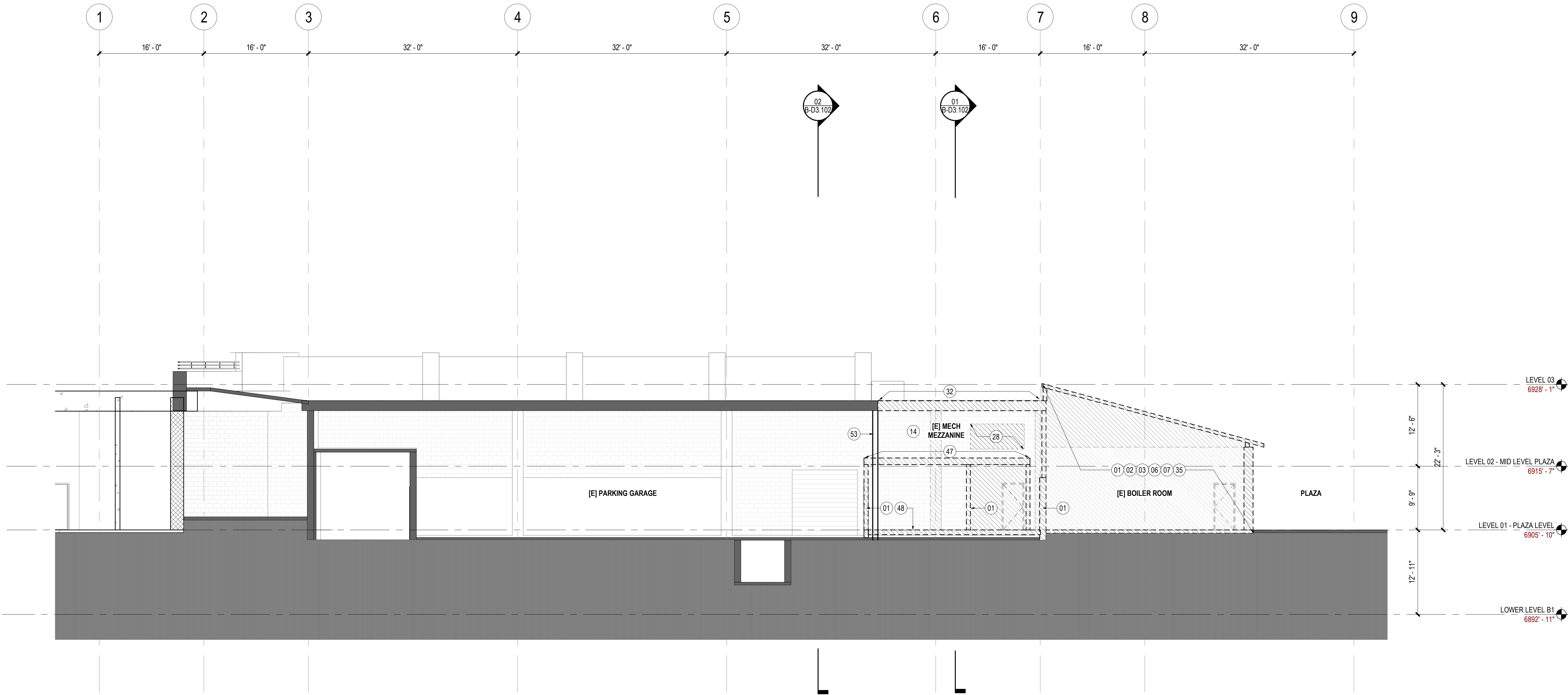
Description

DEMOLITION SECTIONS - BUILDING B
- EW

Scale

As indicated

B-D3.100



01 DEMOLITION - SECTION EW - 3

SCALE: 1/8" = 1'-0"

