

STEAMBOAT SKI & RESORT CORPORATION

SSRC | BASE AREA IMPROVEMENTS

2305 Mount Werner Circle
Steamboat Springs, CO 80487

BP2A: DEMOLITION - LOWER GONDOLA BUILDING (LGB), BUILDING B, STAGE 2021.02.26



ALTEERRA east west partners
MOUNTAIN COMPANY

2305 Mount Werner Circle
Steamboat Springs, CO 80487

Gensler

1225 17th Street
Suite 150
Denver, CO 80202
United States
Tel 303.595.8886
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141 9th Street
PO Box 774943
Steamboat Springs, CO
80477
Tel 970.871.9494

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1390 Lawrence Street
Suite 100
Denver, CO 80204
Tel 303.623.5186



12499 West Colfax Ave.
Lakewood, CO 80215
United States
Tel 303.431.6100



14143 Denver West Pkwy
Suite 300
Golden, CO
United States
Tel 303.421.6655

| Date | Description |
|--------------|-------------------------------------|
| 1 2021.02.26 | BP2A: DEMOLITION-LGB, BLDG B, STAGE |

Seal / Signature



Project Name

SSRC | BASE AREA
IMPROVEMENTS

Project Number

003.7835.000

Description

COVER

Scale

NOT TO SCALE

G0.000

GENERAL NOTES

1. COMPLY WITH CODES, LAWS, ORDINANCES, RULES, AND REGULATIONS OF PUBLIC AUTHORITIES GOVERNING THE WORK.
2. OBTAIN AND PAY FOR PERMITS AND INSPECTIONS REQUIRED BY PUBLIC AUTHORITIES GOVERNING THE WORK.
3. REVIEW DOCUMENTS, VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN. REPORT ANY CONFLICTS OR OMISSIONS TO THE ARCHITECT FOR CLARIFICATION PRIOR TO PERFORMING ANY WORK IN QUESTION.
4. SUBMIT REQUESTS FOR SUBSTITUTIONS, REVISIONS, OR CHANGES TO ARCHITECT FOR REVIEW PRIOR TO PURCHASE, FABRICATION OR INSTALLATION.
5. COORDINATE WORK WITH THE LANDLORD AND OWNER, INCLUDING SCHEDULING TIME AND LOCATIONS FOR DELIVERIES, BUILDING ACCESS, USE OF BUILDING SERVICES AND FACILITIES, AND USE OF ELEVATORS. MINIMIZE DISTURBANCE OF BUILDING FUNCTIONS AND OCCUPANTS.
6. OWNER WILL PROVIDE WORK NOTED "BY OTHERS" OR "NIC" UNDER SEPARATE CONTRACT. INCLUDE SCHEDULE REQUIREMENTS IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.
7. MAINTAIN EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES, AND ALARMS IN CONFORMANCE WITH CODES AND ORDINANCES.
8. MAINTAIN WORK AREAS SECURE AND LOCKABLE DURING CONSTRUCTION. COORDINATE WITH LANDLORD TO ENSURE SECURITY.
9. PROVIDE ALL ACCESS PANELS REQUIRED FOR ALL JUNCTION BOXES, VALVES, CLEANOUTS, PLUGS, FILTERS, EQUIPMENT, AND ALL OTHER ITEMS REQUIRING SERVICE OR MAINTENANCE.
10. PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE.
11. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE ARCHITECT.
12. PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, UNLESS OTHERWISE NOTED. MAINTAIN DIMENSIONS MARKED "CLEAR". ALLOW FOR THICKNESS OF FINISHES.
13. PROVIDE CONCEALED BLOCKING AS REQUIRED FOR WORK BY OWNERS' OTHER CONTRACTORS. COORDINATE WITH OTHER CONTRACTORS FOR SIZE, TYPE AND LOCATION OF REQUIRED BLOCKING.

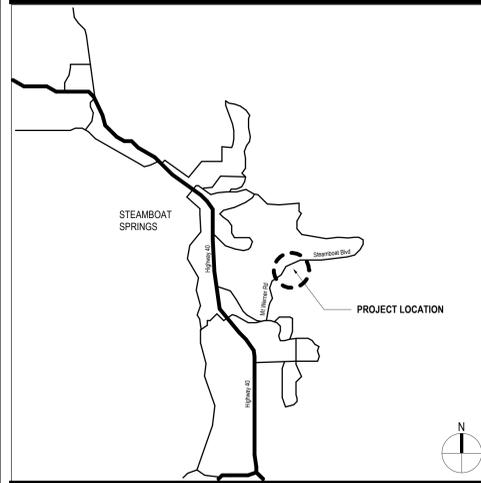
FIRE PREVENTION NOTES

1. THIS PROJECT DOES NOT INCLUDE STORAGE, DISPENSING OR USE OF ANY FLAMMABLE OR COMBUSTIBLE LIQUIDS, FLAMMABLE GAS OR HAZARDOUS SUBSTANCES.
2. ALL WOOD BLOCKING, CLEATS, GROUNDS, SHEATHING AND OTHER MISC. CARPENTRY ITEMS SHALL BE FIRE RETARDANT TREATED.
3. EXTEND OR MODIFY EXISTING FIRE/LIFE SAFETY SYSTEM AS REQUIRED TO PROVIDE AN APPROVED FIRE/LIFE SAFETY SYSTEM. SUBMIT PLANS TO FIRE DEPARTMENT WITH COMPLETE DESCRIPTION OF SEQUENCE OF OPERATION, AND OBTAIN APPROVAL PRIOR TO INSTALLATION.
4. EXTEND OR MODIFY EXISTING AUTOMATIC FIRE EXTINGUISHING SYSTEM AS REQUIRED TO PROVIDE AN APPROVED AUTOMATIC FIRE EXTINGUISHING SYSTEM. SUBMIT PLANS TO FIRE DEPARTMENT AND OBTAIN APPROVAL PRIOR TO INSTALLATION.
5. AUTOMATIC SPRINKLER SYSTEMS SHALL BE SUPERVISED BY AN APPROVED CENTRAL, PROPRIETARY OR REMOTE STATION SERVICE OR A LOCAL ALARM WHICH WILL GIVE AN AUDIBLE SIGNAL AT A CONSTANTLY ATTENDED LOCATION.

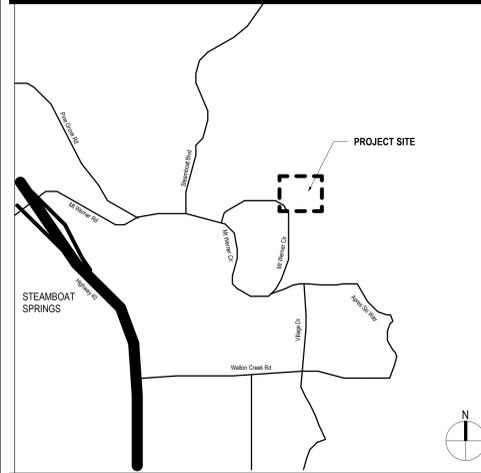
DEMOLITION NOTES

1. CONTRACTOR TO SCHEDULE ALL UTILITY SHUTDOWNS AND COORDINATE CUT AND CAP ACTIVITY WITH LOCAL UTILITY PROVIDERS. THE SURROUNDING BUILDINGS ARE OCCUPIED AND WILL REMAIN IN USE DURING CONSTRUCTION. CONTRACTOR TO COORDINATE WITH OWNER CONSTRUCTION OPERATIONS TO MINIMIZE DISRUPTION TO SURROUNDING BUILDING ACTIVITIES, INCLUDING NOISY OPERATIONS. ALL DEMOLITION DEBRIS TO BE REMOVED AND DISPOSED OF OFF SITE. REFERENCE SPECIFICATION SECTION 01 74 19 CONSTRUCTION WASTE MANAGEMENT PROCEDURES. OWNER SHALL REMOVE ALL ITEMS TO BE SALVAGED PRIOR TO DEMOLITION. REFERENCE OWNER PROVIDED CONSTRUCTION DRAWINGS FOR SPECIFIC CONSTRUCTION OF BUILDING ELEMENTS.
2. CONTRACTOR TO RETAIN AND SALVAGE SUFFICIENT QUANTITIES OF EXISTING MATERIALS TO BE REMOVED TO REPLACE AND PATCH WORK IN OTHER AREAS OF THE PROJECT.
3. REMOVE ABANDONED HVAC EQUIPMENT, DUCT WORK, CONTROLS, REGISTERS, GRILLES AND ALL ASSOCIATED HARDWARE & ACCESSORIES.
4. REMOVE ABANDONED ELECTRICAL, TELEPHONE, DATA, SECURITY AND SIMILAR OTHER CABLING, CONDUIT, EQUIPMENT AND DEVICES, UNLESS OTHERWISE NOTED.
5. REMOVE ABANDONED PLUMBING EQUIPMENT, VALVES, PIPING AND ALL ASSOCIATED HARDWARE & ACCESSORIES.
6. REMOVE DESIGNATED PARTITIONS, CEILINGS COMPONENTS, BUILDING EQUIPMENT, AND FIXTURES AS REQUIRED FOR NEW WORK.
7. PROVIDE AND MAINTAIN BARRICADES, LIGHTING, AND GUARDRAILS AS REQUIRED BY APPLICABLE CODES AND REGULATIONS TO PROTECT OCCUPANTS OF BUILDING AND WORKERS.
8. ERECT AND MAINTAIN DUSTPROOF PARTITIONS AS REQUIRED TO PREVENT SPREAD OF DUST, FUMES, AND SMOKE, ETC. TO OTHER PARTS OF THE BUILDING. ON COMPLETION, REMOVE PARTITIONS AND REPAIR DAMAGED SURFACES TO MATCH ADJACENT SURFACES.
9. REMOVE FROM SITE DAILY AND LEGALLY DISPOSE OF REFUSE, DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS. LEAVE ALL AREAS BROOM CLEAN DAILY.
10. IF DEMOLITION IS PERFORMED IN EXCESS OF THAT REQUIRED, RESTORE EFFECTED AREAS AT NO COST TO THE OWNER.
11. COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTION.
12. REMOVE EXISTING WORK AS REQUIRED TO ACCOMMODATE NEW WORK, EVEN WHERE NOT EXPRESSLY INDICATED ON DEMOLITION PLANS.
13. GENERAL CONTRACTOR TO INFORM ARCHITECT IMMEDIATELY IF UNFORESEEN CONDITIONS ARE UNCOVERED DURING DEMOLITION.

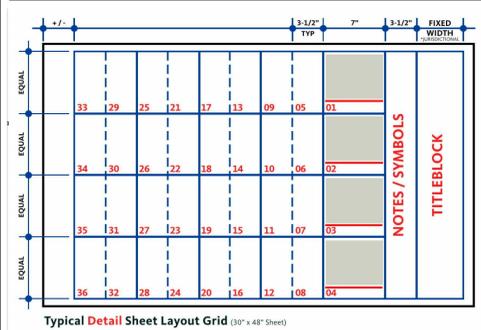
VICINITY MAP



LOCATION MAP



SHEET LAYOUT GRID SYSTEM



PROJECT INFORMATION

FOLLOWING ARE THE PLANS OUTLINING THE SCOPE OF WORK REQUIRED FOR THE COMPLETE DEMOLITION AND REMOVAL OF THE LOWER GONDOLA TERMINAL BUILDING (LGB) AND GONDOLA SQUARE BUILDING B AND THE STAGE ADJACENT TO THE LGB. ALL BUILDINGS ARE PART OF THE STEAMBOAT BASE VILLAGE COMPLEX.

THE DRAWINGS, IN CONCERT WITH THE PROJECT MANUAL, COMPLY THE CONTRACT DOCUMENTS OUTLINING THE DESIGN INTENT AND PROJECT SCOPE, AND MAY BE SUPPLEMENTED BY FURTHER INFORMATION ISSUED BY ARCHITECT.

THE DRAWINGS ARE ARRANGED IN GENERAL TO SPECIFIC ORDER, FOLLOWING A TOP TO BOTTOM, RIGHT TO LEFT FORMAT. CONTRACTORS ARE ADVISED TO READ AND FAMILIARIZE THEMSELVES WITH THE INFORMATION IN THE PROJECT MANUAL, AS WELL AS THE GENERAL LEGENDS CONTAINED IN THE SERIES OF DRAWINGS, PRIOR TO REVIEW OF THE PLANS, ELEVATIONS AND DETAILS. ADVISE THE ARCHITECT WHERE INTENT IS NOT CLEARLY PERCEIVED, PRIOR TO PROCEEDING WITH WORK.

BUILDING ADDRESS: 2305 MT. WERNER CIRCLE
STEAMBOAT SPRINGS, CO 80487

BUILDING JURISDICTION: ROUTT COUNTY, STEAMBOAT SPRINGS CO

APPLICABLE CODES:
2018 INTERNATIONAL BUILDING CODE
2018 INTERNATIONAL MECHANICAL CODE
2018 INTERNATIONAL PLUMBING CODE
2018 INTERNATIONAL FUEL GAS CODE
2018 INTERNATIONAL FIRE CODE
2020 NATIONAL ELECTRIC CODE
2018 INTERNATIONAL ENERGY CONSERVATION CODE
2009 ICC A117.1, ACCESSIBILITY REQUIREMENTS
2010 ADA ACCESSIBILITY GUIDELINES
ANSI/ASME A17.1, SAFETY CODE FOR ELEVATORS 2013
USEABLE BUILDING & FACILITIES CODE

OCCUPANCY TYPE: N/A

CONSTRUCTION TYPE: N/A

FIRE ALARM SYSTEM: N/A

FIRE SUPPRESSION: N/A

LEED: LEED B0&C V4 'CERTIFIED' LEVEL

DRAWING INDEX

| Sheet Number | Sheet Name | Current Revision to IFC (if applicable) | | |
|--------------------------|---|---|-------------------------------------|------------|
| | | Latest | Description | Date |
| 01 - GENERAL | | | | |
| GO.000 | COVER | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| GO.001 | DRAWING INDEX & PROJECT INFORMATION | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| GO.201 | SYMBOLS & ABBREVIATIONS | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| 02 - CIVIL | | | | |
| C.002 | CIVIL NOTES | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| C.003 | EXISTING CONDITIONS PLAN | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| C.004 | EXISTING PROPERTY EXHIBIT | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| C.020 | CIVIL DEMOLITION PLAN | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| C.021 | DETAILED DEMOLITION PLAN | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| 04 - STRUCTURAL | | | | |
| A-DS1.01 | LOWER GONDOLA BUILDING DEMO PLAN | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| B-DS1.00 | BUILDING B DEMO PLAN | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| 05 - ARCHITECTURE | | | | |
| AS0.000 | SITE PLAN - EXISTING CONDITIONS | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| D0.100 | DEMOLITION COMPOSITE PLAN - LOWER LEVEL B1 | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| D0.101 | DEMOLITION COMPOSITE PLAN - LEVEL 01 | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| D0.102 | DEMOLITION COMPOSITE PLAN - LEVEL 02 | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| D0.103 | DEMOLITION COMPOSITE PLAN - LEVEL 03 | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| D0.106 | DEMOLITION COMPOSITE PLAN - LEVEL ROOF | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| A-D1.100 | DEMOLITION PLANS - LOWER GONDOLA BUILDING - LOWER LEVEL B1 | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| A-D1.101 | DEMOLITION PLANS - LOWER GONDOLA BUILDING - LEVEL 01 | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| A-D1.102 | DEMOLITION PLANS - LOWER GONDOLA BUILDING - LEVEL 02 | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| A-D1.103 | DEMOLITION PLANS - LOWER GONDOLA BUILDING - LEVEL 03 | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| A-D1.106 | DEMOLITION PLANS - LOWER GONDOLA BUILDING - ROOF | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| A-D2.100 | DEMOLITION ELEVATIONS - LOWER GONDOLA BUILDING | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| A-D2.101 | DEMOLITION ELEVATIONS - LOWER GONDOLA BUILDING | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| A-D3.100 | DEMOLITION SECTIONS - LOWER GONDOLA BUILDING | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| A-D3.101 | DEMOLITION SECTIONS - LOWER GONDOLA BUILDING | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| A-D4.100 | DEMOLITION AXONOMETRIC - LOWER GONDOLA BUILDING & STAGE | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| B-D1.101 | DEMOLITION PLANS - BUILDING B - LEVEL 01 | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| B-D1.102 | DEMOLITION PLANS - BUILDING B - LEVEL 02 | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| B-D1.103 | DEMOLITION PLANS - BUILDING B - LEVEL 03 | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| B-D1.106 | DEMOLITION PLANS - BUILDING B - ROOF | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| B-D2.100 | DEMOLITION ELEVATIONS - BUILDING B | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| B-D3.100 | DEMOLITION SECTIONS - BUILDING B - EW | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| B-D3.101 | DEMOLITION SECTIONS - BUILDING B - EW | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| B-D3.102 | DEMOLITION SECTIONS - BUILDING B - NS | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| B-D4.100 | DEMOLITION AXONOMETRIC - BUILDING B | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| B-D4.101 | DEMOLITION AXONOMETRIC - BUILDING B | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| 08 - MECHANICAL | | | | |
| M0.000 | MECHANICAL LEGEND | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| M0.001 | MECHANICAL GENERAL NOTES | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| A-DM1.100 | MECHANICAL DEMOLITION PLAN - LOWER GONDOLA BUILDING - LOWER LEVEL 01 | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| A-DM1.101 | MECHANICAL DEMOLITION PLAN - LOWER GONDOLA BUILDING - LEVEL 01 | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| A-DM1.102 | MECHANICAL DEMOLITION PLAN - LOWER GONDOLA BUILDING - LEVEL 02 | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| A-DM1.103 | MECHANICAL DEMOLITION PLAN - LOWER GONDOLA BUILDING - LEVEL 03 | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| A-DM1.104 | MECHANICAL DEMOLITION PLAN - LOWER GONDOLA BUILDING - LEVEL 04 (ROOF) | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| B-DM1.101A | MECHANICAL DEMOLITION PLAN - BUILDING B - LEVEL 01 - NORTH | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| B-DM1.101B | MECHANICAL DEMOLITION PLAN - BUILDING B - LEVEL 01 - SOUTH | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| B-DM1.102A | MECHANICAL DEMOLITION PLAN - BUILDING B - LEVEL 02 - NORTH | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| B-DM1.102B | MECHANICAL DEMOLITION PLAN - BUILDING B - LEVEL 02 - SOUTH | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| B-DM1.103 | MECHANICAL DEMOLITION PLAN - BUILDING B - LEVEL 03 | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| B-M1.101A | MECHANICAL PLAN - BUILDING B - LEVEL 01 - NORTH | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| B-M1.101B | MECHANICAL PLAN - BUILDING B - LEVEL 01 - SOUTH | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| B-M1.102A | MECHANICAL PLAN - BUILDING B - LEVEL 02 - NORTH | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| B-DM2.100 | SITE PLAN DEMOLITION SNOWMELT | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| B-DM2.101 | BOILER ROOM MECHANICAL DEMOLITION | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| 10 - ELECTRICAL | | | | |
| A-DE0.000 | ELECTRICAL LEGEND | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| A-DE1.100 | ELECTRICAL DEMOLITION PLAN - LOWER GONDOLA BUILDING - LOWER LEVEL 01 | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| A-DE1.101 | ELECTRICAL DEMOLITION PLAN - LOWER GONDOLA BUILDING - LEVEL 01 | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| A-DE1.102 | ELECTRICAL DEMOLITION PLAN - LOWER GONDOLA BUILDING - LEVEL 02 | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| A-DE1.103 | ELECTRICAL DEMOLITION PLAN - LOWER GONDOLA BUILDING - LEVEL 03 | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| A-DE1.104 | ELECTRICAL DEMOLITION PLAN - LOWER GONDOLA BUILDING - LEVEL 04 (ROOF) | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| B-DE1.101 | ELECTRICAL DEMOLITION PLAN - BUILDING B - LEVEL 01 - NORTH | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| B-DE1.102 | ELECTRICAL DEMOLITION PLAN - BUILDING B - LEVEL 02 - NORTH | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| B-DE1.103 | ELECTRICAL DEMOLITION PLAN - BUILDING B - LEVEL 03 | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |
| B-DE1.104 | ELECTRICAL DEMOLITION PLAN - BUILDING B - ROOF | 1 | BP2A: DEMOLITION-LGB, BLDG B, STAGE | 2021.02.26 |

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ALTRERA east west partners
MOUNTAIN COMPANY

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United States
Tel 303.431.6100

| Date | Description |
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| 1 2021.02.26 | BP2A: DEMOLITION-LGB, BLDG B, STAGE |

PROJECT TEAM

- OWNER: ALTRERA MTN CO REAL ESTATE DEVELOPMENT, INC
3501 WAZEE STREET, SUITE 400
DENVER, CO 80216
ATTN: MIKE SCHMIDT
- CIVIL ENGINEER: LANDMARK CONSULTANTS, INC.
141 9TH STREET
STEAMBOAT SPRINGS, CO 80477
(970) 871-9494
- LANDSCAPE ARCHITECT: DESIGN WORKSHOP
1390 LAWRENCE STREET, SUITE 100
DENVER, CO 80204
(303) 623-5186
- ARCHITECT: GENSLER
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DENVER, CO 80202
(303) 595-8886
- STRUCTURAL ENGINEER: MARTIN / MARTIN CONSULTING ENGINEERS
12499 WEST COLFAX AVE
LAKEWOOD, CO 80215
(303) 431-6100
- MECHANICAL ENGINEER: ME-ENGINEERS
14143 DENVER WEST PARKWAY, SUITE 300
GOLDEN, CO 80401
(303) 421-6655
- PLUMBING ENGINEER: ME-ENGINEERS
14143 DENVER WEST PARKWAY, SUITE 300
GOLDEN, CO 80401
(303) 421-6655
- ELECTRICAL ENGINEER: ME-ENGINEERS
14143 DENVER WEST PARKWAY, SUITE 300
GOLDEN, CO 80401
(303) 421-6655

Seal / Signature



Project Name
SSRC | BASE AREA IMPROVEMENTS

Project Number
003.7835.000

Description
DRAWING INDEX & PROJECT INFORMATION

Scale
12" = 1'-0"

G0.001

GENERAL NOTES

- TOPOGRAPHIC AND EXISTING CONDITIONS MAPPED BY LANDMARK CONSULTANTS, INC. (LANDMARK)
- CITY OF STEAMBOAT SPRINGS PLAN REVIEW AND APPROVAL IS ONLY FOR GENERAL CONFORMANCE WITH CITY DESIGN CRITERIA AND THE CITY CODE. THE CITY IS NOT RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF THE DRAWINGS, DESIGN, DIMENSIONS, AND ELEVATIONS SHALL BE CONFIRMED AND CORRELATED AT THE JOB SITE.
- ONE COPY OF THE APPROVED CONSTRUCTION PLANS AND SPECIFICATIONS SHALL BE KEPT ON THE JOB SITE AT ALL TIMES. PRIOR TO THE START OF CONSTRUCTION, VERIFY WITH THE PROJECT ENGINEER THE LATEST REVISION DATE OF THE APPROVED CONSTRUCTION PLANS.
- ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION OF PUBLIC IMPROVEMENTS SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS SET FORTH IN THE CITY OF STEAMBOAT SPRINGS TECHNICAL SPECIFICATIONS (MARCH 2018 EDITION), THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION BY THE COLORADO DEPARTMENT OF TRANSPORTATION (2017 EDITION), AND APPLICABLE STATE AND FEDERAL REGULATIONS, WHERE THERE IS A DIRECT CONFLICT BETWEEN THEM, THE LATEST IS APPLICABLE. COORDINATE WITH THE PROJECT ENGINEER SO THAT INSPECTING AND TESTING ARE HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE NEGLIGENCE OF THE OWNER, THE ENGINEER, OR THE GOVERNING AGENCIES.
- ALL WATER AND SANITARY SEWER CONSTRUCTION AND RELATED WORK SHALL CONFORM TO THE MOUNT WERNER WATER STANDARD SPECIFICATIONS FOR WATER AND WASTEWATER UTILITIES, CURRENT EDITION.
- ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AS REQUIRED MUST BE OBTAINED IN ORDER TO PERFORM THE WORK. THIS INCLUDES, BUT IS NOT LIMITED TO, RIGHT-OF-WAY PERMIT, GRADING AND EXCAVATION PERMIT, CONSTRUCTION DOWATERING PERMIT, STORM WATER QUALITY PERMIT, ARMY CORP OF ENGINEER PERMIT, ETC. IT IS THE APPLICABLE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF ALL APPLICABLE CODES, LICENSES, SPECIFICATIONS, AND STANDARDS NECESSARY TO PERFORM THE WORK, AND BE FAMILIAR WITH THEIR CONTENTS PRIOR TO COMMENCING ANY WORK.
- PRIOR TO ANY WORK IN THE CITY RIGHT-OF-WAY INCLUDING STREET CUTS, CONTACT THE CITY OF STEAMBOAT SPRINGS STREET DEPARTMENT AT 970.879.1807 FOR PERMIT REQUIREMENTS. NO WORK SHALL OCCUR IN THE ROW BETWEEN NOVEMBER 1 - APRIL 1 UNLESS A WRITTEN VARIANCE HAS BEEN APPROVED AND ISSUED BY THE CITY PUBLIC WORKS DIRECTOR.
- PRIOR TO CLOSURE OF ANY STREET OR PART OF STREET, AN APPROVED OBSTRUCTION PERMIT MUST BE ISSUED BY CITY CONSTRUCTION SERVICES FOREMAN.
- PRIOR TO START OF CONSTRUCTION A PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED WITH THE APPROPRIATE CONTRACTORS, ENGINEER, SURVEYOR, TESTING COMPANY, AFFECTED AGENCIES AND KEY SUBCONTRACTORS A MINIMUM OF 48-HOURS PRIOR TO THE START OF WORK.
- THE LOCAL ENTITY AND ENGINEER SHALL BE NOTIFIED AT LEAST 2 WORKING DAYS PRIOR TO THE START OF ANY EARTH DISTURBING ACTIVITY, OR CONSTRUCTION ON ANY AND ALL PUBLIC IMPROVEMENTS. THE LOCAL ENTITY RESERVES THE RIGHT NOT TO ACCEPT THE IMPROVEMENTS IF SUBSEQUENT TESTING REVEALS AN IMPROPER INSTALLATION.
- COORDINATE WITH THE PROJECT ENGINEER TO IDENTIFY PROJECT INSPECTION AND TESTING REQUIREMENTS. PROVIDE FOR INSPECTIONS AND TESTING AT AN ADEQUATE FREQUENCY FOR THE PROJECT ENGINEER TO DOCUMENT THAT PROJECT IS CONSTRUCTED IN CONFORMANCE WITH THE APPROVED PLANS AND SPECIFICATIONS, PRIOR TO MAKING ANY CHANGES TO THE APPROVED PLANS. IT IS THE APPROPRIATE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE PROJECT ENGINEER.
- PROVIDE THE OWNER, ENGINEER, THEIR CONSULTANTS, INDEPENDENT TESTING LABORATORIES, ANY GOVERNMENTAL AGENCIES WITH JURISDICTIONAL INTERESTS, OTHER REPRESENTATIVES AND PERSONNEL, ACCESS TO THE SITE AND THE WORK AT REASONABLE TIMES FOR THEIR OBSERVATION, INSPECTING, AND TESTING. PROVIDE THEM PROPER AND SAFE CONDITIONS FOR SUCH ACCESS AND ADVISE THEM OF THE DEVELOPER'S SITE SAFETY PROCEDURES AND PROGRAMS SO THAT THEY MAY COMPLY THEREWITH AS IS APPLICABLE. COORDINATE WITH THE PROJECT ENGINEER SO THAT INSPECTING AND TESTING ARE PROVIDED AT AN ADEQUATE FREQUENCY FOR THE PROJECT ENGINEER TO AFFIRM THAT WORK WAS COMPLETED IN SUBSTANTIAL CONFORMANCE WITH THESE APPROVED PLANS.
- NO WORK MAY COMMENCE WITHIN ANY IMPROVED PUBLIC RIGHT-OF-WAY UNTIL A RIGHT-OF-WAY PERMIT OR APPROPRIATE CONSTRUCTION PERMIT IS OBTAINED. IF APPLICABLE, SUBMIT A CONSTRUCTION TRAFFIC CONTROL PLAN, IN ACCORDANCE WITH MUTCD, TO THE APPROPRIATE RIGHT-OF-WAY AUTHORITY (LOCAL ENTITY, COUNTY OR STATE), FOR APPROVAL PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN, OR AFFECTING, THE RIGHT-OF-WAY. PROVIDE ANY AND ALL TRAFFIC CONTROL DEVICES AS MAY BE REQUIRED BY THE CONSTRUCTION ACTIVITIES.
- SUBMIT A CONSTRUCTION SITE MANAGEMENT PLAN (CSMP) FOR REVIEW AND APPROVAL BY THE CITY CONSTRUCTION SERVICES FOREMAN PRIOR TO START OF CONSTRUCTION. THE CSMP MUST BE MAINTAINED ON-SITE AND UPDATED AS NEEDED TO REFLECT CURRENT CONDITIONS.
- ALL CONTRACTORS ARE SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES, AS SHOWN ON THESE PLANS, IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO UNICCO AT 1-800-922-1987, AT LEAST 2 WORKING DAYS PRIOR TO BEGINNING EXCAVATION OR GRADING, TO HAVE ALL REGISTERED UTILITY LOCATIONS MARKED. OTHER UNREGISTERED UTILITY ENTITIES (E.G. DITCH, IRRIGATION COMPANY) ARE TO BE LOCATED BY CONTACTING THE RESPECTIVE REPRESENTATIVE. UTILITY SERVICE LATERALS ARE ALSO TO BE LOCATED PRIOR TO BEGINNING EXCAVATION OR GRADING. THE TYPE, SIZE, LOCATION AND NUMBER OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THE DRAWINGS. VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ALONG THE ROUTE OF THE WORK BEFORE COMMENCING NEW CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
- FIELD LOCATE AND VERIFY ELEVATIONS OF ALL EXISTING SEWER MAINS, WATER MAINS, CURBS, GUTTERS AND OTHER UTILITIES AT THE POINTS OF CONNECTION SHOWN ON THE PLANS, AND AT ANY UTILITY CROSSINGS PRIOR TO INSTALLING ANY OF THE NEW IMPROVEMENTS. IF A CONFLICT EXISTS AND/OR A DESIGN MODIFICATION IS REQUIRED, COORDINATE WITH THE ENGINEER TO MODIFY THE DESIGN. DESIGN MODIFICATION(S) MUST BE APPROVED BY THE LOCAL ENTITY PRIOR TO BEGINNING CONSTRUCTION.
- ALL UTILITY INSTALLATIONS WITHIN OR ACROSS THE ROADBED OR OTHER PAVED AREAS MUST BE COMPLETED PRIOR TO THE FINAL STAGES OF ROAD CONSTRUCTION. FOR THE PURPOSES OF THESE STANDARDS, ANY WORK INCLUDING, GRAVELS, PAVEMENTS, CURB AND GUTTER ABOVE THE SUBGRADE IS CONSIDERED FINAL STAGE WORK. ALL SERVICE LINES MUST BE STABILIZED BEYOND THE ROAD PLATFORM OR TO THE PROPERTY LINES AND MARKED SO AS TO REDUCE THE EXCAVATION NECESSARY FOR BUILDING CONNECTIONS.
- COORDINATE AND COOPERATE WITH THE LOCAL ENTITY, AND ALL UTILITY COMPANIES INVOLVED, WITH REGARD TO RELOCATIONS, ADJUSTMENTS, EXTENSIONS AND REARRANGEMENTS OF EXISTING UTILITIES DURING CONSTRUCTION, AND TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY FASHION AND WITH A MINIMUM DISRUPTION OF SERVICE. CONTACT, IN ADVANCE, ALL PARTIES AFFECTED BY ANY DISRUPTION OF ANY UTILITY SERVICE AS WELL AS THE UTILITY COMPANIES.
- NO WORK MAY COMMENCE WITHIN ANY PUBLIC STORM WATER, SANITARY SEWER OR POTABLE WATER SYSTEM UNTIL THE UTILITY PROVIDERS ARE NOTIFIED. NOTIFICATION SHALL BE A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO COMMENCEMENT OF ANY WORK. AT THE DISCRETION OF THE WATER UTILITY PROVIDER, A PRE-CONSTRUCTION MEETING MAY BE REQUIRED PRIOR TO COMMENCEMENT OF ANY WORK.
- PROTECT ALL UTILITIES DURING CONSTRUCTION AND FOR COORDINATE WITH THE APPROPRIATE UTILITY COMPANY FOR ANY UTILITY CROSSINGS REQUIRED.
- WHEN APPLICABLE, THE DEVELOPER AND/OR CONTRACTOR SHALL HAVE ON-SITE AT ALL TIMES, EACH OF THE FOLLOWING:
 - BEST MANAGEMENT PRACTICES (BMP) MAINTENANCE FOLDER
 - UP TO DATE STORMWATER MANAGEMENT PLAN (SWMP) THAT ACCURATELY REPRESENTS CURRENT FIELD CONDITIONS
 - ONE (1) SIGNED COPY OF THE APPROVED PLANS
 - ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS
 - A COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB.
- IF, DURING THE CONSTRUCTION PROCESS, CONDITIONS ARE ENCOUNTERED WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, CONTACT THE DESIGNER AND THE LOCAL ENTITY ENGINEER IMMEDIATELY.
- ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.
- PROVIDE ALL LABOR AND MATERIALS NECESSARY FOR THE COMPLETION OF THE INTENDED IMPROVEMENTS SHOWN ON THESE DRAWINGS, OR DESIGNATED TO BE PROVIDED, INSTALLED, OR CONSTRUCTED, UNLESS SPECIFICALLY NOTED OTHERWISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING AS-BUILT INFORMATION ON A SET OF RECORD DRAWINGS KEPT ON THE CONSTRUCTION SITE, AND AVAILABLE TO THE LOCAL ENTITY'S INSPECTOR AT ALL TIMES.
- DIMENSIONS FOR LAYOUT AND CONSTRUCTION ARE NOT TO BE SCALED FROM ANY DRAWING. IF PERTINENT DIMENSIONS OR ELEVATIONS ARE NOT SHOWN, CONTACT THE DESIGNER FOR CLARIFICATION, AND ANNOTATE THE PROVIDED DIMENSION ON THE AS-BUILT RECORD DRAWINGS. CONTOURS ARE NOT SUITABLE FOR CONSTRUCTION LAYOUT.
- SEQUENCE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO MINIMIZE POTENTIAL UTILITY CONFLICTS. IN GENERAL, GRADE RESTRICTED UTILITIES SUCH AS STORM SEWER AND SANITARY SEWER, SHOULD BE CONSTRUCTED PRIOR TO INSTALLATION OF THE WATER LINES AND DRY UTILITIES.
- EXISTING FENCES, TREES, STREETS, SIDEWALKS, CURBS AND GUTTERS, LANDSCAPING, STRUCTURES, AND IMPROVEMENTS DESTROYED, DAMAGED OR REMOVED DUE TO CONSTRUCTION OF THIS PROJECT SHALL BE REPLACED OR RESTORED IN LIKE KIND AT THE CONTRACTOR'S EXPENSE, UNLESS OTHERWISE INDICATED ON THESE PLANS.
- THESE CONSTRUCTION PLANS SHALL BE VALID FOR A PERIOD OF THREE YEARS FROM THE DATE OF APPROVAL BY THE A.H.J. USE OF THESE PLANS AFTER THE EXPIRATION DATE WILL REQUIRE A NEW REVIEW AND APPROVAL PROCESS BY THE LOCAL ENTITY PRIOR TO COMMENCEMENT OF ANY WORK SHOWN IN THESE PLANS.
- ALL CONSTRUCTION IN AREAS DESIGNATED AS WILD FIRE HAZARD AREAS SHALL BE DONE IN ACCORDANCE WITH THE CONSTRUCTION CRITERIA AS ESTABLISHED IN THE WILD FIRE HAZARD AREA MITIGATION REGULATIONS IN FORCE AT THE TIME OF CONSTRUCTION.
- THE CONTRACTOR AGREES THAT BY COMMENCING CONSTRUCTION THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE CONSTRUCTION OF THE PROJECT, INCLUDING, BUT NOT LIMITED TO THE SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE ENGINEER, AND THE GOVERNING AGENCIES AND THE OFFICERS, DIRECTORS, PARTNERS, EMPLOYEES, AGENTS AND OTHER CONSULTANTS OF EACH AND ANY OF THEM HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE NEGLIGENCE OF THE OWNER, THE ENGINEER, OR THE GOVERNING AGENCIES.
- NOTIFY THE ENGINEER IMMEDIATELY UPON DISCOVERING ANY CONFLICTS OR OTHER PROBLEMS IN CONFORMING TO THE APPROVED CONSTRUCTION DRAWINGS, SPECIFICATIONS OR DETAILS FOR ANY ELEMENT OF THE PROPOSED IMPROVEMENTS PRIOR TO PROCEEDING WITH ITS CONSTRUCTION.
- COORDINATE THE INSTALLATION OR RELOCATION OF THE DRY UTILITY COMPANY'S FACILITIES. COST OF THE DRY UTILITY WORK SHALL BE BORNE BY THE OWNER, EXCEPT AS INDICATED IN THE PLANS AND SPECIFICATIONS.
- PRESERVE PRIVATE AND PUBLIC PROPERTY AND PROTECT IT FROM DAMAGE THAT MAY RESULT FROM CONSTRUCTING THESE PROPOSED IMPROVEMENTS.
- ACCESS TO ALL ADJACENT PROPERTIES AND FACILITIES SHALL BE MAINTAINED AT ALL TIMES. REQUIRED INTERRUPTION OF ACCESS SHALL BE COORDINATED WITH THE PROPERTY AND PROJECT OWNERS.
- IF HAZARDOUS MATERIAL OR SUSPECT MATERIAL IS ENCOUNTERED NOTIFY THE OWNER AND ENGINEER BEFORE CONTINUING WORK. HAZARDOUS MATERIALS SHALL BE REMOVED AS REQUIRED.
- THE APPROPRIATE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SOURCE OF CONSTRUCTION WATER FOR USE ON THIS PROJECT.
- EXCESS MATERIAL SHALL BE REMOVED FROM SITE AND HANDLED IN ACCORDANCE TO ALL RULES AND REQUIREMENTS. A SEPARATE PERMIT MAY BE REQUIRED AND SHALL BE COORDINATED WITH THE AUTHORITY HAVING JURISDICTION.
- OFFSITE AND ADJACENT SITE DATA IS FOR REFERENCE PURPOSES ONLY.
- ALL LANDSCAPING, REVEGETATION AND WETLANDS REQUIREMENTS DESIGN BY OTHERS. ALL DISTURBED AREAS ARE TO BE REVEGETATED UNLESS OTHERWISE NOTED.
- ENSURE THAT WORK FOR THIS PROJECT BE PERFORMED BY CONTRACTORS (INCLUDING CONTRACTOR'S EMPLOYEES AND AGENTS) POSSESSING THE SKILLS, EXPERTISE AND UNDERSTANDING OF ALL APPLICABLE CODES, SPECIFICATIONS, STANDARDS AND MANUFACTURER REQUIREMENTS, BY COMMENCING WORK, THE CONTRACTORS REPRESENT THAT THEY UNDERSTAND AND ACCEPT THIS REQUIREMENT.
- ALL CONSTRUCTION ACTIVITIES AND DISTURBANCES SHALL OCCUR WITHIN THE PROPERTY LIMITS. WHERE OFF-SITE WORK IS APPROVED, WRITTEN PERMISSION OF THE ADJACENT PROPERTY OWNER MUST BE OBTAINED PRIOR TO ANY OFF-SITE GRADING OR CONSTRUCTION.

