

STEAMBOAT SKI & RESORT CORPORATION

Steamboat Base Village Redevelopment

2305 Mt. Werner Circle
Steamboat Springs, CO 80487

BP2C-DEMOLITION - KIDS VACATION CLUB (KVC)
02/26/2021



ALTERRA east west partners
MOUNTAIN COMPANY

2305 Mt. Werner Circle
Steamboat Springs, CO 80487

Gensler

1225 17th Street
Suite 150
Denver, CO 80202
United States
Tel 303.595.8586
Fax 303.825.6823



141 9th Street
PO Box 774943
Steamboat Springs, CO
80477
Tel 970.871.9494



12499 West Colfax Ave.
Lakewood, CO 80215
United States
Tel 303.431.6100



14143 Denver West Pkwy
Suite 300
Golden, CO
United States
Tel 303.421.6655

△	Date	Description
---	------	-------------

- 02/26/2021 BP2C-DEMOLITION - KVC

RCRBD
Record Set
TC
04/14/2021

RCRBD Notes: The Contractor is responsible for all Safeguards during the demolition work and adhering to all Temporary Life Safety Plans and Exiting Plans. This permit allows only demolition work only to be done in combination with temporary walls if needed to protect or isolate off areas from the demolition work. No new or permanent construction of any new floors, walls, ceilings or partitions is allowed under this permit.

Seal / Signature



Project Name

Steamboat Base Village
Redevelopment

Project Number

003.7835.000

Description

COVER

Scale

NOT TO SCALE

G0.000

DRAWING INDEX

DRAWING NUMBER	DRAWING NAME	CURRENT ISSUE	CURRENT ISSUE DATE	CURRENT ISSUE DESCRIPTION
01 - GENERAL				
G0.000	COVER	-	02/26/2021	BP2C-DEMOLITION - KVC
G0.100	DRAWING INDEX, PROJECT INFORMATION, & GENERAL NOTES	-	02/26/2021	BP2C-DEMOLITION - KVC
G0.201	SYMBOLS & ABBREVIATIONS	-	02/26/2021	BP2C-DEMOLITION - KVC
03 - DEMOLITION				
BP2C-DM0.101	DEMOLITION COMPOSITE PLAN - SHERATON LEVEL 01	-	02/26/2021	BP2C-DEMOLITION - KVC
BP2C-DM1.101	DEMOLITION PLAN - KVC LEVEL 01	-	02/26/2021	BP2C-DEMOLITION - KVC

ELECT, LIGHTING & FIRE ALARM DEMO GENERAL NOTES

- WHERE CEILINGS ARE BEING REMOVED, REMOVE ALL NORMAL AND EMERGENCY LIGHT FIXTURES, FIRE ALARM DEVICES, AND EXIT SIGNS. ALL ASSOCIATED CONDUIT AND POWER/CONTROL WIRING SHALL ALSO BE DEMOLISHED.
- WHERE WALLS ARE BEING DEMOLISHED, REMOVE FIRE ALARM AND ELECTRICAL DEVICES, DEVICES AND ASSOCIATED BACKBOXES, CONDUIT, AND WIRE SHALL BE COMPLETELY REMOVED AS OUTLINED BELOW. A) ALL EXISTING CIRCUITS SHALL BE TRACED PRIOR TO DEMOLITION SO THEY CAN BE REFEED FROM THE ELECTRICAL DISTRIBUTION SYSTEM. PROVIDE CIRCUIT TRACING INFORMATION TO ENGINEER FOR USE WITH DEVELOPMENT OF CONTRACT DOCUMENTS. B) CIRCUITS THAT ARE ENTIRELY DEMOLISHED SHALL BE DEMOLISHED ALL THE WAY BACK TO THE PANEL. C) CIRCUITS THAT ARE PARTIALLY DEMOLISHED SHALL BE DEMOLISHED ALL THE WAY BACK TO THE COMMON JUNCTION BOX WHERE THE PORTION OF THE CIRCUIT THAT IS TO REMAIN CAN BE EXTENDED FOR FUTURE REFEED. D) WHERE CONDUIT AND POWER/CONTROL WIRING IS INSTALLED IN A WALL THAT IS BEING DEMOLISHED THAT IS ASSOCIATED WITH A DEVICE TO REMAIN, REROUTE ACCORDINLY TO ALLOW FOR FUTURE INTERCEPT AND EXTENSION OF CIRCUIT.
- WHERE WALLS ARE BEING DEMOLISHED THAT CONTAIN ELECTRICAL PANELS WITHIN OR ON THEM, DEMOLISH ELECTRICAL PANEL AND BRANCH CIRCUIT TO ABOVE CEILING OR ABOVE PANEL. PROVIDE JUNCTION BOX OR PULL BOX AT LOCATION ABOVE PANEL WHERE CIRCUITS ARE DEMOLISHED TO. CIRCUITS WILL BE INTERCEPTED AND EXTENDED AT THIS LOCATION TO NEW PANEL LOCATION. PANEL LOCATIONS WILL BE DETERMINED DURING DESIGN. CERTAIN PANELS MAY HAVE THE ENTIRE BRANCH CIRCUITING INSTALLATION DEMOLISHED (I.E. KITCHEN PANELS).
- EXISTING LIGHTING CONTROLS DEVICES SHALL BE DEMOLISHED FOR LIGHT FIXTURE ZONES/CIRCUITS BEING DEMOLISHED. DEMOLISH DEVICES AND ASSOCIATED CONTROL WIRING AS REQUIRED. WHERE PATHWAYS ARE INSTALLED WITHIN WALLS TO REMAIN, PATHWAYS CAN BE REUSED IF IN EMT CONDUIT AND CONDUIT IS IN A REUSABLE CONDITION.
- ELECTRICAL INFRASTRUCTURE IS CALLED OUT TO BE DEMOLISHED OUTSIDE THE LIMITS OF THIS RENOVATION SCOPE TO SERVE EXISTING AND NEW ELECTRICAL LOADS. SURVEY PATHWAYS FOR REUSE AND PROVIDE INSULATION TESTING FOR ALL FEEDERS BETWEEN EQUIPMENT BEING DEMOLISHED. REFER TO ME SHERATON DUE DILIGENCE REPORT IN QUESTION.
- FIRE ALARM PANEL LOCATED IN JANITORS CLOSET SHALL BE MAINTAINED. POWER SHALL BE MAINTAINED TO THIS PANEL TO ENSURE FUNCTION OF FIRE ALARM SYSTEM IN SPACES NOT INCLUDED IN THIS RENOVATION SCOPE SERVED FROM THIS PANEL. EXISTING FIRE ALARM CIRCUITS SHALL BE DEMOLISHED BACK TO THE NEXT UPSTREAM DEVICES FOR ALL DEVICES THAT ARE DEMOLISHED ALONG WITH WALLS AND CEILINGS. NEW CIRCUITS AND EXTENSIONS TO EXISTING CIRCUITS WILL BE UTILIZED TO FEED THE FIRE ALARM NAC/SLS. CIRCUITS TO DEVICES THROUGHOUT THE NEW AND EXISTING SPACES.
- EXISTING CIRCUITS TO MECHANICAL EQUIPMENT SHALL BE LEFT OPERATIONS DURING THE DEMOLITION AND CONSTRUCTION PHASE OF THIS PROJECT. PROTECT FEEDER CONDUITS AS REQUIRED FOR MAINTAINED OPERATION OF THIS EQUIPMENT.
- DEMOLISH ALL ELECTRICAL INFRASTRUCTURE ASSOCIATED WITH MECHANICAL OR PLUMBING EQUIPMENT THAT IS CALLED OUT FOR DEMOLITION. EQUIPMENT NOT COLLAGED OUT FOR DEMOLITION SHALL MAINTAIN ELECTRICAL INFRASTRUCTURE.
- WHERE ELECTRICAL INFRASTRUCTURE REPLACEMENTS OCCUR SERVING MECHANICAL EQUIPMENT INTENDED TO REMAIN IN PLACE, PROVIDE NOTICE TO OWNER FOR PLANNED DOWNTIME WHILE ELECTRICAL WORK IS BEING PERFORMED TO REFEED THE EQUIPMENT IN QUESTION.
- WHEREVER ELECTRICAL MATERIALS HAVE BEEN REMOVED FROM SURFACES OF THE BUILDING OR STRUCTURE, THOSE SURFACES SHALL BE PATCHED AND REPAIRED.
- ALL HAZARD WASTE SHALL BE PROPERLY DISPOSED OF BY A LICENSED HAZARD WASTE DISPOSAL FACILITY. ITEMS SHALL INCLUDE BUT ARE NOT LIMITED TO FLUORESCENT LAMPS, SMOKE DETECTORS, ETC.

TECHNOLOGY DEMO GENERAL NOTES

- EXISTING CABLING SERVICING AREAS OUTSIDE OF THE AREA OF DEMO MAY TRAVERSE THROUGH/ABOVE AREAS OF DEMO. CABLING NOT DIRECTLY ASSOCIATED WITH DEVICES WITHIN THE DEMO AREA SHALL BE PROTECTED AND TRACED TO DETERMINE ORIGIN AND USE. ANY CABLING DAMAGED OR REMOVED THAT SERVICES DEVICES OUTSIDE OF THE DEMO AREA (ABOVE/BELOW/BEYOND) SHALL BE REPLACED IN FULL AT NO COST TO THE OWNER.
- WHERE CEILINGS ARE BEING REMOVED, REMOVE CEILING MOUNTED ACCESS POINTS, SECURITY CAMERAS, MOTION SENSORS, SPEAKERS AND TVS. ALL ASSOCIATED CONDUIT AND WIRING SHALL ALSO BE DEMOLISHED.
- WHERE WALLS ARE BEING DEMOLISHED, REMOVE TELECOMMUNICATIONS AND TV AND SECURITY DEVICES, DEVICES AND ASSOCIATED BACKBOXES, CONDUIT, AND WIRE SHALL BE COMPLETELY REMOVED AS OUTLINED HEREIN.
- WHERE CONDUIT AND TELECOM/SECURITY/TV WIRING IS INSTALLED IN A WALL THAT IS TO REMAIN, REMOVE ALL CABLING. WHERE PATHWAYS ARE INSTALLED WITHIN WALLS TO REMAIN, REMOVE ALL CABLING. WHERE PATHWAYS ARE INSTALLED WITHIN WALLS TO REMAIN, PATHWAYS CAN BE REUSED IF IN EMT CONDUIT AND CONDUIT IS IN A REUSABLE CONDITION.

