# **CHAPTER 5 GENERAL BLDG HEIGHT & AREA:**

Area, Building: The area included within surrounding exterior walls (or exterior walls and fire walls) exclusive of vent shafts and courts. Areas of the building not provided with surrounding walls shall be included in the building area if such areas are included within the horizontal projection of the roof or floor above. (from Commentary - the area measured within the perimeter formed by the inside surface of the exterior walls.)

### **CONSTRUCTION TYPE:**

(CONSTRUCTION WILL BE ALL NON-COMBUSTIBLE, 1-HR RATED)

HEIGHT (TABLE 504.3): TYPE VA ALLOWED HEIGHT = 50' PROPOSED HEIGHT = 25'

TABLE 506.2 ALLOWABLE AREA FACTOR IN SF: TYPE VA, U OCCUPANCY ALLOWABLE AREA = 9,000 SF PROPOSED AREA = 425 SF

## ABLE 509 INCIDENTAL USES:

ROOMS WITH BOILERS WHERE THE LARGEST PIECE OF EQUIPMENT IS OVER 15 PSI AND 10 HORSEPOWER

SEPARATION AND/OR PROTECTION = 1 HOUR OR PROVIDE AUTOMATIC SPRINKLER SYSTEM 1 HOUR RATED SEPARATION WILL BE PROVIDED AT BOILER ROOM.

## **CHAPTER 6 TYPES OF CONSTRUCTION:**

TYPE VA STRUCTURE **BEARING WALL EXTERIOR** 

INTERIOR **NON-BEARING** 

**EXTERIOR** 1-HR FOR 5<X<10 SEPARATIONS 0-HR FOR X>30 SEPARATIONS INTERIOR

**FLOORS** ROOFS 1-HR

# **CHAPTER 7 FIRE RESISTANCE CONSTRUCTION:**

SECTION 713.4 FIRE RESISTANCE RATING

SHAFT ENCLOSURES SHALL HAVE A FIRE RESISTIVE RATING OF NOT LESS THAN 1-HOUR WHERE CONNECTING LESS THAN FOUR STORIES. ELEVATOR SHAFT AND MACHINE ROOM TO HAVE 1-HR SEPARATION OF ADJACENT SPACES.

### **CHAPTER 9 FIRE PROTECTION SYSTEMS:**

TABLE 903.2.11.6 ADDITIONAL REQUIRED SUPPRESSION SYSTEMS: INCIDENTAL USE AREA SEE SECTION 509.4

## **CHAPTER 10 MEANS OF EGRESS:**

TABLE 1004.5 MAX FLOOR AREA ALLOWANCES PER OCCUPANT: BOILER/ELEVATOR

425 SF / 300 SF PER OCC = 2 OCCUPANTS

USING QUEUING OCCUPANT LOAD FROM SSRC PER REVIEW WITH TODD CARR ON 3/24/2021 = 510 OCCUPANTS (MAX)

# **SECTION 1005.3.1 STAIRWAYS:**

PLATFORM 510 OCC X .3" = 153" OF STAIR EGRESS REQUIRED

**SECTION 1005.3.25 OTHER EGRESS COMPONENTS:** BOILER/ELEVATOR

EXIT AT LOWER LEVEL DIRECTLY OUTSIDE

510 OCC X .2" = 102" OF OTHER EGRESS REQUIRED

# UMMER OCCUPANCY

TABLE 1004.5 MAX FLOOR AREA ALLOWANCES PER OCCUPANT:

BOILER/ELEVATOR 425 SF / 300 SF PER OCC = 2 OCCUPANTS

USING QUEUING OCCUPANT LOAD OF 20 SF PER OCCUPANT PER REVIEW WITH TODD CARR ON 3/25/2021 4425 SF / 20 SF PER OCC = 222 OCCUPANTS

# **SECTION 1005.3.1 STAIRWAYS:**

PLATFORM 222 OCC X .3" = 67" OF STAIR EGRESS REQUIRED

**SECTION 1005.3.25 OTHER EGRESS COMPONENTS:** 

BOILER/ELEVATOR EXIT AT LOWER LEVEL DIRECTLY OUTSIDE

222 OCC X .2" = 45" OF OTHER EGRESS REQUIRED

# **CHAPTER 11 - ACCESSIBILITY:**

THE ELEVATOR HAS BEEN PROVIDED FOR ACCESSIBLE ACCESS TO THE PLATFORM. NEW SNOW MELTED CONCRETE PATH FROM THE ELEVATOR TO THE EXISTING PROMENADE WILL HAVE A SLOPE OF 5% MAX.

A PHONE WILL BE PROVIDED AT THE ELEVATOR (ON BOTH LEVELS) TO CONTACT SSRC SECURITY. OWNER WILL HAVE PROCEDURE IN PLACE TO EVACUATE GUESTS FROM PLATFORM IN THE CASE OF AN ISSUE WITH THE ELEVATOR.

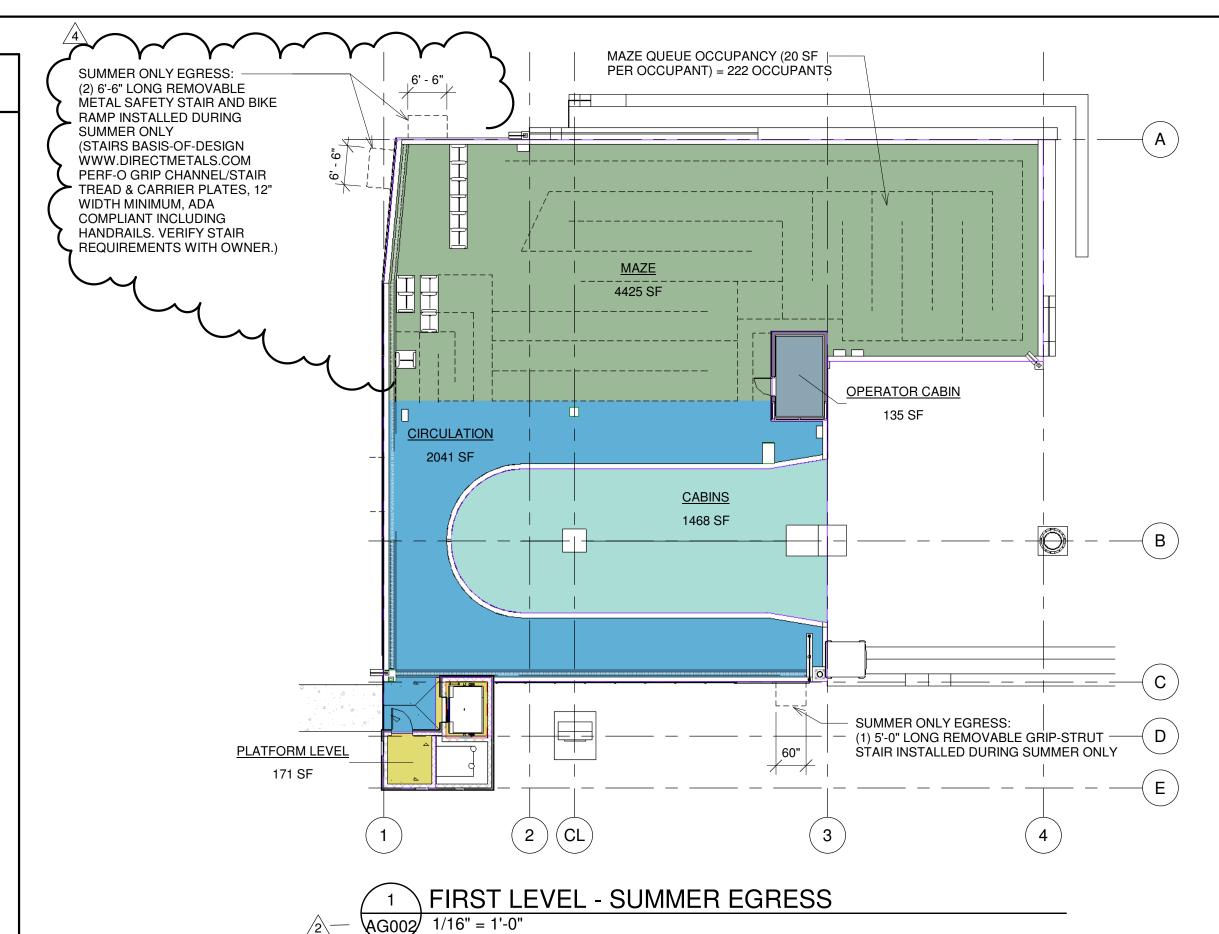
SIGNAGE TO BE PROVIDED PER SECTION 1111. VERIFY ALL LOCATION OF SIGNAGE WITH OWNER IN FIELD. SIGNAGE TO MEET ALL REQUIREMENTS OF 2018 IBC, ANSI A117, ADA AND CDC.