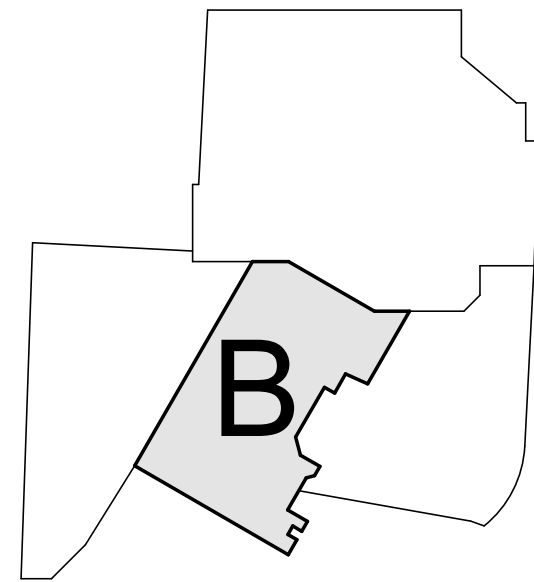
SHEET NOTES

- 01 REMOVE [E] WALL
- 02 REMOVE [E] SLAB
- 03 REMOVE [E] FLOOR
- 06 REMOVE [E] STRUCTURE
- 07 REMOVE [E] ROOF
- 14 REMOVE [E] ELECTRICAL EQUIPMENT. RE: ELECTRICAL DRAWINGS
- 28 [E] DOOR TO REMAIN
- 32 [E] VERTICAL PORTAL ELEMENT TO REMAIN
- 35 DASHED LINE AND HATCHED AREA OF [E] LOWER GONDOLA BUILDING TO BE DEMOLISHED. REFER TO UTILITY PLANS FOR CUT AND MAKE SAFE EXTENTS OF UTILITIES
- 47 DASHED LINE AND HATCHED AREA OF [E] MEZZANINE AND EQUIPMENT TO BE DEMOLISHED. REFER TO UTILITY PLANS FOR CUT AND MAKE SAFE EXTENTS OF UTILITIES
- 48 REMOVE [E] WOOD FRAMED FLOOR IN ITS ENTIRETY INCLUDING STRUCTURE AND FINISHES TO EXPOSE SLAB BELOW
- 53 CONTRACTOR TO PROVIDE TEMPORARY INFILL WALL, WALL TO PROVIDE INSULATED AND WEATHERPROOF ASSEMBLY FROM EXTERIOR TO INTERIOR PARKING GARAGE

GENERAL NOTES

- LEGEND
- EXISTING TO REMAIN
 - TO BE DEMOLISHED
 - TO BE DEMOLISHED

KEY PLAN



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Date	Description
1 2021.02.26	BP2A: DEMOLITION-I-GB, BLDG B, STAGE

Seal / Signature



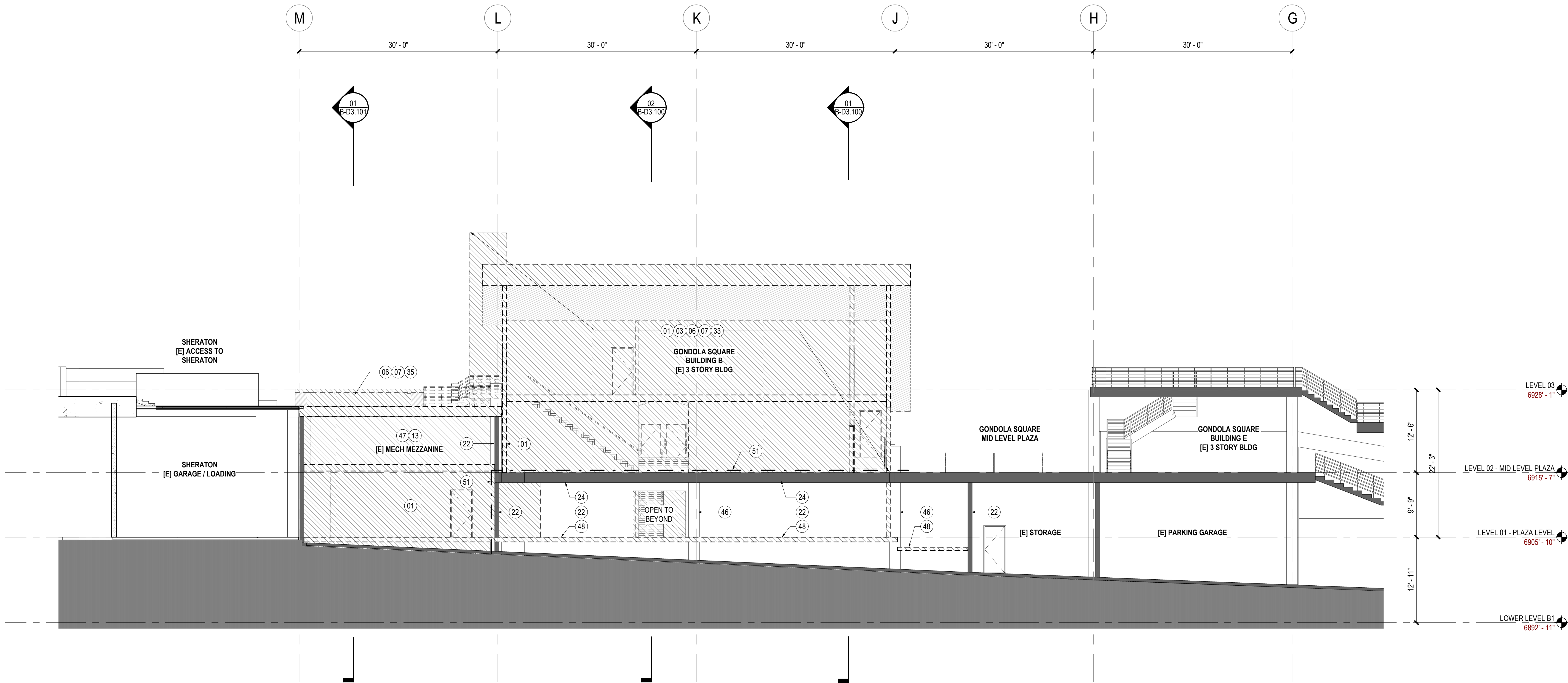
Project Name
SSRC | BASE AREA IMPROVEMENTS

