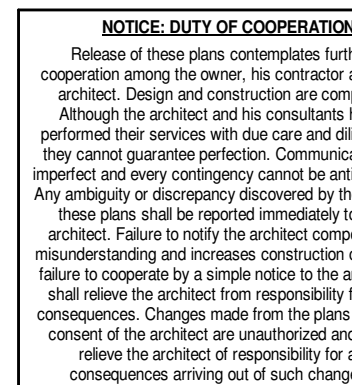


Project Phase
CONSTRUCTION DOCUMENTS
Sheet Title
CODE REVIEW
Sheet Number
AG002

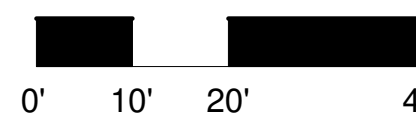


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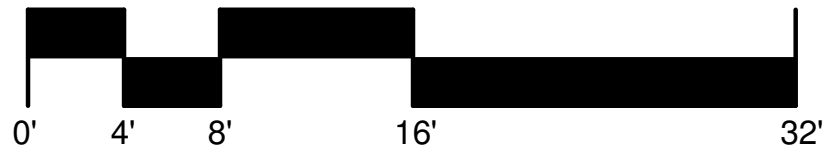
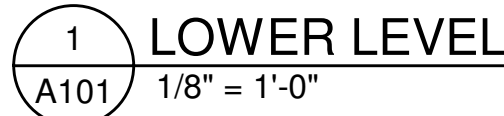
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ERIC SMITH ASSOCIATES, P.C.
1919 SEVENTH STREET

Project Phase
CONSTRUCTION DOCUMENT
Sheet Title
ARCHITECTURAL SITE PLAN
Sheet Number
AS001



CONSTRUCTION SET 03/29/2021



CONSTRUCTION SET 03/29/2021



NOTICE: DUTY OF COOPERATION

Release of these plans contemplates further cooperation among the owner, his contractor and the architect and his consultants. All parties are expected to cooperate in the performance of the project. Although the architect and his consultants have performed their services with due care and diligence, they cannot guarantee perfection. Communication is essential and any misunderstanding or conflict created. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the architect. Failure to do so may result in misunderstandings and increases construction costs. A failure to cooperate by a simple notice to the architect will not excuse the architect from the consequences. Changes made from the plans without consent of the architect are unauthorized and shall relieve the architect of responsibility for all consequences arising out of such changes.

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STEAMBOAT GONDOLA RELOCATION

STEAMBOAT SPRINGS, CO



Job Number:	20034
Date:	12/30/20
Drawn By:	Author
Checked By:	Checker

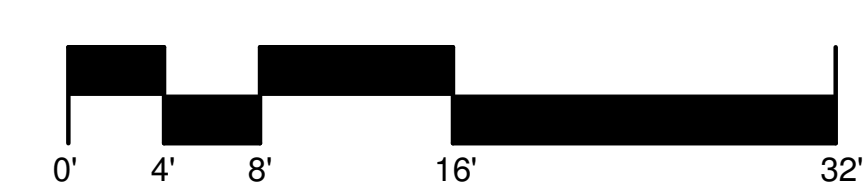
Project Phase
CONSTRUCTION DOCUMENTS
Sheet Title
LOWER LEVEL PLAN
Sheet Number
A101

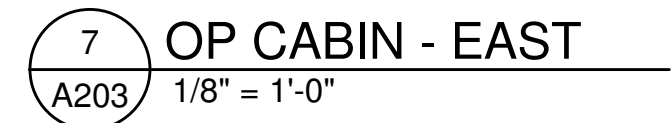
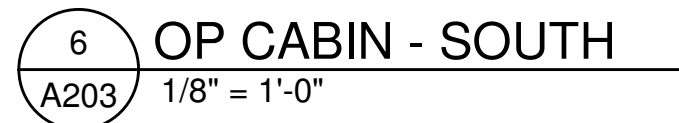
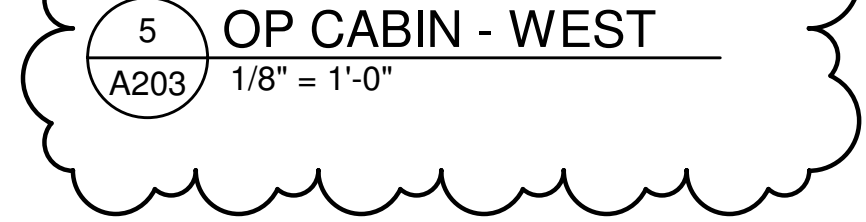
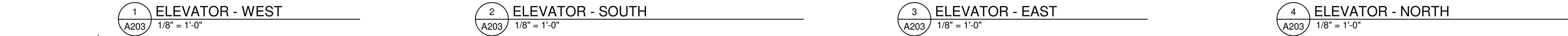
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ESF