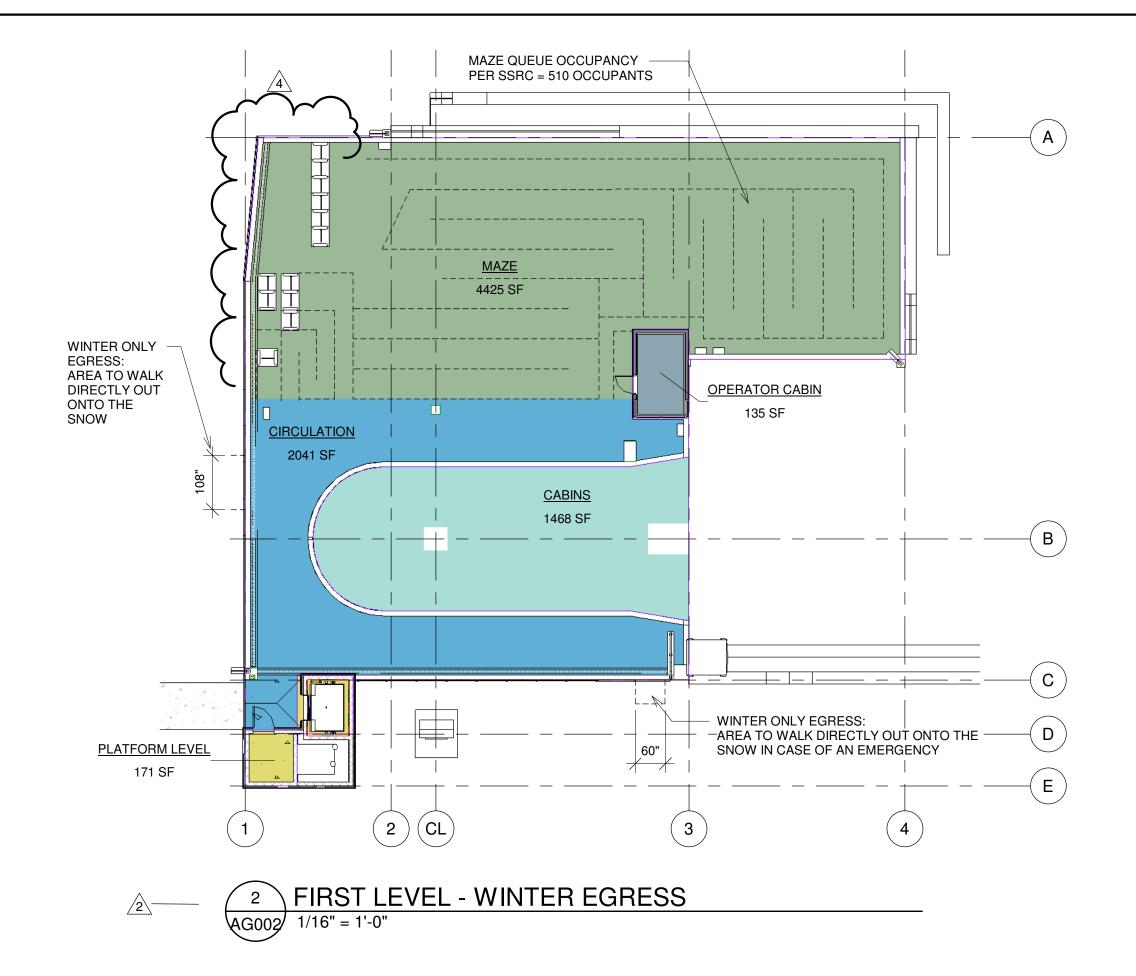
# **CHAPTER 17 - SPECIAL INSPECTIONS:**

1704.2 General - Where application is made to the Building Official for construction as specified in section 105, the Owner or the owner's authorized agent, other than the contractor, shall employ one or more approved agencies to provide special inspections and tests during construction on the types of work specified in Section 1705 and identify the approved agencies to the building official. These special inspections and tests are in addition to the inspections by the building official that are identified in Section 110.

**1705.14 Spray fire-resistant materials.** See section 1705.14 for required verification and inspection of spray fire-resistant materials applied to structural

See more information on Special Inspection requirements on S0.01





## PROJECT GENERAL NOTES:

1. DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSION AND CONDITIONS IN FIELD. DISCREPANCIES IN DIMENSIONS, EXISTING CONDITIONS AND FIELD MEASUREMENTS ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE COMMENCEMENT OF THE WORK.

2. THE GENERAL CONTRACTOR SHALL ENSURE THAT ALL CONSTRUCTION MEETS OR EXCEEDS APPLICABLE CODES AND STANDARD PRACTICES, INCLUDING ALL FEDERAL, STATE AND LOCAL BUILDING REQUIREMENTS.

3. CONTRACTOR TO VERIFY TEMPERED GLAZING PROVIDED AT NEW DOORS AND WINDOWS PER CODE.

4. CONTRACTOR TO VERIFY MANUFACTURES INSTRUCTIONS AND PROCEDURES FOR INSTALLATION OF ALL MATERIALS & EQUIPMENT.

5. THROUGH-PENETRATION OR MEMBRANE PENETRATION FIRESTOPPING OF ALL FIRE-RESISTANT ASSEMBLIES REQUIRED PER IBC SECTION 713.

6. ALL WORK CONNECTED WITH THIS PROJECT BY ANY TRADE INVOLVED SHALL BE DONE IN A WORKMANSHIP TYPE MANNER IN ACCORDANCE WITH THE BEST PRACTICE OF THE TRADE.

7. CONTRACTOR SHALL PROVIDE JOB SITE CLEAN UP. SORT AND RECYCLE JOBSITE DEBRIS TO THE FULLEST EXTENT POSSIBLE INCLUDING CARDBOARD, STEEL, WOOD, ACOUSTICAL TILE, GLASS AND GYPSUM BD. CLEAN AND REMOVE CONSTRUCTION DEBRIS FROM THE SITE ON A DAILY BASIS. UPON JOB COMPLETION, LEAVE THE SITE IN A NEAT AND ORDERLY CONDITION. PROVIDE TRASH REMOVAL FOR PROJECT RELATED WORK BY SUBCONTRACTORS, ETC.

8. COORDINATE PROJECT WORK WITH OWNER, LIFT PROVIDER AND BASE VILLAGE PROJECT. ACTIVITIES AND ACCESS TO AND AROUND THE PROJECT SITE WILL BE REQUIRED AT THE MOUNTAIN AND AT THE BASE VILLAGE DURING CONSTRUCTION.

9. ALL PERMITS (OCCUPANCY, ELECTRICAL, PLUMBING AND ALL OTHERS) REQUIRED BY STATE AND LOCAL CODES, EXCEPT THOSE ACQUIRED BY SUBCONTRACTORS, ARE TO BE SECURED BY THE GENERAL CONTRACTOR WITH COPIES TO OWNER WITHOUT EXTRA CHARGE. ALL PERMITS ACQUIRED BY SUBCONTRACTORS SHALL BE SUBMITTED TO THE GENERAL CONTRACTOR FOR RECORD.

10.EACH TRADE SHALL VERIFY ALL REQUIREMENTS PERTAINING TO WORK PERFORMED IN THE PROJECT AND ANY REQUIRED PERMITS. ALL SUBCONTRACTORS SHALL DIRECT QUESTIONS, CHANGES OR REQUESTS THROUGH THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL SUBMIT ALL REQUESTS, CHANGES OR QUESTIONS TO THE ARCHITECT IN WRITING.

11.NO UTILITY, TELECOMM, LOW VOLTAGE, DATA SERVICE, ETC. MAY BE DISCONNECTED WITHOUT FIRST CONTACTING THE FACILITY MANAGER IN ADVANCE FOR AUTHORIZATION. THERE SHOULD BE NO INTERRUPTION OF EXISTING SYSTEMS.

12.ALL EGRESS PATHS SHALL REMAIN OPEN AND AVAILABLE TO OWNER AND GUESTS.

13.IF UNANTICIPATED MECHANICAL, PLUMBING, ELECTRICAL, STRUCTURAL ELEMENTS OR ANY OTHER CONDITIONS ARE ENCOUNTERED WHICH MIGHT CONFLICT WITH THE INTENDED FUNCTION OF THE RENOVATION CONTACT THE ARCHITECT IMMEDIATELY FOR CLARIFICATION. COORDINATE ACTIVITIES WITH THE FACILITY MANAGER IN ADVANCE OF DOING WORK.

14. COORDINATE WORK OF DISCIPLINES, (ARCH., STRUCT., ELEC., MECH., PIPING, I.T., ETC.) WITH EXISTING CONDITIONS, SPECIAL REQUIREMENTS AND CONSTRUCTION SCHEDULE.

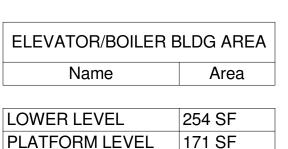
15.CONTRACTOR SHALL COMPLY WITH OWNER'S REQUIREMENTS FOR STORAGE, REMOVALS, NOISE LEVELS, VENTILATION AND LIMITATIONS OF ACCESS TO SITE. COORDINATE WITH FACILITY MANAGER FOR CLARIFICATION. NO CHANGE ORDERS WILL BE PERMITTED FOR FAILURE TO BE AWARE OF OWNER'S REQUIREMENTS.

16.PROVIDE, ERECT AND MAINTAIN TEMPORARY WORK AS MAY BE REQUIRED FOR PROTECTION OF THOSE IN OR ABOUT THE BUILDING.

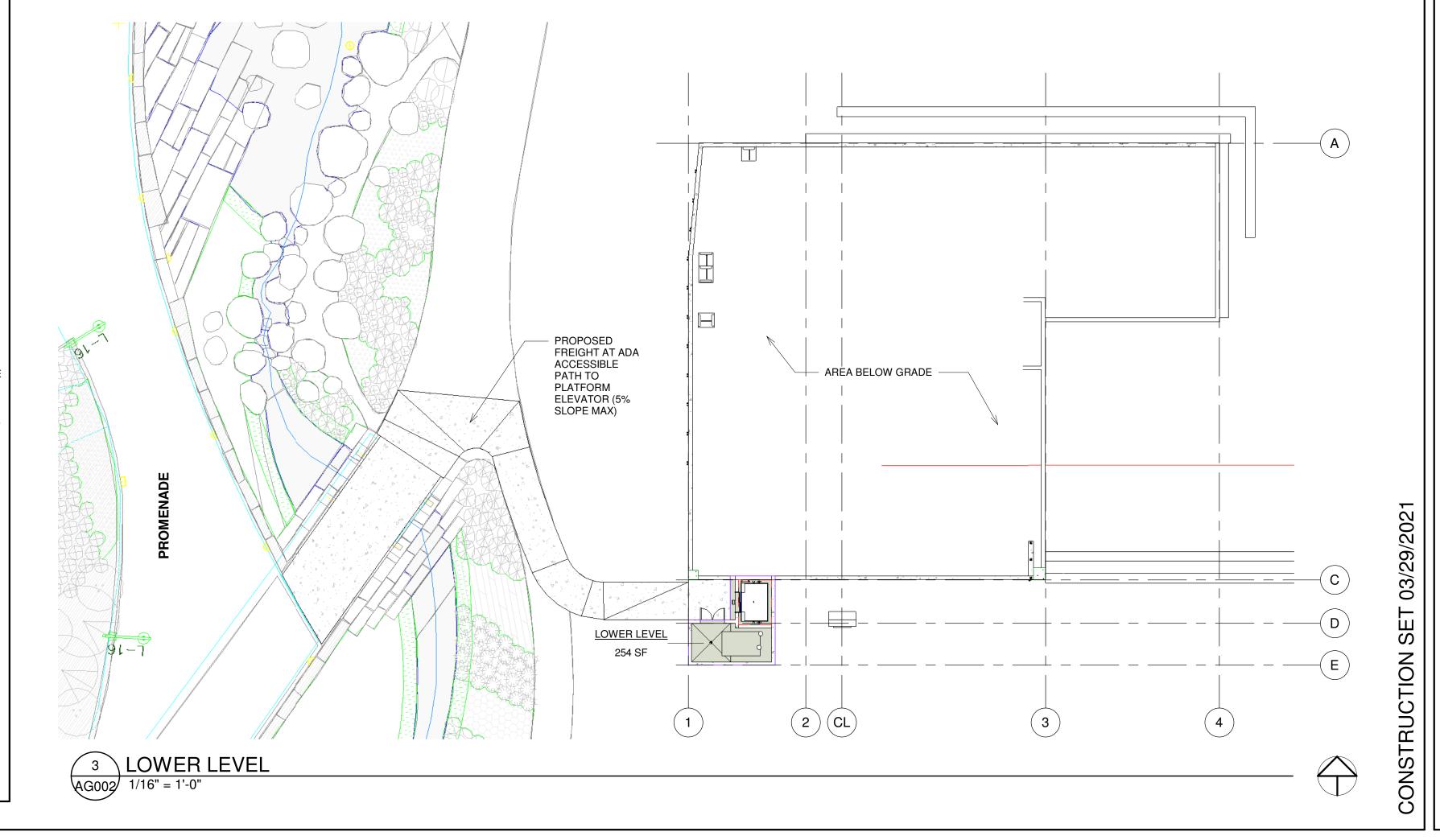
17.PROVIDE BARRICADES, PLASTIC COVERS, DUST BARRIERS, WARNING SIGNS, FIRE EXTINGUISHERS AND OTHER NECESSARY EQUIPMENT FOR THE PROTECTION AND SAFETY OF PERSONNEL, MATERIALS AND EQUIPMENT IN THE AREA.