MECHANICAL & PLUMBING DEMO GENERAL NOTES

- WHERE CEILINGS ARE REMOVED, REMOVE EXISTING SUPPLY DIFFUSERS, RETURN GRILLES, AND FLEXIBLE DUCTWORK BACK TO NEAREST SHEET METAL CONNECTION. SHEET METAL TO REMAIN FOR RE-USE.
- EXISTING HYDRONIC HEATING AND COOLING SHALL REMAIN OPERATIONAL DURING PROJECT DEMOLITION. WHERE HYDRONIC PIPING IS DISTURBED AS PART OF DEMOLITION, RECONNECT PIPING TEMPORARILY SO THAT SYSTEMS MAY REMAIN OPERATIONAL.
- EXISTING AIR HANDLING UNITS SERVING THE PROJECT AREA ARE LOCATED IN THE UPPER LEVEL FAN ROOM. AIR HANDLING UNITS SHALL REMAIN OPERATIONAL DURING PROJECT DEMOLITION. PROVIDE CONSTRUCTION FILTERS AT EACH RETURN AIR INLET.
- EXISTING MISCELLANEOUS HEATING SYSTEMS INCLUDING CABINET HEATERS, FIN TUBE, ETC. SHALL REMAIN OPERATIONAL DURING PROJECT DEMOLITION.
- THE BUILDING INCLUDES A PNEUMATIC CONTROL SYSTEM. WHERE EXISTING THERMOSTATS ARE LOCATED ON WALLS THAT ARE TO BE REMOVED, CUT PNEUMATIC TUBING ABOVE CEILING AND TEMPORARILY RE-INSTALL THERMOSTAT IN CEILING SPACE FOR REUSE.

PLUMBING DEMO GENERAL NOTES

- AS PART OF PLUMBING DEMOLITION SCOPE OF WORK, COMPLETELY REMOVE ALL TOILET ROOM PLUMBING FIXTURES AND ASSOCIATED CARRIERS IN MAIN WOMEN'S AND MEN'S TOILET ROOMS (LOCATED BETWEEN COLUMN LINES P 5 & R 5 AND 24.7 & 28) INCLUDING LAVATORIES, URINALS, AND WATER CLOSETS. CAP PIPING IN WET WALL FOR REUSE.
- EXISTING COMMERCIAL DISHWASHER (LOCATED BETWEEN 34 & 36 AND R 5 & P) SHALL BE REMOVED. CAP DOMESTIC WATER FOR FUTURE REUSE.
- EXISTING KITCHEN SINK AND PREP TABLE (LOCATED BETWEEN 37 & 37.5 AND R 5 & P) SHALL BE REMOVED. CAP DOMESTIC WATER FOR FUTURE REUSE.
- EXISTING LOBBY BAR (BETWEEN K & J AND 26 & 27) SHALL BE REMOVED. REMOVE ALL EQUIPMENT SINKS, INSTANTANEOUS WATER HEATERS, AND DOMESTIC HOT/COL PIPING. CAP DOMESTIC WATER PIPING FOR REUSE.
- EXISTING FLOOR SINKS IN KITCHEN AND BAR AREAS SHALL BE EXISTING TO REMAIN.
- EXISTING DOMESTIC WATER AND STORM PIPING WITHIN THE BALLROOM AREA SHALL BE EXISTING TO REMAIN.
- EXISTING EXTERIOR HOSE BIBB AT SOUTH EXTERIOR WALL SHALL BE EXISTING TO REMAIN.

FIRE PROTECTION GENERAL GENERAL NOTES

- AREAS WITH DEMOLITION SCOPE ARE PROVIDED WITH A WET FIRE PROTECTION SPRINKLER SYSTEM WITH SUSPENDED HEADS. WHERE CEILINGS ARE REMOVED, FIRE PROTECTION HEADS SHALL BE REPLACED WITH UPRIGHT HEADS IN ACCORDANCE WITH NFPA 13.

GENERAL NOTES

- G.C. TO COMPLY WITH CODES, LAWS, ORDINANCES, RULES, AND REGULATIONS OF PUBLIC AUTHORITIES GOVERNING THE WORK.
- G.C. TO OBTAIN AND PAY FOR PERMITS AND INSPECTIONS REQUIRED BY PUBLIC AUTHORITIES GOVERNING THE WORK.
- G.C. TO REVIEW DOCUMENTS, VERIFY DIMENSIONS, VERIFY FIELD CONDITIONS, AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN. REPORT ANY CONFLICTS OR OMISSIONS TO THE ARCHITECT FOR CLARIFICATION PRIOR TO PERFORMING ANY WORK IN QUESTION.
- G.C. TO SUBMIT REQUESTS FOR SUBSTITUTIONS, REVISIONS, OR CHANGES TO ARCHITECT FOR REVIEW PRIOR TO PURCHASE, FABRICATION, OR INSTALLATION.
- G.C. TO COORDINATE WORK WITH THE LANDLORD AND OWNER, INCLUDING SCHEDULING TIME AND LOCATIONS FOR DELIVERIES, BUILDING ACCESS, USE OF BUILDING SERVICES AND FACILITIES, AND USE OF ELEVATORS. MINIMIZE DISTURBANCE OF BUILDING FUNCTIONS AND OCCUPANTS.
- OWNER WILL PROVIDE WORK NOTED "BY OTHERS" OR "NIC" UNDER SEPARATE CONTRACT. G.C. TO INCLUDE SCHEDULE REQUIREMENTS IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.
- G.C. TO COORDINATE TELECOMMUNICATIONS, DATA, AND SECURITY SYSTEM INSTALLATIONS.
- G.C. TO MAINTAIN EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES, AND ALARMS IN CONFORMANCE WITH CODES AND ORDINANCES.
- G.C. TO MAINTAIN WORK AREAS AS SECURE AND LOCKABLE DURING CONSTRUCTION. COORDINATE WITH TENANT AND LANDLORD TO ENSURE SECURITY.
- G.C. TO PROVIDE ALL ACCESS PANELS REQUIRED FOR ALL JUNCTION BOXES, VALVES, CLEANOUTS, PLUGS, FILTERS, EQUIPMENT, AND ALL OTHER ITEMS REQUIRING SERVICE OR MAINTENANCE.
- G.C. TO PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE, PATCH AND REPAIR SURFACES DAMAGED AS A RESULT OF WORK PERFORMED ON THIS PROJECT. PATCH & REPAIR EXISTING SURFACES AS REQD TO RECEIVE NEW FINISH.
- G.C. SHALL NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE ARCHITECT FOR CLARIFICATION.
- G.C. TO PROVIDE CONCEALED BLOCKING AS REQUIRED FOR WORK BY OWNER'S OTHER CONTRACTORS. COORDINATE WITH OTHER CONTRACTORS FOR SIZE, TYPE, AND LOCATION OF REQUIRED BLOCKING. ALL IN-WALL AND IN-CEILING BLOCKING IS TO BE FIRE-RETARDANT-TREATED.
- THE G.C. AND EACH TRADE IS RESPONSIBLE FOR REVIEWING AND COORDINATING ALL NEW WORK WITH EXISTING CONDITIONS AND ALL OTHER TRADES. NO FIELD WORK ORDERS WILL BE APPROVED FOR ANY CONDITIONS/CONFLICTS THAT COULD HAVE BEEN ACCOUNTED FOR BY THE BIDDER DURING BID FIELD INSPECTION OR THAT COULD HAVE BEEN COORDINATED WITH THE G.C. AND EACH TRADE AFTER AWARD OF CONTRACT.
- TENANT ARCHITECTURAL DIMENSIONS AND DESIGN INTENT TAKE PRECEDENCE OVER MECHANICAL, ELECTRICAL, OR PLUMBING DRAWINGS. NOTIFY ARCHITECT OF ANY DISCREPANCY BEFORE PROCEEDING WITH CONSTRUCTION.
- G.C. TO NOTIFY ARCHITECT IN WRITING OF CONFLICTS, DIMENSIONAL OR OTHER DISCREPANCIES PRIOR TO PROCEEDING WITH WORK OR AREAS AFFECTED.

FIRE PREVENTION NOTES

- THIS PROJECT DOES NOT INCLUDE STORAGE, DISPENSING OR USE OF ANY FLAMMABLE OR COMBUSTIBLE LIQUIDS, FLAMMABLE GAS OR HAZARDOUS SUBSTANCES.
- PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A WITHIN 75 FOOT TRAVEL DISTANCE FROM ALL PORTIONS OF THE BUILDING ON EACH FLOOR, WITHIN ELECTRICAL AND MECHANICAL ROOMS, AND ADDITIONAL EXTINGUISHERS AS REQUIRED BY GOVERNING AUTHORITIES. PROVIDE PORTABLE FIRE EXTINGUISHER COMPATIBLE WITH AUTOMATIC FIRE EXSTINGUISHING SYSTEM AGENT AND IN ACCORDANCE WITH SECTION 904.12.5 OF THE IFC, AND WITHIN 30 FT OF COMMERCIAL KITCHEN EQUIPMENT.
- EXTEND OR MODIFY EXISTING AUTOMATIC FIRE EXTINGUISHING SYSTEM AS REQUIRED TO PROVIDE AN APPROVED AUTOMATIC FIRE EXTINGUISHING SYSTEM FOLLOWING APPROVAL BY LANDLORD'S LIFE SAFETY ENGINEER. SUBMIT PLANS TO FIRE DEPARTMENT AND OBTAIN APPROVAL PRIOR TO INSTALLATION.
- EXTEND OR MODIFY EXISTING FIRE/LIFE SAFETY SYSTEM AS REQUIRED TO PROVIDE AN APPROVED FIRE/ LIFE SAFETY SYSTEM FOLLOWING APPROVAL BY LANDLORD'S LIFE SAFETY ENGINEER. SUBMIT PLANS TO FIRE DEPARTMENT WITH COMPLETE DESCRIPTION OF SEQUENCE OF OPERATION, AND OBTAIN APPROVAL PRIOR TO INSTALLATION.