ERIC SMITH ASSOCIATES, P.C.
1919 SEVENTH STREET
BOULDER, COLORADO, 80302
(303) 442-5458, (303) 442-4745 FAX

Project Phase
CONSTRUCTION DOCUMENTS
Sheet Title
FIRST LEVEL PLAN
Sheet Number
A111





NOTICE: DUTY OF COOPERATION

Release of these plans constitutes further cooperation among the owner, his contractor and the architect. Design and construction are complex. Although the architect and his consultants have performed their services with due care and diligence, they cannot guarantee perfection. Communication is imperative to continue confidence and cooperation. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the architect. Failure to notify the architect compounds misunderstanding and increases construction costs. A failure to notify the architect by a contractor shall relieve the architect from responsibility for the consequences. Changes made from the plans without the architect are unauthorized and shall relieve the architect of responsibility for all consequences arising out of such changes.

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**STEAMBOAT GONDOLA
RELOCATION**
STEAMBOAT SPRINGS, CO



Job Number:	20034
Date:	12/30/20
Drawn By:	Author
Checked By:	Checker

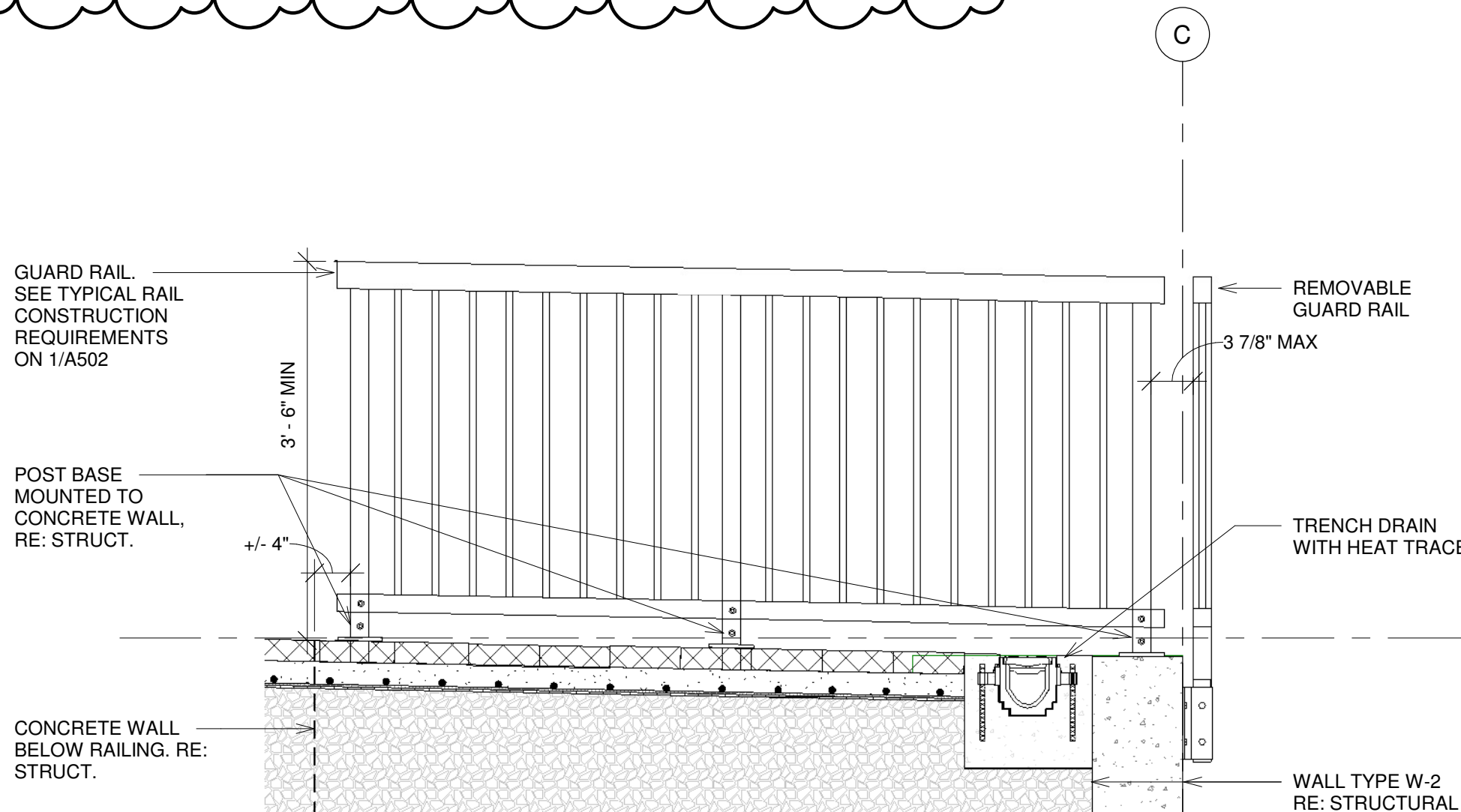
Project Phase CONSTRUCTION DOCUMENTS
Sheet Title EXTERIOR ELEVATIONS & BLDG SECTIONS
Sheet Number A203