18.EACH CONTRACTOR SHALL INCLUDE COST OF MATERIAL AND LABOR NECESSARY TO PROVIDE ALL REQUIRED SUPPORTS, BEAMS, ANGLES, HANGERS, RODS, BASES, BRACES, CHANNELS, ETC. TO PROPERLY SUPPORT THEIR CONTRACT WORK.

19.PROVIDE ADEQUATE SUPPORTING BLOCKING WHERE REQUIRED.



425 SF





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Although the architect and his consultants have performed their services with due care and diligence they cannot guarantee perfection. Communication is imperfect and every contingency cannot be anticipated.
Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the architect. Failure to notify the architect compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to the architect shall relieve the architect from responsibility for the consequences. Changes made from the plans without consent of the architect are unauthorized and shall relieve the architect of responsibility for all consequences arriving out of such changes.

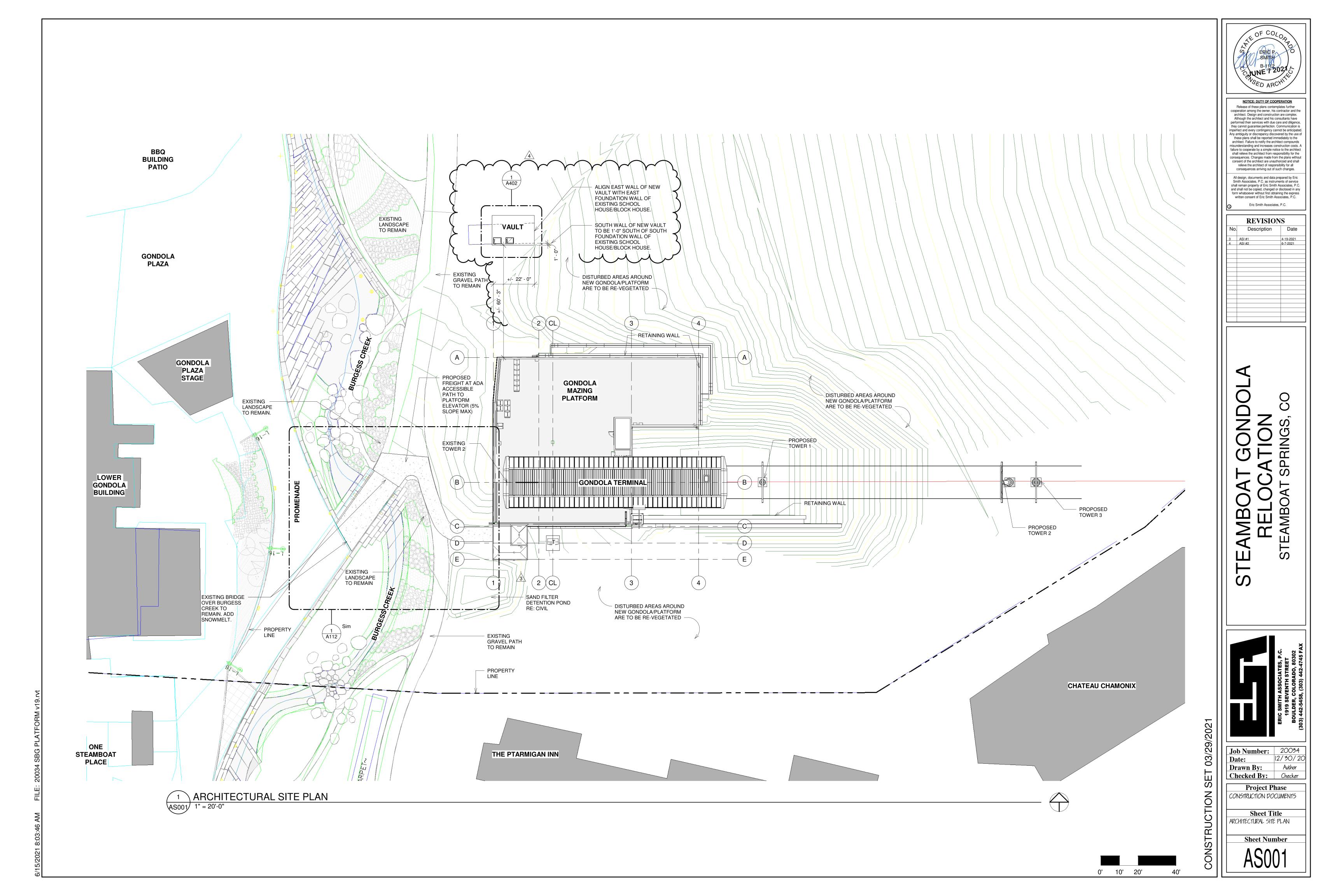
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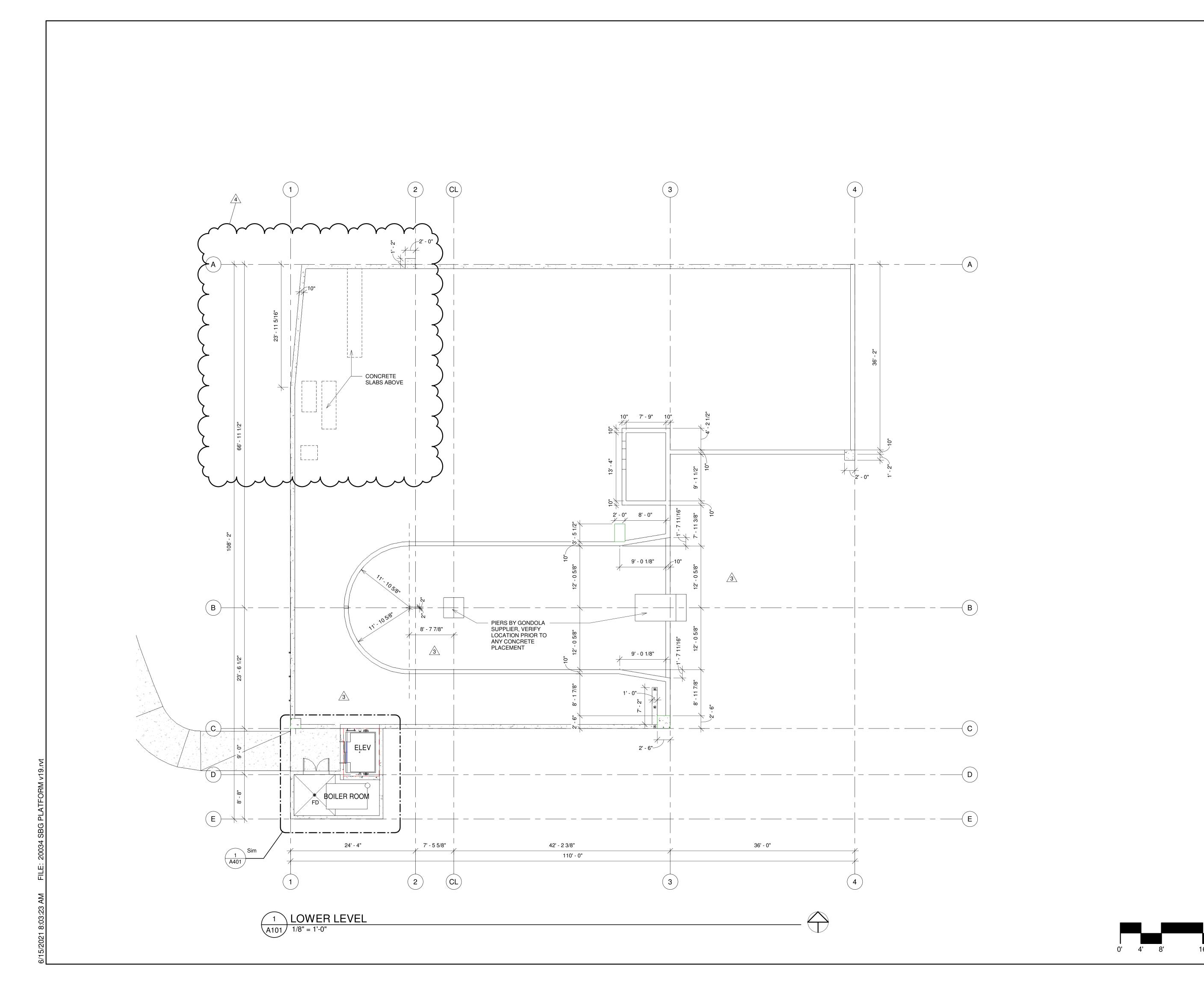
REVISIONS Description Addendum #2 3-26-2021 ASI #2