CONSTRUCTION NOTES

A. GRADING AND DRAINAGE

- NO WORK SHALL OCCUR IN WETLANDS OR FLOODPLAINS WITHOUT PERMITS. ANY WORK SHALL BE IN ACCORDANCE WITH ISSUED PERMITS.
- VEGETATED SLOPES GREATER THAN 3:1 REQUIRE SOIL STABILIZATION.
- CLEAN ALL INSTALLED CULVERTS AND STORM SEWERS PRIOR TO SUBSTANTIAL COMPLETION INSPECTIONS.
- LENGTHS SHOWN ON PLANS ARE HORIZONTAL LENGTHS FROM CENTER OF MANHOLE TO CENTER OF MANHOLE OR TO THE END OF THE FLARED END SECTIONS. ACTUAL LENGTHS MAY VARY.
- SLOPES ARE CALCULATED FROM INSIDE EDGE OF MANHOLE/STRUCTURE TO INSIDE EDGE OF MANHOLE/STRUCTURE.
- IMPERVIOUS CLAY DAMS ARE REQUIRED IN TRENCH AT 50-FT INTERVALS AND AT CHANGES IN PIPE DIRECTION AND/OR AT PIPE JUNCTIONS FOR ALL DRAINAGE STRUCTURES.
- MINIMUM RECOMMENDATIONS (TO BE CONFIRMED OR REPLACED BY GEOTECHNICAL ENGINEER): PROPOSED FILL AREAS WHERE PAVEMENT OR SITE CONCRETE IS ANTICIPATED SHOULD BE PREPARED BY STRIPPING EXISTING TOPSOIL AND ORGANIC MATERIALS, SCARIFICATION TO A DEPTH OF AT LEAST 8 INCHES AND COMPACTION TO MINIMUM VALUES BELOW MOISTURE CONDITIONING MAY BE REQUIRED TO ATTAIN STABILITY AND MINIMUM COMPACTION.

SITE FILLS AND TRENCH BACKFILL SHOULD CONSIST OF APPROVED ON-SITE OR IMPORTED MATERIALS. FILLS SHOULD BE UNIFORMLY PLACED AND COMPACTED IN 6 TO 8 INCH LOOSE LIFTS TO AT LEAST 95 PERCENT OF THE MAXIMUM STANDARD PROCTOR DENSITY AND WITHIN 2 PERCENT OF THE OPTIMUM MOISTURE CONTENT (ASTM D698). MOISTURE CONDITIONING OF FILL MATERIALS MAY BE REQUIRED TO ATTAIN MINIMUM COMPACTION AND STABILITY REQUIREMENTS.

- A GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED UNDER THE TITLE OF "SUBSOIL AND FOUNDATION INVESTIGATION, STEAMBOAT BASE AREA REDEVELOPMENT" BY NVCC DATED DECEMBER 30, 2020, AND THEIR RECOMMENDATIONS ARE HEREBY INCORPORATED HEREIN. IF A CONFLICT OR DISCREPANCY OCCURS, NOTIFY THE ENGINEER IMMEDIATELY UPON DISCOVERY.

B. CONSTRUCTION SITE AND STORMWATER MANAGEMENT

- CONTRACTOR SHALL SUBMIT A CONSTRUCTION SITE MANAGEMENT PLAN TO THE CITY FOR APPROVAL PRIOR TO BUILDING PERMIT ISSUANCE.
- WHEN REQUIRED THE CONTRACTOR SHALL PREPARE A STORMWATER MANAGEMENT PLAN. THE STORMWATER MANAGEMENT PLAN SHALL BE PREPARED BY A QUALIFIED INDIVIDUAL WITH KNOWLEDGE IN THE PRINCIPLES AND PRACTICES OF EROSION AND SEDIMENT CONTROL AND POLLUTION PREVENTION. THIS INDIVIDUAL SHOULD BE RESPONSIBLE FOR DEVELOPING, IMPLEMENTING, MAINTAINING, AND REVISING THE STORMWATER MANAGEMENT PLAN FOR THE DURATION OF THE PROJECT.
- THE STORMWATER MANAGEMENT PLAN SHOULD ADDRESS INSTALLATION, INSPECTION AND MAINTENANCE OF ALL NECESSARY EROSION AND SEDIMENT CONTROL DURING CONSTRUCTION AND REMOVE EROSION CONTROL WHEN PROJECT IS COMPLETE AND VEGETATION IS ESTABLISHED. WHEN TEMPORARY EROSION CONTROL MEASURES ARE REMOVED, CLEAN UP AND REMOVE ALL SEDIMENT AND DEBRIS FROM ALL DRAINAGE INFRASTRUCTURE AND OTHER PUBLIC FACILITIES.
- ALL REQUIRED PERIMETER SILT AND CONSTRUCTION FENCING SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITY (STOCKPILING, STRIPPING, GRADING, ETC.). ALL OTHER REQUIRED EROSION CONTROL MEASURES SHALL BE INSTALLED AT THE APPROPRIATE TIME IN THE CONSTRUCTION SEQUENCE AS INDICATED IN THE APPROVED PROJECT SCHEDULE, CONSTRUCTION PLANS, AND STORMWATER MANAGEMENT PLAN.
- ENSURE THAT NO MUD OR DEBRIS SHALL BE TRACKED ONTO THE EXISTING PUBLIC STREET SYSTEM. MUD AND DEBRIS MUST BE REMOVED BY THE END OF EACH WORKING DAY BY AN APPROPRIATE MECHANICAL METHOD (I.E. MACHINE BROOM SWEEP, LIGHT DUTY FRONT-END LOADER, ETC.) OR AS APPROVED BY THE LOCAL ENTITY STREET INSPECTOR.
- ALL STRUCTURAL EROSION CONTROL MEASURES SHALL BE INSTALLED AT THE LIMITS OF CONSTRUCTION AND AT AREAS WITH DISTURBED SOIL ON- OR OFF-SITE. PRIOR TO ANY OTHER GROUND-DISTURBING ACTIVITY, ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN GOOD REPAIR, UNTIL SUCH TIME AS THE ENTIRE DISTURBED AREA IS STABILIZED WITH HARD SURFACE OR LANDSCAPING TO MITIGATE EROSION. UTILIZE STANDARD EROSION CONTROL TECHNIQUES DESCRIBED IN THE URBAN STORM DRAINAGE CRITERIA MANUAL, VOLUME 3 - BEST MANAGEMENT PRACTICES, AS PUBLISHED BY THE URBAN DRAINAGE AND FLOOD CONTROL DISTRICT (UDFCO).
- PRE-DISTURBANCE VEGETATION SHALL BE PROTECTED AND RETAINED WHEREVER POSSIBLE. REMOVAL OR DISTURBANCE OF EXISTING VEGETATION SHALL BE LIMITED TO THE AREAS) REQUIRED FOR IMMEDIATE CONSTRUCTION OPERATIONS, AND FOR THE SHORTEST PRACTICAL PERIOD OF TIME.
- IMMEDIATELY CLEAN UP ANY CONSTRUCTION MATERIALS INADVERTENTLY DEPOSITED ON EXISTING STREETS, SIDEWALKS, OR OTHER PUBLIC RIGHTS OF WAY, AND MAKE SURF STREETS AND WALKWAYS ARE CLEANED AT THE END OF EACH WORKING DAY.
- ALL RETAINED SEDIMENTS, PARTICULARLY THOSE ON PAVED ROADWAY SURFACES, SHALL BE REMOVED AND DISPOSED OF IN A MANNER AND LOCATION SO AS NOT TO CAUSE THEIR RELEASE INTO ANY WATERS OF THE UNITED STATES.
- THE STORMWATER VOLUME CAPACITY OF DETENTION PONDS WILL BE RESTORED AND STORM SEWER LINES WILL BE CLEANED UPON COMPLETION OF THE PROJECT.
- THE COLORADO DISCHARGE PERMIT SYSTEM (CDPS) REQUIREMENTS MAKE IT UNLAWFUL TO DISCHARGE OR ALLOW THE DISCHARGE OF ANY POLLUTANT OR CONTAMINATED WATER FROM CONSTRUCTION SITES. POLLUTANTS INCLUDE, BUT ARE NOT LIMITED TO DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASHOUT, CHEMICALS, OIL AND GAS PRODUCTS, LITTER, AND SANITARY WASTE. TAKE WHATEVER MEASURES ARE NECESSARY TO ASSURE THE PROPER CONTAINMENT AND DISPOSAL OF POLLUTANTS ON THE SITE IN ACCORDANCE WITH ANY AND ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.
- THE DRAINAGE REPORT SHALL BE REFERENCED WHEN PREPARING THE PROJECT'S STORMWATER MANAGEMENT PLAN. A DRAFT DRAINAGE LETTER FOR THIS PROJECT WAS COMPLETED BY LANDMARK CONSULTANTS TITLED "DRAINAGE LETTER AND STORMWATER QUALITY PLAN GONDOLA PLAZA LOT 1 REPLAT OF PARCEL 2 & DRAINAGE LETTER AND STORMWATER QUALITY PLAN THE GOLDWALK GONDOLA SQUARE CONDOMINIUMS" AND ARE BOTH DATED FEBRUARY 10, 2021.

C. WATER AND SEWER NOTES

- ALL WATER AND SEWER CONSTRUCTION SHALL BE PER MT. WERNER WATER STANDARD SPECIFICATIONS, LATEST EDITION, AS APPLICABLE.
- MAINTAIN 10" HORIZONTAL AND 18" VERTICAL MINIMUM SEPARATION BETWEEN ALL SANITARY SEWER MAINS, WATER MAINS & SERVICES.
- MANHOLES LOCATED OUTSIDE OF THE ROADWAY SHALL PROTRUDE 1" ABOVE EXISTING GRADE TO REDUCE INFILTRATION. GRADE SURFACE TO DRAIN AROUND/AWAY FROM MANHOLE RIMS.
- ALL MANHOLES LOCATED IN THE ROADWAY SHALL HAVE RIM ELEVATIONS ADJUSTED TO 3" BELOW FINISHED GRADE. IF NECESSARY, CONE SECTIONS SHALL BE ROTATED TO PREVENT LIDS BEING LOCATED WITHIN VEHICLE OR BICYCLE WHEEL PATHS.
- SEWER SERVICE SHALL HAVE A MINIMUM OF 4-FT OF COVER.
- WATER SERVICE SHALL HAVE A MINIMUM OF 7-FT OF COVER.
- ALL WATER PIPE SHALL BE INSTALLED WITH A #10 SOLID COPPER WIRE COATED WITH 45 MIL POLYETHYLENE FOR LOCATING PURPOSES. "GLENN TEST STATIONS" BY VALVCO, INC TRACER WIRE TEST STATIONS SHALL BE INSTALLED ADJACENT TO ALL FIRE HYDRANTS. ADDITIONAL LOCATIONS MAY BE REQUIRED.
- THE PARTICLE SIZE OF BEDDING AND SHADING MATERIAL SHALL BE 3/4 INCH WASHED OR SCREENED ROCK (NOT ROAD BASE OR CLASS 6) AND SHALL EXTEND THE FULL WIDTH OF THE TRENCH.
- ALL MATERIALS USED FOR BACKFILL SHALL BE FREE FROM REFUSE ORGANIC MATERIAL, COBBLES, BOULDERS, LARGE ROCKS OR STONES OR FROZEN SOLS GREATER THAN 6-INCHES IN DIAMETER.
- ALL TRENCHES SHALL BE COMPACTED TO 95% AS DETERMINED BY ASTM D698 (STANDARD PROCTOR) OR AS SPECIFIED BY GEOTECHNICAL ENGINEER.

PROJECT NOTES

- AN AUTOCAD COMPATIBLE FILE WILL BE PROVIDED FOR CONSTRUCTION STAKING PURPOSES, UPON ACCEPTANCE OF LANDMARK'S CAD RELEASE POLICY.
- IF THESE DRAWINGS ARE PRESENTED IN A FORMAT OTHER THAN 24" X 36", THE GRAPHIC SCALE SHOULD NOT BE USED.

- THE CONTRACTOR ACKNOWLEDGES AND UNDERSTANDS THAT THE CONTRACT DOCUMENTS MAY REPRESENT IMPERFECT DATA AND MAY CONTAIN ERRORS, OMISSIONS, CONFLICTS, INCONSISTENCIES, CODE VIOLATIONS AND IMPROPER USE OF MATERIALS. SUCH DEFICIENCIES WILL BE CORRECTED WHEN IDENTIFIED. THE CONTRACTOR AGREES TO CAREFULLY STUDY AND COMPARE THE INDIVIDUAL CONTRACT DOCUMENTS AND REPORT AT ONCE IN WRITING THE OWNER ANY DEFICIENCIES THE CONTRACTOR MAY DISCOVER. THE CONTRACTOR FURTHER AGREES TO REQUIRE EACH SUBCONTRACTOR TO LIKEWISE STUDY THE DOCUMENTS AND REPORT AT ONCE ANY DEFICIENCIES DISCOVERED.

THE CONTRACTOR SHALL RESOLVE ALL REPORTED APPLICABLE DEFICIENCIES WITH LANDMARK PRIOR TO AWARDED ANY SUBCONTRACTS OR STARTING ANY WORK WITH THE CONTRACTOR'S OWN EMPLOYEES. IF ANY DEFICIENCIES CANNOT BE RESOLVED BY THE CONTRACTOR WITHOUT ADDITIONAL TIME OR ADDITIONAL EXPENSES, THE CONTRACTOR SHALL SO INFORM THE OWNER IN WRITING. ANY SUCH ADDITIONAL WORK PERFORMED PRIOR TO RECEIPT OF INSTRUCTIONS FROM THE OWNER WILL BE DONE AT THE CONTRACTOR'S RISK.

CONSTRUCTION PHASE SERVICES

IT IS UNDERSTOOD AND AGREED THAT LANDMARK DOES NOT HAVE AN OBLIGATION TO CONDUCT CONSTRUCTION OBSERVATION OR REVIEW OF THE CONTRACTOR'S PERFORMANCE OR ANY OTHER CONSTRUCTION PHASE SERVICES, AND THAT SUCH SERVICES WILL BE PROVIDED FOR BY THE OWNER AS MAY BE REQUIRED BY THE CITY OF STEAMBOAT SPRINGS. THE OWNER ASSUMES ALL RESPONSIBILITY FOR INTERPRETATION OF THESE CONSTRUCTION DOCUMENTS AND FOR CONSTRUCTION OBSERVATION AND THE OWNER WAIVES ANY CLAIMS AGAINST LANDMARK THAT MAY BE IN ANY WAY CONNECTED THERETO.

IN ADDITION, THE OWNER AGREES, TO THE FULLEST EXTENT PERMITTED BY LAW, TO INDEMNIFY AND HOLD HARMLESS LANDMARK, ITS OFFICERS, DIRECTORS, EMPLOYEES AND SUBCONSULTANTS (COLLECTIVELY, LANDMARK) AGAINST ALL DAMAGES, LIABILITIES OR COSTS, INCLUDING REASONABLE ATTORNEY'S FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PERFORMANCE OF SUCH SERVICES BY OTHER PERSONS OR ENTITIES AND FROM ANY AND ALL CLAIMS ARISING FROM MODIFICATIONS, CLARIFICATIONS, INTERPRETATIONS, ADJUSTMENTS OR CHANGES MADE TO THESE CONSTRUCTION DOCUMENTS TO REFLECT CHANGED FIELD OR OTHER CONDITIONS, EXCEPT FOR CLAIMS ARISING FROM THE SOLE NEGLIGENCE OR WILLFUL MISCONDUCT OF LANDMARK.

ABBREVIATIONS

| | |
|---------------|------------------------------------|
| ADA | AMERICANS WITH DISABILITIES ACT |
| APR | APPROXIMATE |
| BMP | BEST MANAGEMENT PRACTICE |
| BOT | BOTTOM |
| BVC/S | BEGIN VERTICAL CURVE STATION |
| BVCE | BEGIN VERTICAL CURVE ELEVATION |
| BR OR BOW | BOTTOM OF WALL |
| C&C | CUT & CAPPED |
| CAP | CORRUGATED ALUMINUM PIPE |
| CIP | CAST-IN-PLACE |
| CL | CENTERLINE |
| CMP | CORRUGATED METAL PIPE |
| C.O. | CLEAN OUT |
| CP | CONCRETE PIPE |
| CSP | CORRUGATED STEEL PIPE |
| DIA | DIAMETER |
| DIP | DUCTILE IRON PIPE |
| EG | EXISTING GROUND |
| ELEVATION | ELEVATION |
| EOA OR EA | EDGE OF ASPHALT |
| EOC | EDGE OF CONCRETE |
| EOP | EDGE OF PAVEMENT |
| EVCE | END VERTICAL CURVE ELEVATION |
| EVCS | END VERTICAL CURVE STATION |
| EX | EXISTING |
| F&G | FRAME & GRATE |
| F&C | FRAME & COVER |
| FES | FLARED END SECTION |
| FFE | FINISH FLOOR ELEVATION |
| FI | FIRE HYDRANT |
| FL | FLOW LINE |
| FG | FINISH GRADE |
| FG/BW | FINISH GRADE AT BOTTOM OF WALL |
| GB | GRADE BREAK |
| GFE | GARAGE FINISH FLOOR ELEVATION |
| GTD | GRADE TO DRAIN |
| HDPE | HIGH DENSITY POLYETHYLENE PIPE |
| INV | INVERT |
| LBS | POUNDS |
| LOD | LIMITS OF DISTURBANCE |
| ME/P | MECHANICAL, ELECTRIC, AND PLUMBING |
| MAX | MAXIMUM |
| ME | MATCH EXISTING |
| MH | MANHOLE |
| MIN | MINIMUM |
| MJ | MECHANICAL JOINT |
| NAP OR N.A.P. | NOT A PART (NOT INCLUDED IN SCOPE) |
| NTS | NOT TO SCALE |
| OFF | OFFSET |
| PC | POINT OF CURVE |
| PI | POINT OF INTERSECTION |
| PCC | POINT OF CONCAVE CURVE |
| PLDP | POROUS LANDSCAPE DETENTION POND |
| PRC | POINT OF REVERSE CURVE |
| PT | POINT OF TANGENT |
| PVC | POINT OF VERTICAL CURVE |
| PVC | POLYVINYL CHLORIDE PIPE |
| PVI | POINT OF VERTICAL INTERSECTION |
| PVT | POINT OF VERTICAL TANGENT |
| R | RADIUS |
| RCP | REINFORCED CONCRETE PIPE |
| REQ | REQUIRED |
| ROW | RIGHT OF WAY |
| STA | STATION |
| TB | THRUST BLOCK |
| TBC | TOP BACK OF CURB |
| TBR | TO BE REMOVED |
| TG | TOP OF GRADE |
| TOP | TOP OF PIPE |
| TTG | TAPERED TO GRADE |
| TW OR TOW | TOP OF WALL |
| TYP | TYPICAL |
| VCP | VITRIFIED CLAY PIPE |
| VOL | VOLUME |
| W | WITH |



ALERRA east west partners
MOUNTAIN COMPANY

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Tel 303.431.6100



14143 Denver West Pkwy
Suite 300
Golden, CO
United States
Tel 303.421.6655

| Date | Description |
|------|-------------|
|------|-------------|

1 2021.02.26 BP2A- DEMOLITION-LGB, BLDG B, STAGE



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SIGNATURE AND DATE

Seal / Signature

Project Name

SSRC | BASE AREA
IMPROVEMENTS

Project Number

003.7835.000

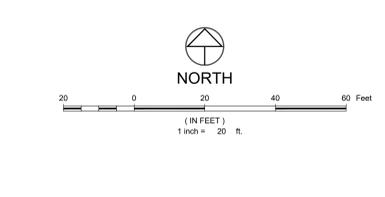
Description

CIVIL NOTES

Scale

SEE GRAPHICAL SCALE

C.002



LEGEND

| | |
|---|----------|
| BUILDING | [Symbol] |
| ROOF LINE/OVERHANG | [Symbol] |
| DECK | [Symbol] |
| WALL | [Symbol] |
| FENCE | [Symbol] |
| MAJOR CONTOUR | [Symbol] |
| MINOR CONTOUR | [Symbol] |
| ASPHALT | [Symbol] |
| CONCRETE | [Symbol] |
| GRAVEL | [Symbol] |
| WOOD DECKING | [Symbol] |
| SIGN | [Symbol] |
| SANITARY SEWER LINE MARKER | [Symbol] |
| MANHOLE AND CLEANOUT | [Symbol] |
| SEPTIC TANK LID AND VENT PIPE | [Symbol] |
| WATER LINE MARKER, FIRE HYDRANT | [Symbol] |
| GATE VALVE, CURB STOP & BLOWOFF | [Symbol] |
| FIRE DEPT. CONNECTION, YARD HYDRANT, | [Symbol] |
| VENT PIPE, WATER MANHOLE AND WELL | [Symbol] |
| GAS LINE MARKER, VALVE, | [Symbol] |
| MANHOLE/VAULT AND METER | [Symbol] |
| CABLE LINE MARKER, VAULT AND PEDESTAL | [Symbol] |
| FIBER OPTIC LINE MARKER, VAULT & PEDESTAL | [Symbol] |
| SATELLITE DISH | [Symbol] |
| TELEPHONE LINE MARKER, VAULT, | [Symbol] |
| PEDESTAL AND MANHOLE | [Symbol] |
| ELECTRIC LINE MARKER, TRANSFORMER, | [Symbol] |
| METER AND SECONDARY FEEDSTAL | [Symbol] |
| SNOW MELT DISTRIBUTION LINE AND VAULT | [Symbol] |
| SNOW MAKING WATER MAIN | [Symbol] |
| ELECTRIC MANHOLE, OUTLET, | [Symbol] |
| GENERATOR AND JUNCTION BOX | [Symbol] |
| LIGHT POLE AND LIGHT POLE W/ MAST | [Symbol] |
| PROPOSED DITCH/SWALE | [Symbol] |
| UTILITY POLE, GUY POLE & GUY WIRE | [Symbol] |
| DITCH/SWALE | [Symbol] |
| CULVERT W/ END SECTIONS | [Symbol] |
| STORM MANHOLE, AREA DRAIN, | [Symbol] |
| GRATE INLET AND CURB INLET | [Symbol] |
| CONCRETE | [Symbol] |
| AIR CONDITIONER, MAIL BOX, | [Symbol] |
| NEWSTAND AND TRASH CAN | [Symbol] |
| BOLLARD, AREA LIGHT AND FLAG POLE | [Symbol] |
| CONIFEROUS AND DECIDUOUS TREE | [Symbol] |
| (SCALED TO APPROX. DRIPLINE) | [Symbol] |
| CONIFEROUS AND DECIDUOUS SHRUB | [Symbol] |
| (SCALED TO APPROX. DRIPLINE) | [Symbol] |
| FINISHED FLOOR ELEVATION | [Symbol] |
| (SEE NOTE 10) | [Symbol] |

NOTES

- THIS EXISTING CONDITIONS PLAN DOES NOT REPRESENT A MONUMENTED LAND SURVEY OR IMPROVEMENT SURVEY PLAN. IT IS INTENDED ONLY TO DEPICT THAT INFORMATION REQUESTED BY OUR CLIENT.
- PARCEL AND RIGHT OF WAY BOUNDARIES ARE SHOWN HEREON BASED UPON THE APPLICABLE SUBDIVISION PLATS AND AVAILABLE PROPERTY CORNER MONUMENTS.
- BASIS OF HORIZONTAL CONTROL, COLORADO NORTH ZONE, STATE PLANE COORDINATE SYSTEM, NAD83(2011).
- UNITS SHOWN HEREON ARE IN US SURVEY FEET AND THE STANDARD OF DISTANCE ACCURACY FOR THIS MAP HAS BEEN DETERMINED TO BE GREATER THAN 1:10,000.
- SITE BENCHMARK: A RECOVERED 3" BRASS CAP MONUMENTING THE NORTHEAST CORNER OF SECTION 28, TOWNSHIP 6 NORTH, RANGE 84 WEST OF THE 6TH P.M. 5312 BRASS CAP ALSO BEING CITY OF STEAMBOAT SPRINGS GIS CONTROL POINT NUMBER 344, HAVING AN ELEVATION OF 6935.31 BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), AS SHOWN HEREON.
- CONTOUR INTERVAL = 1 FOOT
- BURIED UTILITIES AND/OR PIPE LINES ARE SHOWN PER VISIBLE SURFACE EVIDENCE, AS-BUILT DRAWINGS OF THE CONSTRUCTED UTILITY LINES AND MARKINGS PROVIDED BY A UTILITY LOCATING SERVICE. LOCATIONS SHOWN ARE APPROXIMATE. IF ANY UNDERGROUND UTILITY LOCATIONS ARE REQUIRED, THEY WILL HAVE TO BE VERIFIED BY FIELD POT-HOLING THE UTILITIES. LANDMARK CONSULTANTS, INC. AND THE SURVEYOR OF RECORD SHALL NOT BE LIABLE FOR THE LOCATION OF OR THE FAILURE TO NOTE THE LOCATION OF NON-VISIBLE UTILITIES.
- THE LAST FIELD INSPECTION OF THE SITE WAS ON JANUARY 5, 2021.
- ALL SYMBOLS ARE ONLY GRAPHICALLY REPRESENTED AND ARE NOT TO SCALE.
- FINISH FLOOR ELEVATIONS WERE OBTAINED BY MEASUREMENTS MADE ON LANDINGS OR DOOR SILLS OUTSIDE THE BUILDING. INTERIOR FLOOR ELEVATIONS SHOULD BE VERIFIED WHERE APPROPRIATE.
- WHERE 'MD' IS NOTED FOR STORM/AREA DRAIN INVERTS, THE DRAINS WERE MEASURED DOWN BUT IT WAS UNKNOWN WHETHER THE MEASUREMENT WAS TO A WYE, BEND OR INVERT DUE TO LACK OF VISIBILITY. THE 'MD' IS INTENDED TO REPRESENT MEASURED DEPTH. SOME DISCREPANCIES MAY EXIST.

Steamboat
ALTRERA east west partners
 MOUNTAIN COMPANY

2305 Mount Werner Circle
 Steamboat Springs, CO 80487

Gensler

1225 17th Street
 Suite 150
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LANDMARK
 CONSULTANTS, INC.

141 9th Street
 PO Box 774943
 Steamboat Springs, CO
 80477
 Tel 970.871.9494

DESIGNWORKSHOP

1390 Lawrence Street
 Suite 100
 Denver, CO 80204
 Tel 303.623.5186

MARTIN/MARTIN
 ENGINEERS

14143 Denver West Pkwy
 Suite 300
 Golden, CO
 United States
 Tel 303.431.6100

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| 1 | 2021.02.26 BP2A: DEMOLITION-LGB, BLDG B, STAGE |

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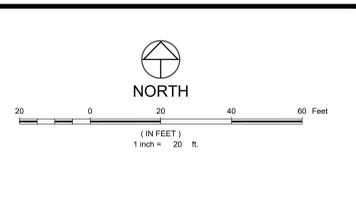
Project Name
SSRC | BASE AREA IMPROVEMENTS

Project Number
003.7835.000

Description
EXISTING CONDITIONS PLAN

Scale
SEE GRAPHICAL SCALE

C.003



EASEMENT LEGEND

- 1 RECEPTION NO. 693016 20' ACCESS EASEMENT EAST HOTEL ACROSS OSP
- 2 BOOK 729, PAGE 339, RECEPTION NO. 746975, BUDDY'S RUN DECK ENCROACHMENT EASEMENT
- 3 RECEPTION NO. 693287 INTERFACE EASEMENT
- 4 RECEPTION NO. 693287 INTERFACE EASEMENT, REVOCABLE PORTION
- 5 BOOK 552, PAGE 600 10' SANITARY SEWER EASEMENT
- 6 RECEPTION NO. 693286 PARKING, ACCESS & MAINTENANCE EASEMENT
- 7 BOOK 729, PAGE 338, RECEPTION NO. 487253, RECEPTION NO. 705674, EAST HOTEL ACCESS EASEMENT AS AMENDED BY RECEPTION NO.
- 8 BOOK 614, PAGE 49 10' RECREATION AND BICYCLE PATH EASEMENT
- 9 RECEPTION NO. 307130, FILE NO. 8623 12' PEDESTRIAN EASEMENT
- 10 BOOK 374, PAGE 365, BOOK 376, PAGE 316, RECEPTION NO. 770099 20' WATER LINE EASEMENT
- 11 BOOK 337, PAGE 337 PERPETUAL VISUAL EASEMENT
- 12 BOOK 393, PAGE 509 & BOOK 395, PAGE 376 ROAD EASEMENT
- 13 BOOK 412, PAGE 341 ENTRYWAY EASEMENT
- 14 BOOK 412, PAGE 343 ACCESS EASEMENT
- 15 BOOK 562, PAGE 70, RECEPTION NO. 727257, RECEPTION NO. 727903, LANDSCAPING AND ACCESS EASEMENT (BEAR CLAW R)
- 16 BOOK 745, PAGE 286 20' SEWER EASEMENT
- 17 RECEPTION NO. 673610 & 705975 SEWER EASEMENT, RECEPTION NO. 788275 SEWER EASEMENT
- 18 RECEPTION NO. 673610 & 705975 SEWER EASEMENT, RELOCATION AREA
- 19 RECEPTION NO. 788275 SEWER ENCROACHMENT AREA
- 20 RECEPTION NO. 679035 FIRE SEPARATION EASEMENT
- 21 RECEPTION NO. 692162 SKI EASEMENT
- 22 RECEPTION NO. 693153 WATER MAINS EASEMENT
- 23 RECEPTION NO. 692097, RECEPTION NO. 748729, RECEPTION NO. 702319, RECEPTION NO. 713742, PUBLIC IMPROVEMENTS EASEMENT (HATCHED)
- 24 RECEPTION NO. 692097, RECEPTION NO. 713742, PUBLIC IMPROVEMENTS EASEMENT (BOLLER HOUSE)
- 25 RECEPTION NO. 699720 SEWER MAINS EASEMENT
- 26 RECEPTION NO. 699721 WATER MAINS EASEMENT
- 27 RECEPTION NO. 718939, RECEPTION NO. 738617, PUBLIC IMPROVEMENTS EASEMENT (LITTLE P EASEMENT)
- 28 RECEPTION NO. 728242 ACCESS AND LANDSCAPE EASEMENT
- 29 BOOK 589, PAGE 238 & RECEPTION NO. 693278 ACCESS EASEMENT (1ST AMENDMENT EAST HOTEL ACCESS)
- 30 RECEPTION NO. 693296 STORM SEWER & ACCESS AND MAINTENANCE EASEMENT
- 31 RECEPTION NO. 693152 SANITARY SEWER EASEMENT
- 32 RECEPTION NO. ELECTRIC EASEMENT
- 33 RECEPTION NO. GAS EASEMENT
- 34 BOOK 552, PAGE 756 TELEPHONE EASEMENT
- 35 BOOK 601, PAGE 648 10' BICYCLE AND PEDESTRIAN EASEMENT
- 36 RECEPTION NO. 788276 DECK EASEMENT AGREEMENT
- 37 BOOK 629, PAGE 632 PEDESTRIAN ACCESS EASEMENT
- 38 BOOK 552, PAGE 620, BOOK 532, PAGE 774 10' SANITARY SEWER EASEMENT
- 39 BOOK 765, PAGE 976 BUILDING ENCROACHMENT EASEMENT
- 40 RECEPTION NO. 513746 (FILE NO. 12770), RECEPTION NO. 307130 (FILE NO. 8623) STORM SEWER EASEMENT
- 41 BOOK 552, PAGE 758 10' TELEPHONE EASEMENT
- 42 BOOK 598, PAGE 481 EXCLUSIVE PARKING SPACES, ENTRANCE FROM ACCESS ROUTE NO. 1, ENTRANCE FROM ACCESS ROUTE NO. 2, VEHICULAR AND PEDESTRIAN INGRESS AND EGRESS ACCESS EASEMENT, ACCESS ROUTE 1, STORAGE, CLOSET, ELEVATOR & STAIRWAY
- 43 BOOK 552, PAGE 774 10' ELECTRIC EASEMENT
- 44 BOOK 729, PAGE 342 HOTEL ACCESS EASEMENT
- 45 RECEPTION NO. 307130 ACCESS EASEMENT SKI HILL SUBDIVISION
- 46 BOOK 559, PAGE 98 TRUCK TURNAROUND LICENSE AGREEMENT
- 47 RECEPTION NO. 693286 INTERFACE EASEMENT
- 48 RECEPTION NO. 693289 NO BUILD EASEMENT
- 49 BOOK 598, PAGE 1487, EX A BUILDING IMPROVEMENT EASEMENT
- 50 RECEPTION NO. 693980 AERIAL TRAMWAY EASEMENT
- 51 RECEPTION NO. 690175 SHORING EASEMENT AGREEMENT
- 52 RECEPTION NO. 690206 GONDOLA EXPANSION EASEMENT (MULTIPLE EXHIBITS), GONDOLA SQUARE ACCESS EASEMENT, WEST SIDE DRAINAGE EASEMENT, ETC.
- 53 RECEPTION NO. 692383 PEDESTRIAN ACCESS EASEMENT OSP
- 54 BOOK 552, PAGE 802 10' WATERLINE EASEMENT
- 55 RECEPTION NO. 693285 PATIO EASEMENT, DOORWAY EASEMENT, ENTRY EASEMENTS
- 56 RECEPTION NO. 693280 SANITARY SEWER EASEMENT
- 57 RECEPTION NO. 693283 EMERGENCY ACCESS EASEMENT OSP
- 58 RECEPTION NO. 693289 SKI AREA EASEMENT, STORM SEWER & DRAINAGE EASEMENT, RECIPROCAL UTILITY EASEMENT, GONDOLA SQUARE ACCESS EASEMENT
- 59 RECEPTION NO. 693016, BOOK 729, PAGE 338 AGREEMENT (ACCESS TO EASTERN SIDE OF HOTEL)
- 60 RECEPTION NO. 693278 DECLARATION OF EASEMENT
- 61 RECEPTION NO. 690979 ACCESS EASEMENT
- 62 BOOK 598, PAGE 1487, EX C-7 WALKWAY EASEMENT
- 63 RECEPTION NO. 690209, BOOK 598, PAGE 1487, EX C-8 AND C-9 STORM SEWER LINE EASEMENT AND STORM LINE EASEMENT
- 64 BOOK 588, PAGE 473 PRIVATE RIGHT-OF-WAY
- 65 RECEPTION NO. 691986 OSP EASEMENT AREA
- 66 RECEPTION NO. 693018 RIGHT OF WAY EASEMENT (ELECTRIC)
- 67 RECEPTION NO. 693279 SNOWMAKING LINE EASEMENT
- 68 BOOK 588, PAGE 238 30' ACCESS EASEMENT
- 69 BOOK 519, PAGE 577 10' TELEPHONE EASEMENT
- 70 BOOK 729, PAGE 343 HOTEL BRIDGE ACCESS, PEDESTRIAN AND EMERGENCY AND MAINTENANCE VEHICLE ACCESS
- 71 BOOK 552, PAGE 762 ELECTRIC EASEMENT

| Date | Description |
|--------------|-------------------------------------|
| 1 2021.02.26 | BP2A: DEMOLITION-LGB, BLDG B, STAGE |