Brick/Concrete Paver Section Recommendations: It is our understanding that the client intends to use brick or concrete pavers in the Promenade Area after construction of the new buildings. Based on the subsurface conditions encountered at the site, our understanding of the proposed construction, and experience with similar projects, we recommend that the brick/concrete pavers be constructed over 2 inches of bedding sands that are underlain by a minimum of 12 inches of aggregate base course (ABC).

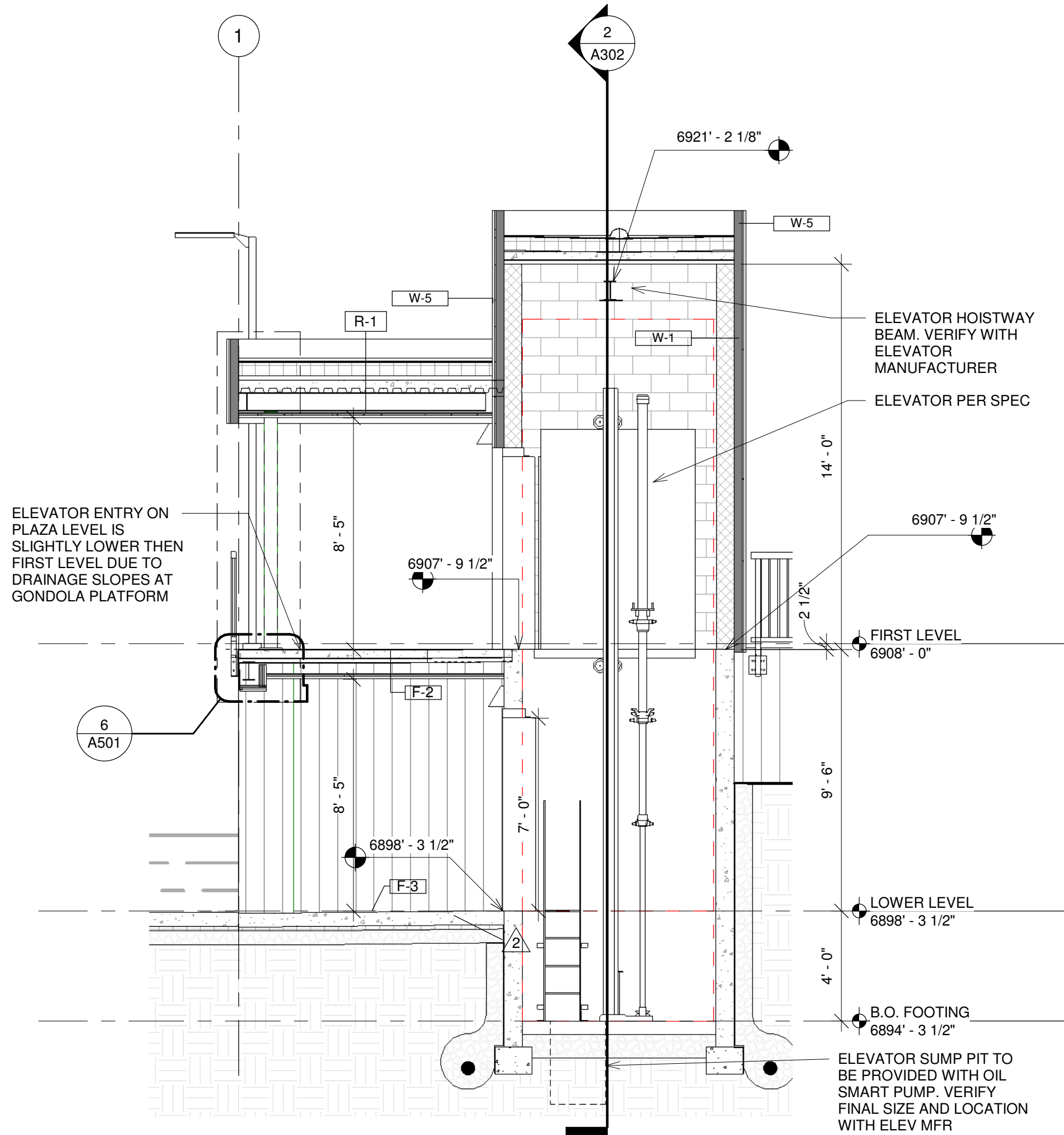
The sand used for bedding should be clean concrete sand conforming to ASTM C-33 or masonry sand conforming to ASTM C-144 specifications. The ABC materials should consist of a well-graded aggregate base course material that meets CDOT Class 6 grading and durability requirements.