**Job Number:** | 20034 12/30/20 Author Drawn By: Checked By: Checker

Project Phase CONSTRUCTION DOCUMENTS

**Sheet Title** ODE REVIEW







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**REVISIONS** Description

3 ASI #1 4 ASI #2

Date

4-19-2021

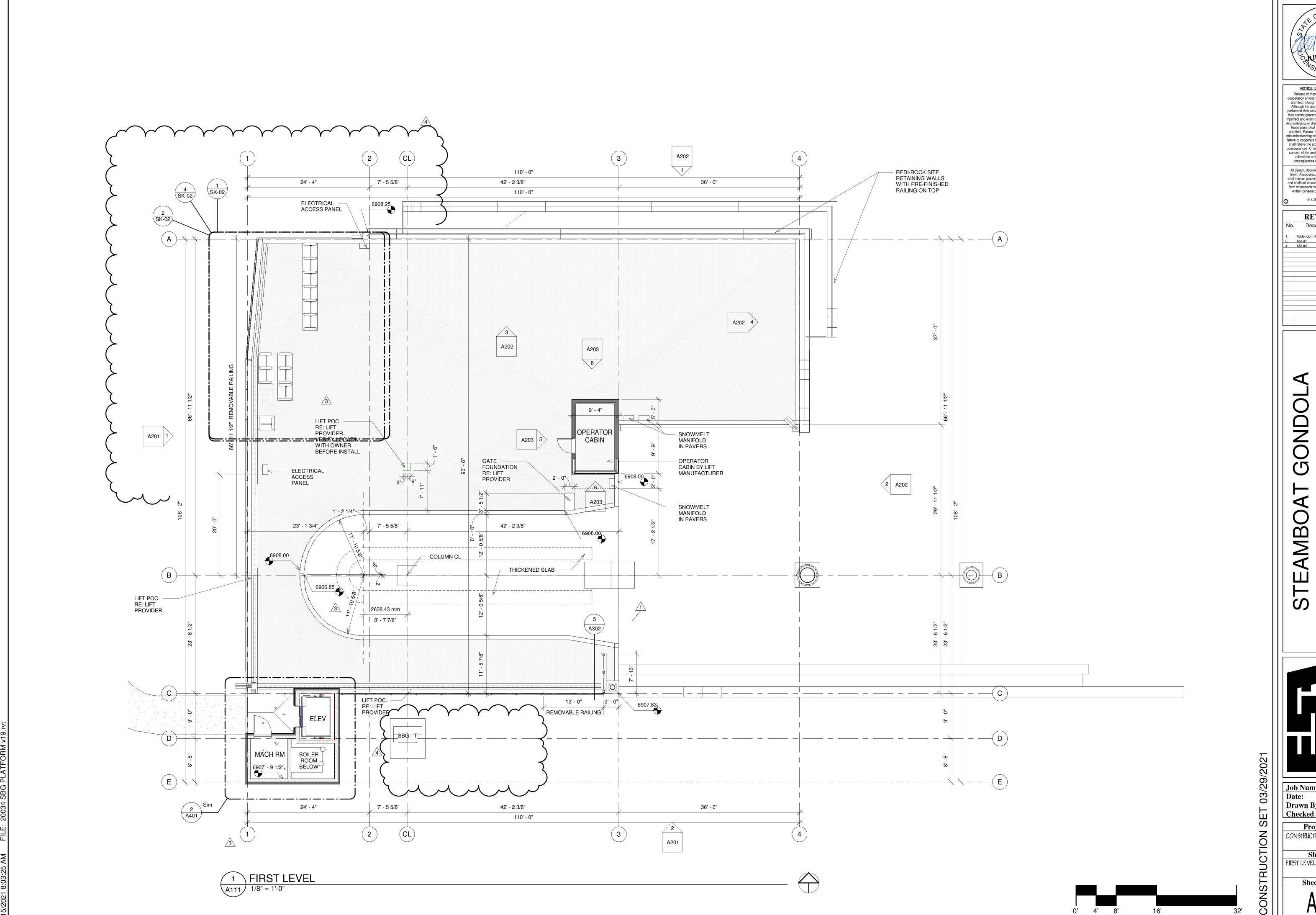
 
 Job Number:
 20034

 Date:
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Checked By: Checker

Project Phase CONSTRUCTION DOCUMENTS

**Sheet Title** LOWER LEVEL PLAN



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<b>REVISIONS</b>										
No.	Description	Date								
1	Addendum #1	3-12-2021								
3	ASI #1	4-19-2021								
4	ASI #2	6-7-2021								

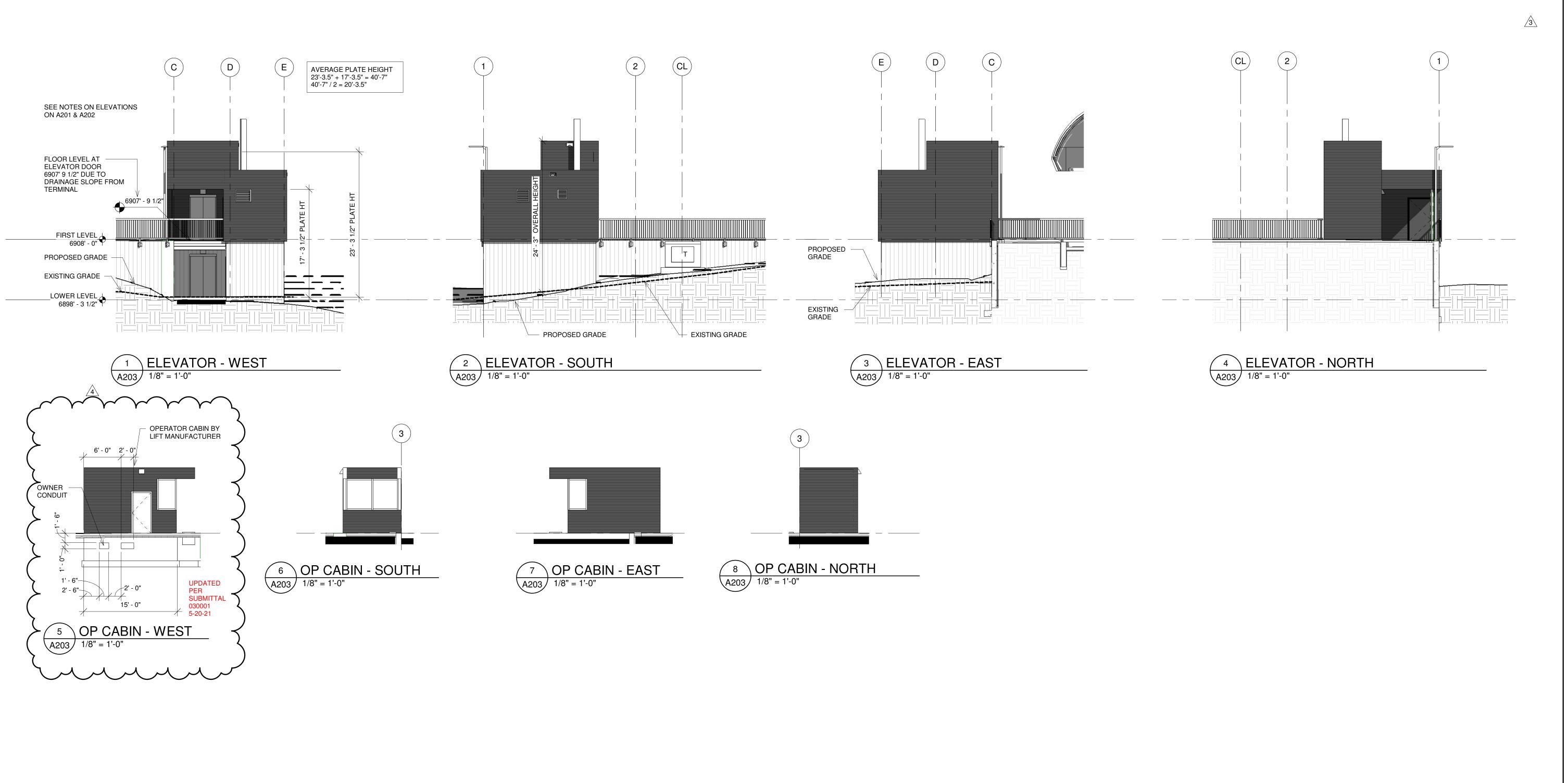
 
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Project Phase

CONSTRUCTION DOCUMENTS **Sheet Title** 

FIRST LEVEL PLAN



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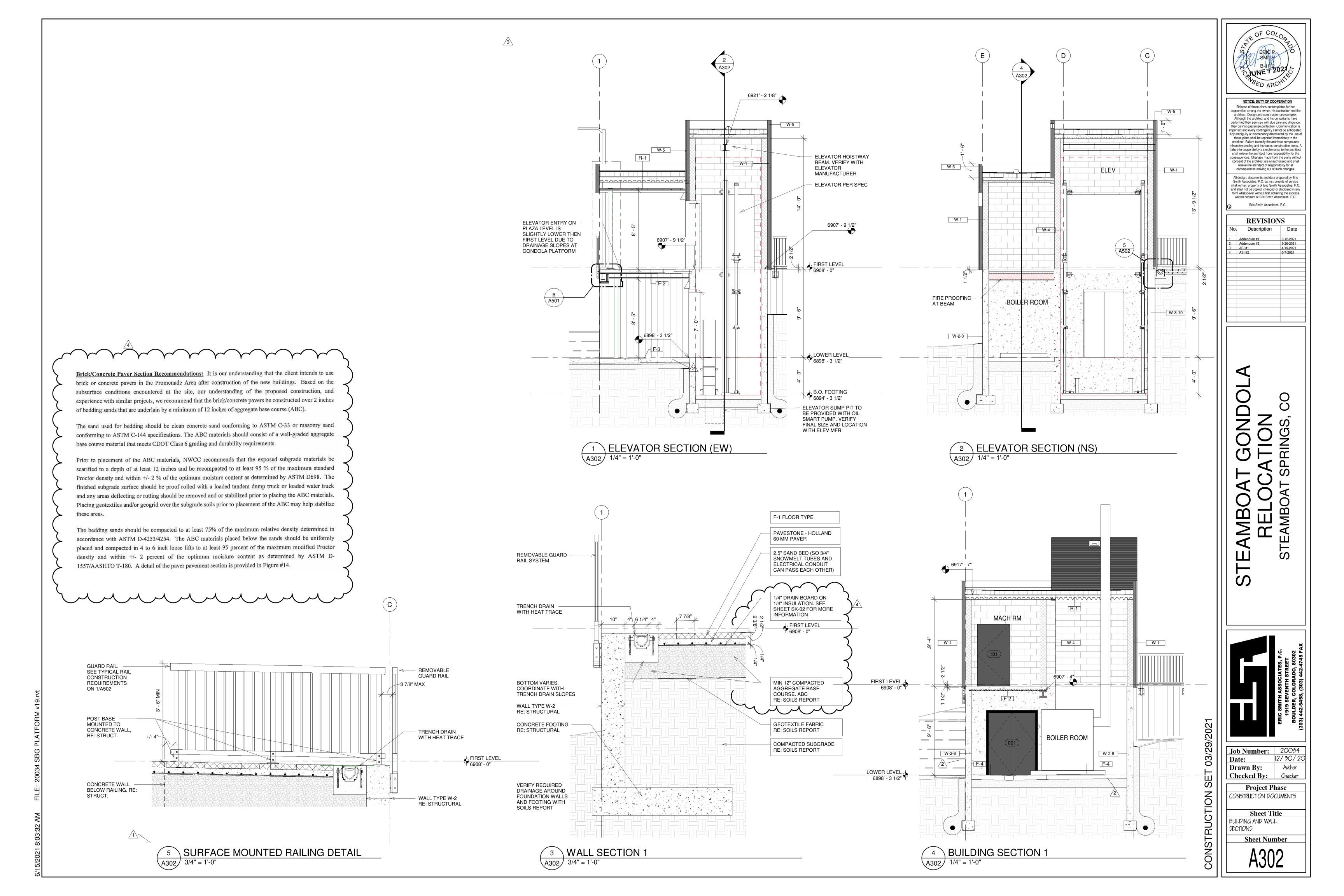
 