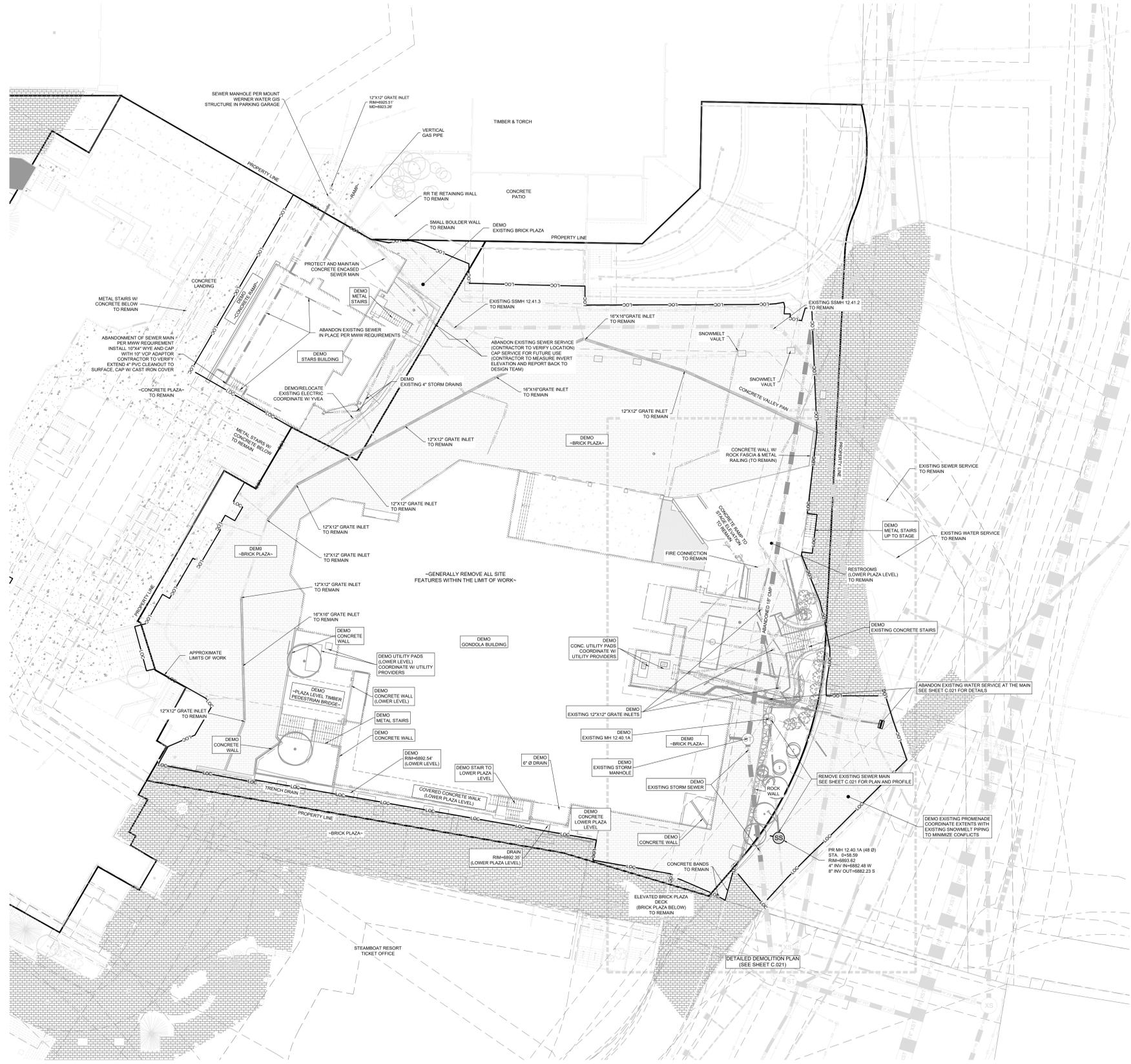
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Project Name
SSRC | BASE AREA IMPROVEMENTS
 Project Number
003.7835.000
 Description
EXISTING PROPERTY EXHIBIT

Scale
 SEE GRAPHICAL SCALE

C.004



LEGEND

| | |
|--|--|
| PROPOSED 8" SANITARY SEWER W/ MH & C.O. | |
| EXISTING 8" SANITARY SEWER W/ MH & C.O. | |
| EX. SANITARY SEWER TO BE REMOVED OR ABANDONED | |
| PROPOSED 8" WATER PIPE | |
| EXISTING WATER | |
| EX. WATER TO BE REMOVED OR ABANDONED | |
| EXISTING GV & FH | |
| EXIST 8" STORM/CULVERT, INLET, MH, END SECTION WITH RIPRAP | |
| EX. STORM/CULVERT TO BE REMOVED OR ABANDONED | |
| EXISTING ELECTRIC | |
| EX. ELECTRIC TO BE REMOVED OR ABANDONED | |
| EXISTING TELEPHONE | |
| EX. TELEPHONE TO BE REMOVED OR ABANDONED | |
| EXISTING TELEPHONE | |
| EX. TELEPHONE TO BE REMOVED OR ABANDONED | |
| PROBABLE LIMITS OF CONSTRUCTION (SUBJECT TO CHANGE BASED ON ENCOUNTERED CONDITIONS AND CONTRACTOR MEANS/METHODS) | |

NOTES

1. THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK, BEFORE COMMENCING NEW CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UNKNOWN UNDERGROUND UTILITIES.
2. EXISTING UNDERGROUND AND OVERHEAD PUBLIC AND PRIVATE UTILITIES AS SHOWN ARE INDICATED ACCORDING TO THE BEST INFORMATION MADE AVAILABLE TO THE ENGINEER. THE ENGINEER DOES NOT GUARANTEE NOR IS RESPONSIBLE FOR THE ACCURACY OF SUCH INFORMATION. EXISTING UTILITY MAINS AND SERVICES MAY NOT BE STRAIGHT LINES OR AS INDICATED ON THESE DRAWINGS. CONTRACTOR TO VERIFY EXISTING HORIZONTAL AND VERTICAL LOCATIONS PRIOR TO CONSTRUCTION.
3. ALL SEWER CONSTRUCTION SHALL BE PER MOUNT WERNER WATER STANDARD SPECIFICATIONS, LATEST EDITION.
4. MAINTAIN 10" HORIZONTAL AND 18" VERTICAL MINIMUM SEPARATION BETWEEN ALL SANITARY SEWER MAINS, WATER MAINS & SERVICES.
5. MANHOLES LOCATED OUTSIDE OF PAVEMENTS SHALL PROTRUDE 1' ABOVE EXISTING GRADE TO REDUCE INFILTRATION. GRADE SURFACE TO DRAIN AROUND/AWAY FROM MANHOLE RIMS.
6. ALL MANHOLES LOCATED IN PAVEMENTS SHALL HAVE RIM ELEVATIONS ADJUSTED TO 1" BELOW FINISHED GRADE. IF NECESSARY, CONE SECTIONS SHALL BE ROTATED TO PREVENT LIDS BEING LOCATED WITHIN VEHICLE OR BICYCLE WHEEL PATHS.
7. SEWER SERVICE SHALL HAVE A MINIMUM OF 4-FT OF COVER.
8. WATER SERVICE SHALL HAVE A MINIMUM OF 7-FT OF COVER.
9. ALL WATER PIPE SHALL BE INSTALLED WITH A #10 SOLID COPPER WIRE COATED WITH 45 MIL POLYETHYLENE FOR LOCATING PURPOSES. "X" MARK TEST STATIONS BY VALVCO, INC. TRACER WIRE TEST STATIONS SHALL BE INSTALLED ADJACENT TO ALL FIRE HYDRANTS. ADDITIONAL LOCATIONS MAY BE REQUIRED.
10. ALL MATERIALS USED FOR BACKFILL SHALL BE FREE FROM REFUSE ORGANIC MATERIAL, COBBLES, Boulders, LARGE ROCKS OR STONES OR FROZEN SOILS GREATER THAN 6-INCHES IN DIAMETER.
11. ALL TRENCHES SHALL BE COMPACTED TO 95% AS DETERMINED BY ASTM D698 (STANDARD PROCTOR) OR AS SPECIFIED BY GEOTECHNICAL ENGINEER.
12. BEDDING AND SHADING MATERIALS SHALL ONLY BE 3/4-INCH WASHED OR SCREENED ROCK, 3/4-INCH MINUS, SQUEEGEE OR REJECT SAND, OR CLASS 6 AGGREGATE BASE COURSE IS NOT ALLOWED.

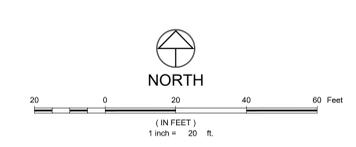
DEMOLITION NOTES

1. CONTRACTOR IS ENCOURAGED TO PERFORM DEMOLITION IN A MANNER THAT MAXIMIZED SALVAGE, RE-USE, AND RECYCLING OF MATERIALS. THIS INCLUDES APPROPRIATE SORTING AND STORING. IN PARTICULAR DEMOLISHED CONCRETE, ASPHALT, AND BASE COURSE SHOULD BE RECYCLED IF POSSIBLE.
2. CONTRACTOR SHALL COORDINATE SITE DEMOLITION OPERATIONS WITH ALL OTHER TRADES PERFORMING WORK ON THE PROJECT.
3. CONTRACTOR SHALL REPLACE, REPAIR AND/OR RESTORE TO ORIGINAL CONDITION, ALL BUILDINGS AND SITE IMPROVEMENTS, NOT DESIGNATED FOR REMOVAL, THAT ARE DAMAGED AS A RESULT OF CONSTRUCTION OPERATIONS. AT NO ADDITIONAL COST TO OWNER, IF UTILITIES ARE DAMAGED, CONTRACTOR SHALL VERIFY REPLACEMENT REQUIREMENTS WITH UTILITY PROVIDERS AND ARRANGE FOR IMMEDIATE REPAIR.
4. QUANTITIES SHOWN ON DRAWINGS ARE APPROXIMATE AND SHALL BE VERIFIED IN THE FIELD.

PROMENADE NOTES

THE EXTENTS OF PROMENADE DEMOLITION IS SUBJECT TO VARY BASED UPON THE EXISTING SNOWMELT SYSTEM REGIONS. SNOWMELT SYSTEM REGIONS WILL BE IDENTIFIED IN THE FIELD AND RECOMMENDATIONS OF REMOVAL AND REPLACEMENT BEST PRACTICES WILL BE IDENTIFIED AT THAT TIME.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT AND MAINTAIN THE REMAINING PROMENADE AND SUBSEQUENT SNOWMELT REGIONS THROUGHOUT CONSTRUCTION.



| Date | Description |
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| 1 2021.02.26 | BP2A- DEMOLITION-LGB, BLDG B, STAGE |



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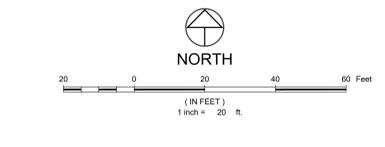
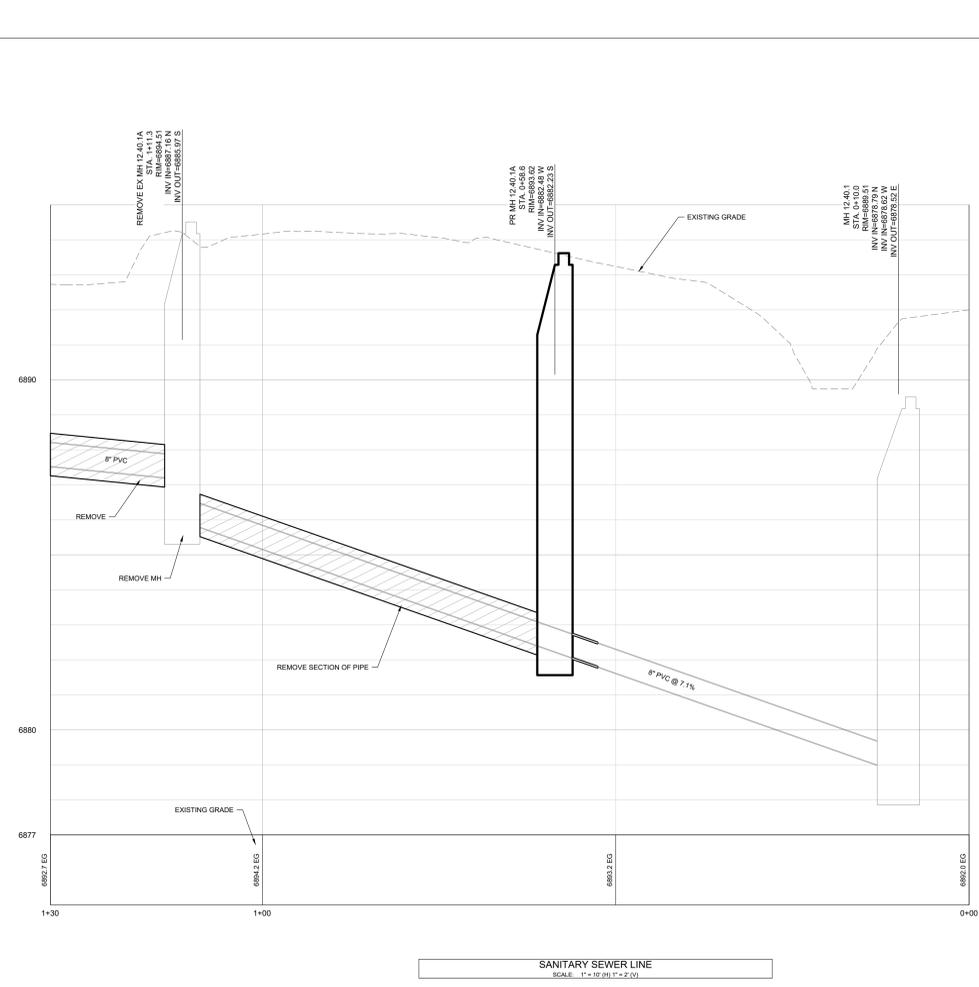
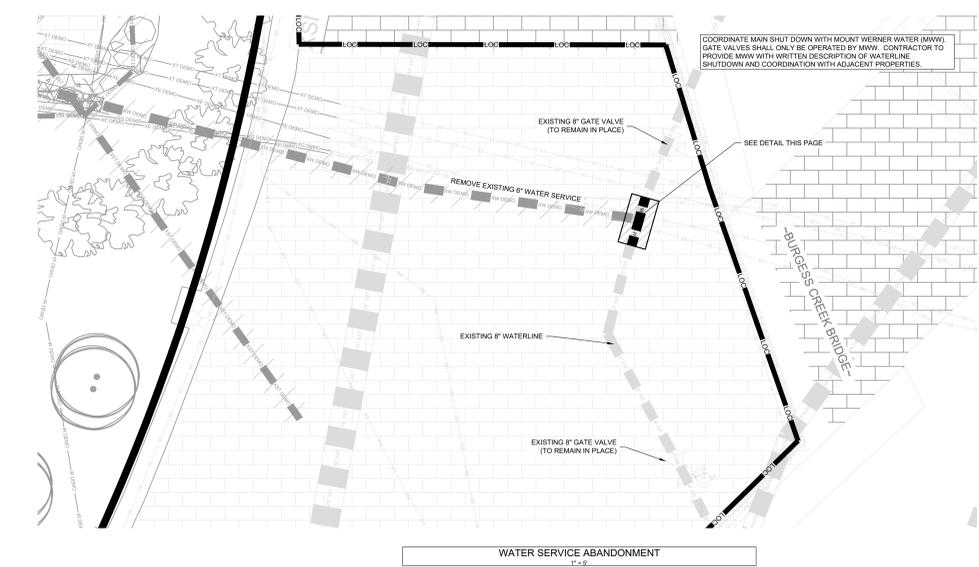
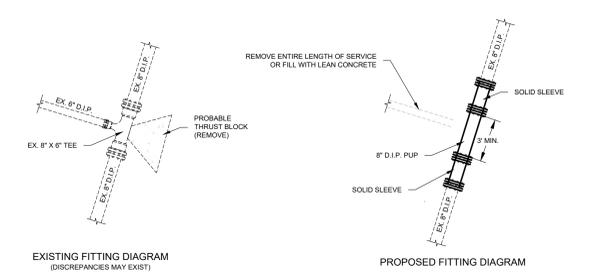
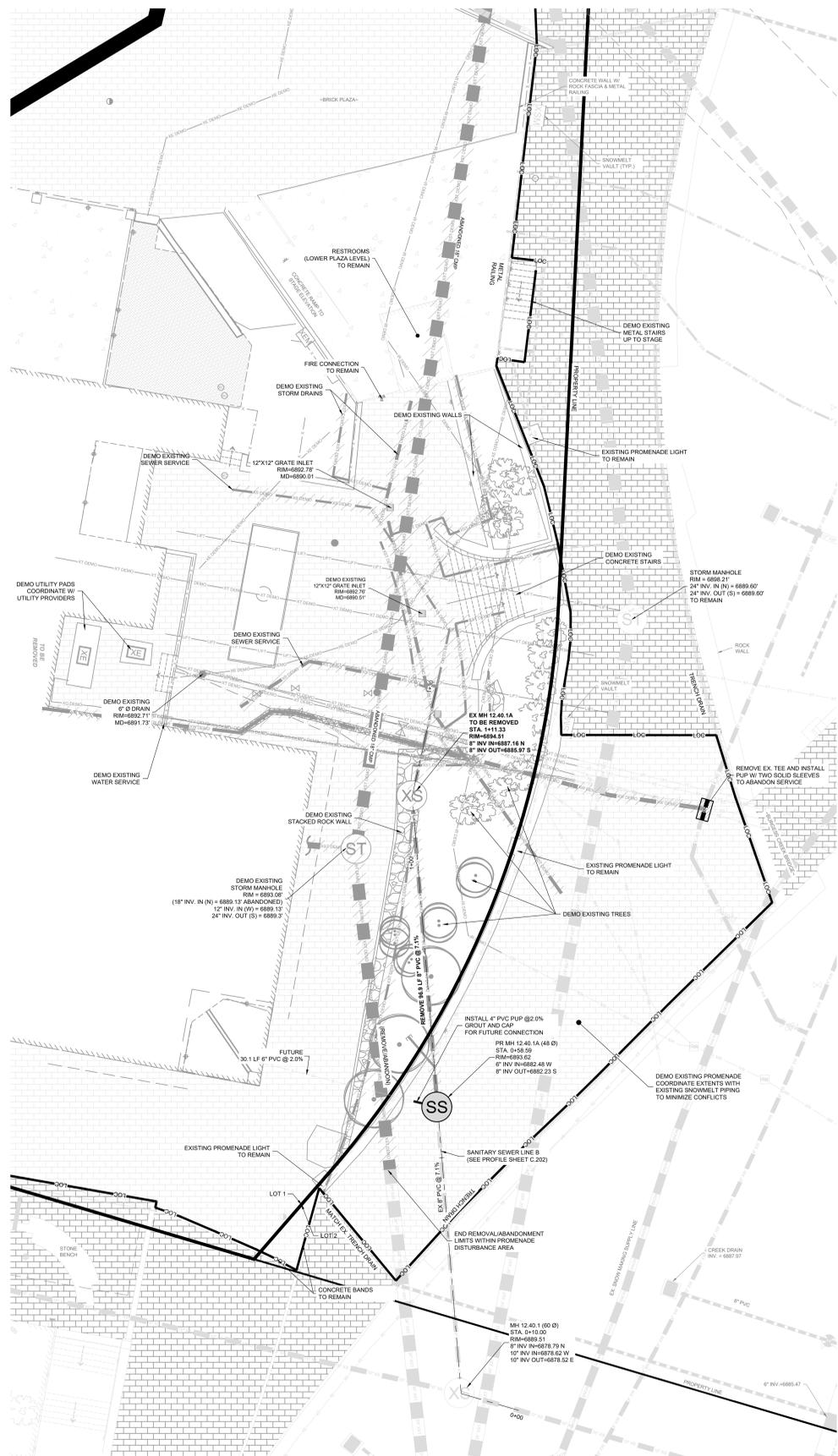
Seal / Signature

Project Name
SSRC | BASE AREA IMPROVEMENTS

Project Number
003.7835.000

Description
CIVIL DEMOLITION PLAN

Scale
 SEE GRAPHICAL SCALE



LEGEND

| | |
|--|----------|
| PROPOSED 8" SANITARY SEWER W/ MH & C.O. | 8" SS |
| EXISTING 8" SANITARY SEWER W/ MH & C.O. | 8" SS |
| EX. SANITARY SEWER TO BE REMOVED OR ABANDONED | XS DEMO |
| PROPOSED 8" WATER PIPE | 8" W |
| EXISTING WATER | 8" XW |
| EX. WATER TO BE REMOVED OR ABANDONED | XW DEMO |
| EXISTING GV & FH | GV |
| EXIST 8" STORMCULVERT, INLET, MH, END SECTION WITH RIPRAP | 8" ST |
| EX. STORMCULVERT TO BE REMOVED OR ABANDONED | XST DEMO |
| EXISTING ELECTRIC | XE |
| EX. ELECTRIC TO BE REMOVED OR ABANDONED | XE DEMO |
| EXISTING TELEPHONE | XT |
| EX. TELEPHONE TO BE REMOVED OR ABANDONED | XT DEMO |
| EXISTING TELEPHONE | XG |
| EX. TELEPHONE TO BE REMOVED OR ABANDONED | XG DEMO |
| PROBABLE LIMITS OF CONSTRUCTION (SUBJECT TO CHANGE BASED ON ENCOUNTERED CONDITIONS AND CONTRACTOR MEANS/METHODS) | LOC |

NOTES

1. THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK, BEFORE COMMENCING NEW CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UNKNOWN UNDERGROUND UTILITIES.
2. EXISTING UNDERGROUND AND OVERHEAD PUBLIC AND PRIVATE UTILITIES AS SHOWN ARE INDICATED ACCORDING TO THE BEST INFORMATION MADE AVAILABLE TO THE ENGINEER. THE ENGINEER DOES NOT GUARANTEE OR IS RESPONSIBLE FOR THE ACCURACY OF SUCH INFORMATION. EXISTING UTILITY MAINS AND SERVICES MAY NOT BE STRAIGHT LINES OR AS INDICATED ON THESE DRAWINGS. CONTRACTOR TO VERIFY EXISTING HORIZONTAL AND VERTICAL LOCATIONS PRIOR TO CONSTRUCTION.
3. ALL SEWER CONSTRUCTION SHALL BE PER MOUNT WERNER WATER STANDARD SPECIFICATIONS, LATEST EDITION.
4. MAINTAIN 10" HORIZONTAL AND 18" VERTICAL MINIMUM SEPARATION BETWEEN ALL SANITARY SEWER MAINS, WATER MAINS & SERVICES.
5. MANHOLES LOCATED OUTSIDE OF PAVEMENTS SHALL PROTRUDE 1' ABOVE EXISTING GRADE TO REDUCE INFILTRATION. GRADE SURFACE TO DRAIN AROUND/AWAY FROM MANHOLE RIMS.
6. ALL MANHOLES LOCATED IN PAVEMENTS SHALL HAVE RIM ELEVATIONS ADJUSTED TO 1" BELOW FINISHED GRADE. IF NECESSARY, CONE SECTIONS SHALL BE ROTATED TO PREVENT LIDS BEING LOCATED WITHIN VEHICLE OR BICYCLE WHEEL PATHS.
7. SEWER SERVICE SHALL HAVE A MINIMUM OF 4-FT OF COVER.
8. WATER SERVICE SHALL HAVE A MINIMUM OF 7-FT OF COVER.
9. ALL WATER PIPE SHALL BE INSTALLED WITH A #10 SOLID COPPER WIRE COATED WITH 46 MIL POLYETHYLENE FOR LOCATING PURPOSES. "SLENN TEST STATIONS" BY VALVCO, INC. TRACER WIRE TEST STATIONS SHALL BE INSTALLED ADJACENT TO ALL FIRE HYDRANTS. ADDITIONAL LOCATIONS MAY BE REQUIRED.
10. ALL MATERIALS USED FOR BACKFILL SHALL BE FREE FROM REFUSE ORGANIC MATERIAL, COBBLES, BOLLERS, LARGE ROCKS OR STONES OR FOSTEN SOILS GREATER THAN 6-INCHES IN DIAMETER.
11. ALL TRENCHES SHALL BE COMPACTED TO 95% AS DETERMINED BY ASTM D698 (STANDARD PROCTOR) OR AS SPECIFIED BY GEOTECHNICAL ENGINEER.
12. BEDDING AND SHADING MATERIALS SHALL ONLY BE 3/4-INCH WASHED OR SCREENED ROCK. 3/4-INCH MINUS, SQUEEGEE OR REJECT SAND, OR CLASS 6 AGGREGATE BASE COURSE IS NOT ALLOWED.

DEMOLITION NOTES

1. CONTRACTOR IS ENCOURAGED TO PERFORM DEMOLITION IN A MANNER THAT MAXIMIZED SALVAGE, RE-USE, AND RECYCLING OF MATERIALS. THIS INCLUDES APPROPRIATE SORTING AND STORING. IN PARTICULAR DEMOLISHED CONCRETE, ASPHALT, AND BASE COURSE SHOULD BE RECYCLED IF POSSIBLE.
2. CONTRACTOR SHALL COORDINATE SITE DEMOLITION OPERATIONS WITH ALL OTHER TRADES PERFORMING WORK ON THE PROJECT.
3. CONTRACTOR SHALL REPLACE, REPAIR AND/OR RESTORE TO ORIGINAL CONDITION, ALL BUILDINGS AND SITE IMPROVEMENTS, NOT DESIGNATED FOR REMOVAL, THAT ARE DAMAGED AS A RESULT OF CONSTRUCTION OPERATIONS. AT NO ADDITIONAL COST TO OWNER, IF UTILITIES ARE DAMAGED, CONTRACTOR SHALL VERIFY REPLACEMENT REQUIREMENTS WITH UTILITY PROVIDERS AND ARRANGE FOR IMMEDIATE REPAIR.
4. QUANTITIES SHOWN ON DRAWINGS ARE APPROXIMATE AND SHALL BE VERIFIED IN THE FIELD.

PROMENADE NOTES

THE EXTENTS OF PROMENADE DEMOLITION IS SUBJECT TO VARY BASED UPON THE EXISTING SNOWMELT SYSTEM REGIONS. SNOWMELT SYSTEM REGIONS WILL BE IDENTIFIED IN THE FIELD AND RECOMMENDATIONS OF REMOVAL AND REPLACEMENT BEST PRACTICES WILL BE IDENTIFIED AT THAT TIME.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT AND MAINTAIN THE REMAINING PROMENADE AND SUBSEQUENT SNOWMELT REGIONS THROUGHOUT CONSTRUCTION.

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Project Number
003.7835.000

Description
DETAILED CIVIL DEMOLITION PLAN

Scale
SEE GRAPHICAL SCALING

GENERAL NOTES

- 1) GENERAL:**
1A) ENGINEER: REFERENCES ON THE STRUCTURAL DRAWINGS TO 'ENGINEER' MEAN THE STRUCTURAL ENGINEER OF RECORD. OTHER ENTITIES ARE SPECIFICALLY NOTED AS 'CONTRACTOR'S ENGINEER', 'MECHANICAL ENGINEER', ETC.
- 1B) THESE NOTES SUPPLEMENT THE SPECIFICATIONS, WHICH SHALL BE REFERENCED FOR ADDITIONAL REQUIREMENTS.
- 2) EXISTING STRUCTURES:**
2A) CONTRACT DOCUMENTS HAVE BEEN PREPARED USING AVAILABLE DRAWINGS AND SITE OBSERVATION AS PERMITTED BY ACCESS RESTRICTIONS DURING DESIGN.
- 2B) DURING CONSTRUCTION, THE CONTRACTOR MAY ENCOUNTER EXISTING CONDITIONS WHICH ARE NOT KNOWN OR ARE AT VARIANCE WITH PROJECT DOCUMENTATION. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ALL CONDITIONS NOT PER THE CONTRACT DOCUMENTS. EXAMPLES INCLUDE:
- SIZES OR DIMENSIONS OTHER THAN THOSE SHOWN
- DAMAGE OR DETERIORATION TO MATERIALS AND COMPONENTS
- CONDITIONS OF INSTABILITY OR LACK OF SUPPORT
- ITEMS NOTED AS EXISTING ON THE DRAWINGS BUT NOT FOUND IN THE FIELD
- 2C) PREPARE DIMENSIONAL DRAWINGS OF ALL DISCOVERED ITEMS.
- 2D) CONTRACTOR SHALL FIELD VERIFY ALL EXISTING STRUCTURAL CONDITIONS PRIOR TO SUBMITTING SHOP DRAWINGS.
- 2E) CONTRACTOR SHALL MAKE ALLOWANCE FOR THE RESOLUTION OF SUCH DISCOVERIES IN THE CONSTRUCTION SCHEDULE.
- 2F) SUBMIT A DIMENSIONED DRAWING OF ALL NEW OPENINGS THROUGH EXISTING STRUCTURE AND SECURE APPROVAL PRIOR TO CUTTING. NEW OPENING MAY BE EITHER SHOWN ON THE CONTRACT DOCUMENTS OR PROPOSED BY THE CONTRACTOR. DRAWING SHALL SHOW:
- VERTICAL & HORIZONTAL LOCATION AND SIZE OF NEW OPENING(S)
- ALL EXISTING OPENINGS IN THE VICINITY OF THE NEW OPENING(S)
- ALL EXISTING STRUCTURE (BEAMS, COLUMNS, SLABS, WALLS, ETC) IN THE VICINITY OF THE NEW OPENING(S)
- ALL REINFORCING BAR SIZES AND POSITIONS (LAYOUT LOCATION AND DEPTH) CONFLICTING WITH OR IN THE VICINITY OF THE NEW OPENING(S).
- 4) COORDINATION:**
4A) STRUCTURAL DRAWINGS ARE NOT STAND-ALONE DOCUMENTS AND ARE INTENDED TO BE USED IN CONJUNCTION WITH CIVIL, ARCHITECTURAL, MECHANICAL, ELECTRICAL AND DRAWINGS FROM OTHER DISCIPLINES. THE CONTRACTOR SHALL COORDINATE ALL REQUIREMENTS OF THE CONTRACT DOCUMENTS INTO SHOP DRAWINGS AND WORK.
- 4B) COORDINATE DIMENSIONS OF ALL OPENINGS, BLOCKOUTS, DEPRESSIONS, ETC., WITH ARCHITECTURAL DRAWINGS, DRAWINGS FROM OTHER DISCIPLINES, AND FIELD CONDITIONS PRIOR TO SHOP DRAWING SUBMITTAL.
- 6) TEMPORARY CONDITIONS, CONSTRUCTION ENGINEERING, AND OSHA STANDARDS:**
6A) THE STRUCTURE IS DESIGNED TO FUNCTION AS A UNIT UPON COMPLETION AND ONLY FOR LOADS ANTICIPATED DURING THE STRUCTURE'S SERVICE LIFE.
- 6B) THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL TEMPORARY BRACING AND/OR SUPPORT THAT MAY BE REQUIRED AS THE RESULT OF THE CONTRACTOR'S CONSTRUCTION METHODS AND/OR SEQUENCES. REFER TO 'LATERAL LOAD RESISTING SYSTEM DESCRIPTION' IN DESIGN CRITERIA FOR ADDITIONAL INFORMATION. CONTRACTOR SHALL PROVIDE ALL REQUIRED ENGINEERING AND OTHER MEASURES TO ACHIEVE THE MEANS, METHODS, AND SEQUENCES OF WORK WHICH MAY INCLUDE, BUT IS NOT LIMITED TO:
- LAYOUT
- DESIGN FOR FORMWORK, SHORING, AND RESHORING
- ERECTION PROCEDURES WHICH ADDRESS STABILITY OF THE FRAME DURING CONSTRUCTION
- WELD PROCEDURES
- DESIGN OF TEMPORARY BRACING OF WALLS FOR WIND, SEISMIC, OR SOIL LOADS
- SURVEYING TO VERIFY CONSTRUCTION TOLERANCES
- EVALUATION OF TEMPORARY CONSTRUCTION LOADS ON STRUCTURE DUE TO EQUIPMENT AND MATERIALS
- STRUCTURAL ENGINEERING TO RESIST ANY OTHER LOADS NOT IDENTIFIED ON DESIGN DRAWINGS
- 6D) NOTHING SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE CONSTRUED AS ELIMINATING THE NEED FOR THE CONTRACTOR TO COMPLY WITH ALL OSHA REQUIREMENTS. WHERE THE STRUCTURAL DRAWINGS APPEAR TO CONFLICT WITH OSHA REQUIREMENTS, THE STRUCTURAL DRAWINGS REPRESENT FINAL CONDITIONS ONLY.
- THE CONTRACTOR SHALL ADD ALL ERECTION FRAMING NECESSARY TO COMPLY WITH OSHA.
- THE CONTRACTOR SHALL ADD ALL NECESSARY BOLTS, ANCHOR BOLTS, PLATES, STIFFENER PLATES, STABILIZER PLATES, BRIDGING, BRACING, BEARING SEATS, COLUMN SPLICES, ETC., AS WELL AS CLOSURES FOR OPENINGS. IN ADDITION, FIELD WELD ANYTHING THAT MAY BE CONSIDERED A TRIP HAZARD, SUCH AS SHEAR STUDS, AFTER PROTECTIVE DECKING IS INSTALLED.
- WASHERS OR RINGS MAY BE WELDED TO COLUMNS TO PROVIDE FOR SAFETY CABLES.
- HOLES IN COLUMNS FOR SAFETY CABLES SHALL BE SHOP INSTALLED AND SHALL BE INDICATED ON SHOP DRAWINGS. ADJUST COLUMN SPICE LOCATIONS OR ADD COLUMN SPLICES AS NECESSARY TO COMPLY WITH OSHA REQUIREMENTS. SUBMIT PROPOSED LOCATIONS.
- HOLES IN CONCRETE COLUMNS FOR SAFETY CABLES SHALL BE INDICATED ON THE SHOP DRAWINGS. SHALL BE LIMITED TO 1"Ø MAXIMUM, LOCATED WITHIN THE MIDDLE THIRD OF THE COLUMN AND SHALL BE CREATED USING SLEEVES. DO NOT DRILL OR CORE COLUMNS TO INSTALL SAFETY CABLES.
- ALL METAL JOISTS REQUIRED BY OSHA TO BE BOLTED SHALL HAVE ERECTION BOLTS INSTALLED REGARDLESS OF FINAL CONNECTION SHOWN ON THE STRUCTURAL DRAWINGS.

| Date | Description |
|------------|-------------------------------------|
| 2021.02.26 | BP2A: DEMOLITION-LGB, BLDG B, STAGE |