Prior to placement of the ABC materials, NWCC recommends that the exposed subgrade materials be scarified to a depth of at least 12 inches and be recompact to at least 95 % of the maximum standard Proctor density and within +/- 2 % of the optimum moisture content as determined by ASTM D698. The finished subgrade surface should be proof rolled with a loaded tandem dump truck or loaded water truck and any areas deflecting or rutting should be removed and or stabilized prior to placing the ABC materials. Placing geotextiles and/or geogrid over the subgrade soils prior to placement of the ABC may help stabilize these areas.

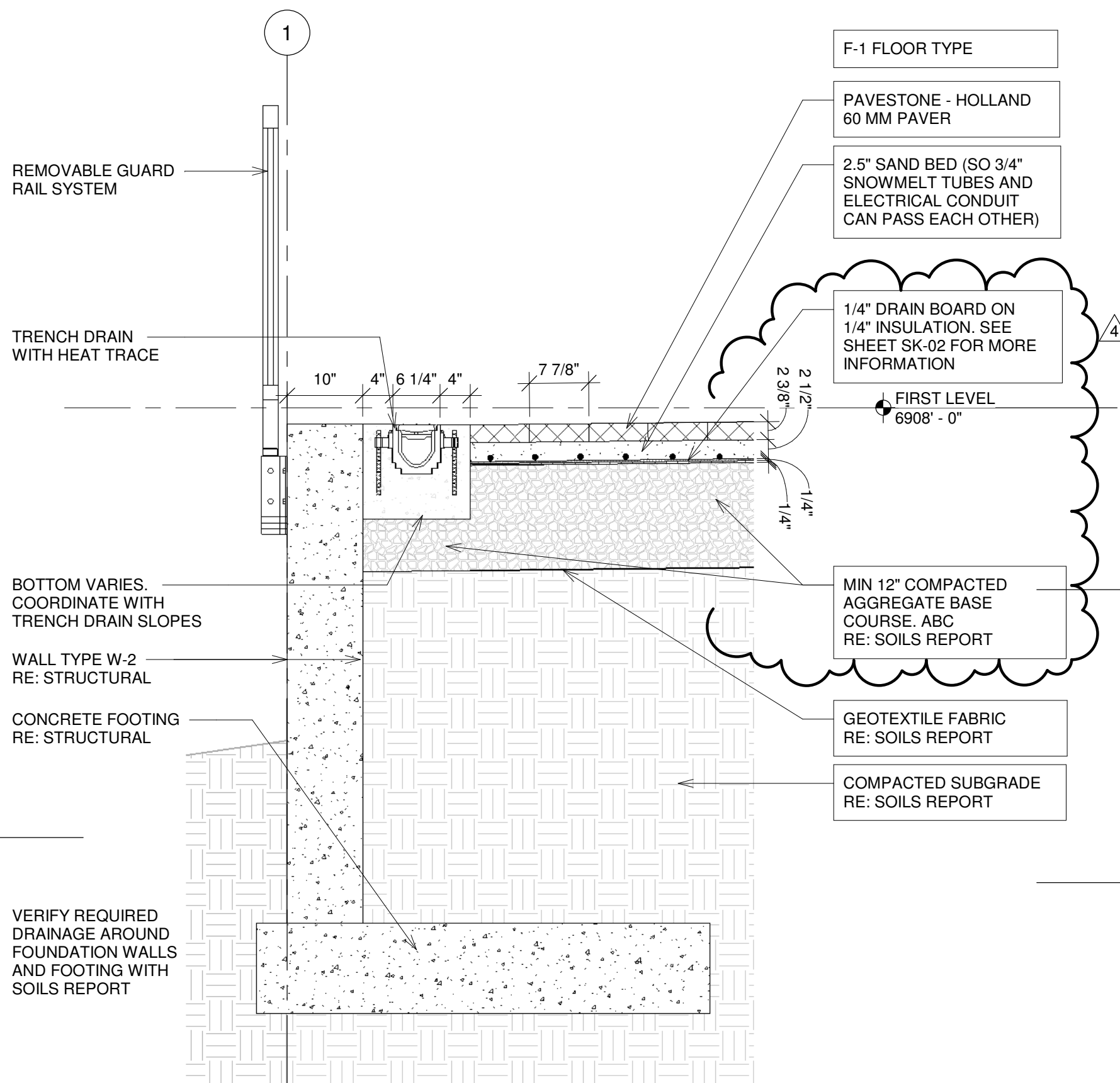
The bedding sands should be compacted to at least 75% of the maximum relative density determined in accordance with ASTM D-4253/4254. The ABC materials placed below the sands should be uniformly placed and compacted in 4 to 6 inch loose lifts to at least 95 percent of the maximum modified Proctor density and within +/- 2 percent of the optimum moisture content as determined by ASTM D-1557/AASHTO T-180. A detail of the paver pavement section is provided in Figure #14.