Project Number
003.7835.000

Description
DEMOLITION SECTIONS - BUILDING B - EW

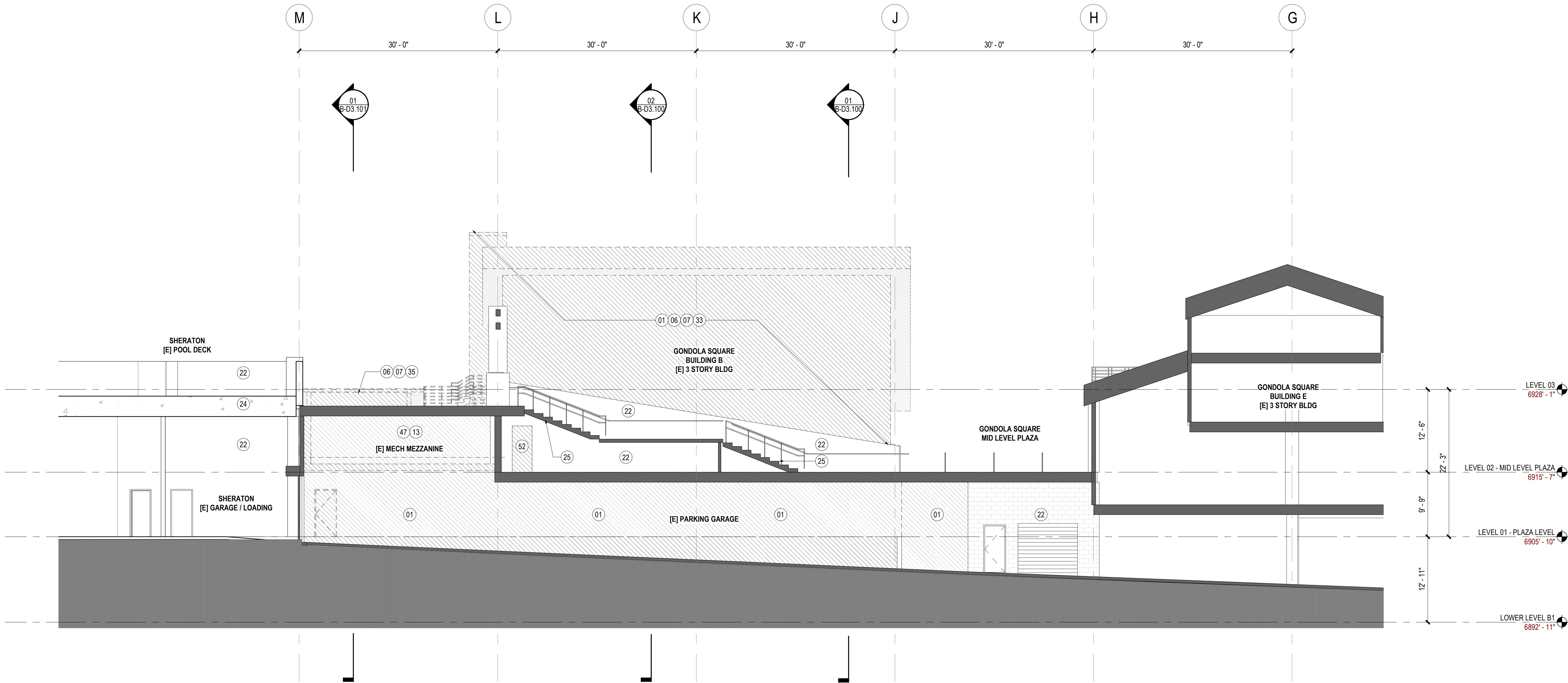
Scale
As indicated

B-D3.101



01 DEMOLITION - SECTION NS

SCALE: 1/8" = 1'-0"