Seal / Signature



Project Name

SSRC | BASE AREA IMPROVEMENTS

Project Number

003.7835.000

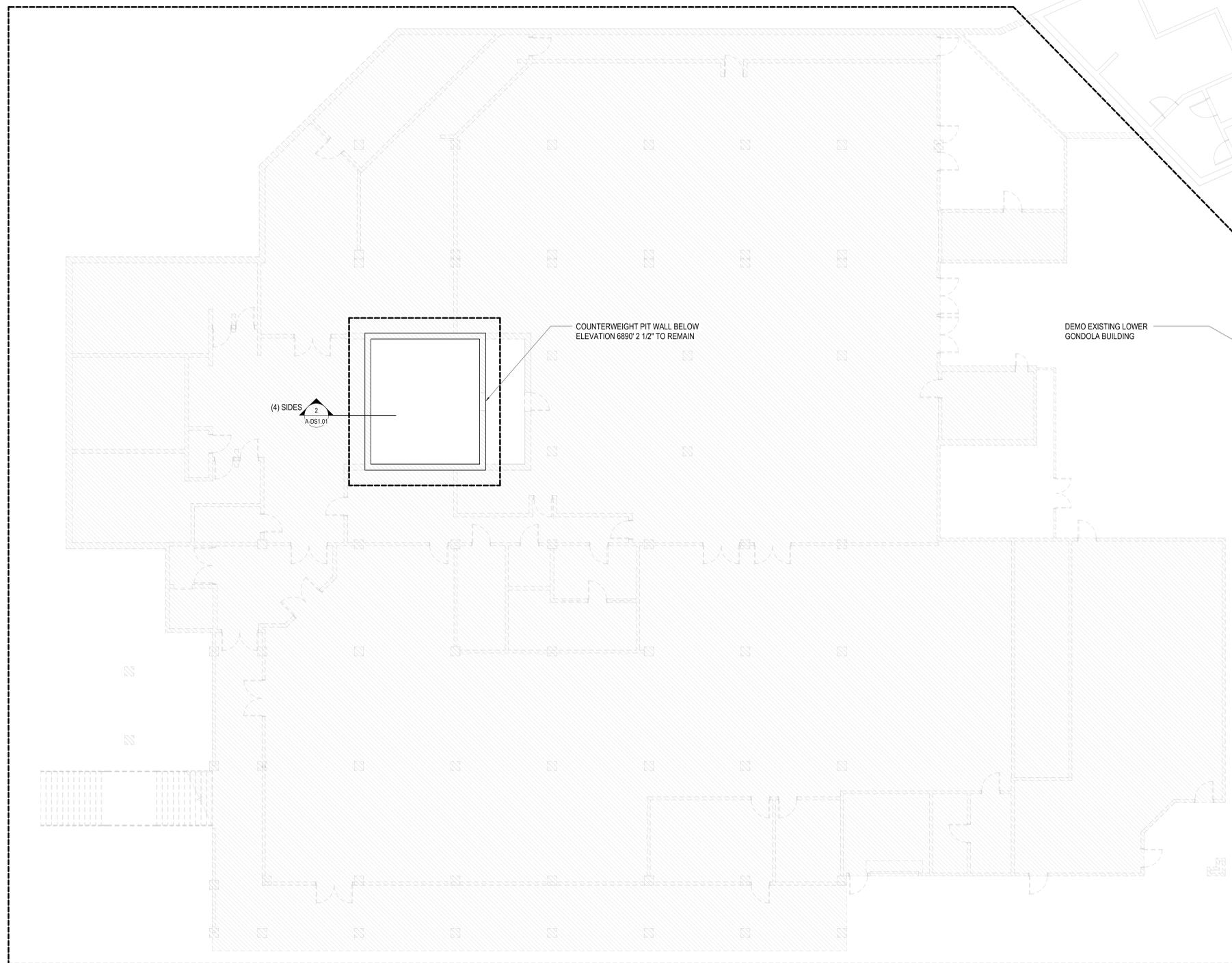
Description

LOWER GONDOLA BUILDING DEMO PLAN

Scale

As indicated

A-DS1.01



1 DEMO PLAN - LOWER GONDOLA BUILDING

1/8" = 1'-0"



SYMBOL LEGEND

| SYMBOL | DESCRIPTION |
|---------|-------------------------|
| - | GRID LINES |
| X XX | SECTION OR DETAIL CUT |
| XXX-XX | SHEET NUMBER |
| XXX-XX | ELEVATION CALLOUT |
| △ | DRAWING REVISION NUMBER |
| ☁ | CURRENT REVISION CLOUD |

DEMO PLAN NOTES:

1. DEMO DRAWING ARE CREATED BASED ON THE EXISTING DRAWING BY ERIC SMITH ASSOCIATES, PROJECT NUMBER 87004, DATED 1989.

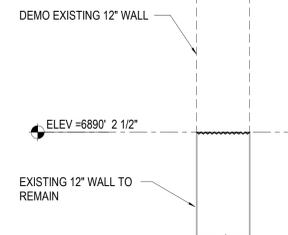
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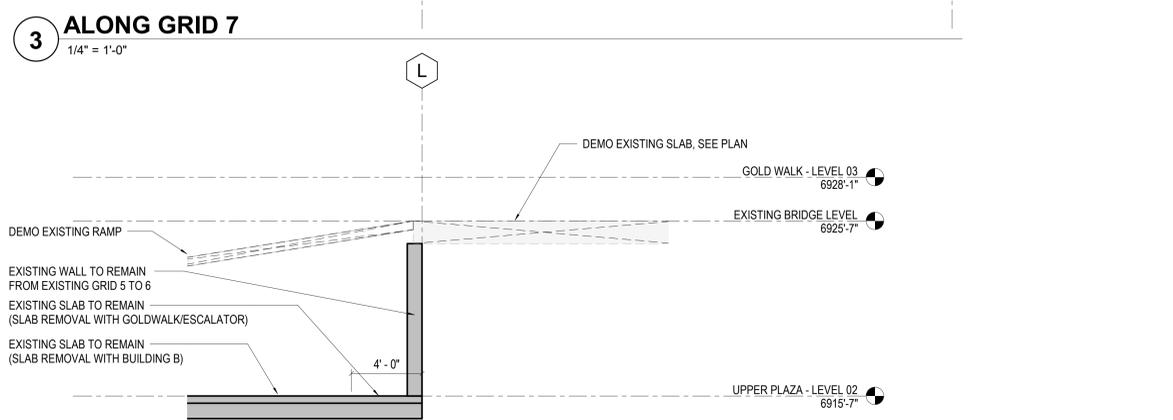
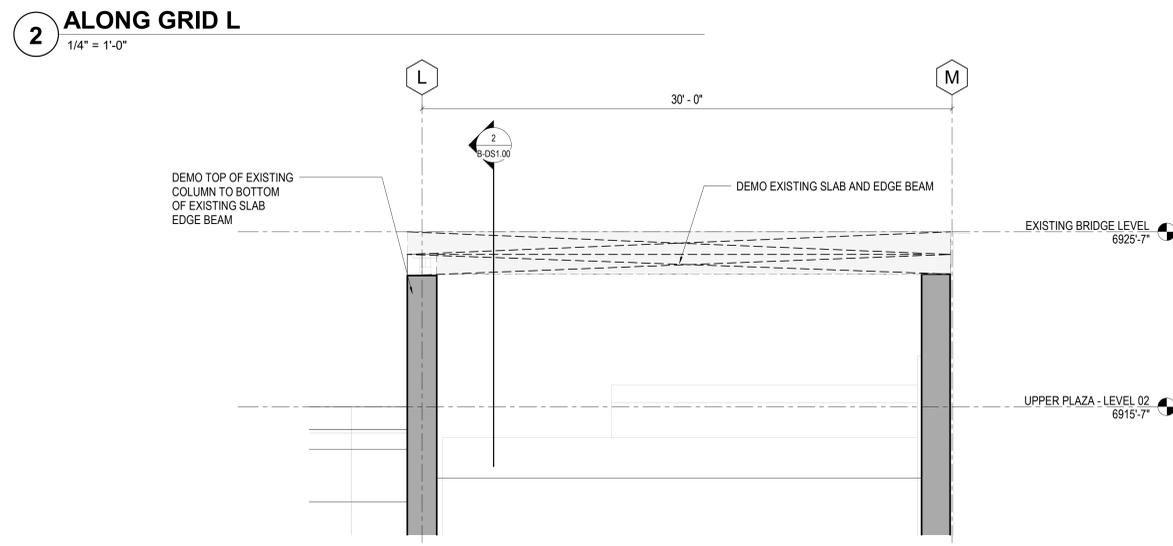
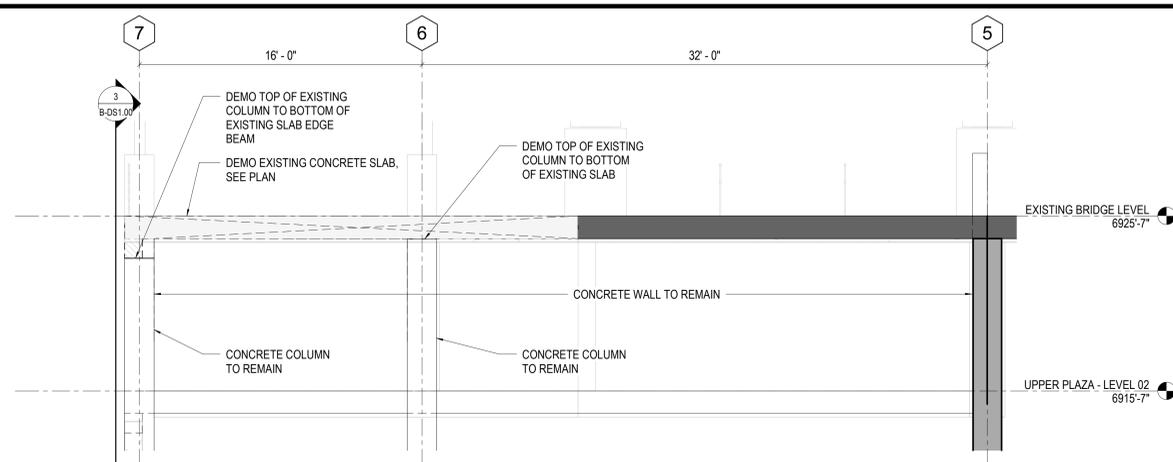
1. ITEMS NOT DESIGNED BY MM ARE SHOWN HALFTONED,
2. ITEMS INCLUDE:
- EXISTING CONSTRUCTION
- PERFORMANCE SPECIFIED ITEMS (STAIRS, RAILINGS, ETC.)

2

3/4" = 1'-0"

EXISTING COUNTERWEIGHT WALL

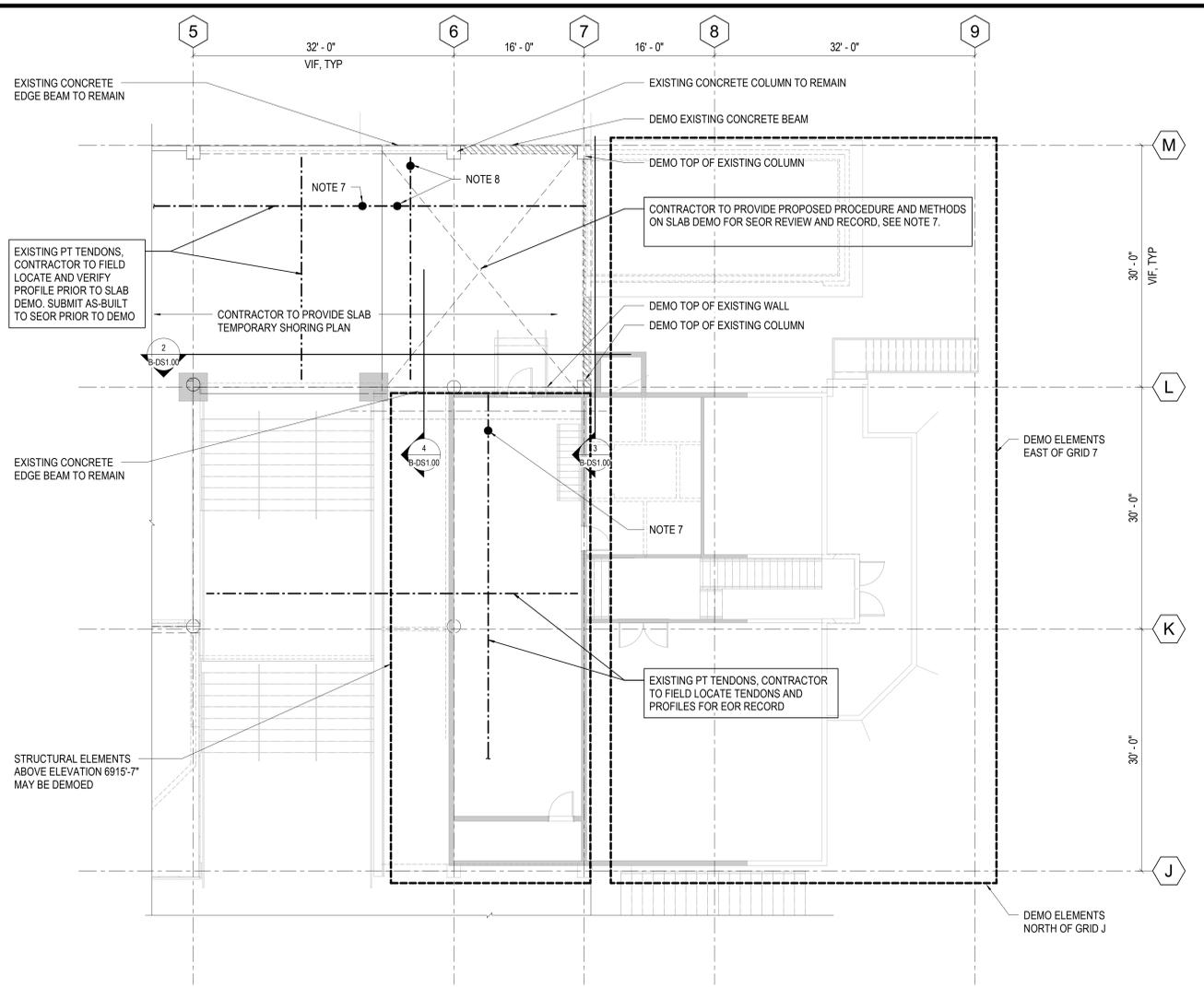




SYMBOL LEGEND

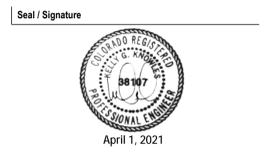
| SYMBOL | DESCRIPTION |
|---------|-------------------------|
| - | GRID LINES |
| X XX | SECTION OR DETAIL CUT |
| XXX-XX | ELEVATION CALLOUT |
| △ | DRAWING REVISION NUMBER |
| ☁ | CURRENT REVISION CLOUD |

NOTES:
 1. ITEMS NOT DESIGNED BY MM ARE SHOWN HALFTONED.
 2. ITEMS INCLUDE:
 - EXISTING CONSTRUCTION
 - PERFORMANCE SPECIFIED ITEMS (STAIRS, RAILINGS, ETC.)



- 1 DEMO PLAN - EXISTING BUILDING B**
1/8" = 1'-0"
- DEMO PLAN NOTES:**
- SEE A-DS1.01 FOR GENERAL NOTES.
 - THIS PORTION OF THE DEMO DRAWINGS ARE CREATED BASED ON THE EXISTING DRAWING BY 'THE KEN R. WHITE COMPANY' AND 'ALEXANDER MCILVAINE', DATED 1971.
 - PROVIDE AND MAINTAIN SHORING, BRACING, OR STRUCTURAL SUPPORT TO PRESERVE STABILITY AND PREVENT UNEXPECTED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED.
 - LOCATE TENSIONED STEEL TENDONS AND DETENSION IF REQUIRED.
 - STRENGTHEN OR ADD NEW SUPPORTS AS REQUIRED DURING THE PROCESS OF DEMOLITION.
 - SHORING LOAD INCLUDES SELF WEIGHT PLUS 20 PSF CONSTRUCTION LIVE LOAD.
 - CONTRACTOR TO FIELD VERIFY ALL POST-TENSIONED TENDON LOCATIONS AND PROFILES. SUBMIT A PLAN FOR STRUCTURAL EOR REVIEW. PRIOR TO SLAB DEMO, CONTRACTOR TO LOCATE AND PROVIDE METHODS IN MAINTAINING TENDON STRESSES WITHIN THE REMAINING SLAB, WITH OPTION AS LOCK OFF DEVICE METHODS PER ACI 423.6. PROVIDE PROCEDURE AND DETAILS FOR REVIEW.
 - PROVIDE PROCEDURE ON DE-TENSIONING THE EXISTING TENDONS FOR REVIEW.

| Date | Description |
|------------|-------------------------------------|
| 2021.02.26 | BP2A: DEMOLITION-LGB, BLDG B, STAGE |



Project Name
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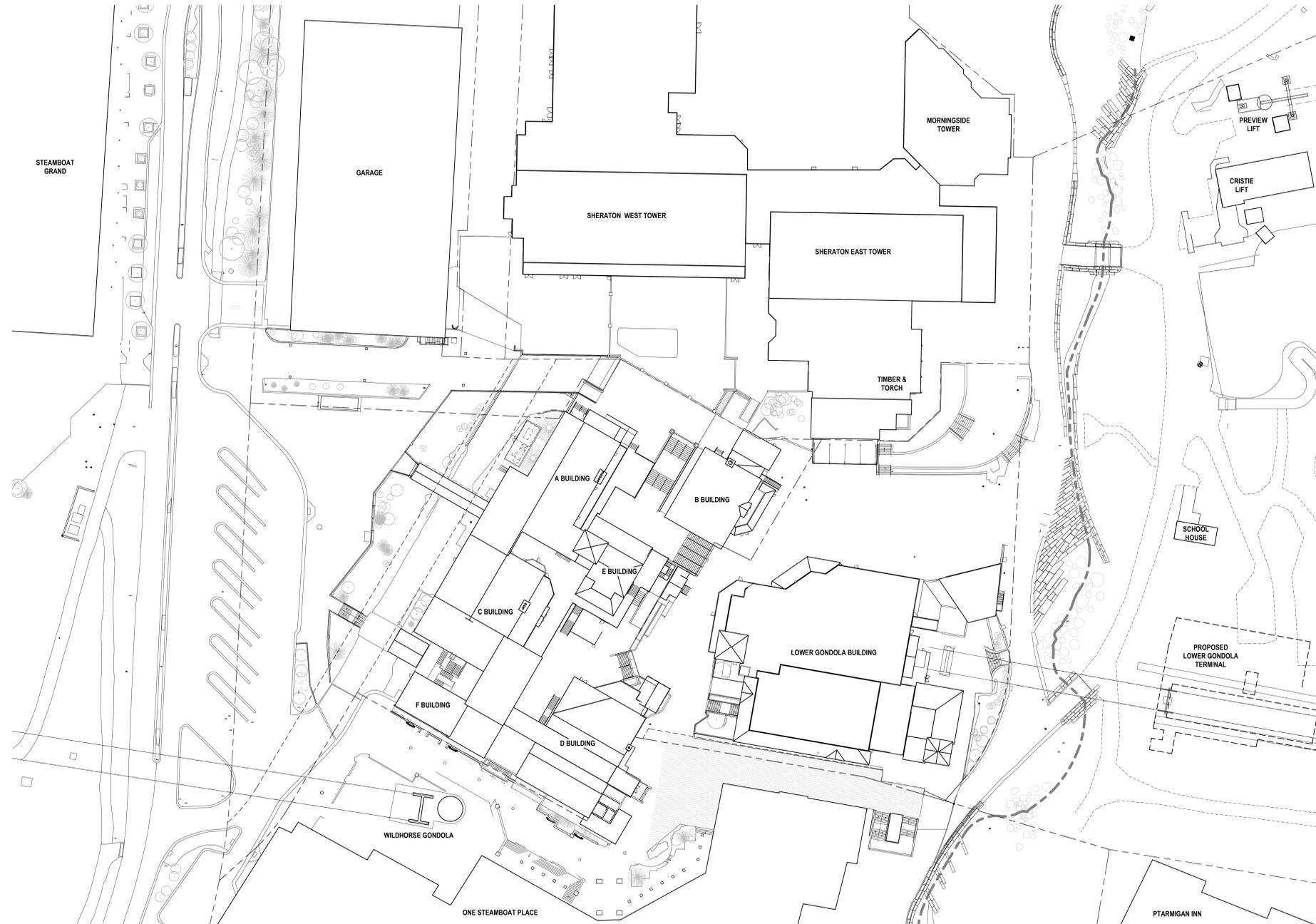
Project Number
003.7835.000

Description
BUILDING B DEMO PLAN

Scale
 As indicated

B-DS1.00

DESIGNER: NG MARTIN
 LEAD REVIT TECHNICIAN: MOONIES
 DATE PRINTED: 2/26/2021 2:12:20 PM
 FILE PATH: \\BIM\003\7835.000 - Steamboat\Revised\03_7835.000_Schematic_SBP_GSD_2021_12021.rvt
 PROJECT MANAGER: C.A. CHEN



| Date | Description |
|--------------|-------------------------------------|
| 1 2021.02.26 | BP2A: DEMOLITION-LGB, BLDG B, STAGE |

Seal / Signature



Project Name
SSRC | BASE AREA IMPROVEMENTS

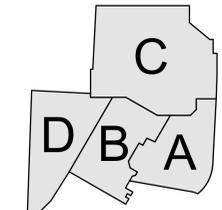
Project Number
003.7835.000

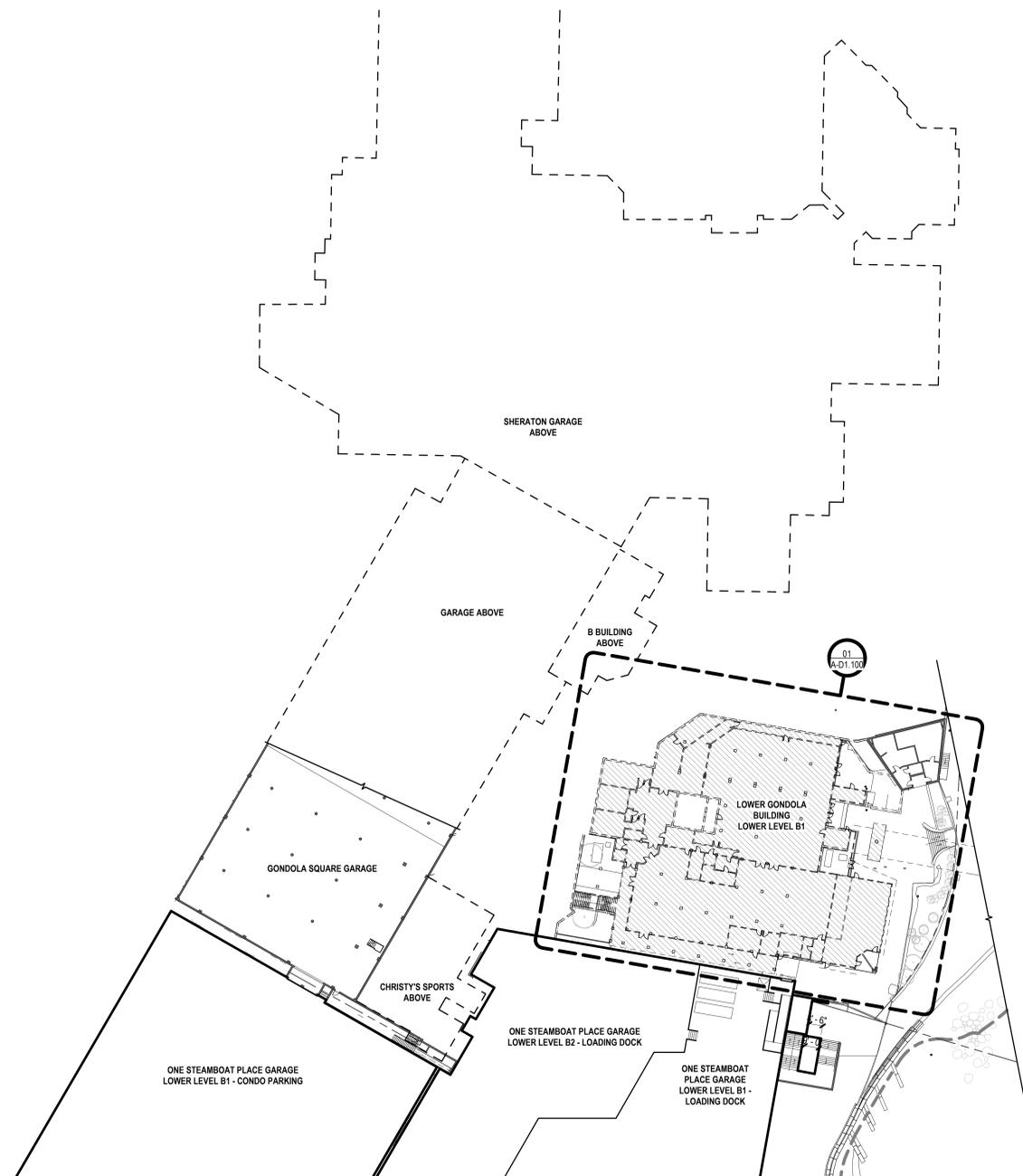
Description
SITE PLAN - EXISTING CONDITIONS

Scale
1" = 40'-0"

AS0.000

KEY PLAN





GENERAL NOTES



ALTERRA east west partners
MOUNTAIN COMPANY

2305 Mount Werner Circle
Steamboat Springs, CO 80487

Gensler

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Denver, CO 80202
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Tel 970.871.9494

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Lakewood, CO 80215
United States
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14143 Denver West Pkwy
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Golden, CO
United States
Tel 303.421.6655

| Date | Description |
|--------------|-------------------------------------|
| 1 2021.02.26 | BP2A: DEMOLITION-LGB, BLDG B, STAGE |

Seal / Signature



Project Name
SSRC | BASE AREA IMPROVEMENTS

Project Number
003.7835.000

Description
DEMOLITION COMPOSITE PLAN - LOWER LEVEL B1

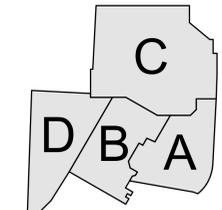
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As indicated

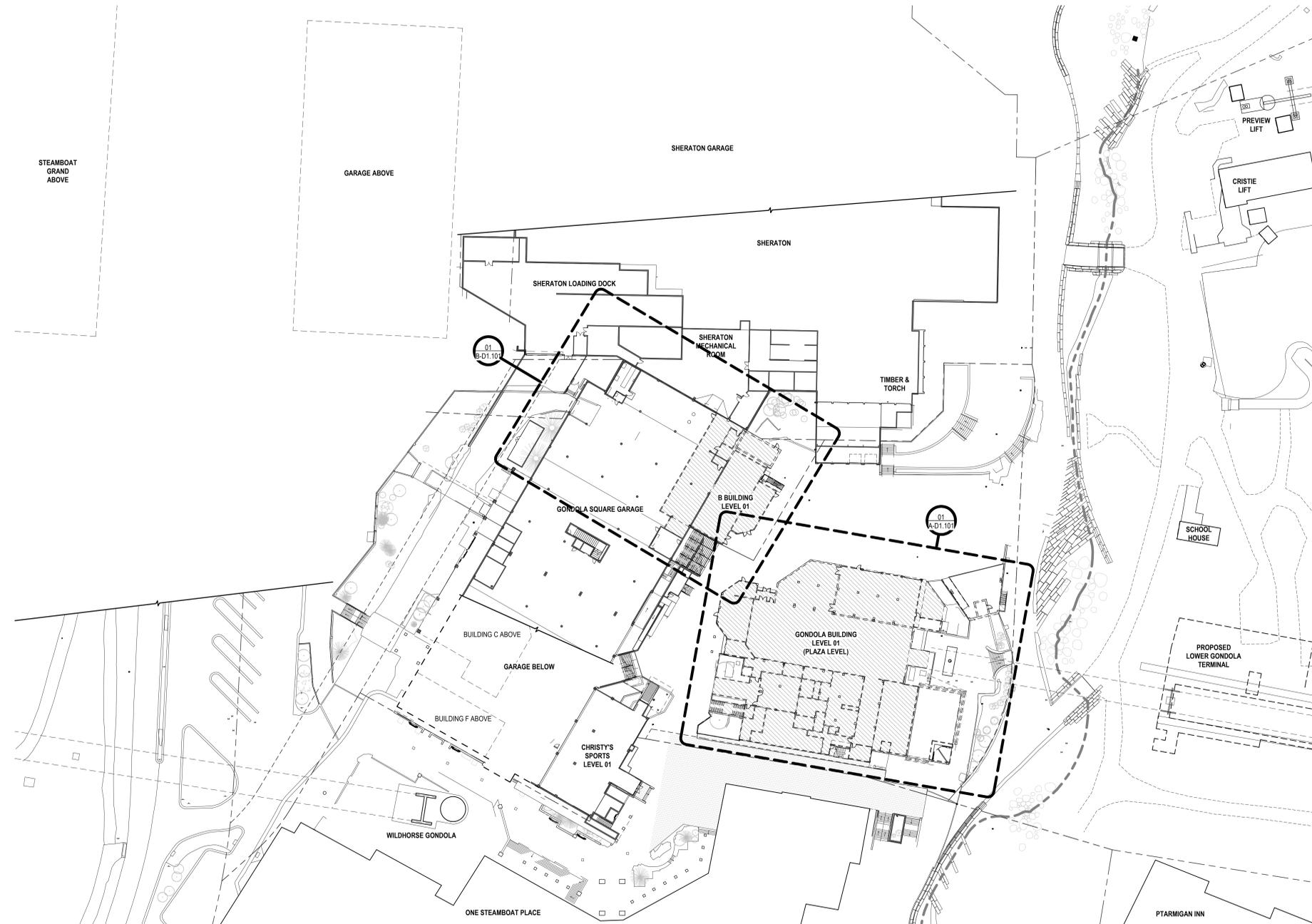
D0.100

LEGEND

| | |
|--|--------------------|
| | EXISTING TO REMAIN |
| | TO BE DEMOLISHED |
| | TO BE DEMOLISHED |

KEY PLAN





| Date | Description |
|--------------|-------------------------------------|
| 1 2021.02.26 | BP2A: DEMOLITION-LGB, BLDG B, STAGE |

Seal / Signature



Project Name
SSRC | BASE AREA IMPROVEMENTS

Project Number
003.7835.000

Description
DEMOLITION COMPOSITE PLAN - LEVEL 01

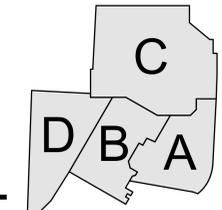
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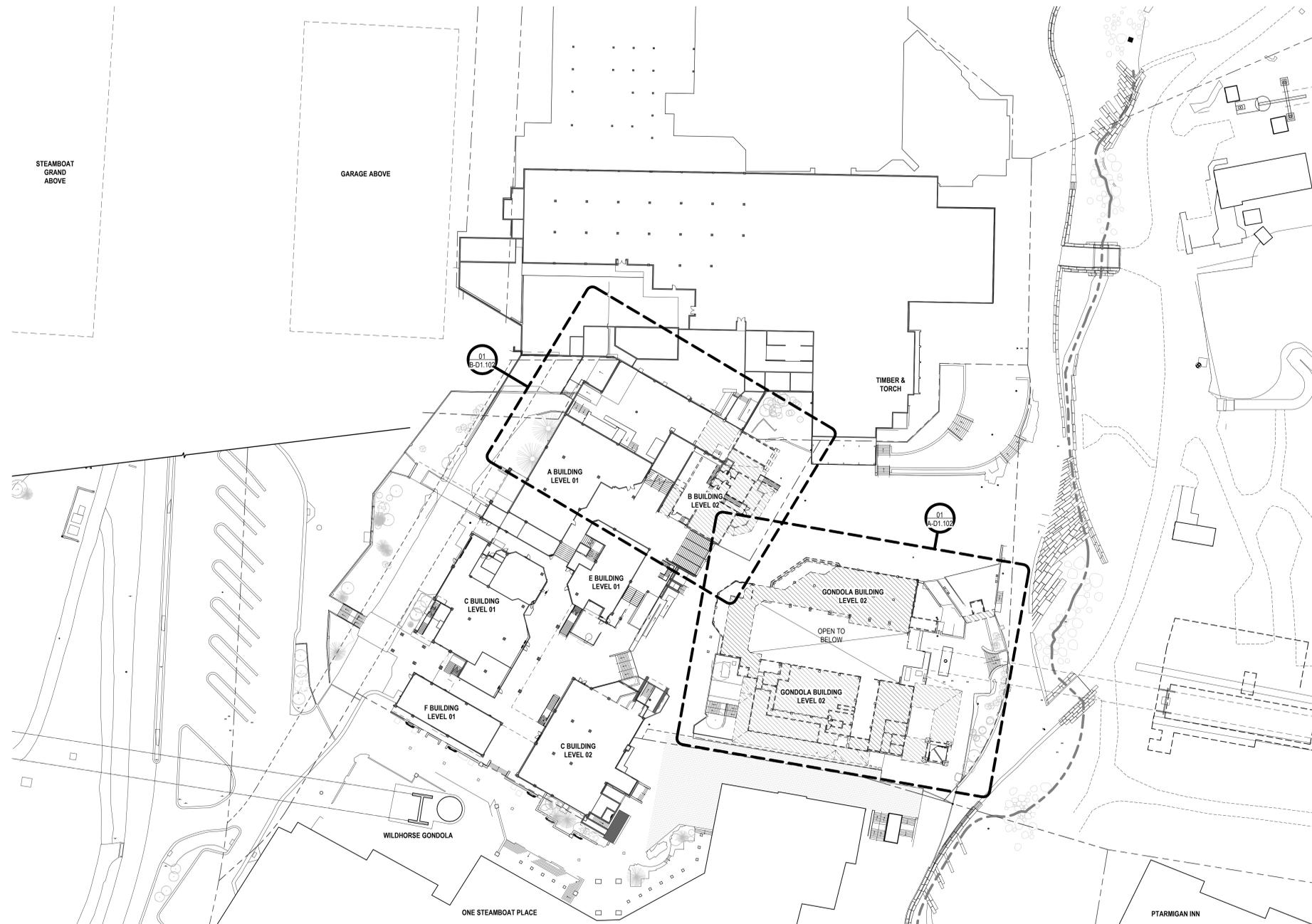
D0.101

LEGEND

- EXISTING TO REMAIN
- - - TO BE DEMOLISHED
- ▨ TO BE DEMOLISHED

KEY PLAN





| Date | Description |
|--------------|-------------------------------------|
| 1 2021.02.26 | BP2A: DEMOLITION-LGB, BLDG B, STAGE |

Seal / Signature



Project Name
SSRC | BASE AREA IMPROVEMENTS

Project Number
 003.7835.000

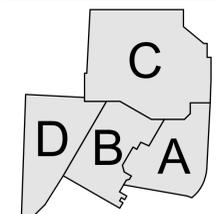
Description
 DEMOLITION COMPOSITE PLAN - LEVEL 02

Scale
 As indicated

D0.102

- LEGEND**
- EXISTING TO REMAIN
 - TO BE DEMOLISHED
 - TO BE DEMOLISHED

KEY PLAN



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Steamboat Springs, CO
80477
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DESIGNWORKSHOP

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Denver, CO 80204
Tel 303.623.5186

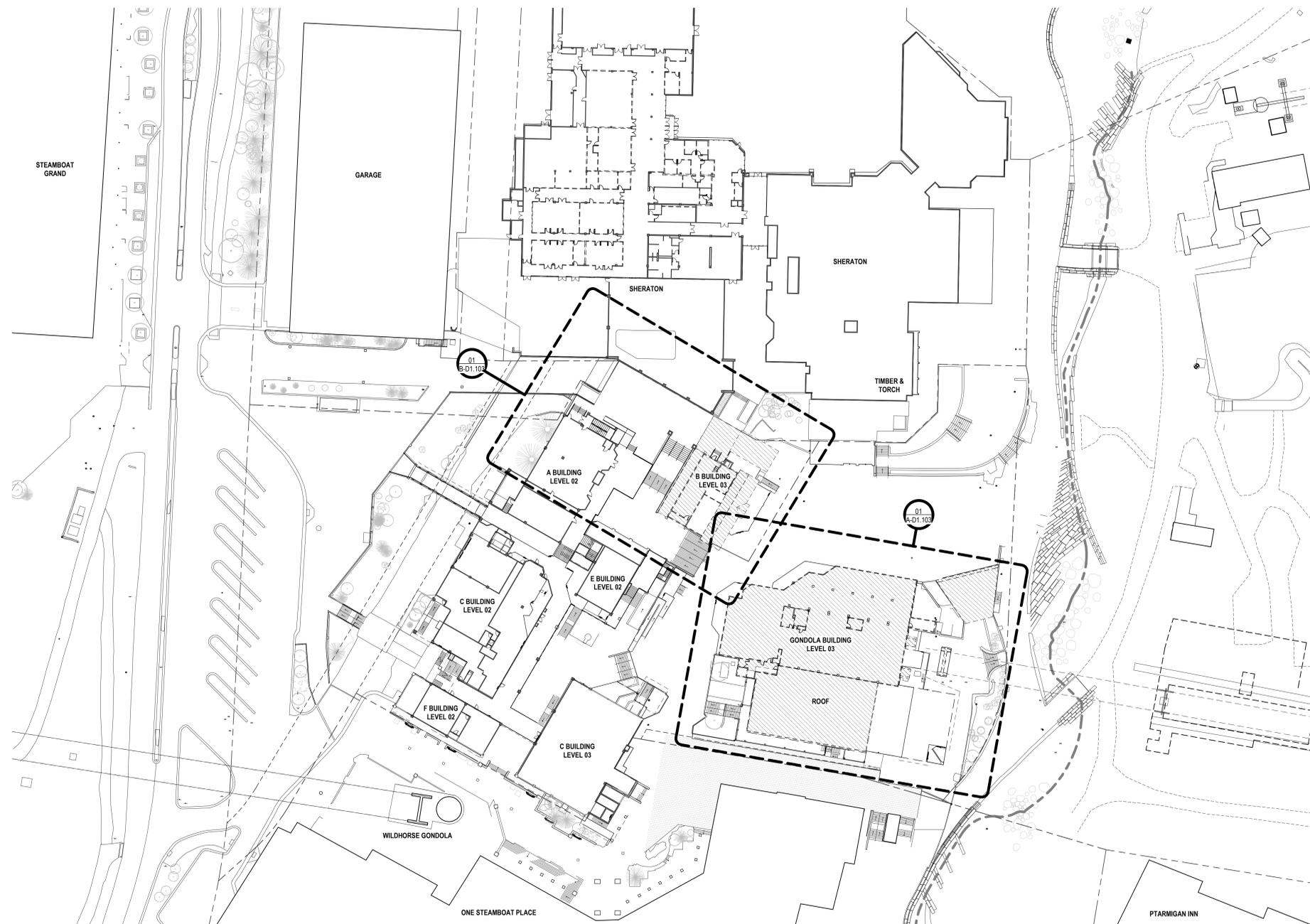


12499 West Colfax Ave.
Lakewood, CO 80215
United States
Tel 303.431.6100



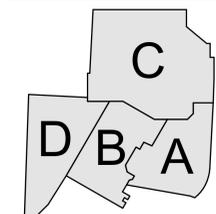
14143 Denver West Pkwy
Suite 300
Golden, CO
United States
Tel 303.421.6655

| Date | Description |
|------|--|
| 1 | 2021.02.26 BP2A: DEMOLITION-LGB, BLDG B, STAGE |