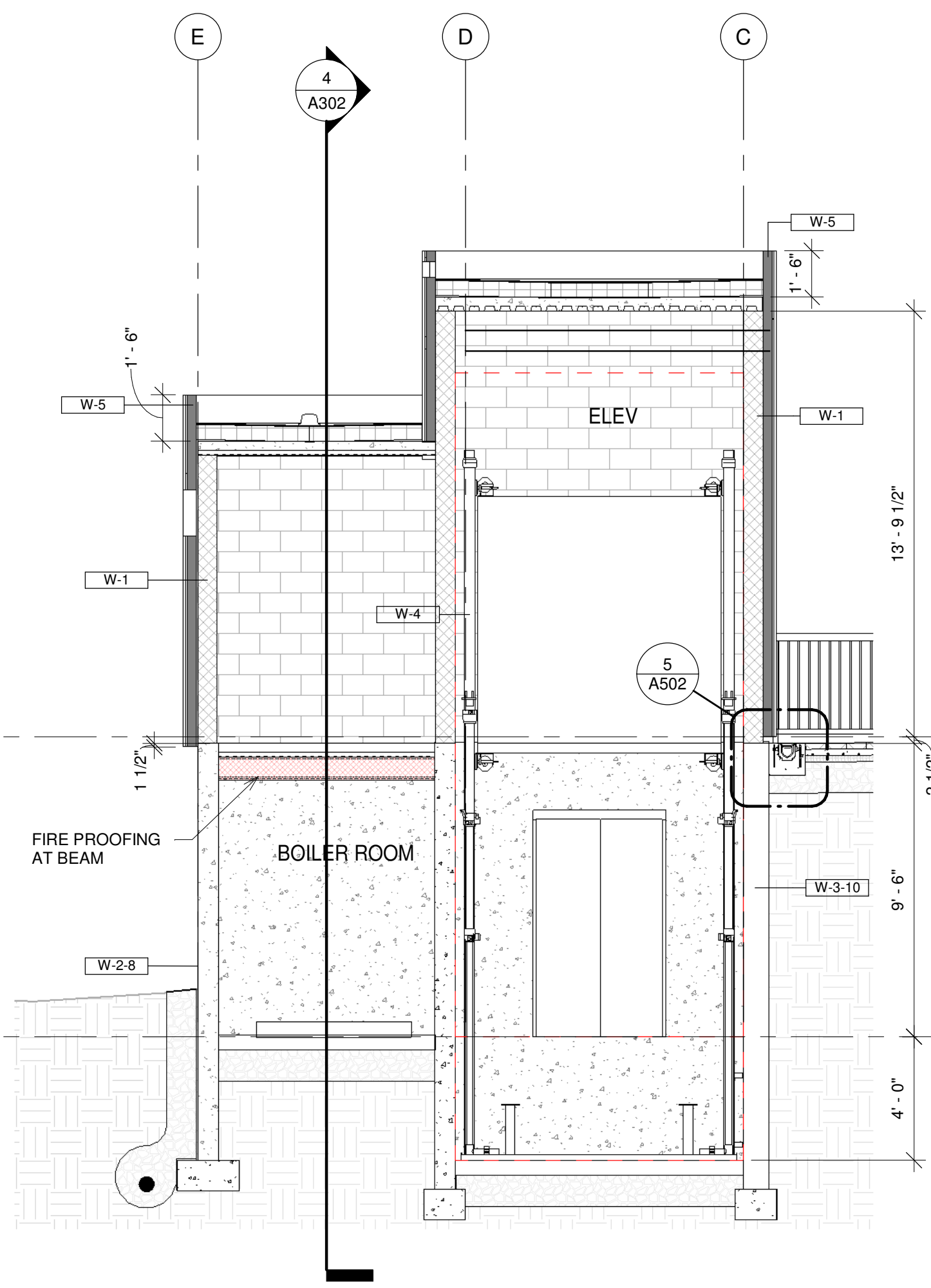
5 SURFACE MOUNTED RAILING DETAIL
A302 3/4" = 1'-0"