DEMOLITION NOTES

- REFERENCE PROJECT MANUAL, SPECIFICATION SECTION 01 74 19 "CONSTRUCTION WASTE MANAGEMENT AND DISPOSAL" FOR MORE INFORMATION.
- REMOVE ALL ABOVE-CEILING SUPPORTS FOR DEMOLISHED ELEMENTS.
- REMOVE AND SALVAGE DOORS AND FRAMES FOR POTENTIAL REUSE. STORE IN LOCATION DETERMINED BY OWNER.
- ALL SCREENED AREAS INDICATE EXISTING CONSTRUCTION TO REMAIN AND AREAS NOT IN CONTRACT, U.N.O.
- REMOVE DESIGNATED PARTITIONS, CEILINGS COMPONENTS, BUILDING EQUIPMENT, AND FIXTURES AS REQUIRED FOR INSTALLATION OF THE NEW WORK. IF ADDITIONAL DEMOLITION IS REQUIRED BEYOND WHAT IS INDICATED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL REVIEW THE ADDITIONAL DEMOLITION WITH THE ARCHITECT PRIOR TO PROCEEDING.
- REMOVE ABANDONED HVAC EQUIPMENT, DUCT WORK, CONTROLS, REGISTERS, GRILLES AND ALL ASSOCIATED HARDWARE & ACCESSORIES.
- REMOVE ABANDONED ELECTRICAL, TELEPHONE, DATA, SECURITY AND SIMILAR OTHER CABLING, CONDUIT, EQUIPMENT AND DEVICES, UNLESS OTHERWISE NOTED.
- REMOVE ABANDONED PLUMBING EQUIPMENT, VALVES, PIPING AND ALL ASSOCIATED HARDWARE & ACCESSORIES.
- REMOVE EXISTING FLOOR FINISHES WHERE INDICATED AND PREPARE SUBFLOOR AS REQUIRED FOR NEW FLOOR FINISHES.
- COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTION.
- PROVIDE AND MAINTAIN BARRICADES, LIGHTING, AND GUARDRAILS AS REQUIRED BY APPLICABLE CODES AND REGULATIONS TO PROTECT OCCUPANTS OF BUILDING AND WORKERS.
- ERECT AND MAINTAIN DUSTPROOF PARTITIONS AS REQUIRED TO PREVENT SPREAD OF DUST, FUMES, AND SMOKE, ETC. TO OTHER PARTS OF THE BUILDING. ON COMPLETION, REMOVE PARTITIONS AND REPAIR DAMAGED SURFACES TO MATCH ADJACENT SURFACES.
- IF DEMOLITION IS PERFORMED IN EXCESS OF THAT REQUIRED, RESTORE EFFECTED AREAS AT NO COST TO THE OWNER.
- REMOVE FROM SITE DAILY AND LEGALLY DISPOSE OF REFUSE, DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS. LEAVE ALL AREAS BROOM CLEAN DAILY.

PROJECT INFORMATION

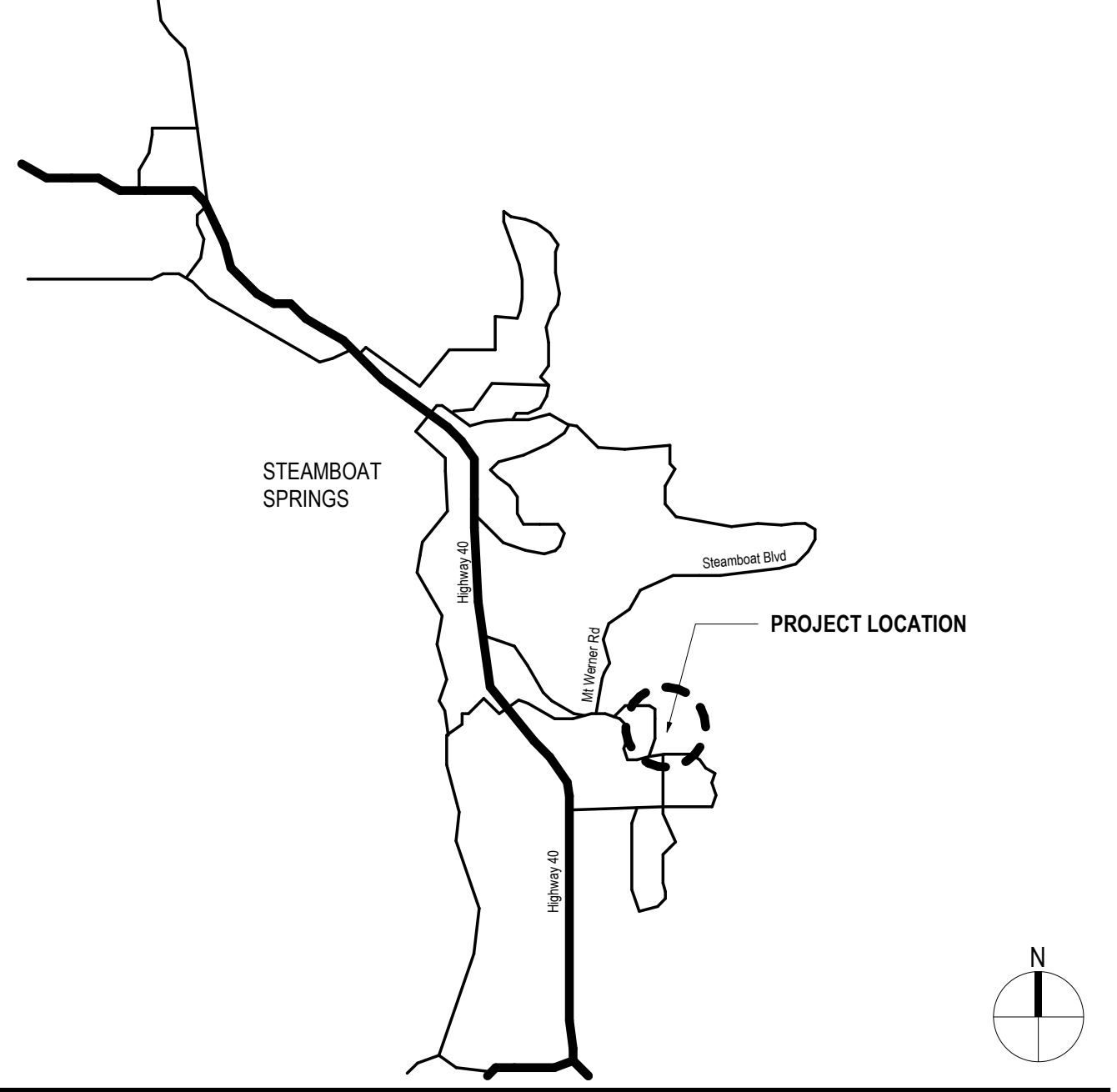
FOLLOWING ARE THE PLANS OUTLINING THE SCOPE OF WORK REQUIRED FOR KIDS VACATION CENTER WORK TO INCLUDE SELECT DEMOLITION & CONSTRUCTION OF NEW PARTITIONS, CEILINGS, FINISHES, MECHANICAL, ELECTRICAL, PLUMBING & FIRE PROTECTION AS INDICATED ON DRAWINGS.

THE DRAWINGS, IN CONCERT WITH THE PROJECT MANUAL, COMPRISE THE CONTRACT DOCUMENTS OUTLINING THE DESIGN INTENT AND PROJECT SCOPE, AND MAY BE SUPPLEMENTED BY FURTHER INFORMATION ISSUED BY ARCHITECT.

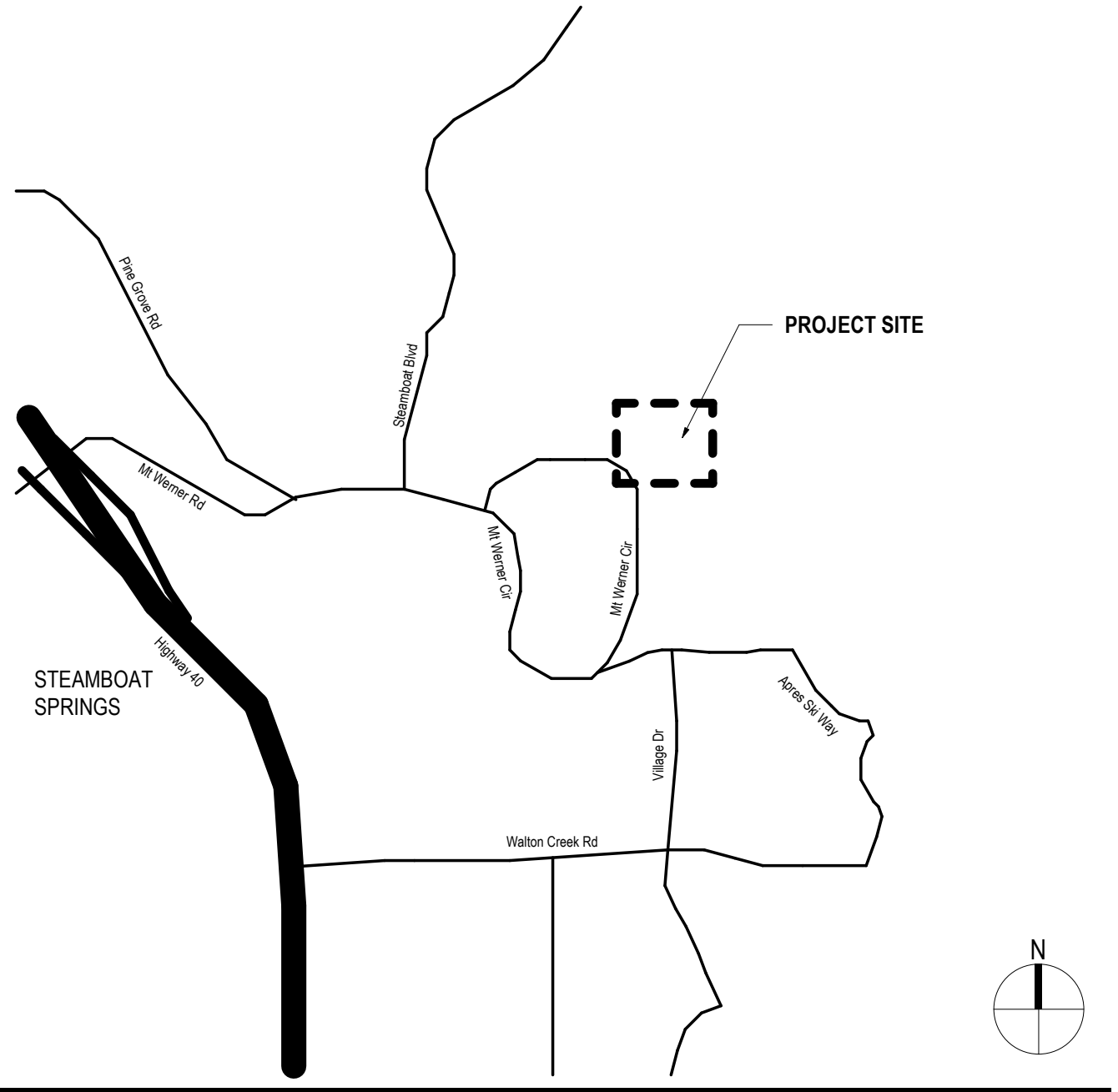
THE DRAWINGS ARE ARRANGED IN GENERAL TO SPECIFIC ORDER, FOLLOWING A TOP TO BOTTOM, RIGHT TO LEFT FORMAT. CONTRACTORS ARE ADVISED TO READ AND FAMILIARIZE THEMSELVES WITH THE INFORMATION IN THE PROJECT MANUAL, AS WELL AS THE GENERAL LEGENDS CONTAINED IN THE 'G' SERIES OF DRAWINGS, PRIOR TO REVIEW OF THE PLANS, ELEVATIONS AND DETAILS. ADVISE THE ARCHITECT WHERE INTENT IS NOT CLEARLY PERCEIVED, PRIOR TO PROCEEDING WITH WORK.