- LEGEND**
- EXISTING TO REMAIN
 - TO BE DEMOLISHED
 - TO BE DEMOLISHED

KEY PLAN



Seal / Signature



Project Name

SSRC | BASE AREA IMPROVEMENTS

Project Number

003.7835.000

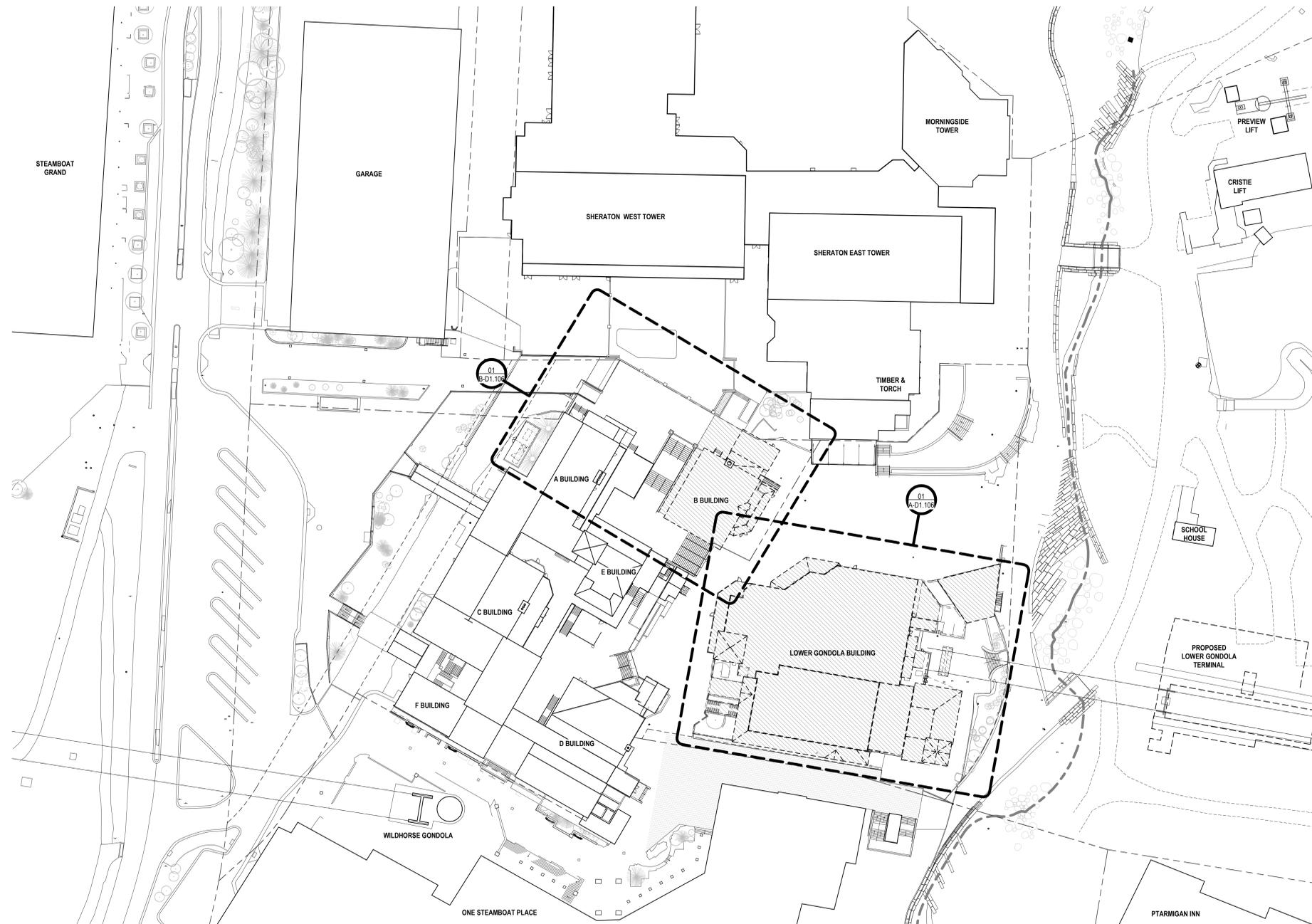
Description

DEMOLITION COMPOSITE PLAN - LEVEL 03

Scale

As indicated

D0.103



| Date | Description |
|--------------|-------------------------------------|
| 1 2021.02.26 | BP2A: DEMOLITION-LGB, BLDG B, STAGE |

Seal / Signature



Project Name

SSRC | BASE AREA
 IMPROVEMENTS

Project Number

003.7835.000

Description

DEMOLITION COMPOSITE PLAN -
 LEVEL ROOF

Scale

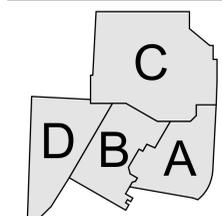
As indicated

D0.106

LEGEND

- EXISTING TO REMAIN
- TO BE DEMOLISHED
- TO BE DEMOLISHED

KEY PLAN





SHEET NOTES

- 01 REMOVE [E] WALL
- 02 REMOVE [E] SLAB
- 04 REMOVE [E] STAIR
- 06 REMOVE [E] STRUCTURE
- 08 REMOVE [E] LANDSCAPE, RE: CIVIL
- 09 REMOVE [E] ELEVATOR AND ALL RELATED MACHINERY, INCLUDING PIT, SUMP, SHAFT, AND PISTON
- 10 REMOVE [E] HOIST
- 11 REMOVE [E] RESTROOM FIXTURES, CASEWORK, AND ASSOCIATED MECHANICAL AND PLUMBING
- 12 REMOVE [E] KITCHEN FIXTURES, CASEWORK, AND ASSOCIATED MECHANICAL AND PLUMBING
- 13 REMOVE [E] MECHANICAL EQUIPMENT, RE: MECHANICAL DRAWINGS
- 14 REMOVE [E] ELECTRICAL EQUIPMENT, RE: ELECTRICAL DRAWINGS
- 15 REMOVE [E] PLUMBING EQUIPMENT, RE: PLUMBING DRAWINGS
- 16 REMOVE [E] BRICK PLAZA AS NEEDED FOR UNDERGROUND UTILITY WORK, RE: CIVIL DRAWINGS
- 17 [E] COUNTERWEIGHT PIT TO REMAIN, REMOVE [E] STRUCTURE ABOVE 1' BELOW PROPOSED FINISHED FLOOR, RE: STRUCTURAL
- 18 [E] GONDOLA TERMINAL, CABLING, AND TOWER TO BE REMOVED BY OTHERS
- 19 REMOVE [E] PAVERS, SALVAGE FOR REUSE AS NECESSARY, RE: CIVIL
- 20 REMOVE [E] GENERATOR AND REPURPOSE, RE: MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS
- 21 [E] LAUNDRY EQUIPMENT TO BE REPURPOSED, RE: MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS
- 22 [E] TELECOM EQUIPMENT TO BE REPURPOSED, RE: BPIB DRAWINGS
- 23 [E] WALK-IN REFRIGERATOR / FREEZER TO BE REPURPOSED
- 24 [E] WALL TO REMAIN
- 26 [E] SLAB TO REMAIN
- DASHED LINE AND HATCHED AREA OF [E] BUILDING B TO BE DEMOLISHED, REFER TO UTILITY PLANS FOR CUT AND MAKE SAFE EXTENTS OF UTILITIES
- 55 REMOVE [E] ENCLOSURE FENCE
- 56 REMOVE [E] STRUCTURE, STAIR, AND HANDRAIL DOWN TO SUBGRADE BELOW

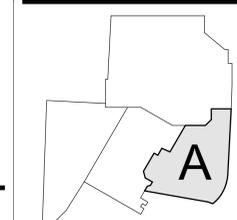
GENERAL NOTES

- 1. REMOVE THE EXISTING LOWER GONDOLA TERMINAL BUILDING COMPLETELY, INCLUDING ALL STRUCTURE, MECHANICAL, ELECTRICAL, PLUMBING, IT, SYSTEMS, RE: MECHANICAL, ELECTRICAL, IT, DRAWINGS FOR MORE INFORMATION
- 2. STRUCTURE TO BE REMOVED COMPLETELY, INCLUDING ALL FOUNDATIONS. THE EXISTING GONDOLA COUNTERWEIGHT TO REMAIN, TOP TO BE CUT/DOWN AND PIT TO BE FILLED, RE: STRUCTURAL FOR MORE INFORMATION. ALL WATER IN PIT TO BE DRAINED AND REMOVED. CONTRACTOR TO PROVIDE DEWATERING OPERATIONS
- 3. ALL UNDERGROUND UTILITIES BELOW BUILDING TO BE REMOVED COMPLETELY. UTILITY CONNECTIONS TO THE EXISTING BUILDING TO BE CUT AND CAPPED, RE: CIVIL DRAWINGS. CONTRACTOR TO SCHEDULE ALL UTILITY SHUTDOWNS AND COORDINATE CUT AND CAP ACTIVITY WITH LOCAL UTILITY PROVIDERS. THE GONDOLA WILL BE REMOVED AND PACKAGED FOR REUSE BY OWNER AS A SEPARATE CONTRACT. CONTRACTORS TO COORDINATE WORK AND SCHEDULE OF OPERATIONS
- 4. REFERENCE OWNER PROVIDED CONSTRUCTION DRAWINGS FOR SPECIFIC CONSTRUCTION OF BUILDING ELEMENTS
- 5. DASHED LINES AND HATCH AREAS ON PLANS, SECTIONS, AND ELEVATIONS REPRESENT AREAS TO BE DEMOLISHED, REFER TO SHEET NOTES
- 6. REFER TO STRUCTURAL, CIVIL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR MORE INFORMATION ON DEMOLITION LOCATION AND TREATMENT OF EXISTING BUILDING SYSTEMS

LEGEND

- EXISTING TO REMAIN
- TO BE DEMOLISHED
- TO BE DEMOLISHED

KEY PLAN



Steamboat
ALTERRA east west partners
 MOUNTAIN COMPANY
 2305 Mount Werner Circle
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me
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 Suite 300
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 United States
 Tel 303.421.6655

| Date | Description |
|--------------|-------------------------------------|
| 1 2021.02.26 | BP2A: DEMOLITION-LGB, BLDG B, STAGE |

Seal / Signature

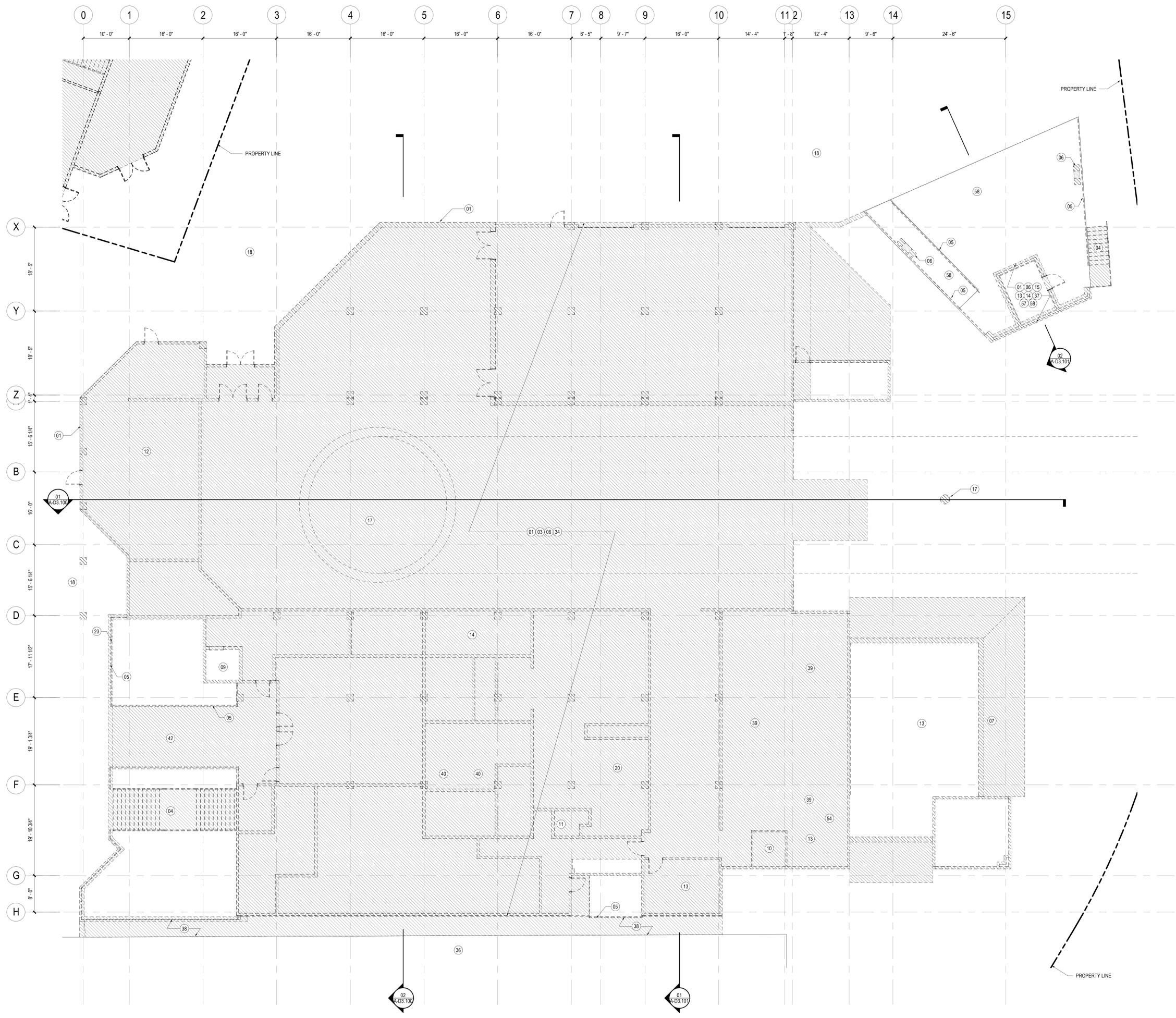
Project Name
SSRC | BASE AREA IMPROVEMENTS

Project Number
003.7835.000

Description
DEMOLITION PLANS - LOWER GONDOLA BUILDING - LOWER LEVEL B1

Scale
 As indicated

A-D1.100



SHEET NOTES

- 01 REMOVE [E] WALL
- 03 REMOVE [E] FLOOR
- 04 REMOVE [E] STAIR
- 05 REMOVE [E] RAILING
- 06 REMOVE [E] STRUCTURE
- 07 REMOVE [E] ROOF
- 09 REMOVE [E] ELEVATOR AND ALL RELATED MACHINERY, INCLUDING PIT, SLUMP, SHAFT, AND PISTON
- 10 REMOVE [E] HOIST
- 11 REMOVE [E] RESTROOM FIXTURES, CASEWORK, AND ASSOCIATED MECHANICAL AND PLUMBING
- 12 REMOVE [E] KITCHEN, FIXTURES, CASEWORK, AND ASSOCIATED MECHANICAL AND PLUMBING
- 13 REMOVE [E] MECHANICAL EQUIPMENT, RE: MECHANICAL DRAWINGS
- 14 REMOVE [E] ELECTRICAL EQUIPMENT, RE: ELECTRICAL DRAWINGS
- 15 REMOVE [E] PLUMBING EQUIPMENT, RE: PLUMBING DRAWINGS
- 17 [E] COUNTERWEIGHT PIT TO REMAIN, REMOVE [E] STRUCTURE ABOVE 1' BELOW PROPOSED FINISHED FLOOR, RE: STRUCTURAL
- 18 [E] GONDOLA TERMINAL, CABLING, AND TOWER TO BE REMOVED BY OTHERS
- 20 REMOVE [E] GENERATOR AND REPURPOSE, RE: MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS
- 23 [E] WALK-IN REFRIGERATOR / FREEZER TO BE REPURPOSED
- 34 DASHED LINE AND HATCHED AREA OF [E] BUILDING B TO BE DEMOLISHED. REFER TO UTILITY PLANS FOR CUT AND MAKE SAFE EXTENTS OF UTILITIES
- 36 DASHED LINE OF [E] BOILER ROOM TO BE REMOVED INCLUDING ALL EQUIPMENT, UTILITIES, AND INTERIOR FINISHES. GENERAL CONTRACTOR TO COORDINATE WITH CLIENT AND NEW BOILER ROOM PLANS FOR EQUIPMENT THAT WILL BE SAVED FOR REUSE AND PREPARE ALL MEP CONNECTIONS FOR EXTENSION TO NEW BOILER HOUSE LOCATION
- 37 [E] PAVERS TO REMAIN
- 38 DASHED LINE AND HATCHED AREA OF [E] STAGE STRUCTURE ABOVE RESTROOM LID TO BE REMOVED. REFER TO UTILITY PLANS FOR CUT AND MAKE SAFE EXTENTS OF UTILITIES
- 39 DASHED LINE AND HATCHED AREA OF [E] ONE STEAMBOAT PLACE PLAZA FLOOR AND STRUCTURE TO BE DEMOLISHED
- 40 [E] SAFE TO BE REPURPOSED
- 42 REMOVE [E] BRIDGE
- 54 REMOVE [E] BOILERS, RE: SNOWMELT DRAWINGS
- 57 CUT WALLS CLEANLY AT DECK, PATCH AND REPAIR DECK SURFACE TO MATCH SURROUNDING SURFACE
- 58 EXISTING STRUCTURAL RAMP AND STAGE DECK TO REMAIN. FOR ALL DEMOLITION ACTIVITIES REQUIRED ON THIS SURFACE, CONTRACTOR TO PATCH AND REPAIR DECK TO PROVIDE WEATHERPROOF ENCLOSURE. RESTROOMS BELOW TO REMAIN. DECK ABOVE PROVIDES THE EXTERIOR ROOF ENCLOSURE.

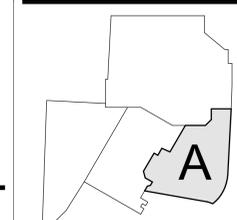
GENERAL NOTES

1. REMOVE THE EXISTING LOWER GONDOLA TERMINAL BUILDING COMPLETELY, INCLUDING ALL STRUCTURE, MECHANICAL, ELECTRICAL, PLUMBING, IT, SYSTEMS, RE: MECHANICAL, ELECTRICAL, IT, DRAWINGS FOR MORE INFORMATION
2. STRUCTURE TO BE REMOVED COMPLETELY, INCLUDING ALL FOUNDATIONS. THE EXISTING GONDOLA COUNTERWEIGHT TO REMAIN. TOP TO BE CUTDOWN AND PIT TO BE FILLED. RE: STRUCTURAL FOR MORE INFORMATION. ALL WATER IN PIT TO BE DRAINED AND REMOVED. CONTRACTOR TO PROVIDE DEWATERING OPERATIONS.
3. ALL UNDERGROUND UTILITIES BELOW BUILDING TO BE REMOVED COMPLETELY. UTILITY CONNECTIONS TO THE EXISTING BUILDING TO BE CUT AND CAPPED. RE: CIVIL DRAWINGS. CONTRACTOR TO SCHEDULE ALL UTILITY SHUTDOWNS AND COORDINATE CUT AND CAP ACTIVITY WITH LOCAL UTILITY PROVIDERS. THE GONDOLA WILL BE REMOVED AND PACKAGED FOR REUSE BY OWNER AS A SEPARATE CONTRACT. CONTRACTORS TO COORDINATE WORK AND SCHEDULE OF OPERATIONS.
4. REFERENCE OWNER PROVIDED CONSTRUCTION DRAWINGS FOR SPECIFIC CONSTRUCTION OF BUILDING ELEMENTS.
5. DASHED LINES AND HATCH AREAS ON PLANS, SECTIONS, AND ELEVATIONS REPRESENT AREAS TO BE DEMOLISHED, REFER TO SHEET NOTES.
6. REFER TO STRUCTURAL, CIVIL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR MORE INFORMATION ON DEMOLITION LOCATION AND TREATMENT OF EXISTING BUILDING SYSTEMS

LEGEND

- EXISTING TO REMAIN
- TO BE DEMOLISHED
- TO BE DEMOLISHED

KEY PLAN



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Seal / Signature

Project Name
SSRC | BASE AREA IMPROVEMENTS

Project Number
003.7835.000

Description
DEMOLITION PLANS - LOWER GONDOLA BUILDING - LEVEL 01

Scale
 As indicated

A-D1.101

01 DEMOLITION PLAN - LEVEL 01 - LOWER GONDOLA BUILDING
 SCALE: 1/8" = 1'-0"

SHEET NOTES

- 01 REMOVE [E] WALL
- 03 REMOVE [E] FLOOR
- 04 REMOVE [E] STAIR
- 06 REMOVE [E] STRUCTURE
- 07 REMOVE [E] ROOF
- 09 REMOVE [E] ELEVATOR AND ALL RELATED MACHINERY, INCLUDING PIT, SUMP, SHAFT, AND PISTON
- 11 REMOVE [E] RESTROOM FIXTURES, CASEWORK, AND ASSOCIATED MECHANICAL AND PLUMBING
- 13 REMOVE [E] MECHANICAL EQUIPMENT. RE: MECHANICAL DRAWINGS
- 14 REMOVE [E] ELECTRICAL EQUIPMENT. RE: ELECTRICAL DRAWINGS
- 17 [E] COUNTERWEIGHT PIT TO REMAIN, REMOVE [E] STRUCTURE ABOVE + BELOW PROPOSED FINISHED FLOOR. RE: STRUCTURAL
- 34 DASHED LINE AND HATCHED AREA OF [E] BUILDING B TO BE DEMOLISHED. REFER TO UTILITY PLANS FOR CUT AND MAKE SAFE EXTENTS OF UTILITIES
- 37 [E] PAVERS TO REMAIN
- 43 REMOVE [E] LOCKERS, COORDINATE WITH OWNER FOR REUSE AND STORAGE

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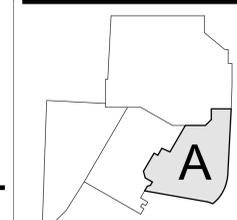
GENERAL NOTES

1. REMOVE THE EXISTING LOWER GONDOLA TERMINAL BUILDING COMPLETELY, INCLUDING ALL STRUCTURE, MECHANICAL, ELECTRICAL, PLUMBING, IT, SYSTEMS. RE: MECHANICAL, ELECTRICAL, IT, DRAWINGS FOR MORE INFORMATION
2. STRUCTURE TO BE REMOVED COMPLETELY, INCLUDING ALL FOUNDATIONS. THE EXISTING GONDOLA COUNTERWEIGHT TO REMAIN. TOP TO BE CUTDOWN AND PIT TO BE FILLED. RE: STRUCTURAL FOR MORE INFORMATION. ALL WATER IN PIT TO BE DRAINED AND REMOVED. CONTRACTOR TO PROVIDE DEWATERING OPERATIONS.
3. ALL UNDERGROUND UTILITIES BELOW BUILDING TO BE REMOVED COMPLETELY. UTILITY CONNECTIONS TO THE EXISTING BUILDING TO BE CUT AND CAPPED. RE: CIVIL DRAWINGS. CONTRACTOR TO SCHEDULE ALL UTILITY SHUTDOWNS AND COORDINATE CUT AND CAP ACTIVITY WITH LOCAL UTILITY PROVIDERS. THE GONDOLA WILL BE REMOVED AND PACKAGED FOR REUSE BY OWNER AS A SEPARATE CONTRACT. CONTRACTORS TO COORDINATE WORK AND SCHEDULE OF OPERATIONS.
4. REFERENCE OWNER PROVIDED CONSTRUCTION DRAWINGS FOR SPECIFIC CONSTRUCTION OF BUILDING ELEMENTS.
5. DASHED LINES AND HATCH AREAS ON PLANS, SECTIONS, AND ELEVATIONS REPRESENT AREAS TO BE DEMOLISHED. REFER TO SHEET NOTES.
6. REFER TO STRUCTURAL, CIVIL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR MORE INFORMATION ON DEMOLITION LOCATION AND TREATMENT OF EXISTING BUILDING SYSTEMS

LEGEND

- EXISTING TO REMAIN
- TO BE DEMOLISHED
- TO BE DEMOLISHED

KEY PLAN



Seal / Signature

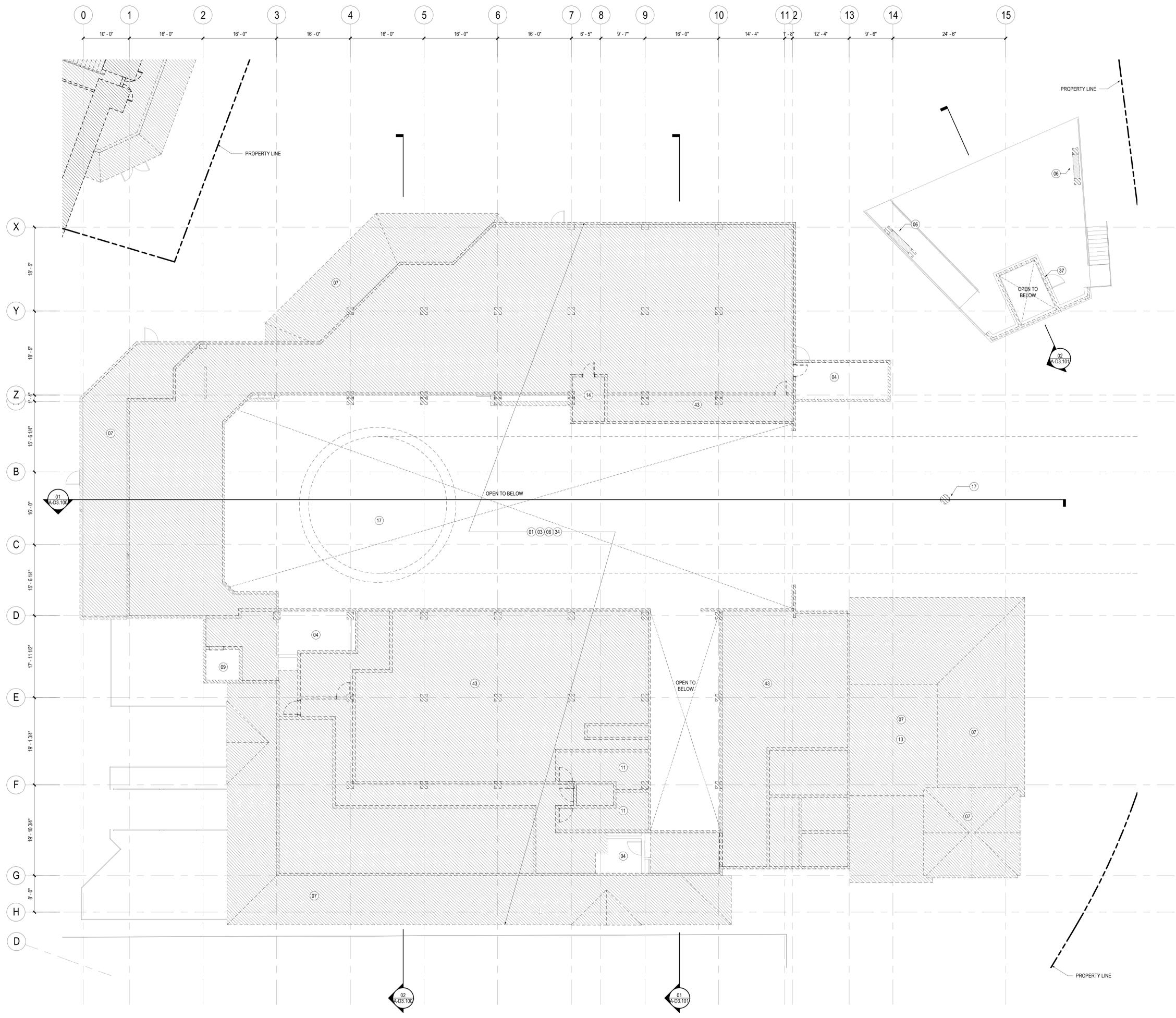
Project Name
SSRC | BASE AREA IMPROVEMENTS

Project Number
003.7835.000

Description
DEMOLITION PLANS - LOWER GONDOLA BUILDING - LEVEL 02

Scale
As indicated

A-D1.102



01 DEMOLITION PLAN - LEVEL 02 - LOWER GONDOLA BUILDING
SCALE: 1/8" = 1'-0"

SHEET NOTES

- 01 REMOVE [E] WALL
- 03 REMOVE [E] FLOOR
- 04 REMOVE [E] STAIR
- 06 REMOVE [E] STRUCTURE
- 07 REMOVE [E] ROOF
- 09 REMOVE [E] ELEVATOR AND ALL RELATED MACHINERY, INCLUDING PIT, SUMP, SHAFT, AND PISTON
- 11 REMOVE [E] RESTROOM FIXTURES, CASEWORK, AND ASSOCIATED MECHANICAL AND PLUMBING
- 12 REMOVE [E] KITCHEN, FIXTURES, CASEWORK, AND ASSOCIATED MECHANICAL AND PLUMBING
- 13 REMOVE [E] MECHANICAL EQUIPMENT. RE: MECHANICAL DRAWINGS
- 14 REMOVE [E] ELECTRICAL EQUIPMENT. RE: ELECTRICAL DRAWINGS
- 17 [E] COUNTERWEIGHT PIT TO REMAIN. REMOVE [E] STRUCTURE ABOVE. † BELOW PROPOSED FINISHED FLOOR. RE: STRUCTURAL
- 21 [E] LAUNDRY EQUIPMENT TO BE REPURPOSED. RE: MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS
- 34 DASHED LINE AND HATCHED AREA OF [E] BUILDING B TO BE DEMOLISHED. REFER TO UTILITY PLANS FOR CUT AND MAKE SAFE EXTENTS OF UTILITIES
- 37 [E] PAVERS TO REMAIN
- 41 REMOVE [E] TELECOM EQUIPMENT

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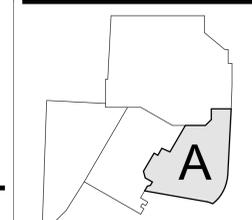
GENERAL NOTES

1. REMOVE THE EXISTING LOWER GONDOLA TERMINAL BUILDING COMPLETELY, INCLUDING ALL STRUCTURE, MECHANICAL, ELECTRICAL, PLUMBING, I.T. SYSTEMS. RE: MECHANICAL, ELECTRICAL, I.T. DRAWINGS FOR MORE INFORMATION.
2. STRUCTURE TO BE REMOVED COMPLETELY, INCLUDING ALL FOUNDATIONS. THE EXISTING GONDOLA COUNTERWEIGHT TO REMAIN. TOP TO BE CUT/DOWN AND PIT TO BE FILLED. RE: STRUCTURAL FOR MORE INFORMATION. ALL WATER IN PIT TO BE DRAINED AND REMOVED. CONTRACTOR TO PROVIDE DEWATERING OPERATIONS.
3. ALL UNDERGROUND UTILITIES BELOW BUILDING TO BE REMOVED COMPLETELY. UTILITY CONNECTIONS TO THE EXISTING BUILDING TO BE CUT AND CAPPED. RE: CIVIL DRAWINGS. CONTRACTOR TO SCHEDULE ALL UTILITY SHUTDOWNS AND COORDINATE CUT AND CAP ACTIVITY WITH LOCAL UTILITY PROVIDERS. THE GONDOLA WILL BE REMOVED AND PACKAGED FOR REUSE BY OWNER AS A SEPARATE CONTRACT. CONTRACTORS TO COORDINATE WORK AND SCHEDULE OF OPERATIONS.
4. REFERENCE OWNER PROVIDED CONSTRUCTION DRAWINGS FOR SPECIFIC CONSTRUCTION OF BUILDING ELEMENTS.
5. DASHED LINES AND HATCH AREAS ON PLANS, SECTIONS, AND ELEVATIONS REPRESENT AREAS TO BE DEMOLISHED. REFER TO SHEET NOTES.
6. REFER TO STRUCTURAL, CIVIL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR MORE INFORMATION ON DEMOLITION LOCATION AND TREATMENT OF EXISTING BUILDING SYSTEMS.