 Job Number:
 20034

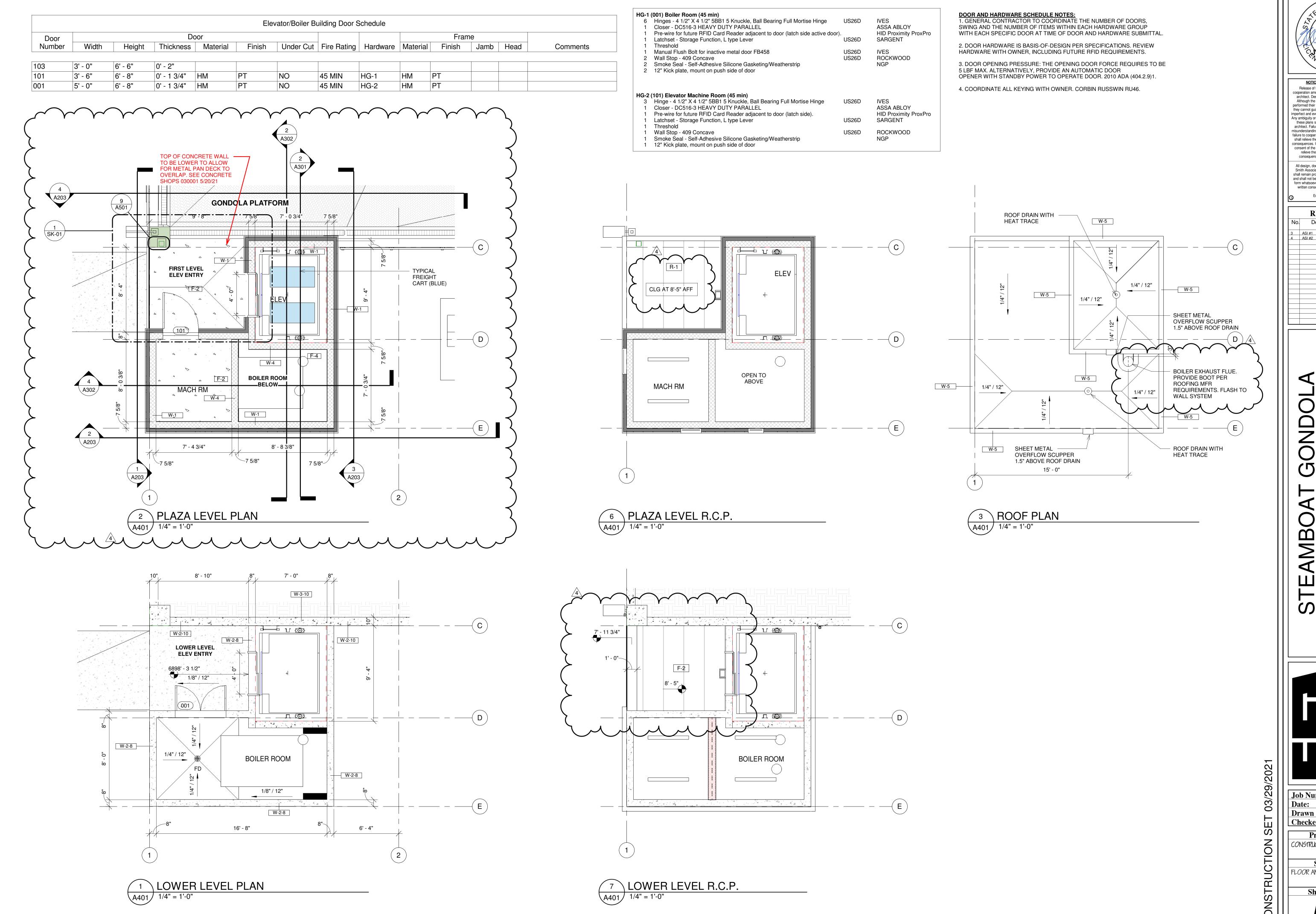
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Project Phase

CONSTRUCTION DOCUMENTS

**Sheet Title** EXTERIOR ELEVATIONS & BLDG SECTIONS





SMITH JUNE 7 2021

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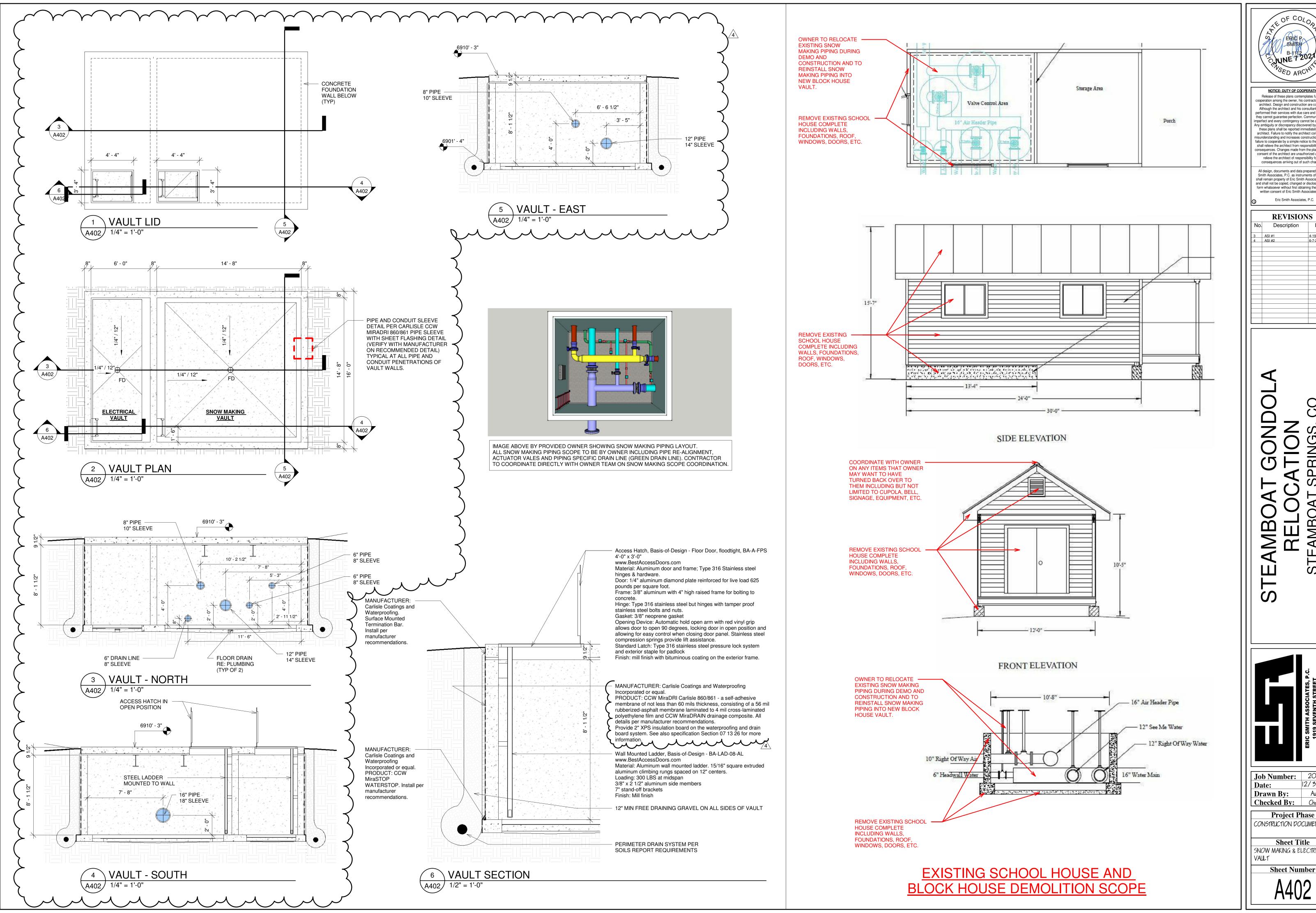
**REVISIONS** Description Date 3 ASI #1 4 ASI #2 4-19-2021

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**Project Phase** CONSTRUCTION DOCUMENTS

**Sheet Title** 

FLOOR AND CEILING PLANS **Sheet Number** 





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REVISIONS Description Date 3 ASI #1 4 ASI #2 4-19-2021

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Job Number: 20034 12/30/20 **Drawn By:** Author Checked By: Checker

**Project Phase** CONSTRUCTION DOCUMENTS

**Sheet Title** SNOW MAKING & ELECTRICAL

**ELASTIZELL CORP OF AMERICA** — Type II, with a cast dry density of 39 (+ or - 3.0) pcf

SIPLAST INC — Mix #1, Cast dry density of 32 (+ or -) 3 pcf

SIPLAST INC — Mix #2, Cast dry density of 36 (+ or -) 3 pcf

C. Cellular Concrete-Roof Topping Mixture\* - Foam concentrate mixed with water, Portland cement and UL Classified Vermiculite Aggregate per manufacture's application instructions. Cast dry density of 33 (+ or -) 3 pcf and 28 day compressive strength of min 250 psi as determined in accordance with ASTM **AERIX INDUSTRIES** — Mix #3

ELASTIZELL CORP OF AMERICA — Type II. Mix #1 of cast dry density 39 (+ or -) 3.0 pcf, Mix #2 of cast dry density 40 (+ or -) 3.0 pcf, Mix #3 of cast dry density 47 (+ or -) 3.0 pcf

**SIPLAST INC** — Mix #3

D. Perlite Concrete - 6 cu ft of Perlite Aggregate\* to 94 lb of Portland Cement and 1-1/2 pt air entraining agent. Min thickness 2 in. as measured to the top surface of structural concrete or foamed plastic (Item 15A) when it is used. See Perlite Aggregate (CFFX) in Fire Resistance Directory for names of Classified companies.

15. Foamed Plastic\* — (Optional, Not Shown) — For use only with vermiculite (Item 14A) or cellular (Item 14B) concretes-Rigid polystyrene foamed plastic insulation having slots and/or holes sandwiched between vermiculite concrete slurry which is applied to the normal or light weight concrete surface and vermiculite concrete topping (Item 14A). See Foamed Plastic\* (BRYX) category in Building Materials Directory or Foamed Plastic\* (CCVW) Category in Fire Resistance Directory for list of Classified

15A. Foamed Plastic\* — (Not Shown) — For use only with cellular or perlite concrete. Nominal 24 by 48 in. polystyrene foamed plastic insulation boards having a density of 1.0 (+ or - 0.1) pcf, encapsulated within concrete topping. Each insulation board shall contain six nominal 3 in. diameter holes oriented in two rows of three holes each with the holes spaced 12 in, OC transversely and 16 in, OC longitudinally. See Foamed Plastic\* (BRYX) category in Building Materials Directory or Foamed Plastic\* (CCYW) category in Fire Resistance Directory for list of Classified companies.

**16. Roof Covering Materials\*** — (Optional, Not Shown) — Consisting of materials compatible with insulations described herein which provide Class A, B or C coverings. See Built-Up Roof Covering Materials in Building Materials Directory.

17. Insulated Concrete — (Optional, Not Shown) — various types of insulated concrete prepared and applied in the thickness indicated. A. Vermiculite Concrete — Mix consists of 6 cu ft of Vermiculite Aggregate\*, 94 lbs of Portland cement

and 6 ox of air entraining agent. Thickness to be 2 in min from the top plane of steel roof deck. **ELASTIZELL CORP OF AMERICA** — Types MS16-U, MSV 200.