BUILDING ADDRESS:	2305 MT. WERNER CIRCLE STEAMBOAT SPRINGS, CO 80487
BUILDING JURISDICTION:	ROUTT COUNTY, STEAMBOAT SPRINGS, CO
APPLICABLE CODES:	2018 INTERNATIONAL BUILDING CODE 2018 INTERNATIONAL EXISTING BUILDING CODE 2018 INTERNATIONAL MECHANICAL CODE 2018 INTERNATIONAL PLUMBING CODE 2018 INTERNATIONAL FUEL GAS CODE 2018 INTERNATIONAL FIRE CODE 2020 NATIONAL ELECTRIC CODE 2018 INTERNATIONAL ENERGY CONSERVATION CODE 2009 ICC A117.1, ACCESSIBILITY REQUIREMENTS ANSI/ASME A17.1, SAFETY CODE FOR ELEVATORS 2013
OCCUPANCY TYPE:	GROUP B, BUSINESS
CONSTRUCTION TYPE:	TYPE I-A
FIRE ALARM SYSTEM:	FIRE ALARM AND DETECTION SYSTEM AND SMOKE PROTECTION SYSTEM PER IBC 907.2 & NFPA 72
FIRE SUPPRESSION:	FIRE RESISTIVE, (100% SPRINKLERED) PER NFPA 13 AND STANDPIPES IN EACH STAIRWAY ENCLOSURE WITH HOSE CONNECTIONS AT INTERMEDIATE LANDINGS AND ROOF MANIFOLDS.
NUMBER OF STORIES IN BUILDING:	9 STORIES (ABOVE GRADE) 1 STORIES (BELOW GRADE)
YEAR BUILT:	1980
TOTAL FLOOR AREA:	APPROX. XX SQ. FT.
SCOPE OF WORK:	APPROX. 21,750 SQ. FT.
LEED CERTIFICATION:	LEED CERTIFICATION TO "CERTIFIED" LEVEL PER USGBC LEED IC-C

VICINITY MAP



SCOPE OF WORK PLAN



ALERRA east west partners
MOUNTAIN COMPANY

2305 Mt. Werner Circle
Steamboat Springs, CO 80487

1225 17th Street
Suite 150
Denver, CO 80202
United States

Tel 303.595.8586
Fax 303.825.6823

141 9th Street
PO Box 774943
Steamboat Springs, CO 80477
Tel 970.871.9494

14143 Denver West Pkwy
Suite 300
Golden, CO
United States
Tel 303.421.6655

12499 West Colfax Ave.
Lakewood, CO 80215
United States
Tel 303.431.6100

△ Date	Description
- 02/26/2021	BP2C-DEMOLITION - KVC

RCRBD
Record Set
TC
04/14/2021

Seal / Signature

Project Name
Steamboat Base Village Redevelopment

Project Number
003.7835.000

Description
DRAWING INDEX, PROJECT INFORMATION, & GENERAL NOTES

Scale
12" = 1'-0"

G0.100

SHTHG	SHEATHING	O, Q	OVER	HTG	HEATING	EL	ELEVATION OR ELEVATOR	A	AND
SHWR	SHOWER	OA	OVERALL	HTR	HEATER	ELEC	ELECTRICAL	&	AND
SM	SIMILAR	OC	ON CENTER	HTW	HIGH TEMPERATURE	ELEV	ELEVATOR OR ELEVATION	ABV	ABOVE
SK	SINK	OD	OUTSIDE DIAMETER			ELP	EMERGENCY LIGHTING	ACCESS	ACCESSORY
SLOT	SLOTTED	OF	OUTSIDE FACE	HVAC	HEATING, VENTILATING, AND AIR CONDITIONING	EMBED	EMBED(ED)(ING)	ACOUS	ACOUSTICAL(AL)
SLV	SLEEVE	OFF	OFFICE	HVY	HEAVY	EMER	EMERGENCY	ADDL	ADDITIONAL
SNT	SEALANT	OH	OVERHEAD	HW	HOT WATER OR HEAVY WALL	ENAM	ENAMEL	ADJ	ADJACENT
SPEC	SPECIFICATION	OH	OVERHEAD DOOR			ENCL	ENCLOSURE	AFF	AFTER FINISHED FLOOR
SPEC5	SPECIFICATIONS	OPNG	OPENING(S)			ENGR	ENGINEER	ALT	ALTERNATE
SPK	SPEAKER	OPP	OPPOSITE	HWC	HOT WATER CIRCULATING OR HEAVY WALL CONDUIT	ENG	ENGINEERED	ALUM	ALUMINUM
SPRL	SPRINKLER	OPP H	OPPOSITE HAND			ENR	ENTRANCE	AMT	AMOUNT
SQ	SQUARE	OPR	OPERABLE	HYD	HARDWOOD	ENR	ENTRANCE	ANNUNC	ANNUNCIATOR
SST	STAINLESS STEEL	ORN	ORNAMENTAL	HWD	HYDRAULIC	EQ	EQUAL	ANT	ANTENNA
STC	SOUND TRANSMISSION CLASS	ORNA	ORNAMENTAL	HYDRO	HYDROSTATIC	EQUIP	EQUIPMENT	APPL	APPLIANCE
STD	STANDARD	OUT	OUTLET			ESC	ESCALATOR	APPROX	APPROXIMATE
STG	SEATING	OVL	OVERFLOW	ID	INSIDE DIAMETER	EST	ESTIMATE	APVRD	APPROVED
STGR	STAGGER	OVHD	OVERHEAD	IN	INCH	EVAP	EVAPORATOR	ARCH	ARCHITECT(URAL)
STIFF	STIFFENER	OZ	OUNCE	INCAND	INCANDESCENT	EW	ELECTRIC WATER HEATER	ASSOC	ASSOCIATION, ASSOCIATE
STL	STEEL	P		INCR	INCREASE	EX	EXISTING	ASSY	ASSEMBLY
STM	STEAM	P S	PIPE SLEEVE	INFLTR	INFILTRATION	EXCAV	EXCAVATE	AUTH	AUTHORIZED
STOR	STORAGE	PA	PUBLIC ADDRESS	INSP	INSPECT	EXEC	EXECUTIVE	AUTO	AUTOMATIC
STR	STRAIGHT (RE-BARS)	PB	PULL BOX	INSTRUM	INSTRUMENTATION	EXG	EXISTING	AVG	AVERAGE
STRFR	STRENGTH	PBD	PARTICLE BOARD	INSUL	INSULATION	EXH	EXHAUST		
SUPP	SUPPLEMENTARY, SUPPLEMENT	PCF	POUNDS PER CUBIC FOOT	INT	INTERIOR OR INTERNAL	EXH AIR	EXHAUST AIR	B	BOARD (OR BUILDING DEPARTMENT)
		PCPL	PORTLAND CEMENT PLASTER	INTERM	INTERMEDIATE	EXP	EXPANSION OR EXPOSED	BD	BOARD (OR BUILDING DEPARTMENT)
SURF	SURFACE			INTLK	INTERLOCK(ING)	EXP JT	EXPANSION JOINT	BETW	BETWEEN
SUSP	SUSPENDED	PED	PEDESTAL OR PEDESTRIAN	IW	INDIRECT WASTE	EXPN	EXPANSION	BEV	BEVEL
SW	SWITCH	PEDR	PEDESTRIAN			EXPS	EXPOSED(D)	BLDG	BUILDING
SY	SQUARE YARD	PERF	PERFORATE	J		EXT	EXTERIOR	BLK	BLOCK
SYM	SYMMETRICAL	PERIM	PERIMETER	J-BOX	JUNCTION BOX	EXTR	EXTRUDE	BLKG	BLOCKING
SYN	SYNTHETIC	PERP	PERPENDICULAR	JAN	JANITOR			BLW	BELOW
SYS	SYSTEM(S)	PKWY	PARKWAY	JC	JANITOR'S CLOSET	F		BM	BEAM (OR BENCHMARK)
		PLAM	PLASTIC LAMINATE	JCT	JUNCTION	F	DEGREES FARENHEIT	BOL	BOLLARD
T		PLAS	PLASTER	JST	JOIST	FA	FIRE ALARM OR FRESH AIR	BOT	BOTTOM
T&G	TONGUE AND GROOVE	PLBG	PLUMBING	JT	JOINT	FAB	FABRICATION	BRDG	BRIDGE, BRIDGING
T/	TOP	PLSTC	PLASTIC	K		FAR	FLOOR AREA RATIO	BRODM	BROADROOM
TAN	TANGENT	PLTF	PLATFORM	KG	KILOGRAM	FAST	FASTENER OR FASTEN	BRG	BEARING
TD	TRENCH DRAIN	PLYWD	PLYWOOD	KIT	KITCHEN	FC	FLOOR CANDLE	BRKT	BRAKET
TEL	TELEPHONE	PNEU	PNEUMATIC	KM	KILOMETER	FD	FLOOR DRAIN, OR FIRE DEPARTMENT	BRZ	BRONZE
TEMP	TEMPORARY	PNL	PANEL	KO	KNOCKOUT	FDC	FIRE DEPARTMENT CONNECTION	BW	BUILT UP
TERR	TERRAZZO	PNT	PAINT	KPL	KICKPLATE	FE	FOUNDATION	BU	BOTH WAYS
TH-K	THICK	POL	POLISHED	KVA	KILOVOLT-AMPERE	FE8C	FIRE EXTINGUISHER AND CABINET	C	CENTER TO CENTER
THRESH	THRESHOLD	POLYST	POLYSTRENE	KW	KILOWATT	FE&C	FIRE EXTINGUISHER AND CABINET	CAB	CABINET
THRU	THROUGH	PORT	PORTABLE	KWH	KILOWATT HOUR	FEC	FIRE EXTINGUISHER CABINET	CAP	CAPACITY
TKBD	TACKBOARD	PR	PAIR					CEM	CEMENT(ITIOUS)
TLT	TOILET	PRCST	PRECAST	L		FR&E	FIXTURES, FURNISHINGS & EQUIPMENT	CER	CERAMIC
TOC	TOP OF CONCRETE	PRFST	PREFINISHED	LAB	LABORATORY, LABOR	FGR	FIBERGLASS REINFORCED	CFT	CUBIC FOOT
TOL	TOLERANCE	PREFAB	PREFABRICATED	LAD	LADDER	FH	FIRE HYDRANT	CHM	CHAMFER
TOS	TOP OF STEEL	PREFIN	PREFINISHED	LAM	LAMINATE, LAMINATED	FIN	FIRE HOSE AND CABINET	CIP	CONCRETE IN-PLACE
TOW	TOP OF WALL	PRY	PRIMARY	LAT	LATERAL	FIN	FINISH, FINISHED	CJR	CIRCLE
TPIN	TOILET PARTITION	PROTECN	PROTECTION	LAV	LAVATORY	FIXT	FIXTURE	CL	CONTROL JOINT
TRANS	TRANSPARENT	PRTN	PARTITION	LB	POUND	FL	FLOOR OR FIRE LINE	CLG	CENTERLINE
TRAV	TRAVERTINE	PSF	POUNDS PER SQUARE FOOT	LBL	LABEL	FLD	FOLDING	CLK	CLOCK
TRD	TREAD	PSI							