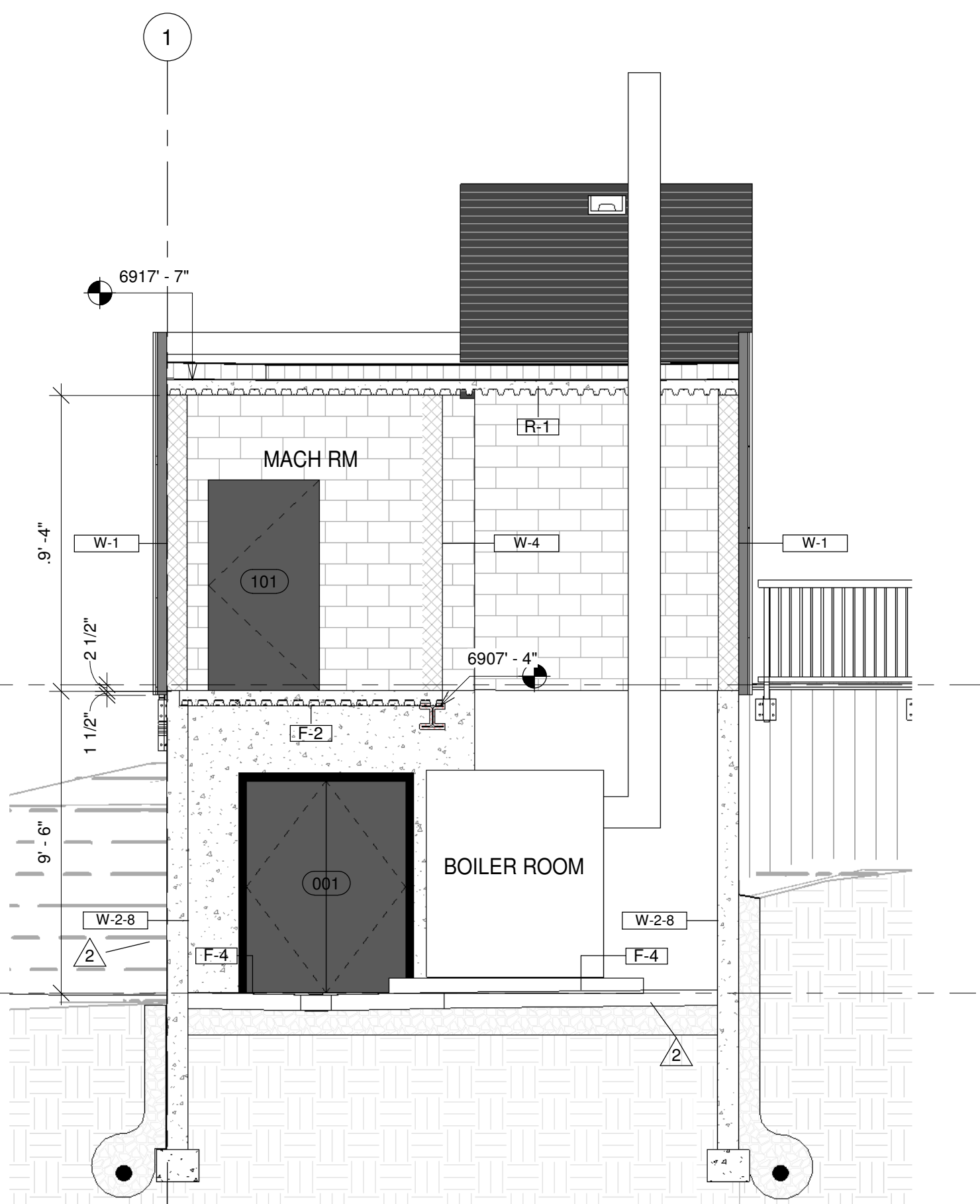
1 ELEVATOR SECTION (EW)
A302 1/4" = 1'-0"