02 DEMOLITION - SECTION NS1

SCALE: 1/8" = 1'-0"

SHEET NOTES

- 01 REMOVE [E] WALL
- 03 REMOVE [E] FLOOR
- 06 REMOVE [E] STRUCTURE
- 07 REMOVE [E] ROOF
- 13 REMOVE [E] MECHANICAL EQUIPMENT. RE: MECHANICAL DRAWINGS
- 22 [E] TELECOM EQUIPMENT TO BE REPURPOSED, RE: BP1B DRAWINGS
- 24 [E] WALL TO REMAIN
- 25 [E] RETAINING WALL TO REMAIN
- 33 DASHED LINE OF [E] STRUCTURE AND [E] PAVING TO BE REMOVED
- 35 DASHED LINE AND HATCHED AREA OF [E] LOWER GONDOLA BUILDING TO BE DEMOLISHED. REFER TO UTILITY PLANS FOR CUT AND MAKE SAFE EXTENTS OF UTILITIES
- 46 [E] STRUCTURAL COLUMNS TO REMAIN / BE MODIFIED. RE: STRUCTURAL SHEETS
- 47 DASHED LINE AND HATCHED AREA OF [E] MEZZANINE AND EQUIPMENT TO BE DEMOLISHED. REFER TO UTILITY PLANS FOR CUT AND MAKE SAFE EXTENTS OF UTILITIES
- 48 REMOVE [E] WOOD FRAMED FLOOR IN ITS ENTIRETY INCLUDING STRUCTURE AND FINISHES TO EXPOSE SLAB BELOW
- 51 [E] WALL AND SLAB TO REMAIN. PROVIDE TEMPORARY WEATHER PROOF MEMBRANE OVER WALL. TIE TO WEATHERPROOFING MEMBRANE AT SLAB. ENTIRE ASSEMBLY TO PROVIDE WEATHER-TIGHT BARRIER FROM EXTERIOR TO INTERIOR PARKING GARAGE. WEATHERPROOFING MEMBRANE TO SLOPE TO DRAIN AT HORIZONTAL SLAB.
- 52 CONTRACTOR TO PROVIDE INFILL WALL AT WALL OPENING. PROVIDE WEATHER-PROOF ENCLOSURE. TIE TO SURROUNDING WALL AND SLAB WEATHERPROOFING MEMBRANE.

GENERAL NOTES

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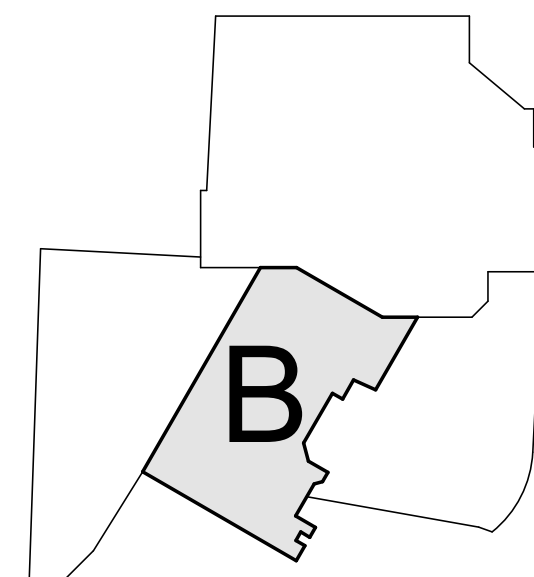
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Date	Description
1 2021.02.26	BP2A: DEMOLITION-LGB, BLDG B, STAGE

- LEGEND
- EXISTING TO REMAIN
 - TO BE DEMOLISHED
 - TO BE DEMOLISHED

KEY PLAN



Seal / Signature

Project Name
SSRC | BASE AREA IMPROVEMENTS

Project Number
003.7835.000

Description
DEMOLITION SECTIONS - BUILDING B - NS

Scale
As indicated

B-D3.102