WALL MOUNTED DEVICES	
	EQUIPMENT TAG (REFER TO EQUIPMENT SCHEDULE)
	WALL MOUNTED, DUPLEX RECEPTACLE - CONVENIENCE
	WALL MOUNTED, DUPLEX RECEPTACLE - DEDICATED
	WALL MOUNTED, DUPLEX RECEPTACLE - SEPARATE
	WALL MOUNTED, QUADRAPLEX RECEPTACLE - CONVENIENCE
	WALL MOUNTED, QUADRAPLEX RECEPTACLE - DEDICATED
	WALL MOUNTED, QUADRAPLEX RECEPTACLE - HALF DEDICATED
	WALL MOUNTED, VOICE/DATA RECEPTACLE
	WALL MOUNTED, DATA RECEPTACLE
	WALL MOUNTED, VOICE RECEPTACLE
	WALL MOUNTED, THERMOSTAT
	WALL MOUNTED, CABLE TV RECEPTACLE
	WALL MOUNTED, AV RECEPTACLE
	WALL MOUNTED, ELECTRICAL JUNCTION BOX
	WALL MOUNTED, SYSTEMS WORKSTATION PANEL POWER INFEEED
	WALL MOUNTED, SYSTEMS WORKSTATION PANEL VOICE/DATA INFEEED
	WALL MOUNTED, PLUG MOLD
SECURITY DEVICES	
	CARD READER
	CAMERA
	ELECTRIC DOOR BELL
	INTERCOM
	REMOTE DOOR RELEASE BUTTON
	MOTION SENSOR
	INTRUSION ALARM
FURNITURE SYSTEMS MOUNTED DEVICES	
	FURNITURE MOUNTED, POWER POLE
FLUSH FLOOR MOUNTED, POKE THRU, DEVICES	
	FLUSH FLOOR MOUNTED, POKE THRU, SINGLE RECEPTACLE - CONVENIENCE
	FLUSH FLOOR MOUNTED, POKE THRU, SINGLE RECEPTACLE - DEDICATED
	FLUSH FLOOR MOUNTED, POKE THRU, DUPLEX RECEPTACLE - CONVENIENCE
	FLUSH FLOOR MOUNTED, POKE THRU, DUPLEX RECEPTACLE - DEDICATED
	FLUSH FLOOR MOUNTED, POKE THRU, QUADRAPLEX RECEPTACLE - CONVENIENCE
	FLUSH FLOOR MOUNTED, POKE THRU, QUADRAPLEX RECEPTACLE - DEDICATED
	FLUSH FLOOR MOUNTED, POKE THRU, QUADRAPLEX RECEPTACLE - HALF DEDICATED
	FLUSH FLOOR MOUNTED, POKE THRU, COMBINATION DUPLEX & VOICE/DATA RECEPTACLE - CONVENIENCE
	FLUSH FLOOR MOUNTED, POKE THRU, COMBINATION DUPLEX & VOICE/DATA RECEPTACLE - DEDICATED
	FLUSH FLOOR MOUNTED, POKE THRU, COMBINATION DUPLEX & VOICE/DATA RECEPTACLE - HALF DEDICATED
	FLUSH FLOOR MOUNTED, POKE THRU, COMBINATION QUADRAPLEX & VOICE/DATA RECEPTACLES - CONVENIENCE
	FLUSH FLOOR MOUNTED, POKE THRU, COMBINATION QUADRAPLEX & VOICE/DATA RECEPTACLES - DEDICATED
	FLUSH FLOOR MOUNTED, POKE THRU, COMBINATION QUADRAPLEX & VOICE/DATA RECEPTACLES - HALF DEDICATED
	FLUSH FLOOR MOUNTED, POKE THRU, COMBINATION DUPLEX, AUDIO VISUAL AND VOICE/DATA RECEPTACLES - CONVENIENCE
	FLUSH FLOOR MOUNTED, POKE THRU, COMBINATION DUPLEX, AUDIO VISUAL AND VOICE/DATA RECEPTACLES - DEDICATED
	FLUSH FLOOR MOUNTED, POKE THRU, COMBINATION QUADRAPLEX, AV & VOICE/DATA RECEPTACLES - CONVENIENCE
	FLUSH FLOOR MOUNTED, POKE THRU, COMBINATION QUADRAPLEX, AV & VOICE/DATA RECEPTACLES - DEDICATED
	FLUSH FLOOR MOUNTED, POKE THRU, VOICE/DATA RECEPTACLE
	FLUSH FLOOR MOUNTED, POKE THRU, DATA RECEPTACLE
	FLUSH FLOOR MOUNTED, POKE THRU, VOICE RECEPTACLE
	FLUSH FLOOR MOUNTED, POKE THRU, AV RECEPTACLE
	FLUSH FLOOR MOUNTED, POKE THRU, SYSTEMS WORKSTATION PANEL POWER INFEEED
	FLUSH FLOOR MOUNTED, POKE THRU, SYSTEMS WORKSTATION PANEL VOICE INFEEED

REFLECTED CEILING

	ACOUSTICAL CEILING AND GRID
	CEILING HEIGHT CHANGE SYMBOL
	FINISH CEILING HEIGHT SYMBOL
	GRID STARTPOINT SYMBOL
	CEILING FINISH TAG
	MOTION SENSOR
	CEILING MOUNTED SPEAKER
	CEILING MOUNTED SPRINKLER HEAD
	CEILING MOUNTED SMOKE DETECTOR
	CEILING MOUNTED STROBE LIGHT
	CEILING MOUNTED EXIT SIGNS
	WALL MOUNTED EXIT SIGNS - PARALLEL
	WALL MOUNTED EXIT SIGNS - PERPENDICULAR
	DENOTES EXISTING TO REMAIN
	DENOTES EXISTING TO BE RELOCATED
	ACCESS DOOR

LIGHT FIXTURES

	LIGHT FIXTURE
	LIGHT FIXTURE / EMERGENCY CIRCUIT
	EXISTING LIGHT FIXTURE TO BE REMOVED
	UNDER CABINET FLORESCENT FIXTURE
	STRIP FIXTURE
	PENDANT FIXTURE
	RECESSED DOWNLIGHT
	RECESSED ADJUSTABLE DOWNLIGHT
	RECESSED WALL WASHER
	TRACK LIGHTING
	SURFACE MOUNTED LIGHT FIXTURE
	WALL SCONCE
	LIGHT SWITCH
	DIMMER SWITCH

MECHANICAL FIXTURES

	RETURN AIR
	SUPPLY AIR
	CIRCULAR DIFFUSER
	LINEAR DIFFUSER
	EXHAUST FAN

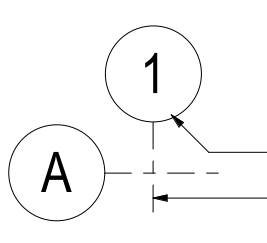
FINISH

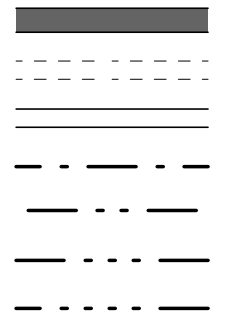
	WALL FINISH TAG BASE FINISH TAG
	EXTENT OF FINISH TYP.
	WALL FINISH TAG
	SPECIAL FINISH TAG
	FLOOR FINISH TAG
	CEILING FINISH TAG
	CHANGE IN FLOOR FINISH

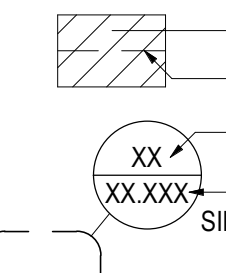
ELEVATION INDICATION

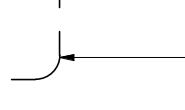
	GLASS SYMBOL
	WOOD VENEER
	STONE

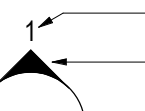
CONSTRUCTION

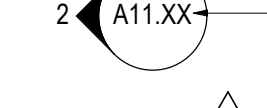
 COLUMN GRID REFERENCE NUMBER
COLUMN GRID LINES AND REFERENCE NUMBER


 EXISTING CONSTRUCTION TO REMAIN
EXISTING CONSTRUCTION TO BE DEMOLISHED
NEW PARTITION


 1 HR. RATED PARTITION
2 HR. RATED PARTITION
3 HR. RATED PARTITION
4 HR. RATED PARTITION

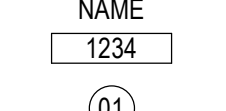
 MILLWORK
MILLWORK ABOVE

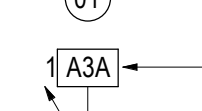
 DETAIL NUMBER
SHEET NUMBER

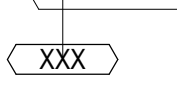
 DESCRIPTION OF SIMILAR OR OPPOSITE

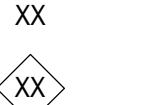
 AREA TO BE DETAILED


 LOCATION ON SHEET WHERE ELEVATION IS SHOWN
DIRECTION OF ELEVATION

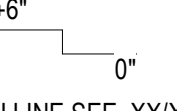
 SHEET NUMBER WHERE ELEVATION IS SHOWN
INTERIOR AND EXTERIOR ELEVATION MARKER

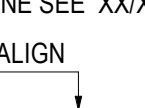
 REVISION REFERENCE NUMBER
REVISION CLOUD DEPICTING AREA REVISED

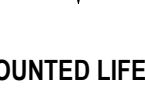
 NAME
ROOM NAME


 ROOM NUMBER


 SHEETNOTE REFERENCE

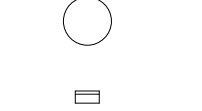
 WALL TYPE REFERENCE


 FIRE RATING

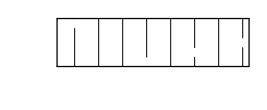
 DOOR REFERENCE NUMBER (REFER TO DOOR SCHEDULE)