B. Perlite Concrete — Mix consists of 6.2 cu ft Perlite Aggregate\* to 94 lbs of Portland cement and 1-1/2 pt air entraining agent. Compressive strength 80 psi min. See Perlite Aggregate (CFFX) category for names of Classified companies.

18. Wall and Partition Facings and Accessories — (Optional, Not Shown) Sound barrier for use with items 19 and 20: Acoustic Sleeper Pads stapled or adhered to the underside of the subflooring panels spaced 24 in. OC. STC ARCHITECTURAL PRODUCTS L L C DBA STC SOUND CONTROL — Acoustic Sleeper

19. Structural Cement Fiber Units\* — (Optional, Not Shown) - (For use with item 18) - Min 3/4 in. thick tongue and groove non- combustible structural cement fiber board loosely laid over concrete. ECTEK INTERNATIONAL INC — Armoroc Panel

**UNITED STATES GYPSUM CO** — USG Structural Panel

**EASI BUILDING PRODUCTS, INC.** — Versaroc

**20.** Building Units\* — (Optional, Not Shown) - (For use with item 18) - Panels loosely laid over concrete. **DRAGONBOARD USA L L C** — Type DragonBoard, DragonBoard Flooring

**EXTREMEGREEN BUILDING PRODUCTS LLC** — Type 3/4 in. Shiplap Edge Extremegreen™ Board, 5/8 in. Tapered Edge Extremegreen™ Board, 1/2 in. Tapered Edge Extremegreen™ Board.

\* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.

included in the equation. If an equation is not provided in the particular UL design being referenced, the IBC equation with the appropriate material constants should be used. The values for the material related constants should be verified with the material supplier.

VI.8.9 Concrete-Filled HSS Columns. Concrete-filled Hollow Structural Sections (HSS) can effectively sustain load during a fire exposure without benefit of external protection. The concrete mass provides an increased capacity for absorbing the heat caused by the fire and thereby extends the duration for load resistance. Research conducted at the National Research Council of Canada provided a basis for establishing an empirical equation to predict the fire resistance of concrete-filled round and square HSS sections<sup>12,13,14</sup>. The equation is presented in ASCE/SFPE 29-99<sup>15</sup> as follows:

R =Fire Resistance Rating (hours) a =Shape and material parameter

0.07 - circular section with siliceous aggregate concrete fill 0.08 - circular section with carbonate aggregate concrete fill 0.06 - square or rectangular section with siliceous aggregate fill

0.07 - square or rectangular section with

carbonate aggregate concrete fill = 28 day concrete compressive strength (ksi) KL = Column effective length (ft)Outside diameter of circular HSS (in.)

Outside dimension of square HSS (in.) Least outside dimension of rectangular HSS = Column compressive force due to unfactored

dead load and live load (kips)

The fire performance of a concrete-filled HSS column improves when heat absorption occurs as the moisture in the concrete is converted to steam. The heat absorbed during this phase change is significant, however the resulting steam must be released to prevent the adverse effects of an internal pressure build-up. Thus, vent holes need to be provided in the steel section. Two ½ in.(12.7 mm) diameter holes should be placed opposite each other

should be rotated 90° relative to the top holes.

at the top and bottom of the column. The bottom holes

The application of the formula is limited. Since it is based on actual column tests, the application must fit within the range of the parameters considered in the testing. The following restrictions are placed on the use of the equation:

1. The calculation is limited to columns requiring a fire resistance rating of 2 hours or less.

The 28 day compressive strength of the fill concrete must be between  $f_c$  '=2.9 ksi (20 MPa) and  $f_c$  '= 5.8 ksi

3. The column effective length must be between 6.5 ft

4. Round sections must have a D between 5½ in. (140

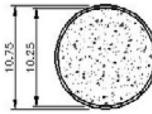
mm) and 16 in. (406 mm). Square and rectangular sections must have a D between 51/2 in. (140 mm) and 12 in. (305 mm).

6. Compressive force C shall not exceed the design strength of the concrete core at ambient temperatures determined in accordance with the AISC LRFD Specification for Structural Steel Buildings.

7. Vent holes must be provided at the top and bottom of the column section to relieve steam pressure.

# VI.8.9.1 EXAMPLE VI-4

Determine the fire resistance rating of a round concretefilled HSS 10.75 x 0.25 having an effective length (KL) of 10 ft (3.05 m) subjected to an unfactored dead load of 45 kips (200 kN) and an unfactored live load of 35 kips (156 kN). Carbonate coarse aggregate is used in the concrete fill that has a 28 day compressive strength of 4,000 psi (27.6 MPa).



 $f_c' = 4,000 \text{ psi}$ KL = 10 ftD = 10.75 in. C = 45 + 35 = 80 kips

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## **TABLE 722.2.1.1** MINIMUM EQUIVALENT THICKNESS OF CAST-IN-PLACE OR PRECAST CONCRETE WALLS, LOAD-BEARING OR NONLOAD-BEARING

CONCRETE	MINIMUM SLAB THICKNESS (inches) FOR FIRE-RESISTANCE RATING OF										
TYPE	1 hour	1 <sup>1</sup> / <sub>2</sub> hours	2 hours	3 hours	<b>4 hours</b> 7.0						
Siliceous	3.5	4.3	5.0	6.2							
Carbonate	3.2	4.0	4.6	5.7	6.6						
Sand- lightweight	2.7	3.3	3.8	4.6	5.4						
Lightweight	2.5	3.1	3.6	4.4	5.1						

For SI: 1 inch = 25.4 mm.

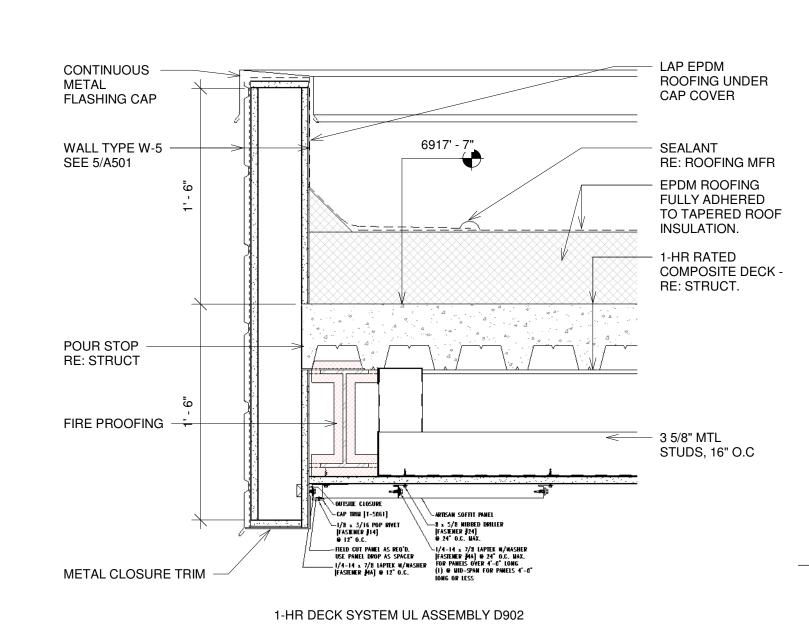
# Table 1—Fire Resistance Rating Period of Concrete Masonry Assemblies (refs. 1, 2, 3)

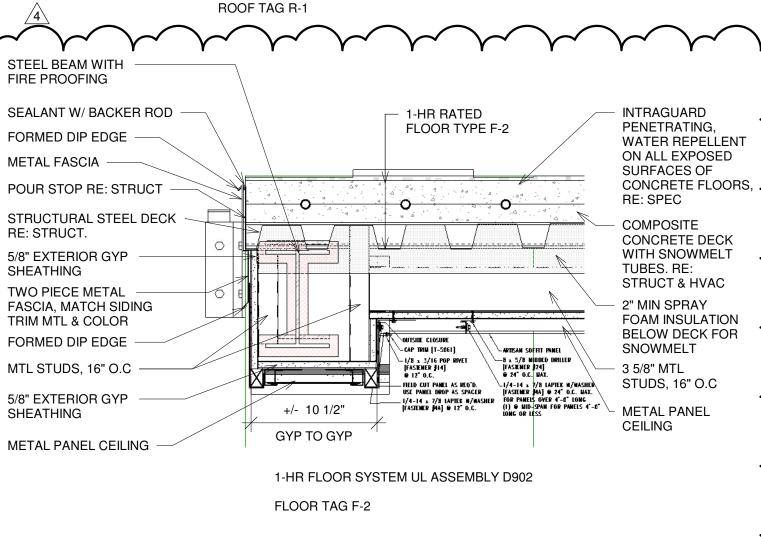
Aggregate type in the	Minimum required equivalent thickness, in. (mm), for fire resistance rating, hours <sup>A, B</sup>														
concrete masonry unit <sup>C</sup>	4	33/4	31/2	31/4	3	23/4	21/2	21/4	2	13/4	11/2	11/4	1	3/4	1/2
Calcareous or siliceous gravel	6.2	6.0	5.8	5.5	5.3	5.0	4.8	4.5	4.2	3.9	3.6	3.2	2.8	2.4	2.0
Limestone, cinders or unexpanded slag	5.9	5.7	5.5	5.2	5.0	4.8	4.5	4.3	4.0	3.7	3.4	3.1	2.7	2.3	1.9
Expanded clay, shale, or slate	5.1	4.9	4.8	4.6	4.4	4.2	4.0	3.8	3.6	3.4	3.3	2.9	2.6	2.2	1.8
Expanded slag or pumice	4.7	4.5	4.4	4.2	4.0	3.8	3.6	3.4	3.2	3.0	2.7	2.5	2.1	1.9	1.5
A Fire resistance rating between the h thickness value of the concrete															

15) shall apply. Include equivalent thickness of finishes where applicable: see section "Effects of Finishes on Fire Resistance Ratings." Where combustible members are framed into the wall, the thickness of solid material between the end of each member and opposite wall face, or between members set in from opposite sides, must be at least 93% of thickness shown.

Minimum required equivalent thickness corresponding to the hourly fire resistance rating for units made with a combination of aggregates shall be determined by linear interpolation based on the percent by volume of each aggregate used in the manufacture.