LEGEND

- EXISTING TO REMAIN
- TO BE DEMOLISHED
- TO BE DEMOLISHED

KEY PLAN



Seal / Signature

J. Gensler
 04.02.2021

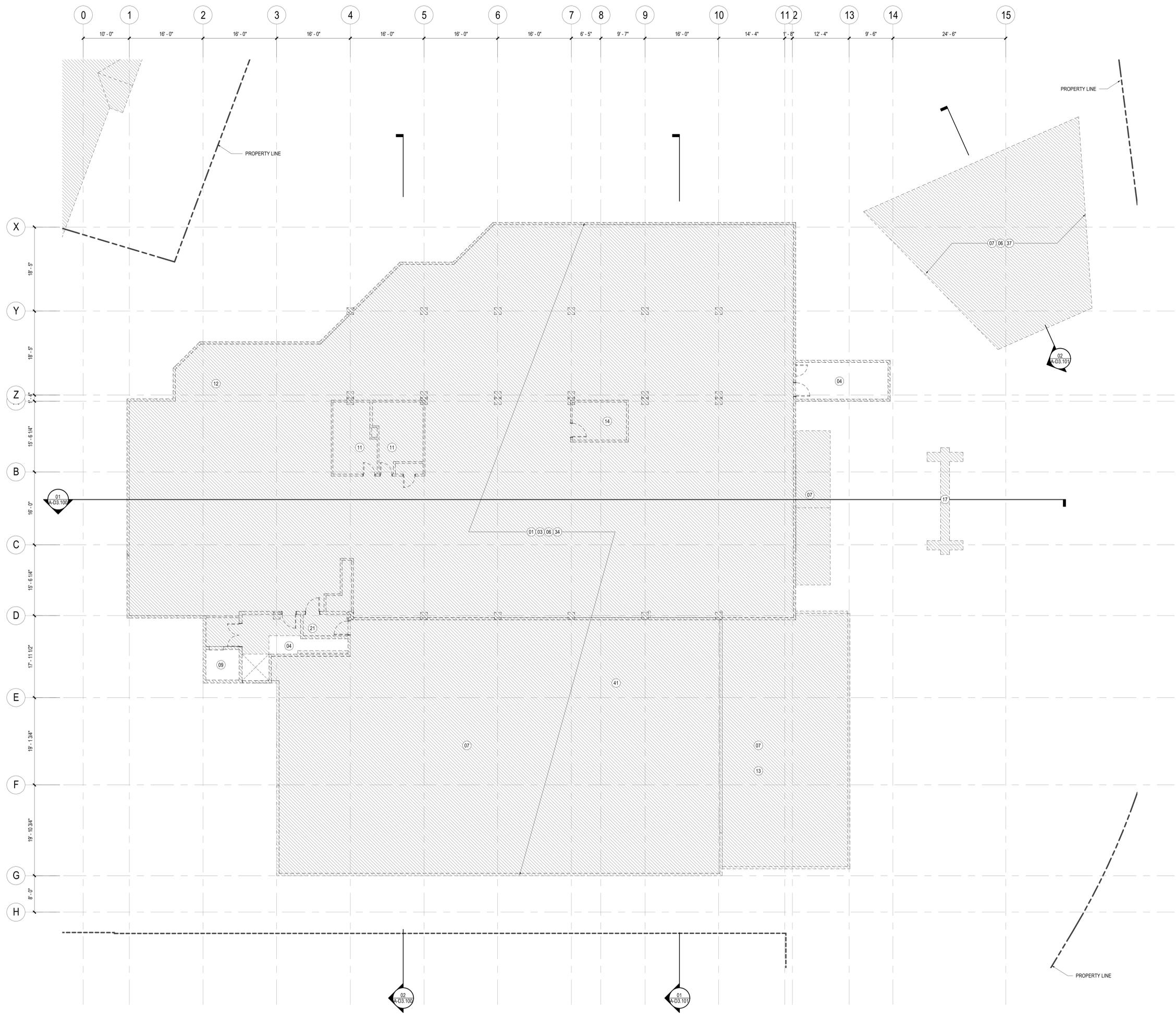
Project Name
SSRC | BASE AREA IMPROVEMENTS

Project Number
003.7835.000

Description
DEMOLITION PLANS - LOWER GONDOLA BUILDING - LEVEL 03

Scale
 As indicated

A-D1.103



01 DEMOLITION PLAN - LEVEL 03 - LOWER GONDOLA BUILDING
 SCALE: 1/8" = 1'-0"

SHEET NOTES

- 01 REMOVE [E] WALL
- 06 REMOVE [E] STRUCTURE
- 07 REMOVE [E] ROOF
- 17 [E] COUNTERWEIGHT PIT TO REMAIN, REMOVE [E] STRUCTURE ABOVE 1' BELOW PROPOSED FINISHED FLOOR, RE: STRUCTURAL
- 34 DASHED LINE AND HATCHED AREA OF [E] BUILDING TO BE DEMOLISHED, REFER TO UTILITY PLANS FOR CUT AND MAKE SAFE EXTENTS OF UTILITIES
- 37 [E] PAVERS TO REMAIN
- 44 [E] CELLULAR EQUIPMENT TO BE REMOVED BY OTHERS



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| 1 2021.02.26 | BP2A: DEMOLITION-LGB, BLDG B, STAGE |

GENERAL NOTES

1. REMOVE THE EXISTING LOWER GONDOLA TERMINAL BUILDING COMPLETELY, INCLUDING ALL STRUCTURE, MECHANICAL, ELECTRICAL, PLUMBING, IT, SYSTEMS, RE: MECHANICAL, ELECTRICAL, IT, DRAWINGS FOR MORE INFORMATION.
2. STRUCTURE TO BE REMOVED COMPLETELY, INCLUDING ALL FOUNDATIONS. THE EXISTING GONDOLA COUNTERWEIGHT TO REMAIN, TOP TO BE CUTDOWN AND PIT TO BE FILLED, RE: STRUCTURAL FOR MORE INFORMATION. ALL WATER IN PIT TO BE DRAINED AND REMOVED. CONTRACTOR TO PROVIDE DEWATERING OPERATIONS.
3. ALL UNDERGROUND UTILITIES BELOW BUILDING TO BE REMOVED COMPLETELY. UTILITY CONNECTIONS TO THE EXISTING BUILDING TO BE CUT AND CAPPED, RE: CIVIL DRAWINGS. CONTRACTOR TO SCHEDULE ALL UTILITY SHUTDOWNS AND COORDINATE CUT AND CAP ACTIVITY WITH LOCAL UTILITY PROVIDERS. THE GONDOLA WILL BE REMOVED AND PACKAGED FOR REUSE BY OWNER AS A SEPARATE CONTRACT. CONTRACTORS TO COORDINATE WORK AND SCHEDULE OF OPERATIONS.
4. REFERENCE OWNER PROVIDED CONSTRUCTION DRAWINGS FOR SPECIFIC CONSTRUCTION OF BUILDING ELEMENTS.
5. DASHED LINES AND HATCH AREAS ON PLANS, SECTIONS, AND ELEVATIONS REPRESENT AREAS TO BE DEMOLISHED, REFER TO SHEET NOTES.
6. REFER TO STRUCTURAL, CIVIL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR MORE INFORMATION ON DEMOLITION LOCATION AND TREATMENT OF EXISTING BUILDING SYSTEMS.

Seal / Signature



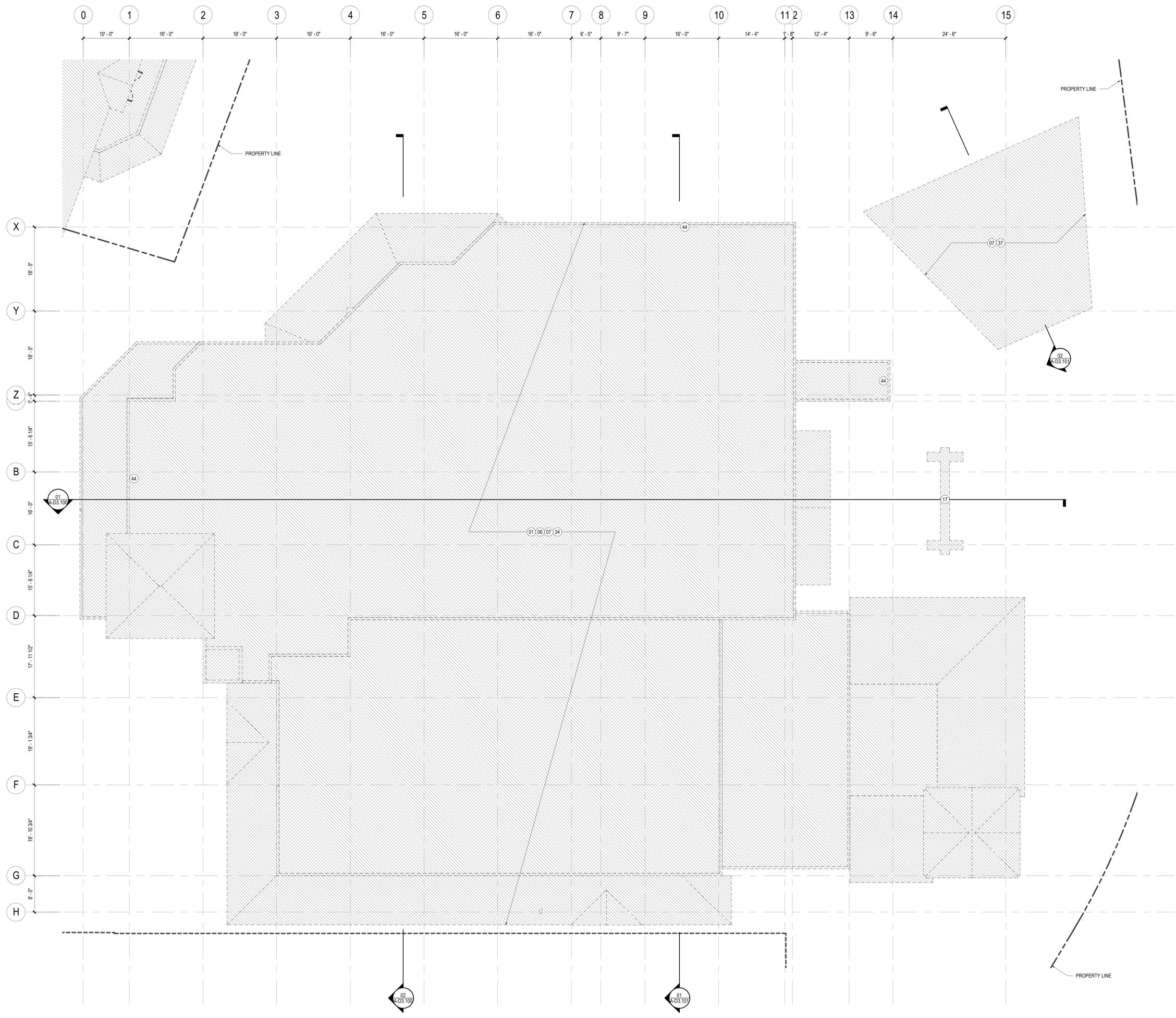
Project Name
SSRC | BASE AREA IMPROVEMENTS

Project Number
003.7835.000

Description
DEMOLITION PLANS - LOWER GONDOLA BUILDING - ROOF

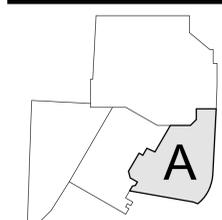
Scale
As indicated

A-D1.106



- LEGEND**
- EXISTING TO REMAIN
 - TO BE DEMOLISHED
 - TO BE DEMOLISHED

KEY PLAN



01 DEMOLITION PLAN - LEVEL ROOF - LOWER GONDOLA BUILDING
SCALE: 1/8" = 1'-0"

SHEET NOTES

34 - DASHED LINE AND HATCHED AREA OF (E) BUILDING B TO BE DEMOLISHED. REFER TO UTILITY PLANS FOR CUT AND MAKE SAFE EXTENTS OF UTILITIES



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| 1 2021.02.26 | BP2A- DEMOLITION-LGB, BLDG B, STAGE |

GENERAL NOTES

Seal / Signature



Project Name
SSRC | BASE AREA IMPROVEMENTS

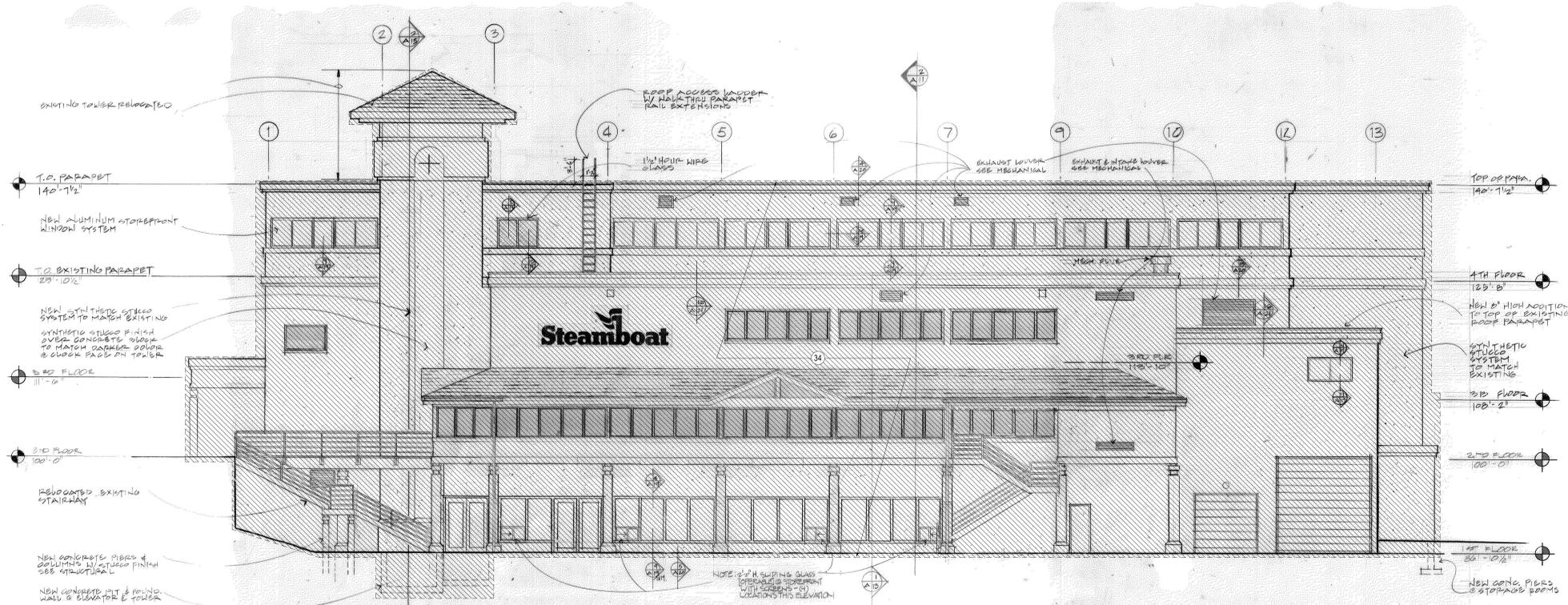
Project Number
003.7835.000

Description
DEMOLITION ELEVATIONS - LOWER GONDOLA BUILDING

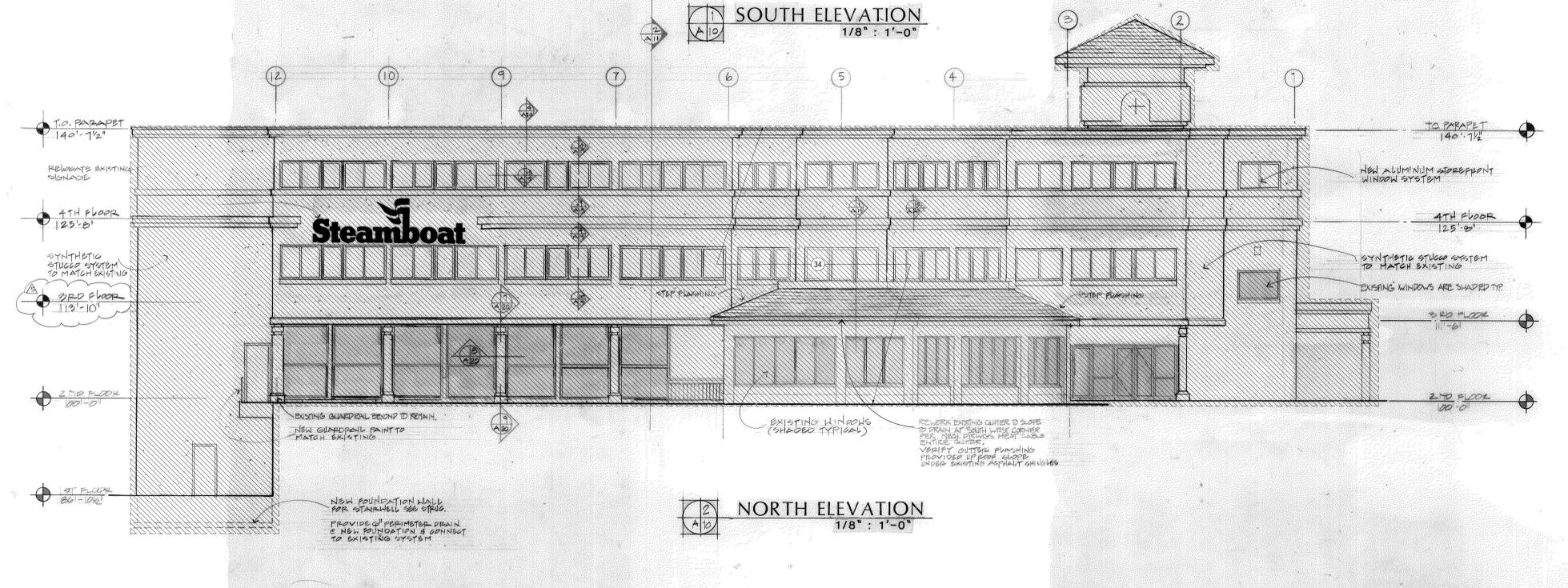
Scale
1/4" = 1'-0"

A-D2.100

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SOUTH ELEVATION
1/8" = 1'-0"

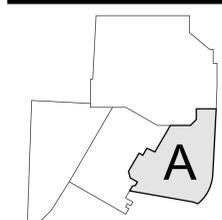


NORTH ELEVATION
1/8" = 1'-0"

LEGEND

| | |
|--|--------------------|
| | EXISTING TO REMAIN |
| | TO BE DEMOLISHED |
| | TO BE DEMOLISHED |

KEY PLAN



SHEET NOTES

- 17 [E] COUNTERWEIGHT PIT TO REMAIN, REMOVE [E] STRUCTURE ABOVE 1' BELOW PROPOSED FINISHED FLOOR. RE STRUCTURAL.
- 34 DASHED LINE AND HATCHED AREA OF [E] BUILDING B TO BE DEMOLISHED. REFER TO UTILITY PLANS FOR CUT AND MAKE SAFE EXTENTS OF UTILITIES

GENERAL NOTES

| Date | Description |
|--------------|------------------------------------|
| 1 2021.02.26 | BP2A DEMOLITION-LGB, BLDG B, STAGE |

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Project Name
SSRC | BASE AREA IMPROVEMENTS

Project Number
003.7835.000

Description
DEMOLITION ELEVATIONS - LOWER GONDOLA BUILDING

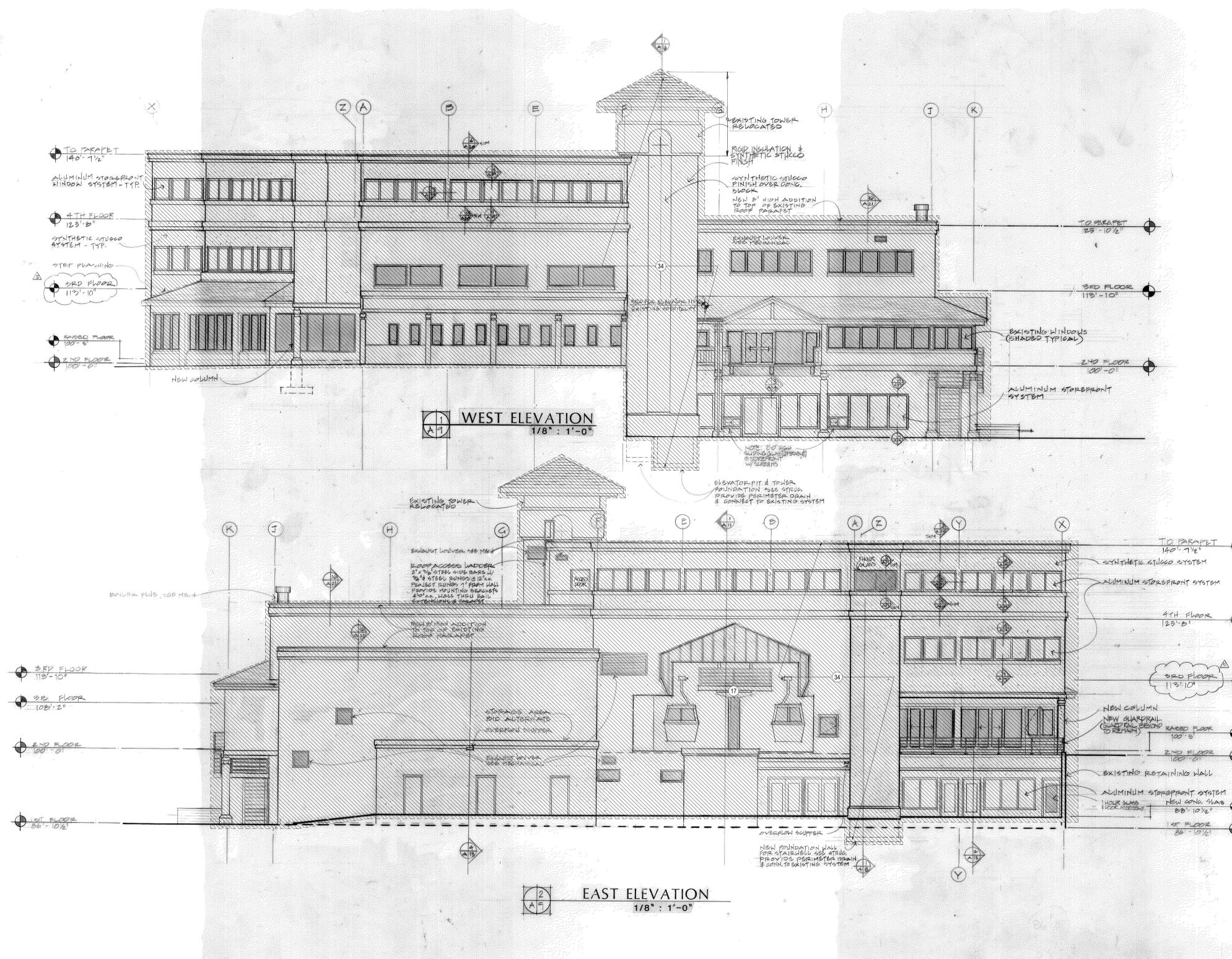
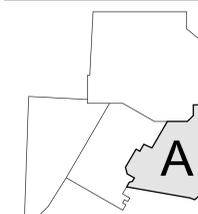
Scale
1/4" = 1'-0"

A-D2.101

LEGEND

| | |
|--|--------------------|
| | EXISTING TO REMAIN |
| | TO BE DEMOLISHED |
| | TO BE DEMOLISHED |

KEY PLAN



SHEET NOTES

- 01 REMOVE [E] WALL
- 02 REMOVE [E] SLAB
- 03 REMOVE [E] FLOOR
- 06 REMOVE [E] STRUCTURE
- 07 REMOVE [E] ROOF
- 16 REMOVE [E] BRICK PLAZA AS NEEDED FOR UNDERGROUND UTILITY WORK. RE: CIVIL DRAWINGS
- 22 [E] TELECOM EQUIPMENT TO BE REPURPOSED. RE: BPIB DRAWINGS
- 24 [E] WALL TO REMAIN
- 34 DASHED LINE AND HATCHED AREA OF [E] BUILDING B TO BE DEMOLISHED. REFER TO UTILITY PLANS FOR CUT AND MAKE SAFE EXTENTS OF UTILITIES
- 36 DASHED LINE OF THE [E] BOILER ROOM TO BE REMOVED INCLUDING ALL EQUIPMENT, UTILITIES, AND INTERIOR FINISHES. GENERAL CONTRACTOR TO COORDINATE WITH CLIENT AND NEW BOILER ROOM PLANS FOR EQUIPMENT THAT WILL BE SAVED FOR REUSE AND PREPARE ALL MEP CONNECTIONS FOR EXTENSION TO NEW BOILER HOUSE LOCATION
- 38 DASHED LINE AND HATCHED AREA OF [E] STAGE STRUCTURE ABOVE RESTROOM LID TO BE REMOVED. REFER TO UTILITY PLANS FOR CUT AND MAKE SAFE EXTENTS OF UTILITIES



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| Date | Description |
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| 1 2021.02.26 | BP2A: DEMOLITION-LGB, BLDG B, STAGE |

GENERAL NOTES

Seal / Signature



Project Name

SSRC | BASE AREA IMPROVEMENTS

Project Number

003.7835.000

Description

DEMOLITION SECTIONS - LOWER GONDOLA BUILDING

Scale

As indicated

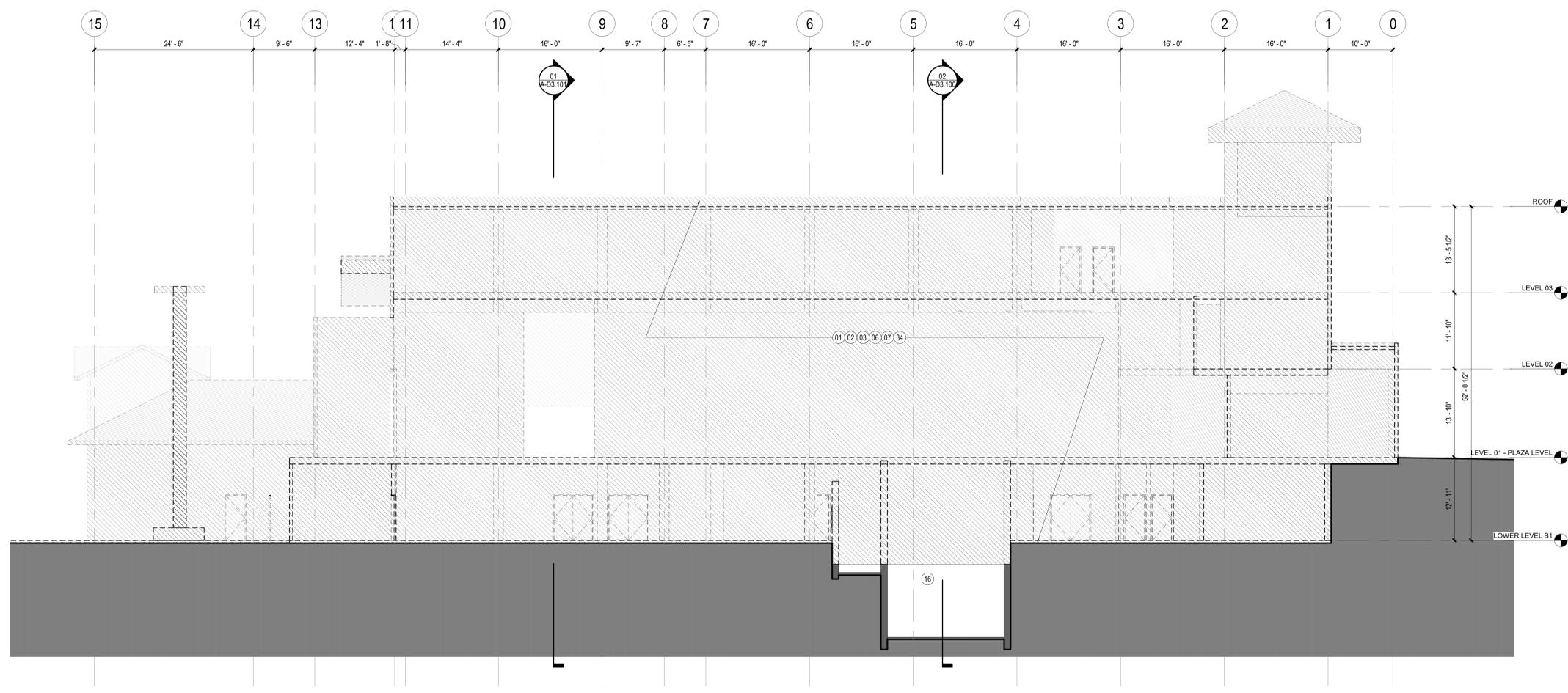
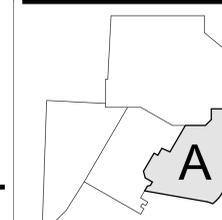
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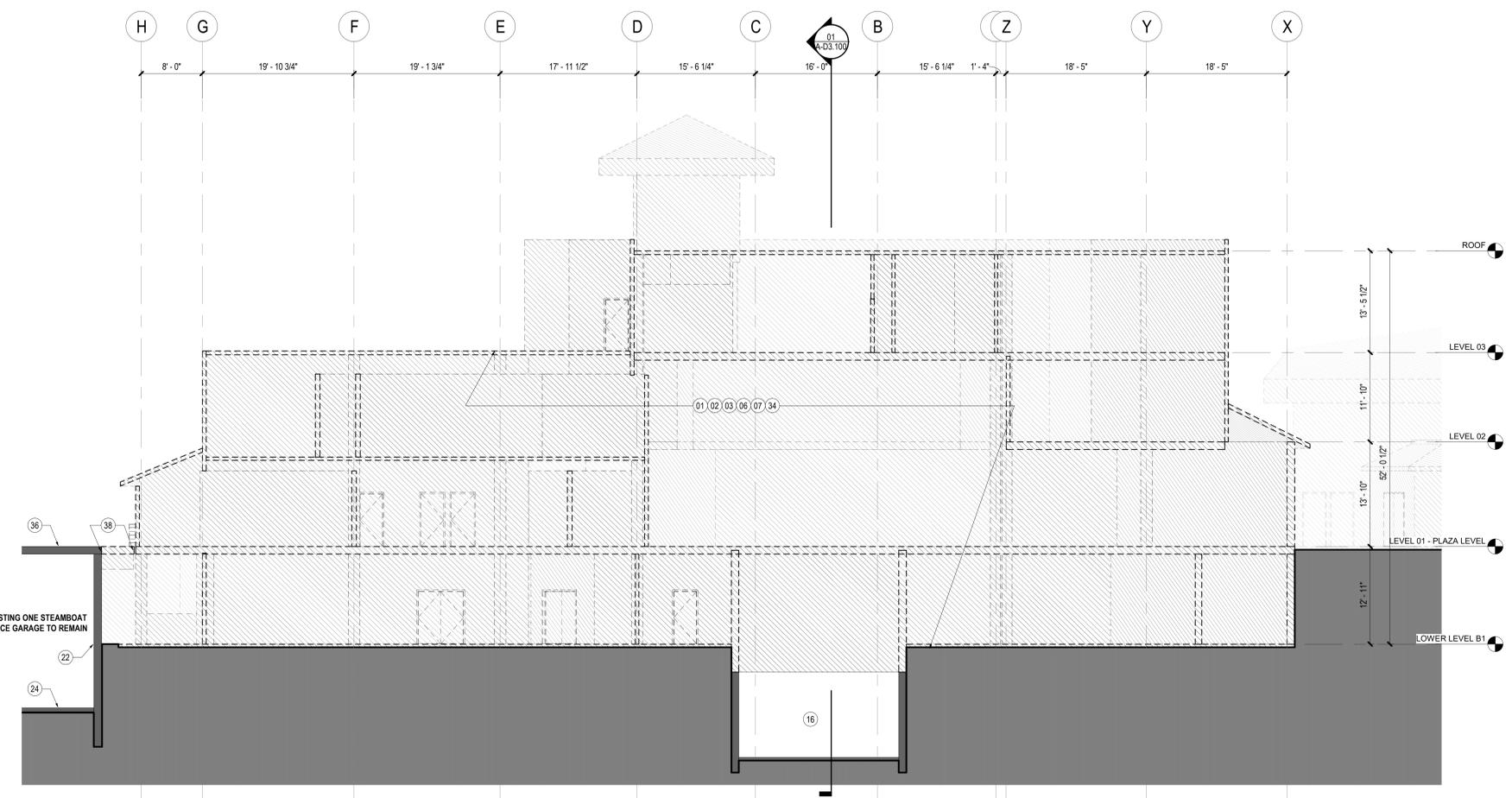
LEGEND

- EXISTING TO REMAIN
- TO BE DEMOLISHED
- TO BE DEMOLISHED

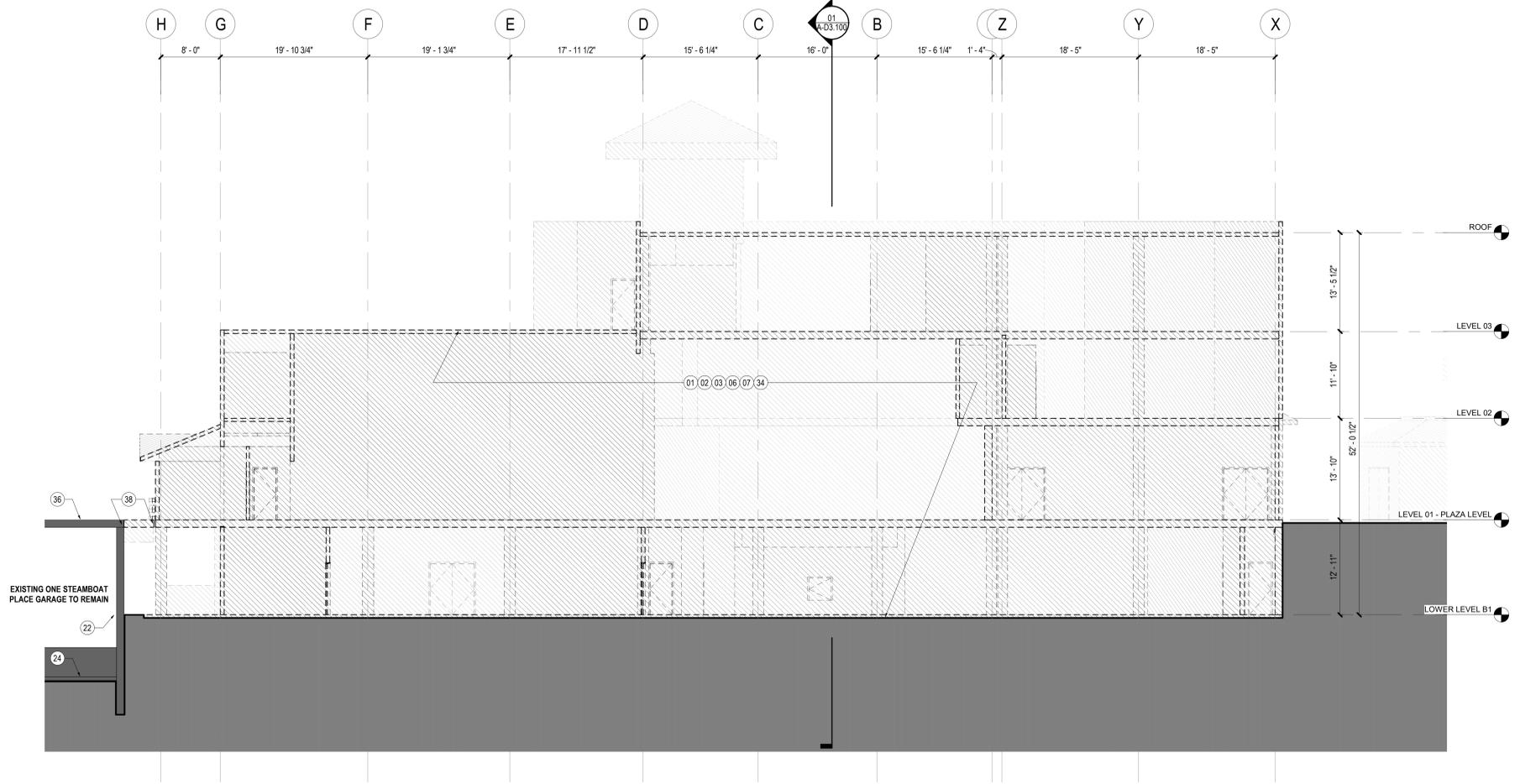
KEY PLAN



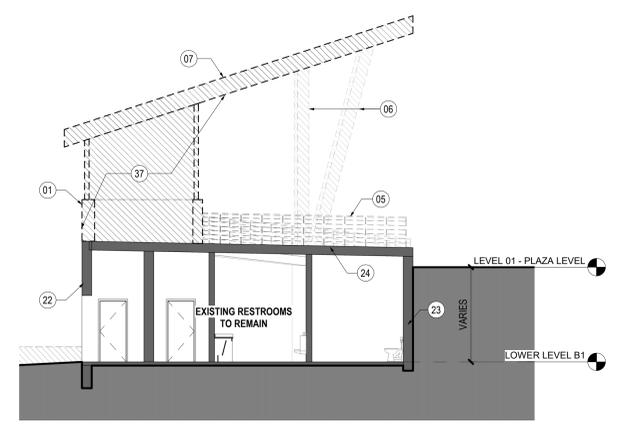
01 LOWER GONDOLA BUILDING DEMOLITION SECTION - EAST / WEST
SCALE: 1/8" = 1'-0"



02 LOWER GONDOLA BUILDING DEMOLITION SECTION - NORTH / SOUTH1
SCALE: 1/8" = 1'-0"



01 LOWER GONDOLA BUILDING DEMOLITION SECTION - NORTH / SOUTH
SCALE: 1/8" = 1'-0"



02 STAGE DEMOLITION SECTION - NORTH / SOUTH
SCALE: 1/8" = 1'-0"

SHEET NOTES

- 01 REMOVE [E] WALL
- 02 REMOVE [E] SLAB
- 03 REMOVE [E] FLOOR
- 05 REMOVE [E] RAILING
- 06 REMOVE [E] STRUCTURE
- 07 REMOVE [E] ROOF
- 22 [E] TELECOM EQUIPMENT TO BE REPURPOSED, RE: BP18 DRAWINGS
- 23 [E] WALK-IN REFRIGERATOR / FREEZER TO BE REPURPOSED
- 24 [E] WALL TO REMAIN
- 34 DASHED LINE AND HATCHED AREA OF [E] BUILDING B TO BE DEMOLISHED. REFER TO UTILITY PLANS FOR CUT AND MAKE SAFE EXTENTS OF UTILITIES
- 36 DASHED LINE OF THE [E] BOILER ROOM TO BE REMOVED INCLUDING ALL EQUIPMENT, UTILITIES, AND INTERIOR FINISHES. GENERAL CONTRACTOR TO COORDINATE WITH CLIENT AND NEW BOILER ROOM PLANS FOR EQUIPMENT THAT WILL BE SAVED FOR REUSE AND PREPARE ALL MEP CONNECTIONS FOR EXTENSION TO NEW BOILER HOUSE LOCATION
- 37 [E] PAVERS TO REMAIN
- 38 DASHED LINE AND HATCHED AREA OF [E] STAGE STRUCTURE ABOVE RESTROOM LID TO BE REMOVED. REFER TO UTILITY PLANS FOR CUT AND MAKE SAFE EXTENTS OF UTILITIES

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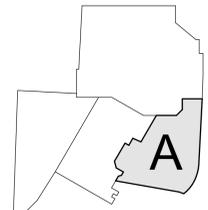
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| Date | Description |
|--------------|-------------------------------------|
| 1 2021.02.26 | BP2A: DEMOLITION-LGB, BLDG B, STAGE |