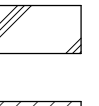
 DOOR NUMBER

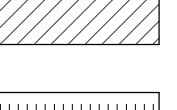
 WINDOW REFERENCE NUMBER (REFER TO WINDOW SCHEDULE)

 ELEVATION DATUM REFERENCE

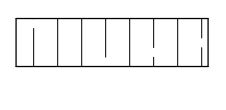
 FLOOR ELEVATION TRANSITION

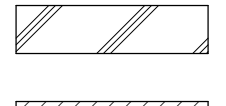
 MATCH LINE SEE XXXX

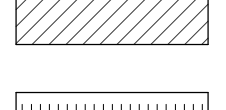
 MATCH LINE SYMBOL


 ALIGN
ALIGN WITH ESTABLISHED / ADJACENT SURFACES

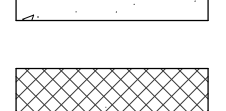
SECTION INDICATIONS

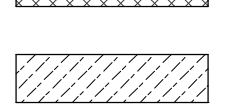
 ACOUSTICAL CEILING TILE

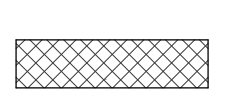
 ALUMINUM

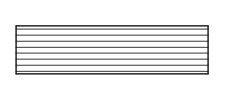
 BRICK

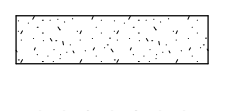
 CARPET

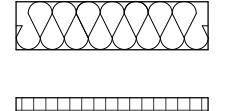
 CONCRETE

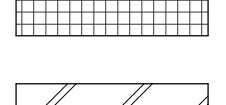
 CONCRETE MASONRY UNIT


 CUT STONE


 FABRIC WRAPPED PANEL


 GLASS

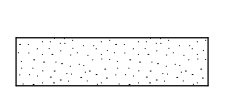
 GYPSUM PLASTER

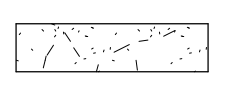
 INSULATION (LOOSE OR BATT)

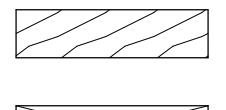
 INSULATION (RIGID)

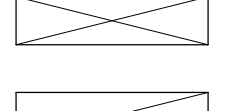
 METAL

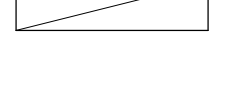
 PLASTIC


 PLYWOOD


 PRE-CAST PANELS

 SAND OR GROUT

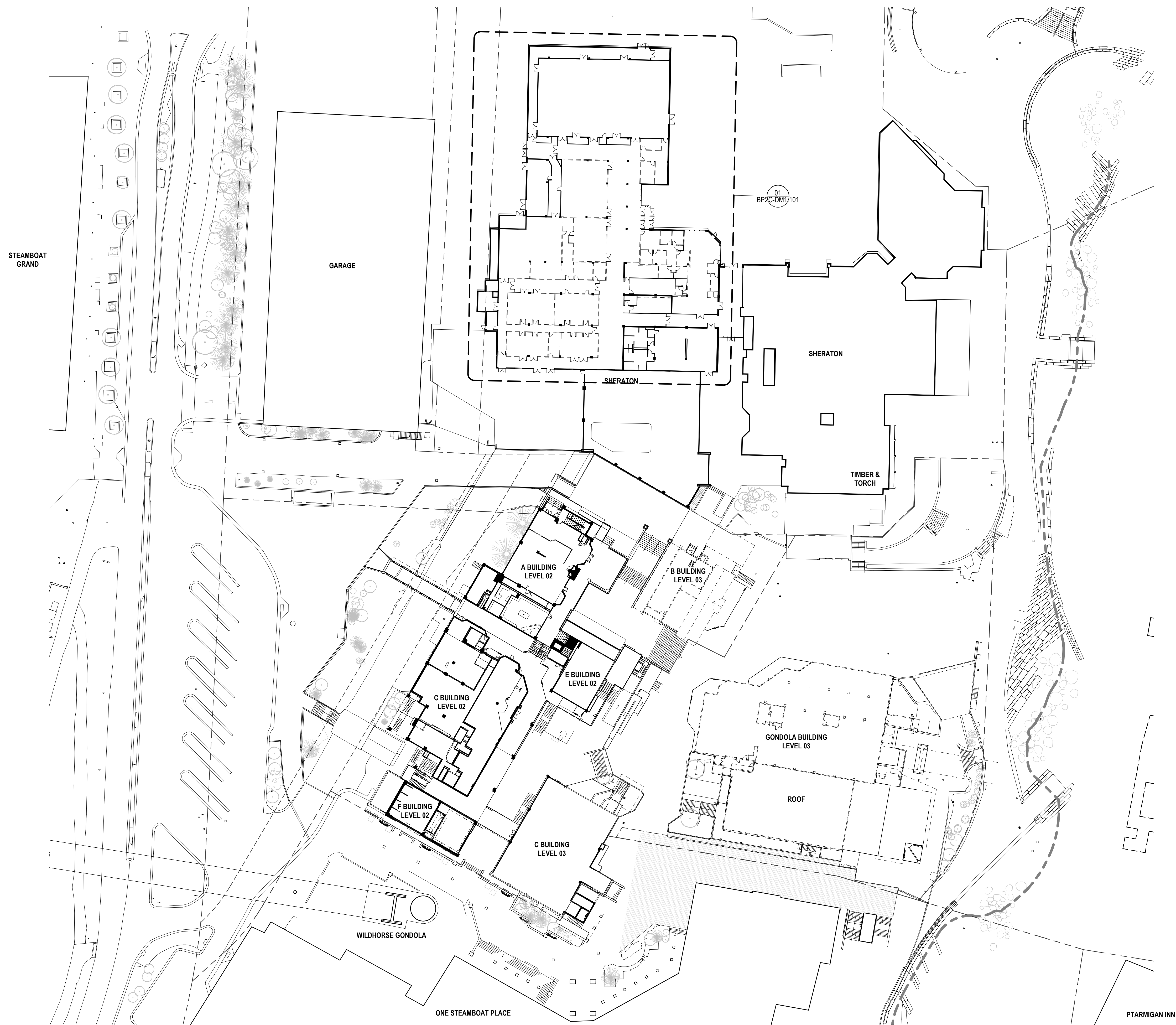
 STONE

 WOOD (FINISHED)

 WOOD (CONTINUOUS MEMBER)

 WOOD (INTERRUPTED MEMBER)





Date	Description
02/26/2021	BP2C-DEMOLITION - KVC

RCRBD
Record Set
TC
04/14/2021

Seal / Signature



Project Name

Steamboat Base Village
Redevelopment

Project Number

003.7835.000

Description

DEMOLITION COMPOSITE PLAN -
SHERATON LEVEL 01

Scale

1" = 40'-0"

BP2C-DM0.101

Date	Description
02/26/2021	BP2C-DEMOLITION - KVC

RCRBD
Record Set
TC
04/14/2021

Seal / Signature



Project Name

Steamboat Base Village
Redevelopment

Project Number

003.7835.000

Description

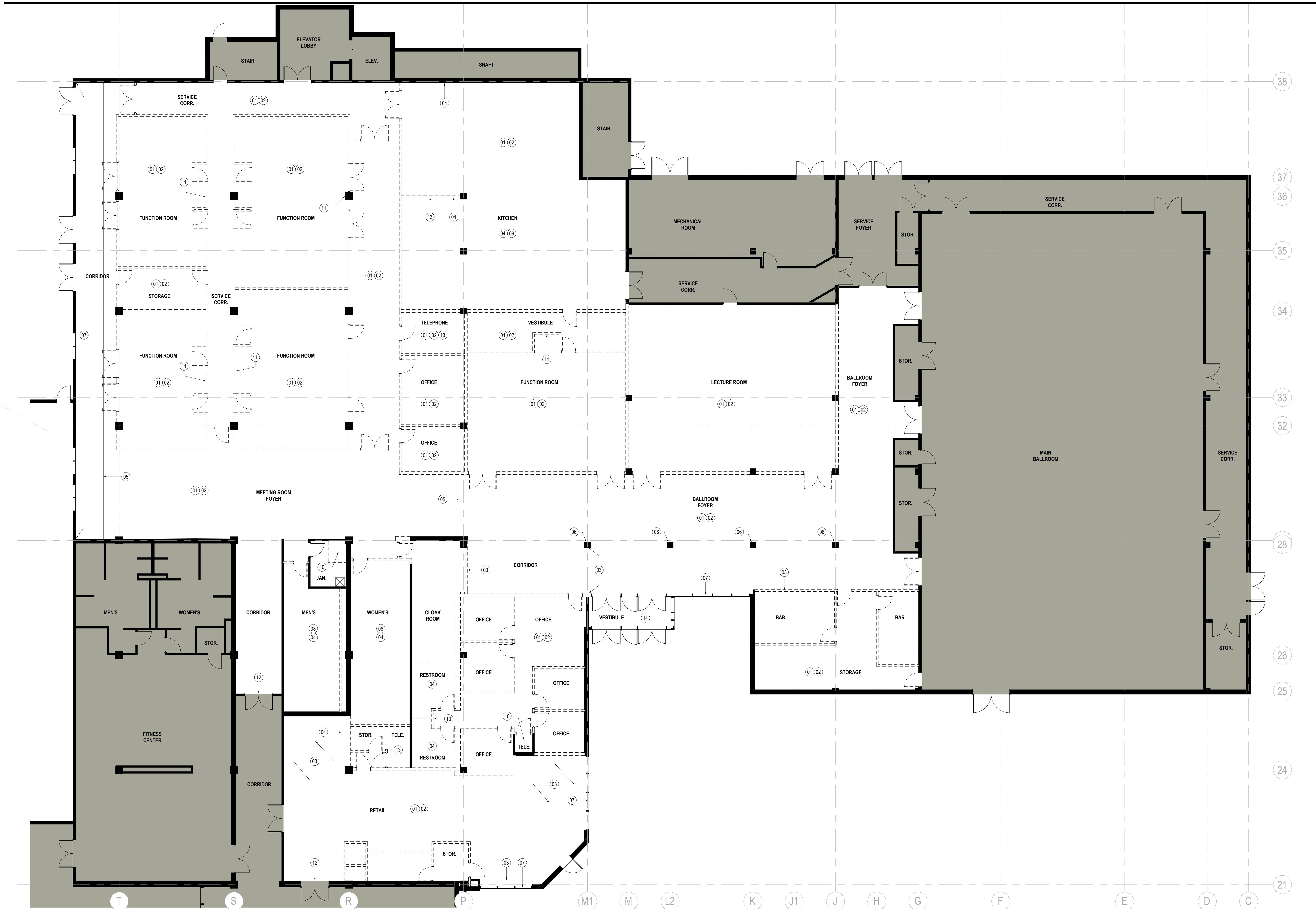
DEMOLITION PLAN - KVC LEVEL 01

Scale

1/8" = 1'-0"