## Ref: https://ncma.org/resource/fire-resistance-ratings-of-concrete-masonry-assemblies/



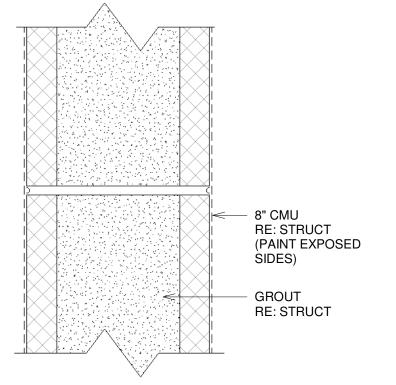


SLAB EDGE / FASCIA DETAIL (F-2 & R-1)

METAL SIDING (MATCH OPERATOR CABIN FINISH) TYVEK COMMERCIAL WRAP 1-LAYER 5/8" DENSGLASS SHEATHING 3-1/2" BATT INSULATION METAL STUDS 1/2" AIR SPACE 8" CMU - RE: STRUCT (PAINT) **GROUT RE: STRUCT** 1-HOUR FIRE RATED ASSEMBLY BASED NCMA TABLE

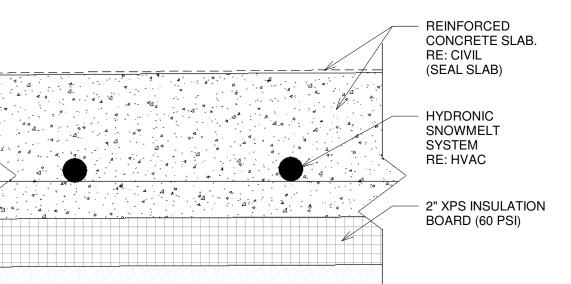
WALL TAG: W-1





1-HOUR FIRE RATED ASSEMBLY BASED NCMA TABLE 1 WALL TAG: W-4

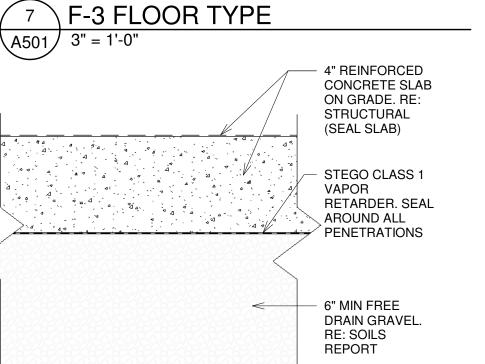
# 4 W-4 WALL TYPE A501 / 3" = 1'-0"



FLOOR TAG: F-3

FLOOR TAG: F-4

8 F-4 FLOOR TYPE

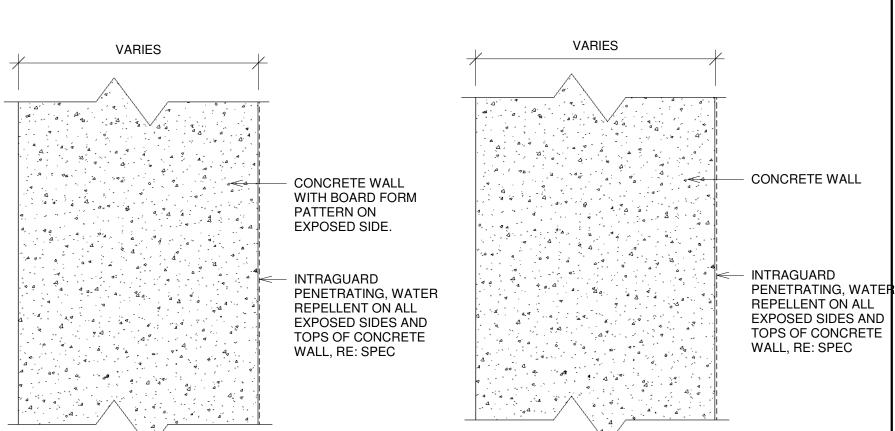


- 6" MIN GRAVEL.

**RE: SOILS REPORT** 



**SEE A302** 

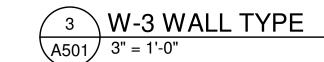


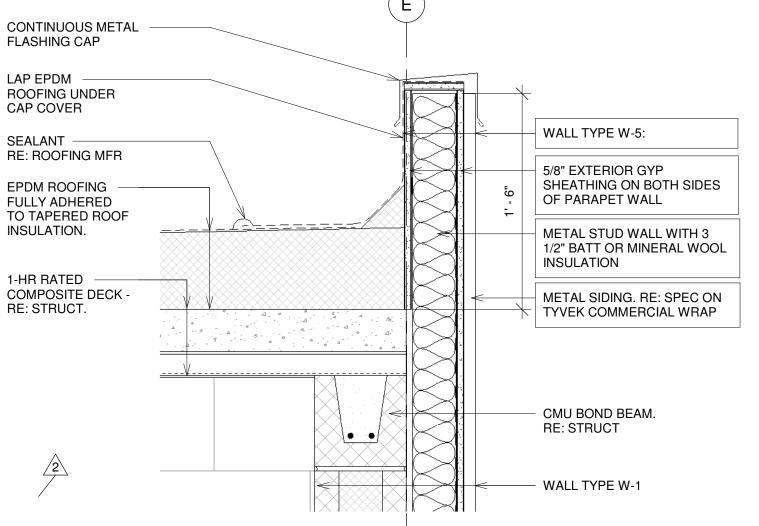
1-HR FIRE RATED ASSEMBLY PER IBC 2018 TABLE 722.2.1.1

WALL TAG: W-2-10 = 10" CONCRETE WALL W-2-8 = 8" CONCRETE WALL

WALL TAG: W-3-10 = 10" CONCRETE WALL W-3-8 = 8" CONCRETE WALL

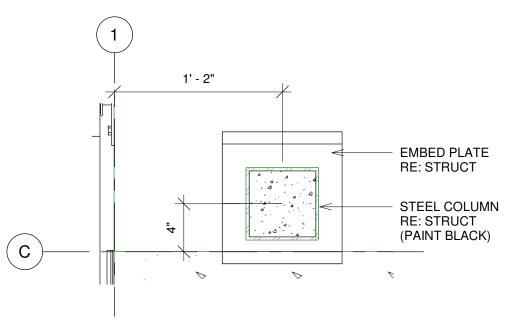
1-HR FIRE RATED ASSEMBLY PER IBC 2018 TABLE 722.2.1.1





WALL TYPE W-5 PARAPET WALL

# PARAPET DETAIL - W-5 WALL TYPE 1 1/2" = 1'-0"



1-HR RATED CONCRETE FILLED STEEL COLUMN SEE SECTION VI.8.9 (THIS SHEET)

**COLUMN DETAIL** *)* 1 1/2" = 1'-0"

F-1 FLOOR TYPE

NOTICE: DUTY OF COOPERATION Release of these plans contemplates further architect. Design and construction are complex. Although the architect and his consultants have performed their services with due care and diligence. imperfect and every contingency cannot be anticipated. these plans shall be reported immediately to the misunderstanding and increases construction costs. A shall relieve the architect from responsibility for the

consent of the architect are unauthorized and shall consequences arriving out of such changes. All design, documents and data prepared by Eric Smith Associates, P.C. as instruments of service shall remain property of Eric Smith Associates, P.C.

and shall not be copied, changed or disclosed in any written consent of Eric Smith Associates, P.C. Eric Smith Associates, P.C.

**REVISIONS** Description Date

3-26-2021 Addendum #2 4 ASI #2 6-7-2021

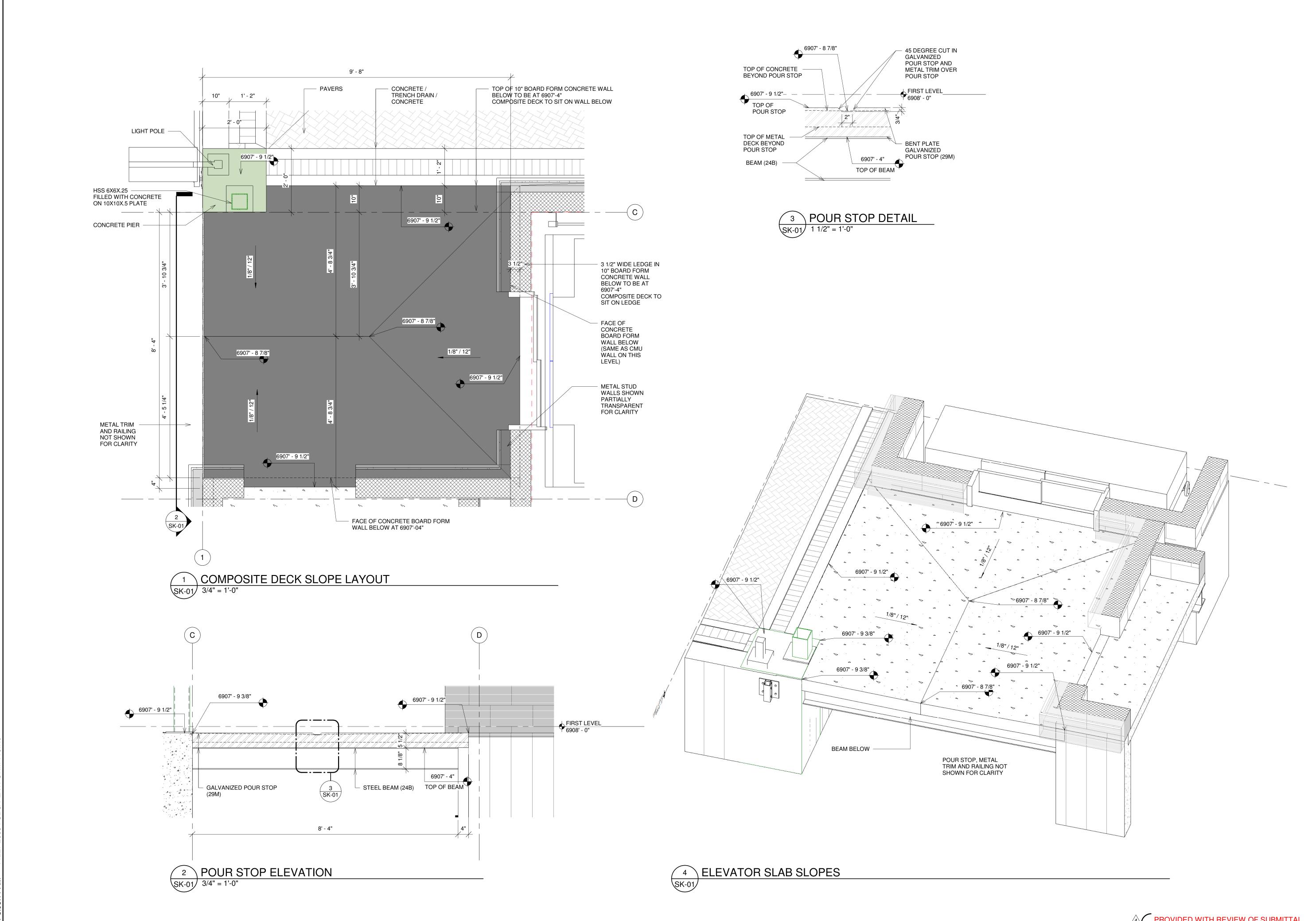
**(**)

Job Number: 20034 12/30/20 Author Drawn By: Checked By: Checker

**Project** Phase

CONSTRUCTION DOCUMENTS **Sheet Title** FIRE RATED ASSEMBLIES &

WALL TYPES **Sheet Number** 



PROVIDED WITH REVIEW OF SUBMITTAL 050000-01 STRUCTURAL STEEL 5/20/2021 ALSO INCLUDED IN ASI #2 DATED 6/7/2021

ST

NOTICE: DUTY OF COOPERATION Release of these plans contemplates further cooperation among the owner, his contractor and the cooperation among the owner, his contractor and the architect. Design and construction are complex. Although the architect and his consultants have performed their services with due care and diligence, they cannot guarantee perfection. Communication is imperfect and every contingency cannot be anticipated. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the architect. Failure to notify the architect compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to the architect shall relieve the architect from responsibility for the consequences. Changes made from the plans without consent of the architect are unauthorized and shall relieve the architect of responsibility for all consequences arriving out of such changes.