GENERAL NOTES

- LEGEND**
- EXISTING TO REMAIN
 - TO BE DEMOLISHED
 - TO BE DEMOLISHED

KEY PLAN



Seal / Signature

J. Collins
04.02.2021

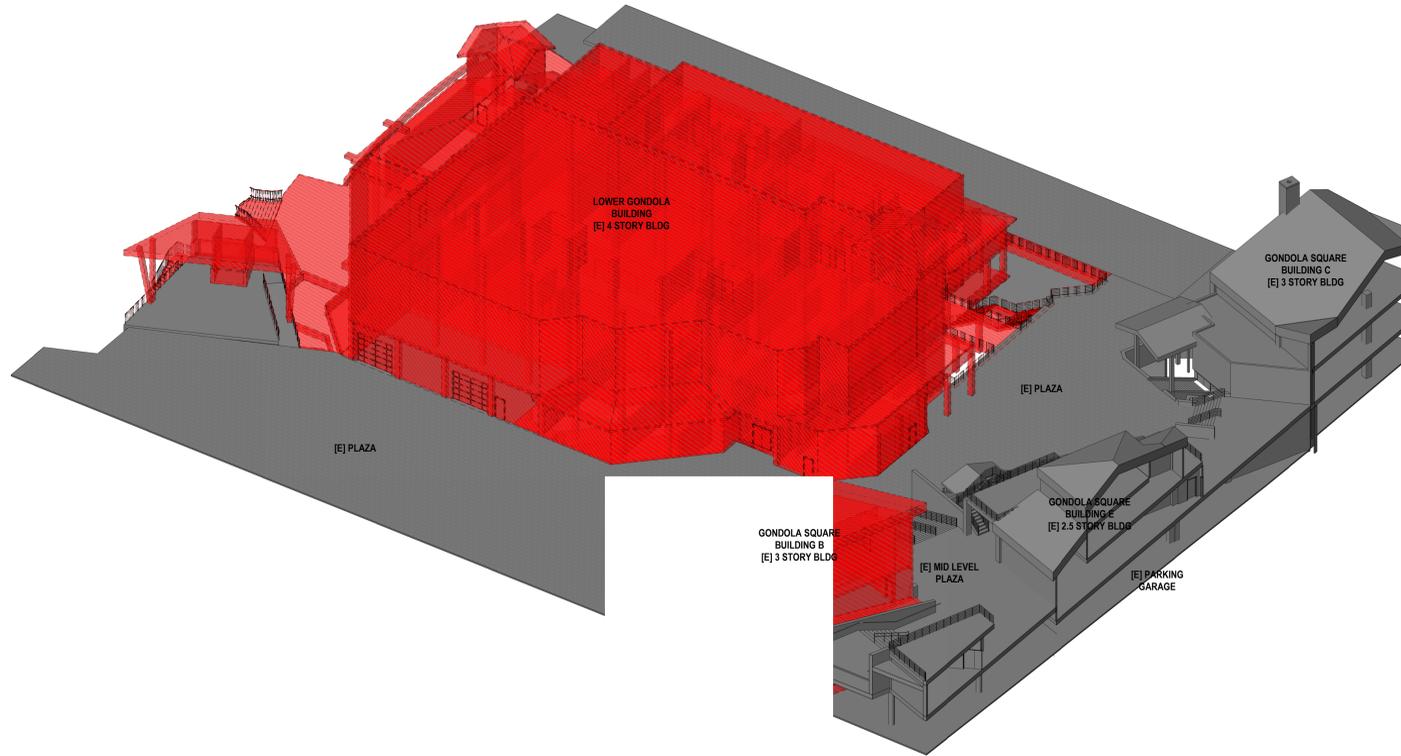
Project Name
SSRC | BASE AREA IMPROVEMENTS

Project Number
003.7835.000

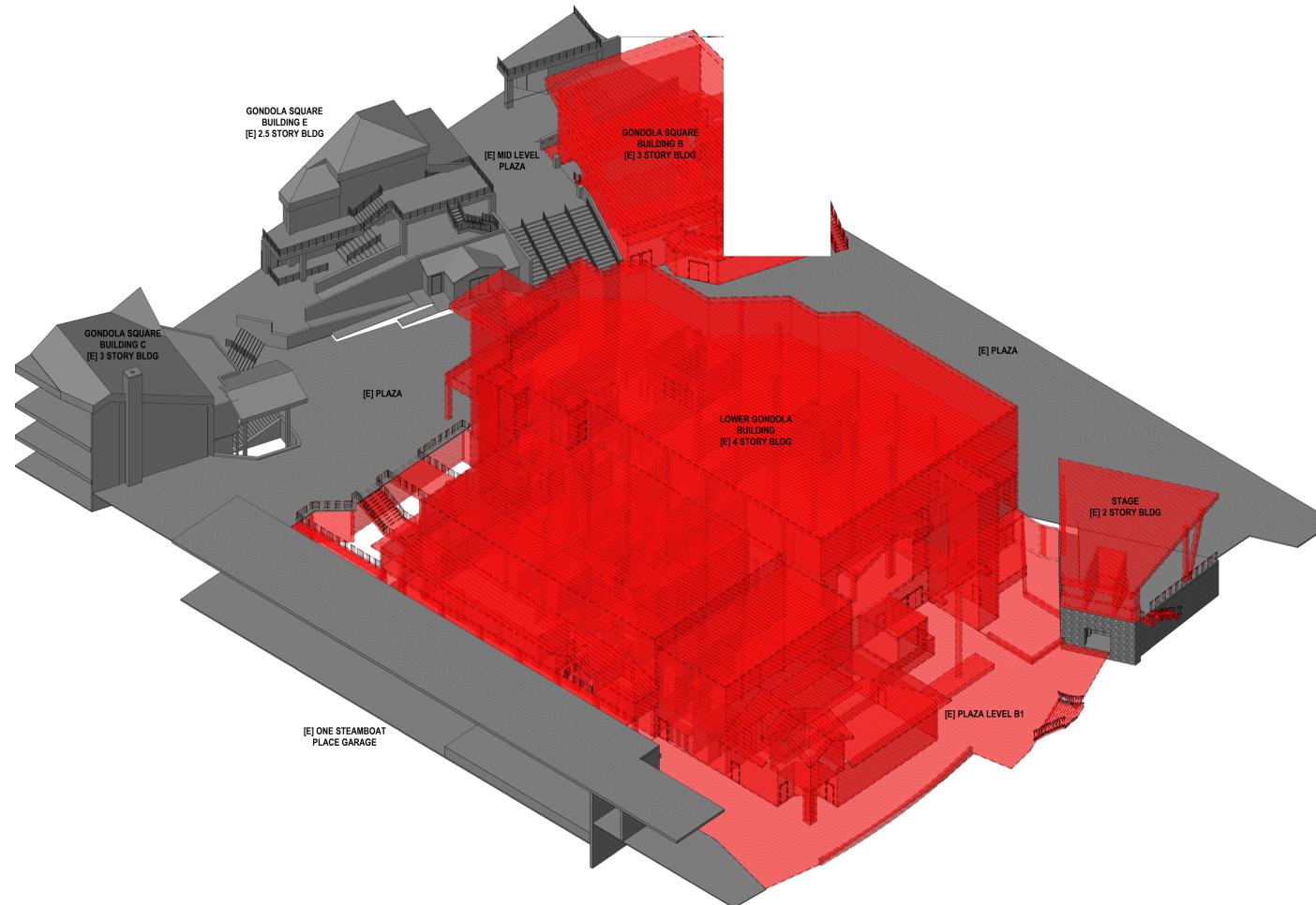
Description
DEMOLITION SECTIONS - LOWER GONDOLA BUILDING

Scale
As indicated

A-D3.101



01 DEMOLITION - AXONOMETRIC NW
SCALE:



02 DEMOLITION - AXONOMETRIC SE
SCALE:

SHEET NOTES



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United States
Tel: 303.421.6655

| Date | Description |
|--------------|-------------------------------------|
| 1 2021.02.26 | BP2A: DEMOLITION-LGB, BLDG B, STAGE |

GENERAL NOTES

1. AXONOMETRIC VIEWS ARE PROVIDED FOR REFERENCE ONLY. SEE PLANS, SECTIONS, AND ELEVATIONS FOR THE SCOPE OF WORK.

Seal / Signature



Project Name

SSRC | BASE AREA IMPROVEMENTS

Project Number

003.7835.000

Description

DEMOLITION AXONOMETRIC - LOWER GONDOLA BUILDING & STAGE

Scale

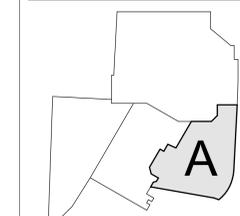
1/4" = 1'-0"

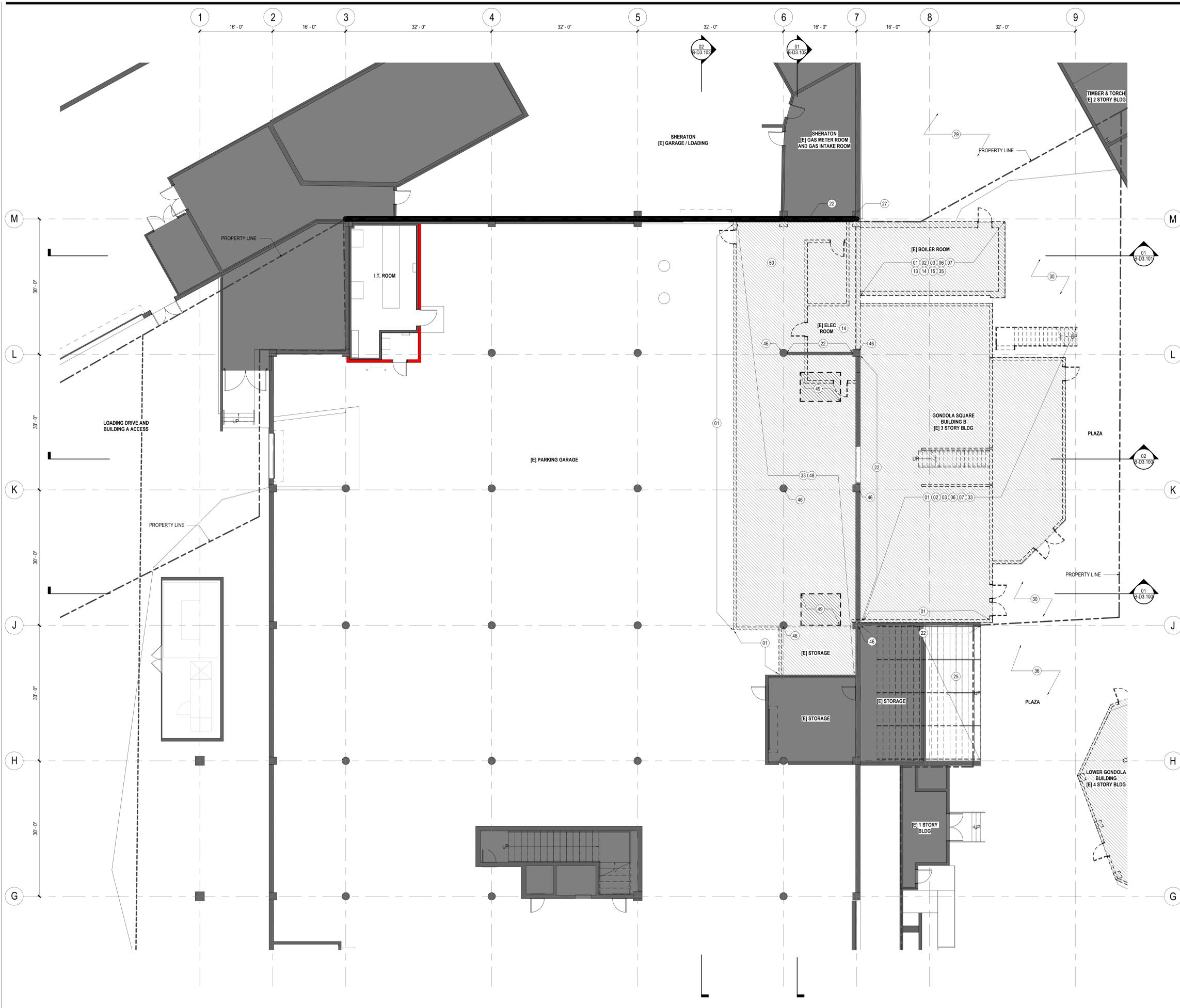
A-D4.100

LEGEND

- EXISTING TO REMAIN
- TO BE DEMOLISHED

KEY PLAN





SHEET NOTES

- 01 REMOVE [E] WALL
- 02 REMOVE [E] SLAB
- 03 REMOVE [E] FLOOR
- 06 REMOVE [E] STRUCTURE
- 07 REMOVE [E] ROOF
- 13 REMOVE [E] MECHANICAL EQUIPMENT. RE: MECHANICAL DRAWINGS
- 14 REMOVE [E] ELECTRICAL EQUIPMENT. RE: ELECTRICAL DRAWINGS
- 15 REMOVE [E] PLUMBING EQUIPMENT. RE: PLUMBING DRAWINGS
- 22 [E] TELECOM EQUIPMENT TO BE REPURPOSED. RE: B-P18 DRAWINGS
- 25 [E] RETAINING WALL TO REMAIN
- 27 [E] STAIR TO REMAIN
- 29 [E] GAS LINES TO BE CUT CAPPED AND RE-ROUTED. RE: MECH DRAWINGS
- 30 [E] MECHANICAL LOUVER TO BE REMOVED. CONTRACTOR TO INFILL OPENING WITH CMU BLOCK TO MATCH EXISTING AND TO MEET A 2 HOUR FIRE RATED ASSEMBLY
- 33 DASHED LINE OF [E] STRUCTURE AND [E] PAVING TO BE REMOVED
- 35 DASHED LINE AND HATCHED AREA OF [E] LOWER GONDOLA BUILDING TO BE DEMOLISHED. REFER TO UTILITY PLANS FOR CUT AND MAKE SAFE EXTENTS OF UTILITIES
- 36 DASHED LINE OF THE [E] BOILER ROOM TO BE REMOVED INCLUDING ALL EQUIPMENT, UTILITIES, AND INTERIOR FINISHES. GENERAL CONTRACTOR TO COORDINATE WITH CLIENT AND NEW BOILER ROOM PLANS FOR EQUIPMENT THAT WILL BE SAVED FOR REUSE AND PREPARE ALL MEP CONNECTIONS FOR EXTENSION TO NEW BOILER HOUSE LOCATION
- 46 [E] STRUCTURAL COLUMNS TO REMAIN / BE MODIFIED. RE: STRUCTURAL SHEETS
- 48 REMOVE [E] WOOD FRAMED FLOOR IN ITS ENTIRETY INCLUDING STRUCTURE AND FINISHES TO EXPOSE SLAB BELOW
- 49 REMOVE / CUT [E] SLAB AS REQUIRED TO ABANDON SEWER SERVICE AT MAIN. RE: CIVIL SHEETS FOR MORE INFORMATION
- 50 CONTRACTOR TO PROVIDE TEMPORARY WEATHERPROOF ENCLOSURE OVER THIS AREA. ENCLOSURE INTENT IS TO CLOSE OFF EXTERIOR FROM INTERIOR PARKING GARAGE.

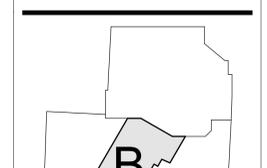
GENERAL NOTES

- 1. REMOVE THE EXISTING LOWER GONDOLA TERMINAL BUILDING COMPLETELY, INCLUDING ALL STRUCTURE, MECHANICAL, ELECTRICAL, PLUMBING, I.T. SYSTEMS. RE: MECHANICAL, ELECTRICAL, I.T. DRAWINGS FOR MORE INFORMATION
- 2. STRUCTURE TO BE REMOVED COMPLETELY, INCLUDING ALL FOUNDATIONS. THE EXISTING GONDOLA COUNTERWEIGHT TO REMAIN. TOP TO BE CUT/DOWN AND PIT TO BE FILLED. RE: STRUCTURAL FOR MORE INFORMATION. ALL WATER IN PIT TO BE DRAINED AND REMOVED. CONTRACTOR TO PROVIDE DEWATERING OPERATIONS.
- 3. ALL UNDERGROUND UTILITIES BELOW BUILDING TO BE REMOVED COMPLETELY. UTILITY CONNECTIONS TO THE EXISTING BUILDING TO BE CUT AND CAPPED. RE: CIVIL DRAWINGS. CONTRACTOR TO SCHEDULE ALL UTILITY SHUTDOWNS AND COORDINATE CUT AND CAP ACTIVITY WITH LOCAL UTILITY PROVIDERS. THE GONDOLA WILL BE REMOVED AND PACKAGED FOR REUSE BY OWNER AS A SEPARATE CONTRACT. CONTRACTORS TO COORDINATE WORK AND SCHEDULE OF OPERATIONS.
- 4. REFERENCE OWNER PROVIDED CONSTRUCTION DRAWINGS FOR SPECIFIC CONSTRUCTION OF BUILDING ELEMENTS.
- 5. DASHED LINES AND HATCH AREAS ON PLANS, SECTIONS, AND ELEVATIONS REPRESENT AREAS TO BE DEMOLISHED. REFER TO SHEET NOTES.
- 6. REFER TO STRUCTURAL, CIVIL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR MORE INFORMATION ON DEMOLITION LOCATION AND TREATMENT OF EXISTING BUILDING SYSTEMS

LEGEND

- EXISTING TO REMAIN
- TO BE DEMOLISHED
- TO BE DEMOLISHED

KEY PLAN



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| Date | Description |
|--------------|-------------------------------------|
| 1 2021.02.26 | BP2A: DEMOLITION-LGB, BLDG B, STAGE |

Seal / Signature

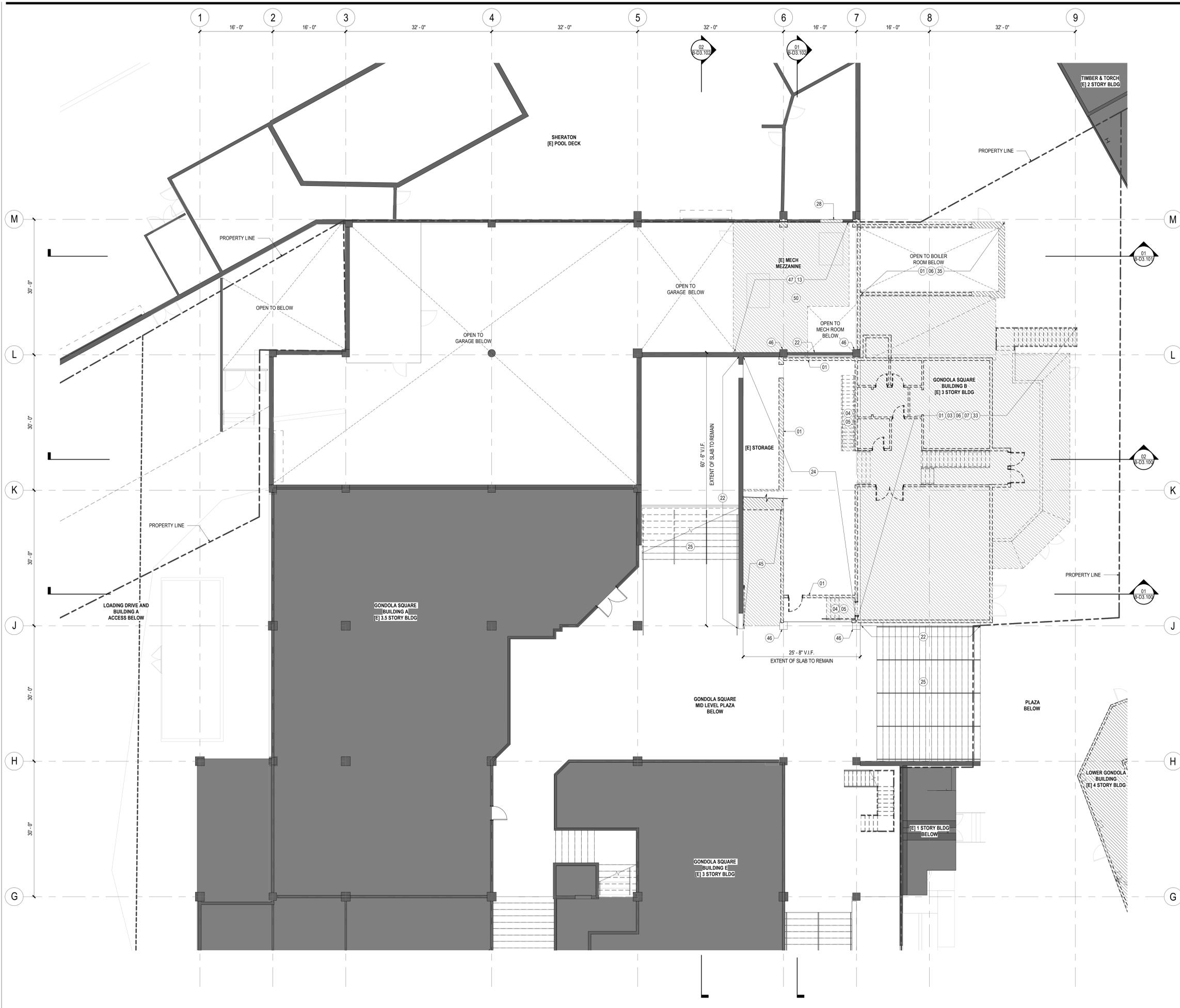
Project Name
SSRC | BASE AREA IMPROVEMENTS

Project Number
003.7835.000

Description
DEMOLITION PLANS - BUILDING B - LEVEL 01

Scale
As indicated

B-D1.101



SHEET NOTES

- 01 REMOVE [E] WALL
- 03 REMOVE [E] FLOOR
- 04 REMOVE [E] STAIR
- 05 REMOVE [E] RAILING
- 06 REMOVE [E] STRUCTURE
- 07 REMOVE [E] ROOF
- 13 REMOVE [E] MECHANICAL EQUIPMENT. RE: MECHANICAL DRAWINGS
- 22 [E] TELECOM EQUIPMENT TO BE REPURPOSED. RE: BP1B DRAWINGS
- 24 [E] WALL TO REMAIN
- 28 [E] RETAINING WALL TO REMAIN
- 30 [E] DOOR TO REMAIN
- 33 DASHED LINE OF [E] STRUCTURE AND [E] PAVING TO BE REMOVED
- 35 DASHED LINE AND HATCHED AREA OF [E] LOWER GONDOLA BUILDING TO BE DEMOLISHED. REFER TO UTILITY PLANS FOR CUT AND MAKE SAFE EXTENTS OF UTILITIES
- 45 DASHED LINE AND HATCHED AREA OF [E] RAMP, RAILING, AND STRUCTURE TO BE REMOVED UNLESS OTHERWISE NOTED
- 46 [E] STRUCTURAL COLUMNS TO REMAIN / BE MODIFIED. RE: STRUCTURAL SHEETS
- 47 DASHED LINE AND HATCHED AREA OF [E] MEZZANINE AND EQUIPMENT TO BE DEMOLISHED. REFER TO UTILITY PLANS FOR CUT AND MAKE SAFE EXTENTS OF UTILITIES
- 50 CONTRACTOR TO PROVIDE TEMPORARY WEATHERPROOF ENCLOSURE OVER THIS AREA. ENCLOSURE INTENT IS TO CLOS OFF EXTERIOR FROM INTERIOR PARKING GARAGE.

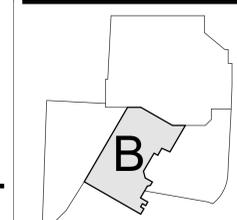
GENERAL NOTES

1. REMOVE THE EXISTING LOWER GONDOLA TERMINAL BUILDING COMPLETELY, INCLUDING ALL STRUCTURE, MECHANICAL, ELECTRICAL, PLUMBING, I.T. SYSTEMS. RE: MECHANICAL, ELECTRICAL, I.T. DRAWINGS FOR MORE INFORMATION.
2. STRUCTURE TO BE REMOVED COMPLETELY, INCLUDING ALL FOUNDATIONS. THE EXISTING GONDOLA COUNTERWEIGHT TO REMAIN. TOP TO BE CUTDOWN AND PIT TO BE FILLED. RE: STRUCTURAL FOR MORE INFORMATION. ALL WATER IN PIT TO BE DRAINED AND REMOVED. CONTRACTOR TO PROVIDE DEWATERING OPERATIONS.
3. ALL UNDERGROUND UTILITIES BELOW BUILDING TO BE REMOVED COMPLETELY. UTILITY CONNECTIONS TO THE EXISTING BUILDING TO BE CUT AND CAPPED. RE: CIVIL DRAWINGS. CONTRACTOR TO SCHEDULE ALL UTILITY SHUTDOWNS AND COORDINATE CUT AND CAP ACTIVITY WITH LOCAL UTILITY PROVIDERS. THE GONDOLA WILL BE REMOVED AND PACKAGED FOR REUSE BY OWNER AS A SEPARATE CONTRACT. CONTRACTORS TO COORDINATE WORK AND SCHEDULE OF OPERATIONS.
4. REFERENCE OWNER PROVIDED CONSTRUCTION DRAWINGS FOR SPECIFIC CONSTRUCTION OF BUILDING ELEMENTS.
5. DASHED LINES AND HATCH AREAS ON PLANS, SECTIONS, AND ELEVATIONS REPRESENT AREAS TO BE DEMOLISHED, REFER TO SHEET NOTES.
6. REFER TO STRUCTURAL, CIVIL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR MORE INFORMATION ON DEMOLITION LOCATION AND TREATMENT OF EXISTING BUILDING SYSTEMS

LEGEND

- EXISTING TO REMAIN
- TO BE DEMOLISHED
- TO BE DEMOLISHED

KEY PLAN



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| Date | Description |
|--------------|-------------------------------------|
| 1 2021.02.26 | BP2A: DEMOLITION-LGB, BLDG B, STAGE |

Seal / Signature

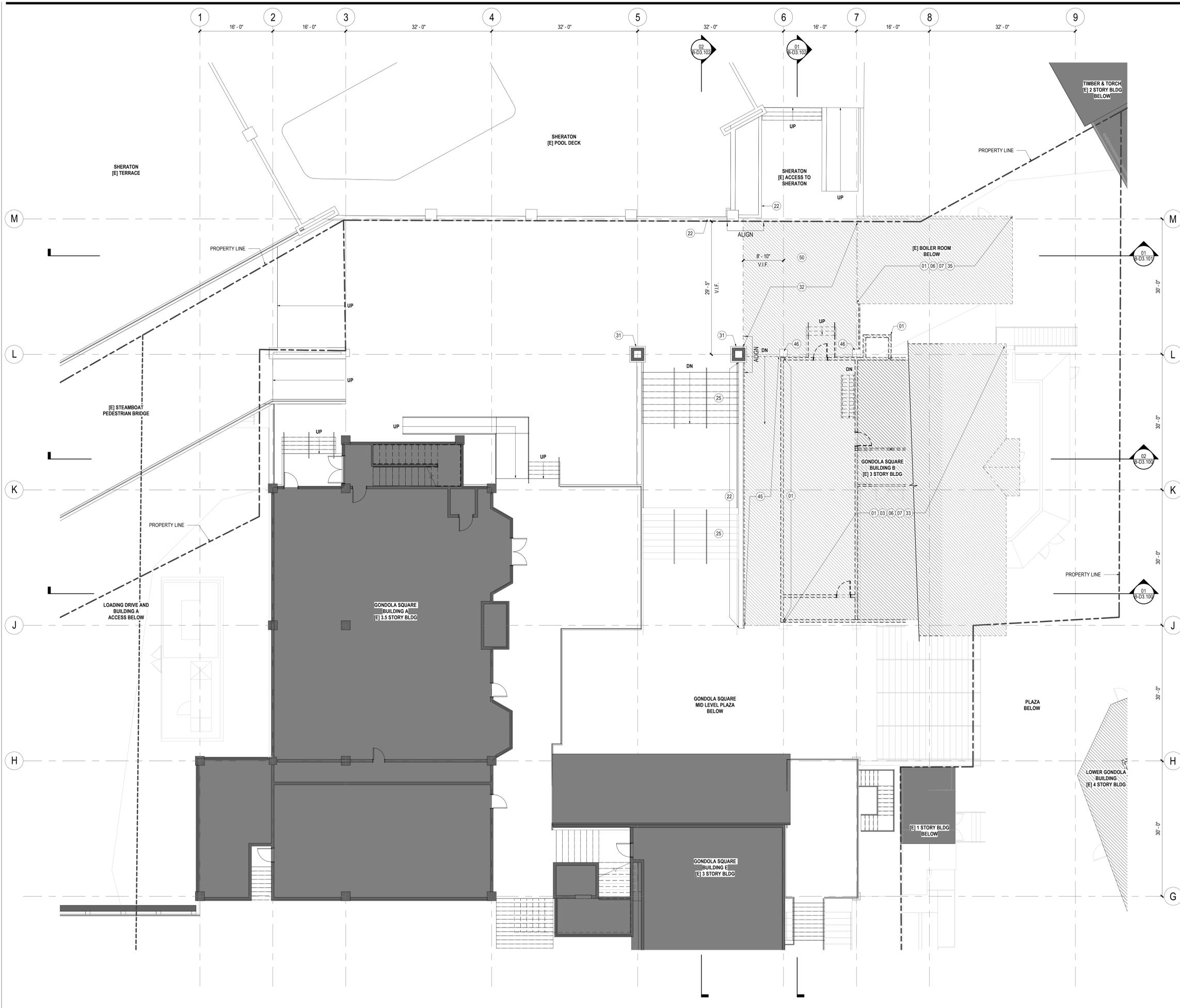
Project Name
SSRC | BASE AREA IMPROVEMENTS

Project Number
003.7835.000

Description
DEMOLITION PLANS - BUILDING B - LEVEL 02

Scale
As indicated

B-D1.102



SHEET NOTES

- 01 REMOVE [E] WALL
- 03 REMOVE [E] FLOOR
- 06 REMOVE [E] STRUCTURE
- 07 REMOVE [E] ROOF
- 22 [E] TELECOM EQUIPMENT TO BE REPURPOSED, RE: BPIB DRAWINGS
- 25 [E] RETAINING WALL TO REMAIN
- 31 [E] LANDSCAPE TO REMAIN
- 32 [E] VERTICAL PORTAL ELEMENT TO REMAIN
- 33 DASHED LINE OF [E] STRUCTURE AND [E] PAVING TO BE REMOVED
- 35 DASHED LINE AND HATCHED AREA OF [E] LOWER GONDOLA BUILDING TO BE DEMOLISHED, REFER TO UTILITY PLANS FOR CUT AND MAKE SAFE EXTENTS OF UTILITIES
- 45 DASHED LINE AND HATCHED AREA OF [E] RAMP, RAILING, AND STRUCTURE TO BE REMOVED UNLESS OTHERWISE NOTED
- 46 [E] STRUCTURAL COLUMNS TO REMAIN / BE MODIFIED, RE: STRUCTURAL SHEETS
- 50 CONTRACTOR TO PROVIDE TEMPORARY WEATHERPROOF ENCLOSURE OVER THIS AREA, ENCLOSURE INTENT IS TO CLOSE OFF EXTERIOR FROM INTERIOR PARKING GARAGE.

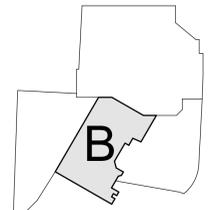
GENERAL NOTES

1. REMOVE THE EXISTING LOWER GONDOLA TERMINAL BUILDING COMPLETELY, INCLUDING ALL STRUCTURE, MECHANICAL, ELECTRICAL, PLUMBING, I.T. SYSTEMS. RE: MECHANICAL, ELECTRICAL, I.T. DRAWINGS FOR MORE INFORMATION.
2. STRUCTURE TO BE REMOVED COMPLETELY, INCLUDING ALL FOUNDATIONS. THE EXISTING GONDOLA COUNTERWEIGHT TO REMAIN, TOP TO BE CUTDOWN AND PIT TO BE FILLED, RE: STRUCTURAL FOR MORE INFORMATION. ALL WATER IN PIT TO BE DRAINED AND REMOVED. CONTRACTOR TO PROVIDE DEWATERING OPERATIONS.
3. ALL UNDERGROUND UTILITIES BELOW BUILDING TO BE REMOVED COMPLETELY. UTILITY CONNECTIONS TO THE EXISTING BUILDING TO BE CUT AND CAPPED, RE: CIVIL DRAWINGS. CONTRACTOR TO SCHEDULE ALL UTILITY SHUTDOWNS AND COORDINATE CUT AND CAP ACTIVITY WITH LOCAL UTILITY PROVIDERS. THE GONDOLA WILL BE REMOVED AND PACKAGED FOR REUSE BY OWNER AS A SEPARATE CONTRACT. CONTRACTORS TO COORDINATE WORK AND SCHEDULE OF OPERATIONS.
4. REFERENCE OWNER PROVIDED CONSTRUCTION DRAWINGS FOR SPECIFIC CONSTRUCTION OF BUILDING ELEMENTS.
5. DASHED LINES AND HATCH AREAS ON PLANS, SECTIONS, AND ELEVATIONS REPRESENT AREAS TO BE DEMOLISHED, REFER TO SHEET NOTES.
6. REFER TO STRUCTURAL, CIVIL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR MORE INFORMATION ON DEMOLITION LOCATION AND TREATMENT OF EXISTING BUILDING SYSTEMS.