BP2C-DM1.101

© 2018 Gensler



01 DEMOLITION PLAN - KVC LEVEL 01

SCALE: 1/8" = 1'-0"

SHEET NOTES

- REMOVE ALL FLOOR AND WALL FINISHES AND FIXTURES THROUGHOUT.
- REMOVE ALL EXISTING CEILINGS, LIGHTING, EXIT SIGNS, CEILING MOUNTED EQUIPMENT, DIFFUSERS AND REGISTER FIXTURES THROUGHOUT THE BUILDING TO ITS ENTIRETY. SALVAGE LIGHT FIXTURES AND EXIT SIGNS FOR POTENTIAL REUSE. VERIFY DISPOSITION WITH BUILDING OWNER.
- REMOVE EXISTING MILLWORK. PATCH AND REPAIR WALLS AS REQUIRED IF WALLS ARE TO REMAIN.
- REMOVE EXISTING PLUMBING AND EQUIPMENT. CAP PIPES AND PATCH AS NECESSARY. EXISTING EXPANSION JOINT TO REMAIN.
- REMOVE WOOD TRIM AT COLUMNS, TYP.
- REMOVE WINDOWCOVERINGS AND VALANCES THROUGHOUT, TYP.
- REMOVE ALL RESTROOM FINISHES, LIGHTING, COUNTERTOPS, LAVATORIES, MIRRORS, TOILET PARTITIONS, TOILETS, SHOWERS, ETC. REMOVE AND SALVAGE RESTROOM ACCESSORIES AND TOILET PARTITIONS FOR POTENTIAL REUSE.
- REMOVE ALL FOOD SERVICE EQUIPMENT AND RETURN TO OWNER.
- IT ROOM TO REMAIN. HORIZONTAL CABLING WITHIN THE DEMO AREAS TERMINATING WITHIN THE IT ROOM SHALL BE REMOVED. CABLING PASSING THROUGH OR SERVING THE IT ROOM SHALL BE PROTECTED. TRACED AND USE DETERMINED. CABLING SERVING AREAS OUTSIDE OF THE DEMO TERMINATING WITHIN THE IT ROOMS SHALL BE PROTECTED DURING DEMOLITION AND CONSTRUCTION.

- REMOVE OPERABLE FOLDING DOOR AND TRACK. SALVAGE AND RETURN TO OWNER FOR POTENTIAL REUSE.
- RETAIN MILLWORK AND DOORS IN PLACE. PROTECT DURING DEMOLITION AND CONSTRUCTION.
- EXISTING ELECTRICAL PANEL TO BE REMOVED. BUNDLE AND TIE-BACK CABLES AND PROTECT DURING DEMOLITION.
- EXISTING CEILING, LIGHTING AND MEP GRILLES TO REMAIN IN PLACE.

GENERAL NOTES

- REFERENCE PROJECT MANUAL, SPECIFICATION SECTION 01 74 19 'CONSTRUCTION WASTE MANAGEMENT AND DISPOSAL' FOR MORE INFORMATION.
- REMOVE ALL ABOVE-CEILING SUPPORTS FOR DEMOLISHED ELEMENTS.
- REMOVE AND SALVAGE DOORS AND FRAMES FOR POTENTIAL REUSE. STORE IN LOCATION DETERMINED BY OWNER.
- ALL SCREENED AREAS INDICATE EXISTING CONSTRUCTION TO REMAIN AND AREAS NOT IN CONTRACT, U.N.O.
- REMOVE DESIGNATED PARTITIONS, CEILING COMPONENTS, BUILDING EQUIPMENT, AND FIXTURES AS REQUIRED FOR INSTALLATION OF THE NEW WORK. IF ADDITIONAL DEMOLITION IS REQUIRED BEYOND WHAT IS INDICATED IN THE CONTRACT DOCUMENTS, THE GENERAL CONTRACTOR SHALL REVIEW THE ADDITIONAL DEMOLITION WITH THE ARCHITECT PRIOR TO PROCEEDING.
- REMOVE ABANDONED HVAC EQUIPMENT, DUCT WORK, CONTROLS, REGISTERS, GRILLES, AND ALL ASSOCIATED HARDWARE & ACCESSORIES.
- REMOVE ABANDONED ELECTRICAL, TELEPHONE, DATA, SECURITY, AND SIMILAR OTHER CABLING, CONDUIT, EQUIPMENT AND DEVICES, U.N.O.
- REMOVE ABANDONED PLUMBING EQUIPMENT, VALVES, PIPING, AND ALL ASSOCIATED HARDWARE & ACCESSORIES.
- REMOVE EXISTING FLOOR FINISHES WHERE INDICATED AND PREPARE SUBFLOOR AS REQUIRED FOR NEW FLOOR FINISHES.
- COMPLY WITH APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY, AND ENVIRONMENTAL PROTECTION.
- PROVIDE AND MAINTAIN BARRICADES, LIGHTING, AND GUARDRAILS AS REQUIRED BY APPLICABLE CODES AND REGULATIONS TO PROTECT OCCUPANTS OF BUILDING AND WORKERS.
- ERECT AND MAINTAIN DUST-PROOF PARTITIONS AS REQUIRED TO PREVENT SPREAD OF DUST, FUMES, AND SMOKE, ETC TO OTHER PARTS OF THE BUILDING.
- IF DEMOLITION IS PERFORMED IN EXCESS OF THAT REQUIRED, RESTORE EFFECTED AREAS AT NO COST TO THE OWNER.
- REMOVE FROM SITE DAILY AND LEGALLY DISPOSE OF REFUSE, DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS. LEAVE ALL AREAS BROOM CLEAN DAILY.



Proudly Serving Rural Routt County * City of Steamboat Springs * Town of Hayden * Town of Oak Creek * Town of Yampa * Routt County School Districts

De-Construction Permit Application and Policy

Plan Review Timeframe: 3 Working Days Unless Historical Review Required

Requirements Below:

1. **Permit Application Work Description: Please provide a complete work description in View Permit and on the Site Plan showing all Buildings, Signs, Fences, Retaining Walls, and all other Structures that are being proposed to be removed or De-Constructed.**
2. Possible Historical Review may be needed and permission granted prior to Permit Approval.
3. Proper Removal/Disconnection of Utilities and Approvals from AHJ
4. Construction Site management Plan Showing:
 - A. Fencing
 - B. Hazards
 - C. Sanitation location
 - D. Ingress / egress to public way
 - E. Existing Utility Connections and Removal Location
5. Debris removal plan by letter or shown dumpster location on site management plan
6. Proof of liability insurance
 - A. \$300,000 minimum liability (may be handled by the homeowner's policy).
7. Administration fee of \$30.00 for permits with no pending construction permit. Demolition permits in the Steamboat Springs Rural Fire Protection District will be an additional \$25.00 for fire review fee.
8. In buildings where the demolition is preparatory to an interior remodel or where a portion of building is being removed that is connected to an existing building that will remain, an engineer's review with signed and sealed documentation that the demolition will not be detrimental to the structure or fire resistivity of the building will be required. This statement will include vertical, lateral, and seismic load considerations, as well as fire resistive assembly requirements based on Type of Construction.

Routt County Regional Building Department

136 Sixth Street, PO Box 773840 Steamboat Springs, CO 80477 PH: 970-870-5566 Fax 970-870-5489 Email: Building@co.routt.co.us

9. In buildings where the demolition is preparatory to an interior remodel or where a portion of building is being removed that is connected to an existing building that will remain, the applicant must provide a Fire Management Plan with this application describing how all Fire Sprinkler or Alarm Systems will remain in service, out of service, or how fire watch will be utilized.
10. Sign the owner/agent asbestos statement on the next page and submit with your De-Construction Permit Online through View Permit.

Think Smart During De-Construction
Re-Use, Recycle, and Re-Claim as much
as possible with all Materials to Divert
Landfill Trips, Fees, and Waste
“Thank You”

OWNER / AGENT ASBESTOS STATEMENT

Under Colorado Regulation No. 8, Part B – Asbestos, Emissions Standards for Asbestos, The Colorado Department of Public Health and Environment (“CDPHE”) requires all buildings be thoroughly inspected for asbestos in accordance with paragraphs IV.C.1., IV.D. and IV.F. by a Colorado certified asbestos Building Inspector prior to commencing renovation or demolition activities. Both the building owner and contractor performing the renovation or demolition work can be held liable for failing to comply with these asbestos regulations.

Please be aware that testing for the presence of asbestos and issuance of a permit by the state may require significant lead times as there are state and federal requirements that the application for demolition (or renovation if trigger levels of asbestos will be disturbed) must be postmarked or hand delivered at least 10 working days prior to the commencement of the project. Issuance of a building permit by Routt County Regional Building Department does not assure compliance with the State and Federal regulations.

More information and applications are available at the CDPHE website:

<http://www.cdphe.state.co.us/ap/asbestos/index.html> or by calling the Colorado Department of Public Health and Environment at (800) 866-7689 or (303) 692-3150.

I have read and understand the above information and agree to these requirements

Owner / Agent Signature: _____

Date: _____

Address: _____ Permit number: _____



**RCRBD
Record Set
TC
04/14/2021**

Department of Planning and Community Development

NOTICE REGARDING DEMOLITION PERMITS

In accordance with Section 709.A.2 a Final Development Plan (FDP) is required prior to issuance of a Demolition Permit in the following zone districts:

CN – Commercial Neighborhood

CO – Commercial Old Town

CY – Yampa Street Commercial



Routt County
De-Construction Permit Application

April 5, 2021

Project: Steamboat Base Village Redevelopment

RE: BP2C Demolition Interior Sheraton Building for Kid Vacation Club Remodel

Fire Management Plan

Selective Interior demolition of Sheraton Level 1 for Remodel of future Kids Vacation Club for Steamboat Ski Resort Corp.