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 Job Number:
 20034

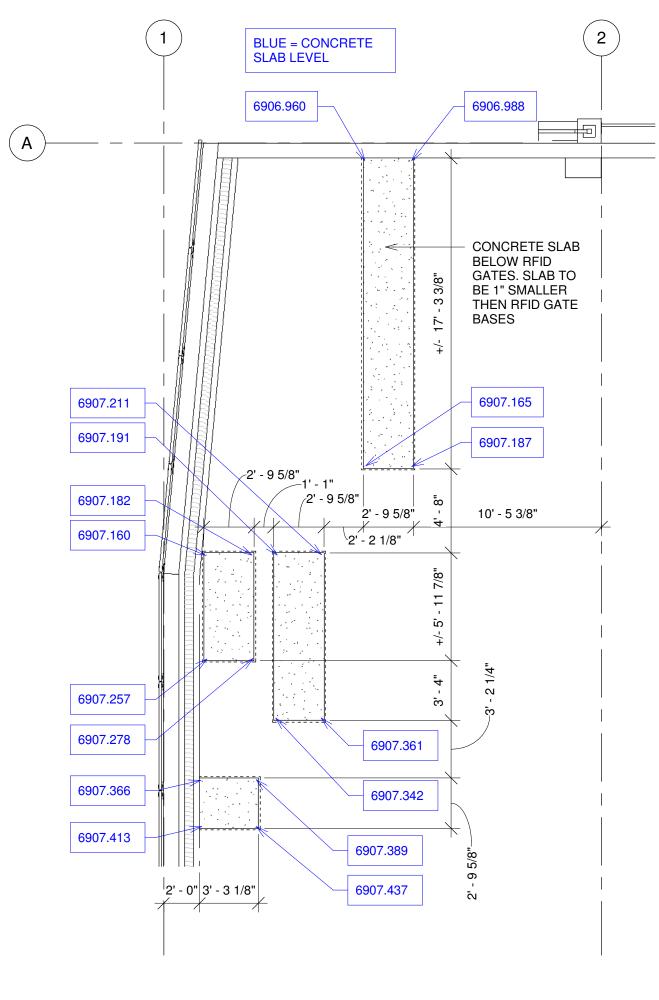
 Date:
 12/30/20
 Drawn By: Checked By: Checker

**Project Phase** CONSTRUCTION DOCUMENTS

**Sheet Title** CONCRETE SLAB SLOPE CLARIFICATION

**\ RFID GATE LAYOUT** 

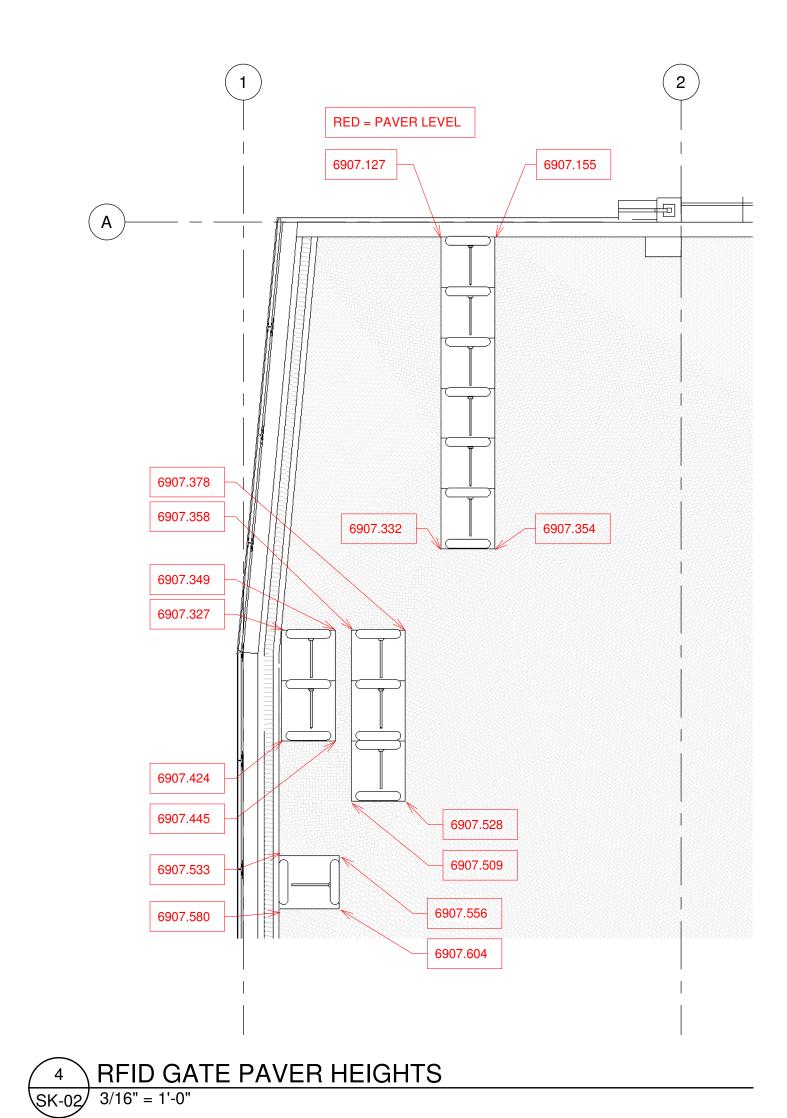
3 RFID GATE SECTION

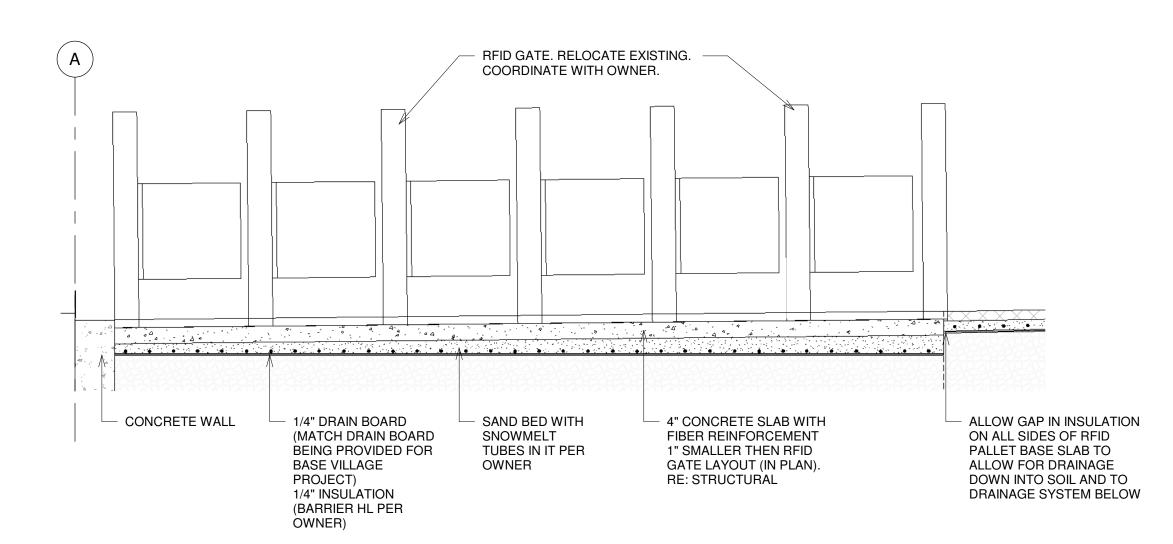


<sup>2</sup> RFID GATE SLAB LAYOUT

**RFID GATE GENERAL NOTES:** 

COORDINATED WITH OWNER.





1. RFID GATES ARE EXISTING TO BE RELOCATED. STANDARD RFID GATE PALLET IS 33 5/8" WIDE X 35 5/8" DEEP X 1 13/16" HIGH TALL WITH ITS GRATING. ONE GATE SITS ON TOP OF EACH PALLET AND THE PALLET WOULD BOLT INTO THE SIDE OF THE NEXT PALLET. END PALLETS ARE 40 1/4" SIDE X 33 5/8" DEEP X 1 13/16" HIGH. 2. DRAINAGE BOARD. 1/4" THICK DRAIN BOARD IS TO MATCH 1/4" DRAIN BOARD BEING USED AT BASE VILLAGE PROJECT. VERIFY WITH BASE VILLAGE MECHANICAL ENGINEER AND ARCHITECT ON SPECIFIED BOARD. 3. INSULATION. 1/4" THICK INSULATION IS PER OWNER APPROVED SUBSTITUTION. PROVIDE NORTHWESTERN OHIO FOAM PRODUCTS, INC. "BARRIER HL" INSULATION (R-6.2). DO NOT TAPE SEAMS OF INSULATION. AFTER INSULATION IS INSTALLED (PER MANUFACTURER RECOMMENDATIONS) DO WATER TEST(S) TO VERIFY THAT WATER CAN ESCAPE THROUGH SEAMS IN INSULATION TO DRAINAGE SYSTEM BELOW. PER MANUFACTURER INPUT, PROVIDE ADDITIONAL PERFORATIONS IN THE INSULATION WHERE REQUIRED TO ALLOW FOR PROPER DRAINAGE. 4. PLATFORM PAVERS TO SLOPE AT 2% MAX. RFID GATES TO BOLT TO CONCRETE SLABS BELOW. ALL GATES ATTACH TO EACH OTHER AND CAN SLOPE MINIMALLY AS A UNIT. SHIM BELOW RFID GATE PALLETS AND/OR ADJUST PAVERS MINIMALLY SO THERE IS NO STEP BETWEEN THE TWO. GUESTS SHOULD WALK ACROSS A FLUSH SURFACE FROM PAVER TO RFID GATE PALLET AND BACK TO PAVER.

5. RFID GATE INSTALLATION INCLUDING CONCRETE SLABS IS TO BE

Job Number: 20034 12/30/20 Date:

ST

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**REVISIONS** 

Description

Author Drawn By: Checked By: Checker **Project Phase** CONSTRUCTION DOCUMENTS

**Sheet Title** 

RFID GATE DETAILS