LEGEND

- EXISTING TO REMAIN
- TO BE DEMOLISHED
- TO BE DEMOLISHED

KEY PLAN



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| Date | Description |
|--------------|-------------------------------------|
| 1 2021.02.26 | BP2A: DEMOLITION-LGB, BLDG B, STAGE |

Seal / Signature

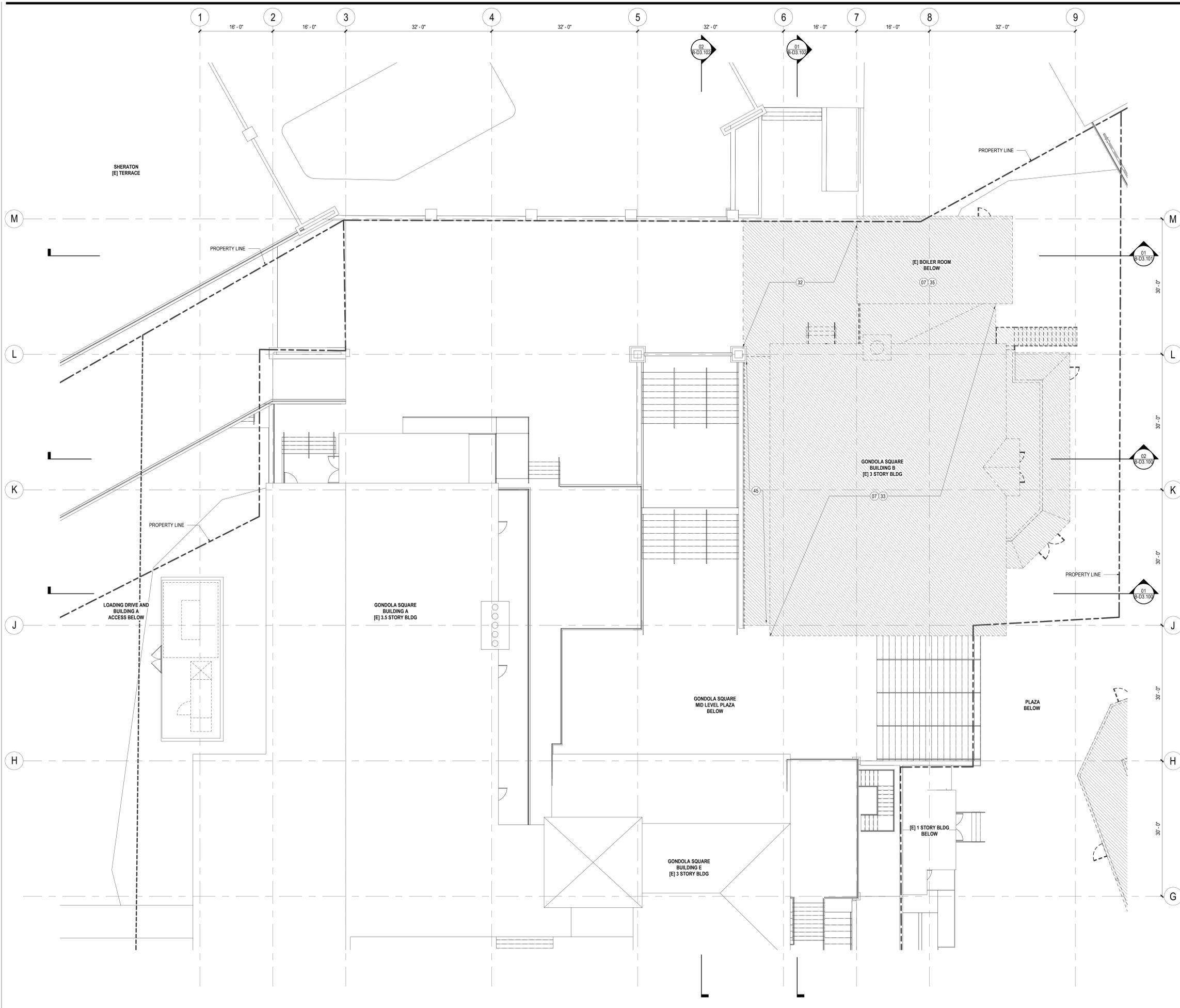
Project Name
SSRC | BASE AREA IMPROVEMENTS

Project Number
003.7835.000

Description
DEMOLITION PLANS - BUILDING B - LEVEL 03

Scale
As indicated

B-D1.103



SHEET NOTES

- 07 REMOVE [E] ROOF
- 32 [E] VERTICAL PORTAL ELEMENT TO REMAIN
- 33 DASHED LINE OF [E] STRUCTURE AND [E] PAVING TO BE REMOVED
- 35 DASHED LINE AND HATCHED AREA OF [E] LOWER GONDOLA BUILDING TO BE DEMOLISHED. REFER TO UTILITY PLANS FOR CUT AND MAKE SAFE EXTENTS OF UTILITIES
- 45 DASHED LINE AND HATCHED AREA OF [E] RAMP, RAILING, AND STRUCTURE TO BE REMOVED UNLESS OTHERWISE NOTED

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GENERAL NOTES

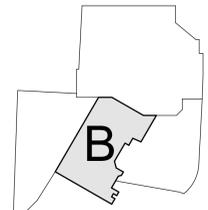
1. REMOVE THE EXISTING LOWER GONDOLA TERMINAL BUILDING COMPLETELY, INCLUDING ALL STRUCTURE, MECHANICAL, ELECTRICAL, PLUMBING, I.T. SYSTEMS. RE: MECHANICAL, ELECTRICAL, I.T. DRAWINGS FOR MORE INFORMATION.
2. STRUCTURE TO BE REMOVED COMPLETELY, INCLUDING ALL FOUNDATIONS. THE EXISTING GONDOLA COUNTERWEIGHT TO REMAIN. TOP TO BE CUTDOWN AND PIT TO BE FILLED. RE: STRUCTURAL FOR MORE INFORMATION. ALL WATER IN PIT TO BE DRAINED AND REMOVED. CONTRACTOR TO PROVIDE DEWATERING OPERATIONS.
3. ALL UNDERGROUND UTILITIES BELOW BUILDING TO BE REMOVED COMPLETELY. UTILITY CONNECTIONS TO THE EXISTING BUILDING TO BE CUT AND CAPPED. RE: CIVIL DRAWINGS. CONTRACTOR TO SCHEDULE ALL UTILITY SHUTDOWNS AND COORDINATE CUT AND CAP ACTIVITY WITH LOCAL UTILITY PROVIDERS. THE GONDOLA WILL BE REMOVED AND PACKAGED FOR REUSE BY OWNER AS A SEPARATE CONTRACT. CONTRACTORS TO COORDINATE WORK AND SCHEDULE OF OPERATIONS.
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| Date | Description |
|--------------|-------------------------------------|
| 1 2021.02.26 | BP2A: DEMOLITION-LGB, BLDG B, STAGE |

LEGEND

- EXISTING TO REMAIN
- TO BE DEMOLISHED
- TO BE DEMOLISHED

KEY PLAN



Seal / Signature

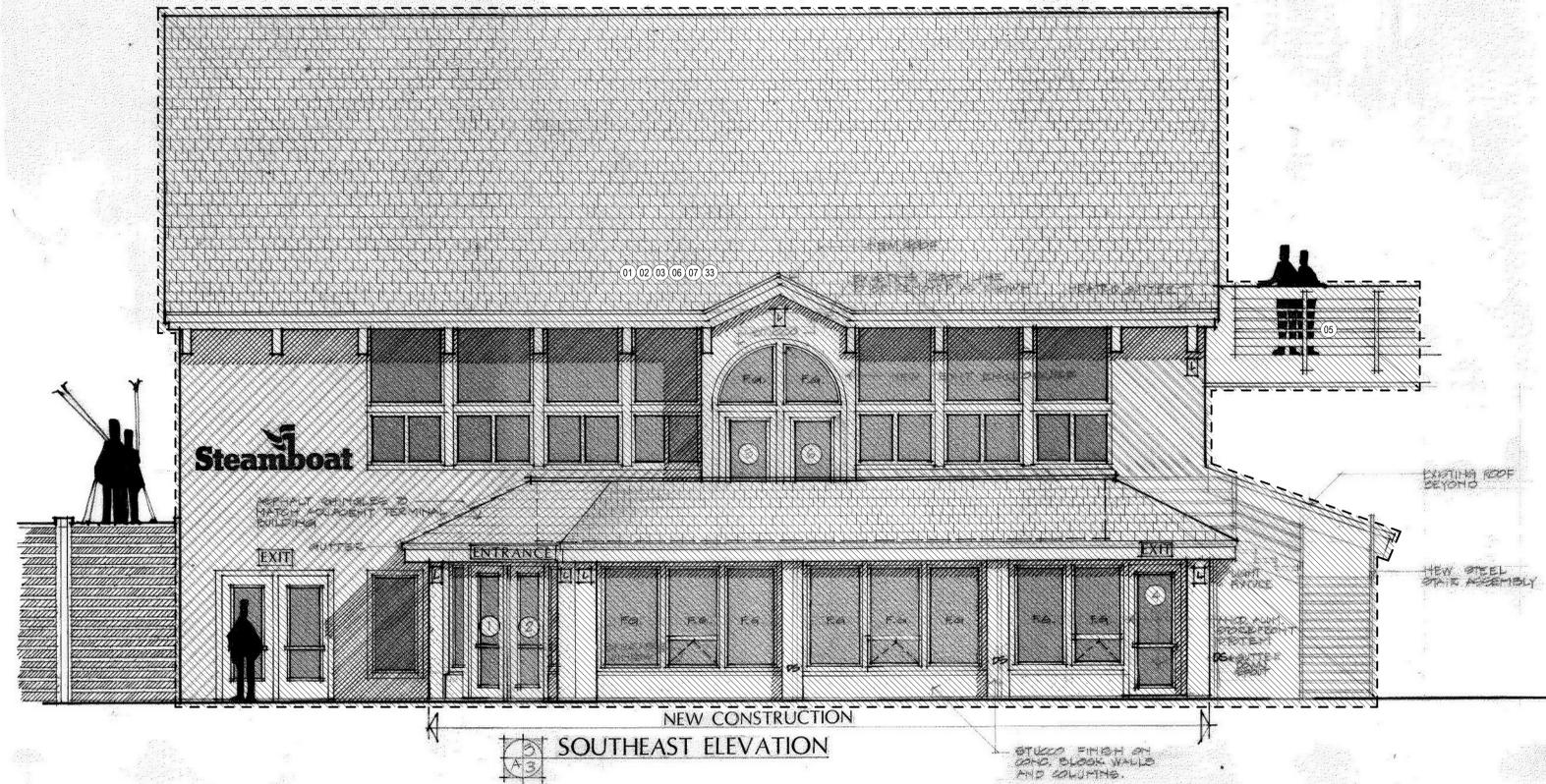
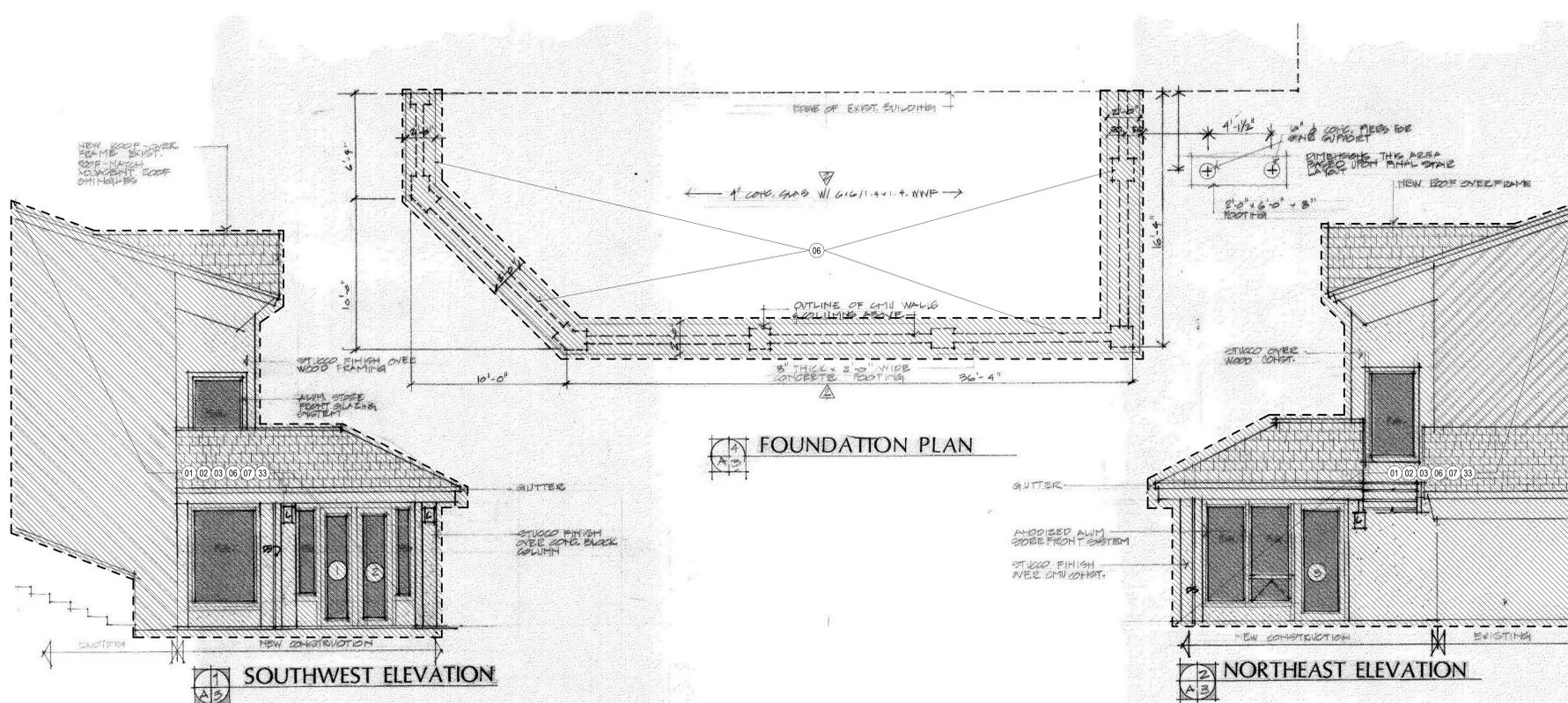
Project Name
SSRC | BASE AREA IMPROVEMENTS

Project Number
003.7835.000

Description
DEMOLITION PLANS - BUILDING B - ROOF

Scale
 As indicated

B-D1.106



SHEET NOTES

- 01 REMOVE [E] WALL
- 02 REMOVE [E] SLAB
- 03 REMOVE [E] FLOOR
- 05 REMOVE [E] RAILING
- 06 REMOVE [E] STRUCTURE
- 07 REMOVE [E] ROOF
- 33 DASHED LINE OF [E] STRUCTURE AND [E] PAVING TO BE REMOVED

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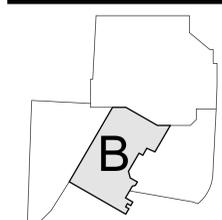
GENERAL NOTES

| Date | Description |
|--------------|-------------------------------------|
| 1 2021.02.26 | BP2A: DEMOLITION-LGB, BLDG B, STAGE |

LEGEND

- EXISTING TO REMAIN
- TO BE DEMOLISHED
- TO BE DEMOLISHED

KEY PLAN



Seal / Signature

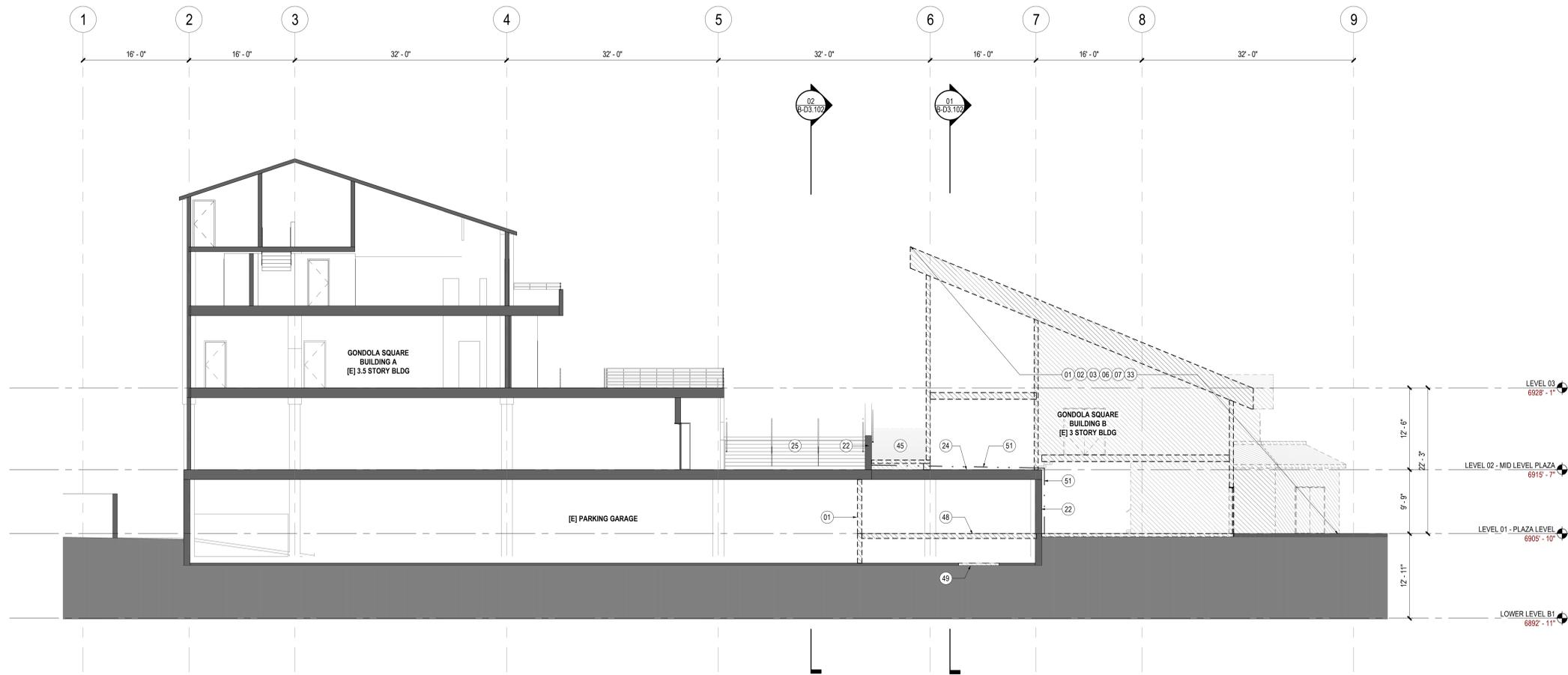
Project Name
SSRC | BASE AREA IMPROVEMENTS

Project Number
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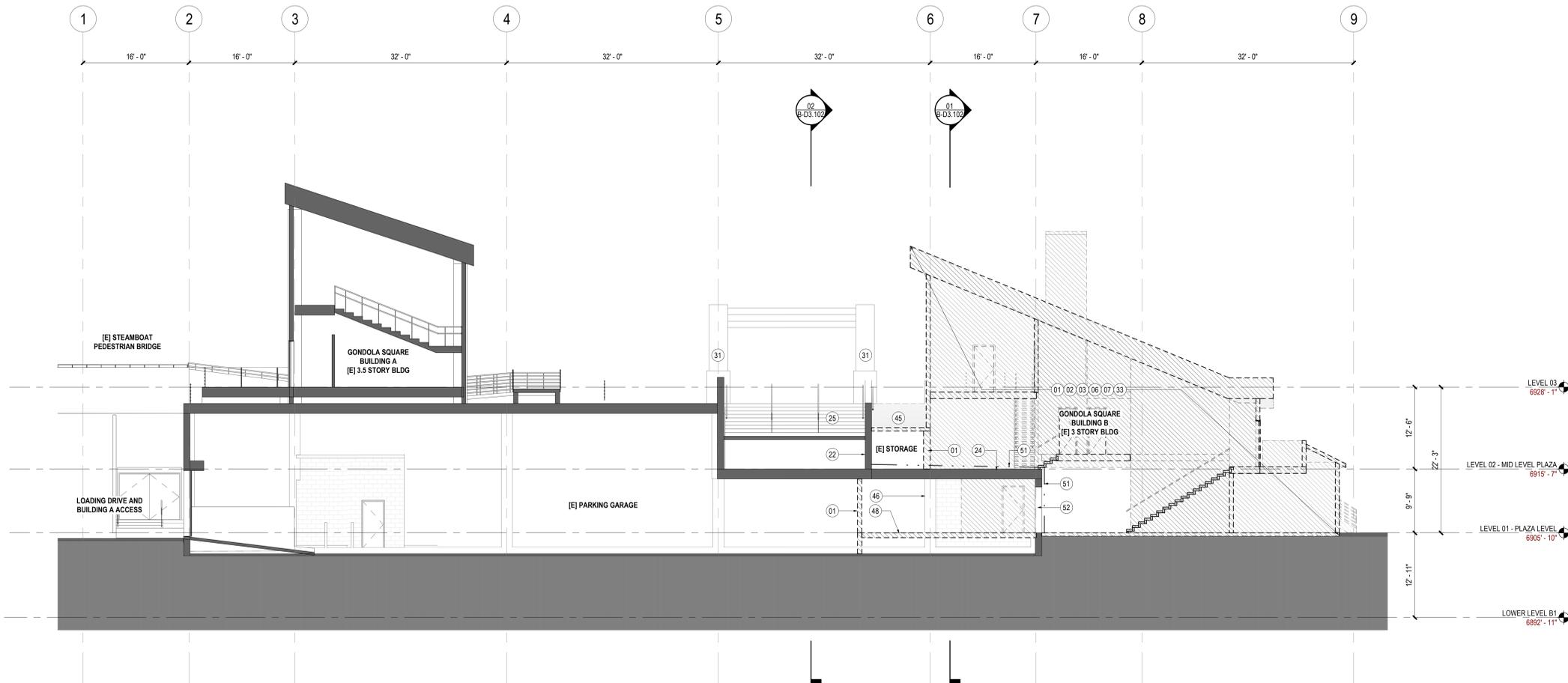
Description
 DEMOLITION ELEVATIONS - BUILDING B

Scale
 1/4" = 1'-0"

B-D2.100



01 DEMOLITION - SECTION EW - 0
SCALE: 1/8" = 1'-0"



02 DEMOLITION - SECTION EW - 1
SCALE: 1/8" = 1'-0"

SHEET NOTES

- 01 REMOVE [E] WALL
- 02 REMOVE [E] SLAB
- 03 REMOVE [E] FLOOR
- 06 REMOVE [E] STRUCTURE
- 07 REMOVE [E] ROOF
- 22 [E] TELECOM EQUIPMENT TO BE REPURPOSED, RE: BP18 DRAWINGS
- 24 [E] WALL TO REMAIN
- 25 [E] RETAINING WALL TO REMAIN
- 31 [E] LANDSCAPE TO REMAIN
- 33 DASHED LINE OF [E] STRUCTURE AND [E] PAVING TO BE REMOVED
- 45 DASHED LINE AND HATCHED AREA OF [E] RAMP, RAILING, AND STRUCTURE TO BE REMOVED, UNLESS OTHERWISE NOTED
- 46 [E] STRUCTURAL COLUMNS TO REMAIN / BE MODIFIED, RE: STRUCTURAL SHEETS
- 48 REMOVE [E] WOOD FRAMED FLOOR IN ITS ENTIRETY INCLUDING STRUCTURE AND FINISHES TO EXPOSE SLAB BELOW
- 49 REMOVE / CUT [E] SLAB AS REQUIRED TO ABANDON SEWER SERVICE AT MAIN, RE: CIVIL SHEETS FOR MORE INFORMATION
- 51 [E] WALL AND SLAB TO REMAIN, PROVIDE TEMPORARY WEATHER PROOF MEMBRANE OVER WALL, TIE TO WEATHERPROOFING MEMBRANE AT SLAB, ENTIRE ASSEMBLY TO PROVIDE WEATHER TIGHT BARRIER FROM EXTERIOR TO INTERIOR PARKING GARAGE, WEATHERPROOFING MEMBRANE TO SLOPE TO DRAIN AT HORIZONTAL SLAB.
- 52 CONTRACTOR TO PROVIDE INFILL WALL AT WALL OPENING, PROVIDE WEATHERPROOF ENCLOSURE TIE TO SURROUNDING WALL AND SLAB WEATHERPROOFING MEMBRANE.

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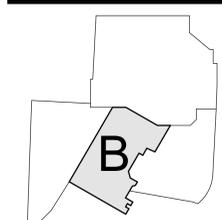
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| Date | Description |
|--------------|-------------------------------------|
| 1 2021.02.26 | BP2A: DEMOLITION-LGB, BLDG B, STAGE |

GENERAL NOTES

- LEGEND**
- EXISTING TO REMAIN
 - TO BE DEMOLISHED
 - TO BE DEMOLISHED

KEY PLAN



Seal / Signature

J. Gensler
04.02.2021

Project Name
SSRC | BASE AREA IMPROVEMENTS

Project Number
003.7835.000

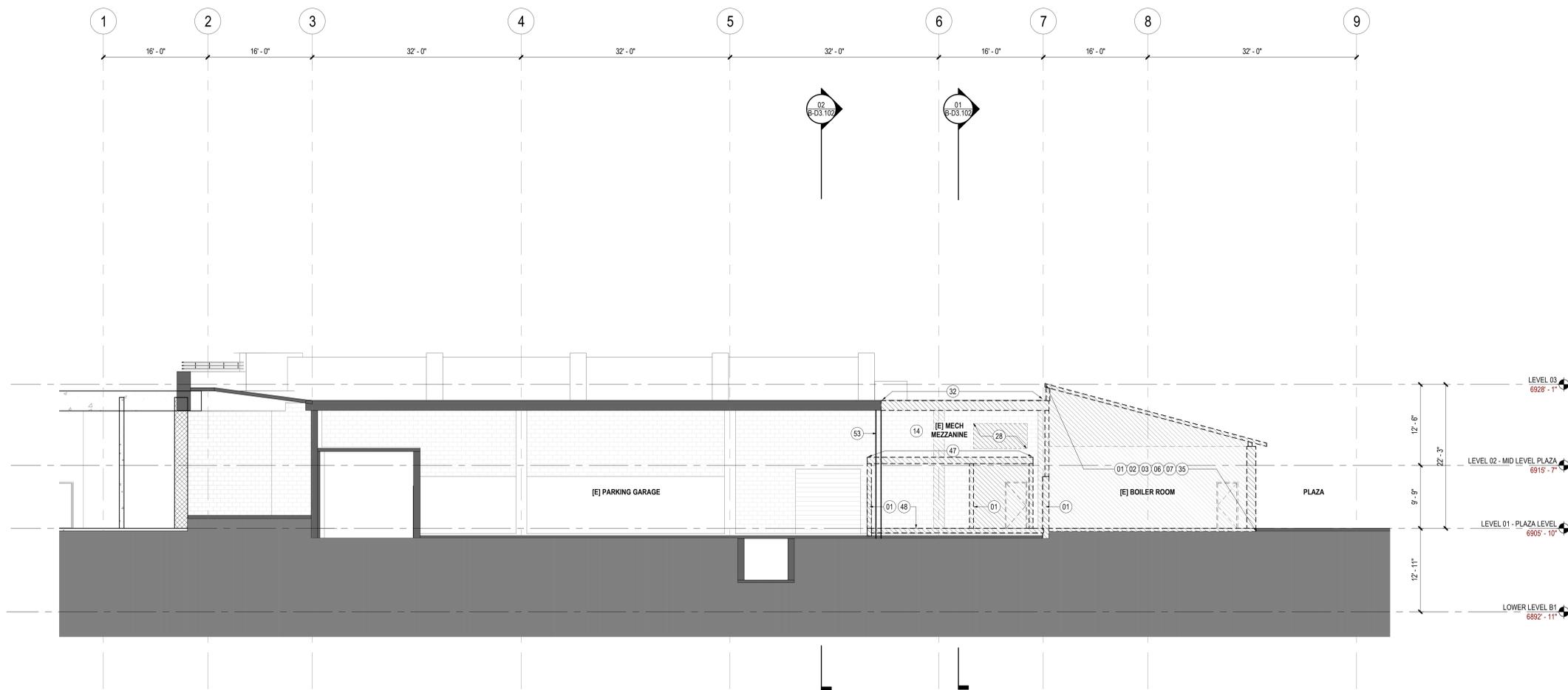
Description
DEMOLITION SECTIONS - BUILDING B - EW

Scale
As indicated

B-D3.100

STATE OF COLORADO
JENNIFER GENSLER
203617
REGISTERED ARCHITECT

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01 DEMOLITION - SECTION EW - 3
SCALE: 1/8" = 1'-0"

SHEET NOTES

- 01 REMOVE [E] WALL
- 02 REMOVE [E] SLAB
- 03 REMOVE [E] FLOOR
- 06 REMOVE [E] STRUCTURE
- 07 REMOVE [E] ROOF
- 14 REMOVE [E] ELECTRICAL EQUIPMENT. RE: ELECTRICAL DRAWINGS
- 28 [E] DOOR TO REMAIN
- [E] VERTICAL PORTAL ELEMENT TO REMAIN
- 32 DASHED LINE AND HATCHED AREA OF [E] LOWER GONDOLA BUILDING TO BE DEMOLISHED. REFER TO UTILITY PLANS FOR CUT AND MAKE SAFE EXTENTS OF UTILITIES
- 47 DASHED LINE AND HATCHED AREA OF [E] MEZZANINE AND EQUIPMENT TO BE DEMOLISHED. REFER TO UTILITY PLANS FOR CUT AND MAKE SAFE EXTENTS OF UTILITIES
- 48 REMOVE [E] WOOD FRAMED FLOOR IN ITS ENTIRETY INCLUDING STRUCTURE AND FINISHES TO EXPOSE SLAB BELOW
- 53 CONTRACTOR TO PROVIDE TEMPORARY INFILL WALL. WALL TO PROVIDE INSULATED AND WEATHERPROOF ASSEMBLY FROM EXTERIOR TO INTERIOR PARKING GARAGE

Steamboat
ALTRERA east west partners
MOUNTAIN COMPANY

2305 Mount Werner Circle
Steamboat Springs, CO 80487

Gensler
1225 17th Street Suite 150
Denver, CO 80202
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141 9th Street
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Steamboat Springs, CO 80477
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DESIGNWORKSHOP
1390 Lawrence Street Suite 100
Denver, CO 80204
Tel 303.623.5186

me engineers
12499 West Colfax Ave. Lakewood, CO 80215
United States
Tel 303.431.6100

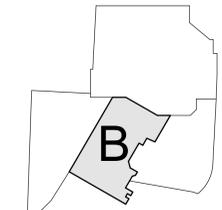
14143 Denver West Pkwy Suite 300
Golden, CO
United States
Tel 303.421.6655

| Date | Description |
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| 1 2021.02.26 | BP2A: DEMOLITION-LGB, BLDG B, STAGE |

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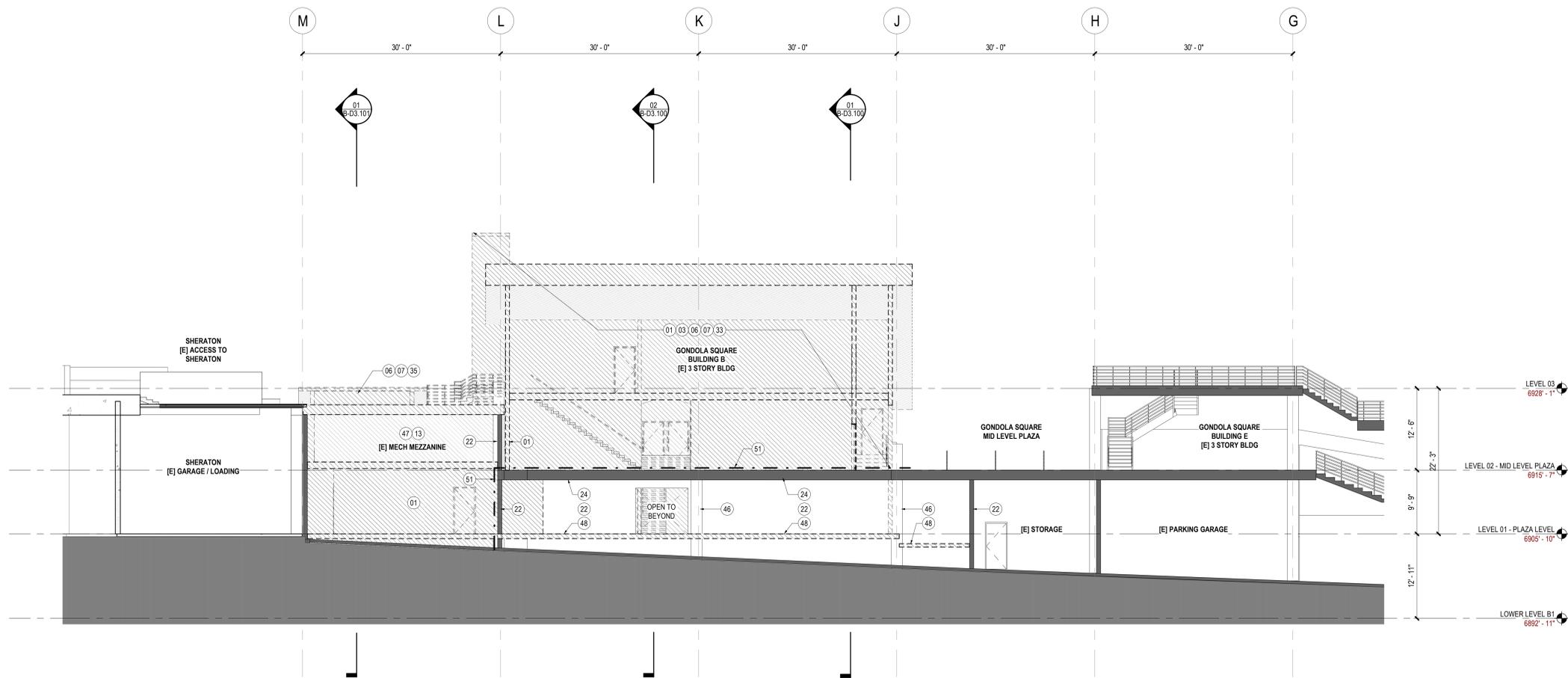
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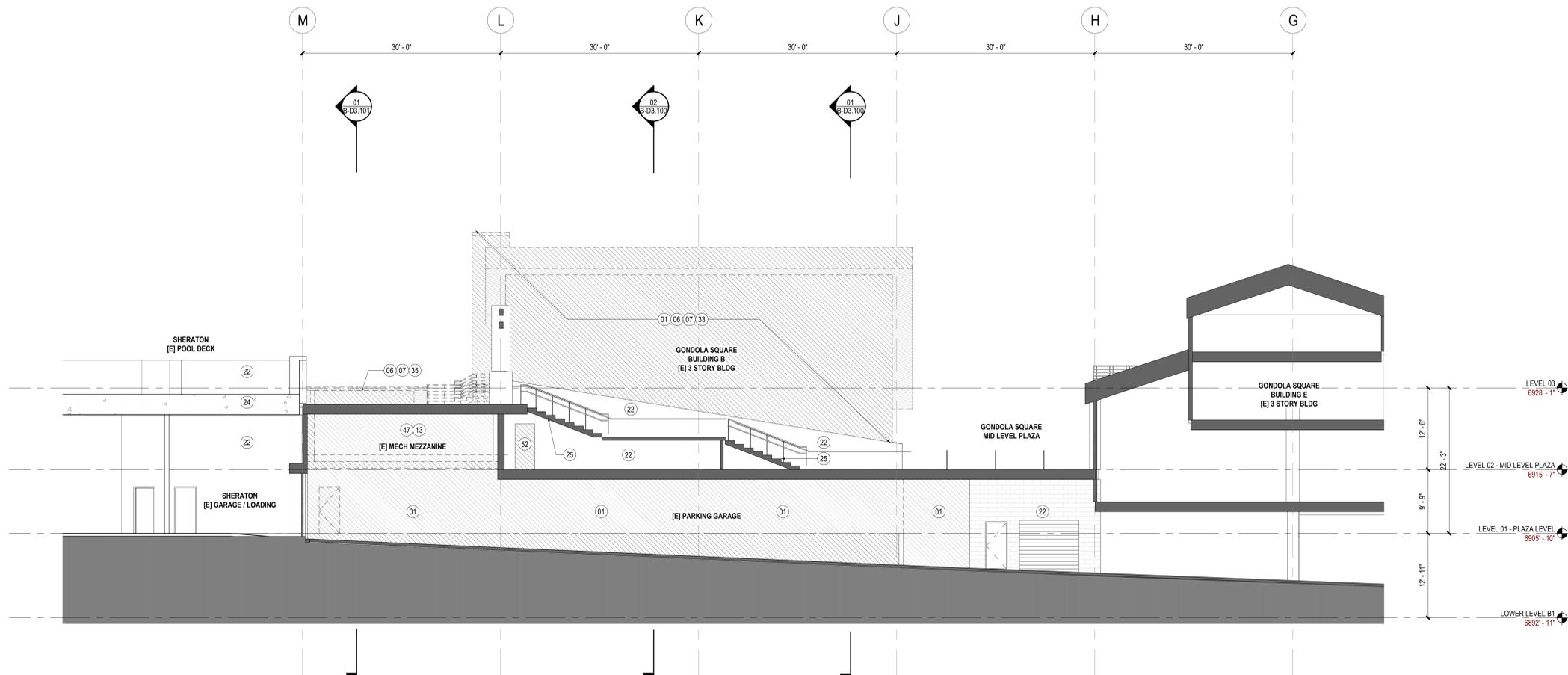
Description
DEMOLITION SECTIONS - BUILDING B - EW

Scale
As indicated

B-D3.101



01 DEMOLITION - SECTION NS
SCALE: 1/8" = 1'-0"



02 DEMOLITION - SECTION NS1
SCALE: 1/8" = 1'-0"

SHEET NOTES

- 01 REMOVE [E] WALL
- 03 REMOVE [E] FLOOR
- 06 REMOVE [E] STRUCTURE
- 07 REMOVE [E] ROOF
- 13 REMOVE [E] MECHANICAL EQUIPMENT. RE: MECHANICAL DRAWINGS
- 22 [E] TELECOM EQUIPMENT TO BE REPURPOSED. RE: BP1B DRAWINGS
- 24 [E] WALL TO REMAIN
- 25 [E] RETAINING WALL TO REMAIN
- 33 DASHED LINE OF [E] STRUCTURE AND [E] PAVING TO BE REMOVED
- 35 DASHED LINE AND HATCHED AREA OF [E] LOWER GONDOLA BUILDING TO BE DEMOLISHED. REFER TO UTILITY PLANS FOR CUT AND MAKE SAFE EXTENTS OF UTILITIES
- 46 [E] STRUCTURAL COLUMNS TO REMAIN / BE MODIFIED. RE: STRUCTURAL SHEETS
- 47 DASHED LINE AND HATCHED AREA OF [E] MEZZANINE AND EQUIPMENT TO BE DEMOLISHED. REFER TO UTILITY PLANS FOR CUT AND MAKE SAFE EXTENTS OF UTILITIES
- 48 REMOVE [E] WOOD FRAMED FLOOR IN ITS ENTIRETY INCLUDING STRUCTURE AND FINISHES TO EXPOSE SLAB BELOW
- 51 [E] WALL AND SLAB TO REMAIN. PROVIDE TEMPORARY WEATHER PROOF MEMBRANE OVER WALL. TIE TO WEATHERPROOFING MEMBRANE AT SLAB. ENTIRE ASSEMBLY TO PROVIDE WEATHER-TIGHT BARRIER FROM EXTERIOR TO INTERIOR PARKING GARAGE. WEATHERPROOFING MEMBRANE TO SLOPE TO DRAIN AT HORIZONTAL SLAB.
- 52 CONTRACTOR TO PROVIDE INFILL WALL AT WALL OPENING. PROVIDE WEATHERPROOF ENCLOSURE TIE TO SURROUNDING WALL AND SLAB WEATHERPROOFING MEMBRANE.

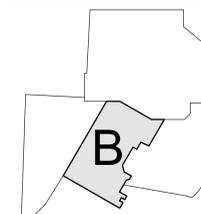
GENERAL NOTES

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KEY PLAN



Seal / Signature



Project Name
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Project Number
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Description
DEMOLITION SECTIONS - BUILDING B - NS

Scale
As indicated

B-D3.102