Before Demolition

Existing Fire Alarm Panel located in janitor's closet shall be maintained. Power shall be maintained to this panel to ensure function of fire alarm system in spaces not included in this renovation scope served from this panel. Where walls are being demolished, remove all fire alarm and electrical devices and associated back boxes conduit and wire shall be completely removed, traced prior to demolition so they can be refed from the electrical distribution system at later time.

Erect and maintain dust proof partitions as required to prevent spread of dust, fumes, and smoke to other parts of the building.

During Demolition

Within limits of demolition, contractor will provide portable fire extinguishers within 75 foot travel distance from all portions of the building area on each floor of demolition.

Existing fire alarm circuits to be demolished back from the panel to devices located within area of demo. Upon completion of fire alarm demo and electrical make safe, floor and wall demolition to commence through-out area. Any activity prone to generate sparks will be required to adhere to a "hot-work" permit with additional fire preventive measures. This project is expected to have very minimal hot work. Remove from site daily and dispose of refuse, debris and rubbish.

New circuits and extensions to the existing circuits will be utilized to feed the fire alarm NAC SLC circuits to devices throughout the new and existing space.

After Demolition

Installation of the new appropriate fire/life safety system is expected to immediately follow demo. The new plans and submittal will obtain approval from the Fire Department AHJ as applicable prior to installation.

A handwritten signature in black ink, appearing to read 'Josh Boh'.

Josh Boh

Project Manager, Saunders Construction

J.boh@saundersinc.com

At Saunders,
our reputation
and relationships
are based on:

Care
Collaboration
Commitment
Community



Construction Site Management Plan Checklist

Prior to the approval of a building/ROW permit, any commercial, multi-family, or applicable single family/duplex project must complete an approved Construction Site Management Plan (CSMP). Below are the required items to be included in the CSMP. Please check "yes" if the item is included, "no" if it is not, and "N/A" if not-applicable. Please provide an explanation for any "No" answers at the bottom of the checklist.

Project Name: BP2C Demo Sheraton - KVC

Date: 2/25/2021

Estimated Construction Start Date: 5/10/2021

End Date: 11/18/2021

Individual responsible for CSMP monitoring and compliance

Name: Reno Romagnoli

Phone # (local): 845-420-8910

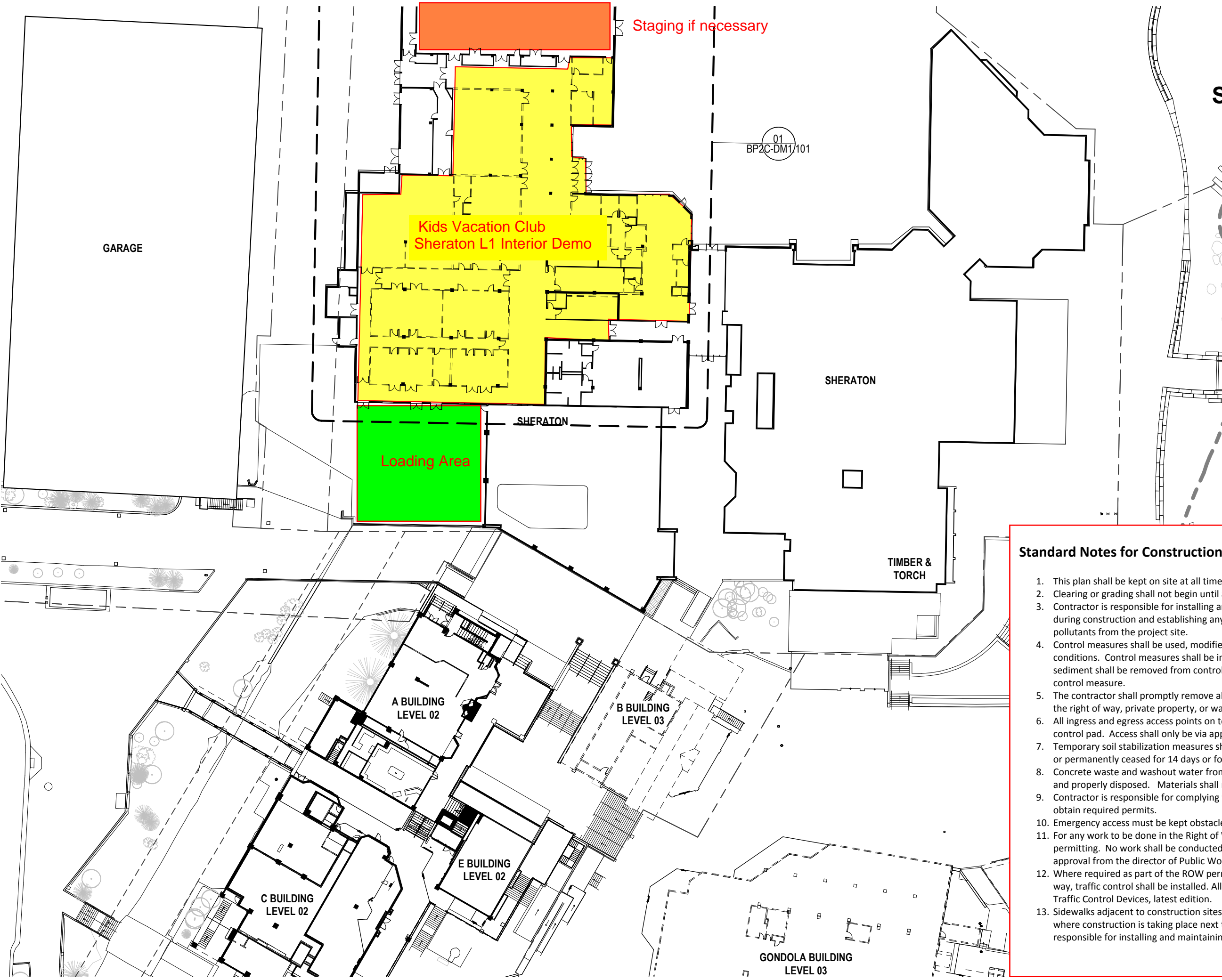
	Yes	No	N/A
1. General			
a. CSMP is shown on the proposed site plan	X		
b. Schedule Pre-Construction Meeting (<i>required only for commercial, industrial, and multifamily projects</i>)	X		
c. Right of Way permit (i.e. work or obstruction within ROW). <i>If required, describe below and include estimated start and stop dates.</i>			X
2. Erosion and Sedimentation Control Plan showing			
a. Topographic Information – including sufficient detail to characterize the site			X
b. Areas and extent of soil disturbance (show any phasing)			X
c. Location of all on site and adjacent water bodies, wetlands, drainages, and storm water systems			X
d. Vehicle tracking control measures (vehicle track pad, vehicle wash station, etc.)			X
e. Inlet protection			X
f. Perimeter control measures (BMPs)			X
g. Standard details for all proposed control measures			X
3. Site Construction Facilities (Identify the following):			
a. Staging areas Stagging inside Ballroom	X		
b. Stockpile areas			X
c. Dumpsters and trash receptacles	X		
d. Material recycling (wood, metal, plastics, etc.)	X		
e. Sanitary facilities Existing facilities	X		
f. Loading/Unloading areas Loading dock	X		
g. Trailers and field offices (show access)			X
4. Parking:			
a. Location and number of onsite and any offsite stabilized parking areas			X
b. Is project located downtown or at ski resort base area? <i>If so, describe below where contractor parking will occur:</i>	X		

5. External Traffic Control Plan showing:			
a. Show/label all traffic control devices (MUTCD compliant)	X		
b. Site access points; show existing adjacent streets and driveways; identify any changes and associated signage	X		
c. Sidewalks and trails; identify any changes and associated signage			X
d. Use of the public Right of Way (ROW) - generally not permitted (for constrained sites show any proposed use of ROW)			X
e. Crane use details, including but not limited to, ROW encroachment, swing radius, loading locations (Crane will require ROW permit from the City)			X
6. Internal Access Control showing			
a. Emergency access- <u>24' wide all weather surface for emergency access thru site</u> (to be maintained at all times)		X	
7. CSMP Standard Notes:			
a. Standard CSMP notes included on the site plan or Civil Plan Sheets	X		
8. Dust Control			
Provide narrative describing efforts to reduce fugitive dust from construction activities: Sweep access as needed.			
Provide explanation for any "No" or "N/A" answers: 1.c - No right of way work. 2.a,b,c,d,e,f & g - None in area or needed. 3.b & G - No excavation or offices on site. 4.a - Parking will be in Knoll lot. 5.c - No changes. 5.d - No not use ROW. 5.e - No crane. 6.a - Not an emergency access route.			

**** Plans shall be phased and updated as the project evolves and site conditions change.**

**** Please notify adjacent property owners prior to mobilization.**

**** Refer to chapter 36 of the Community Development Code for more information.**



Standard Notes for Construction Site Management Plans:

1. This plan shall be kept on site at all times and updated to reflect any changes.
2. Clearing or grading shall not begin until all control measures have been installed.
3. Contractor is responsible for installing and maintaining temporary erosion and sediment control measures during construction and establishing any required permanent control measures to prevent release of pollutants from the project site.
4. Control measures shall be used, modified, and maintained whenever necessary to reflect current conditions. Control measures shall be inspected weekly and after every precipitation event. Accumulated sediment shall be removed from control measures when the sediment level reaches ½ the height of the control measure.
5. The contractor shall promptly remove all sediment, mud, and construction debris that may accumulate in the right of way, private property, or water ways as a result of the construction activities.
6. All ingress and egress access points on to the disturbed site must be stabilized with a vehicle tracking control pad. Access shall only be via approved locations as shown on approved CSMP.
7. Temporary soil stabilization measures shall be implemented where ground disturbances have temporarily or permanently ceased for 14 days or for areas of land disturbance within one growing season.
8. Concrete waste and washout water from mixing trucks shall be contained on site, removed from the site, and properly disposed. Materials shall not be allowed to enter state waters.
9. Contractor is responsible for complying with all local, state, and federal laws. In addition contractor must obtain required permits.
10. Emergency access must be kept obstacle free and passable at all times.
11. For any work to be done in the Right of Way, coordinate with the City ROW Manager regarding special permitting. No work shall be conducted in the ROW between November 1 and May 1 without prior approval from the director of Public Works.
12. Where required as part of the ROW permit or where site work affects the pedestrian or vehicle travel way, traffic control shall be installed. All traffic control shall be in accordance with the Manual on Uniform Traffic Control Devices, latest edition.
13. Sidewalks adjacent to construction sites shall be maintained, for public use, by the contractor. In areas where construction is taking place next to the sidewalk and overhead hazards are possible, site is responsible for installing and maintaining sidewalk protection.