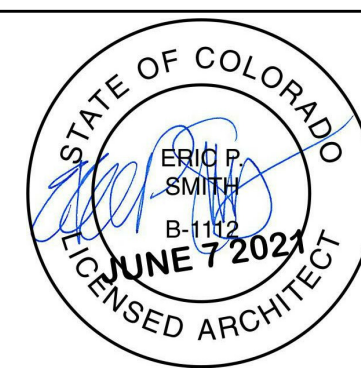
3 WALL SECTION 1
A302 3/4" = 1'-0"



2 ELEVATOR SECTION (NS)
A302 1/4" = 1'-0"



4 BUILDING SECTION 1
A302 1/4" = 1'-0"



NOTICE OF COOPERATION
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Eric Smith Associates, P.C.

No.	Description	Date
1	Addendum #1	3-12-2021
2	Addendum #2	3-28-2021
3	ASI #1	4-19-2021
4	ASI #2	6-7-2021

STEAMBOAT GONDOLA RELOCATION STEAMBOAT SPRINGS, CO

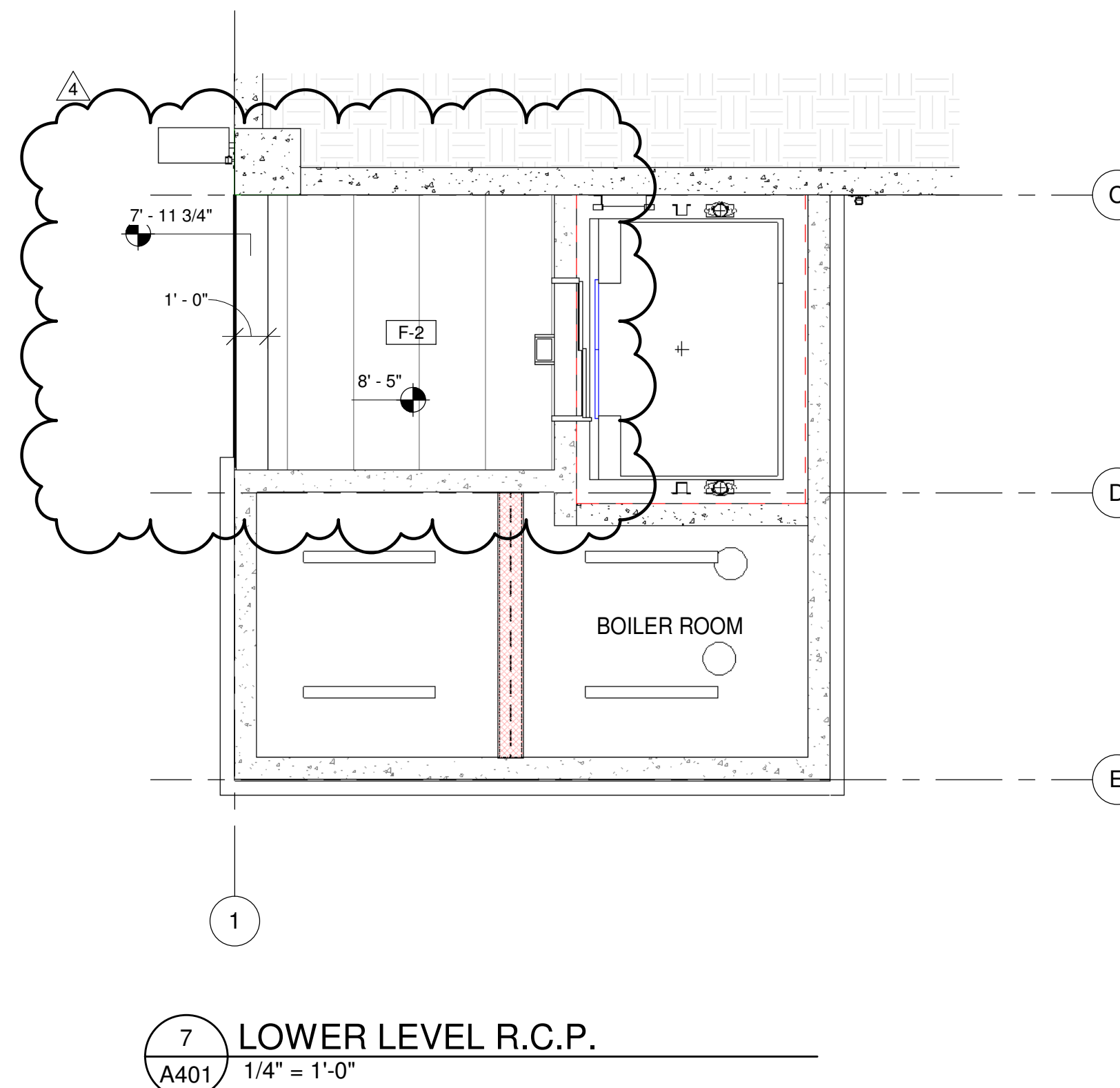
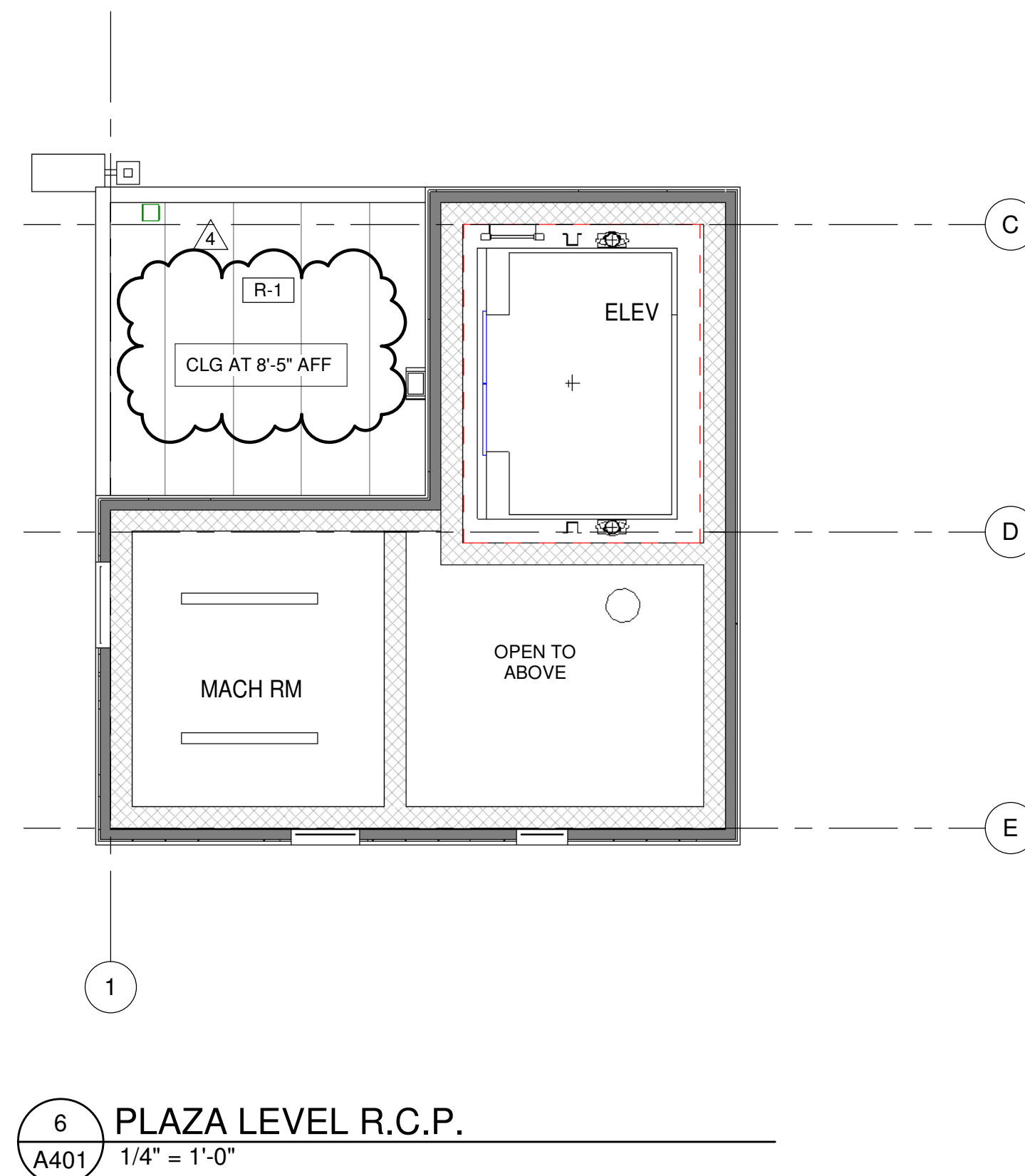
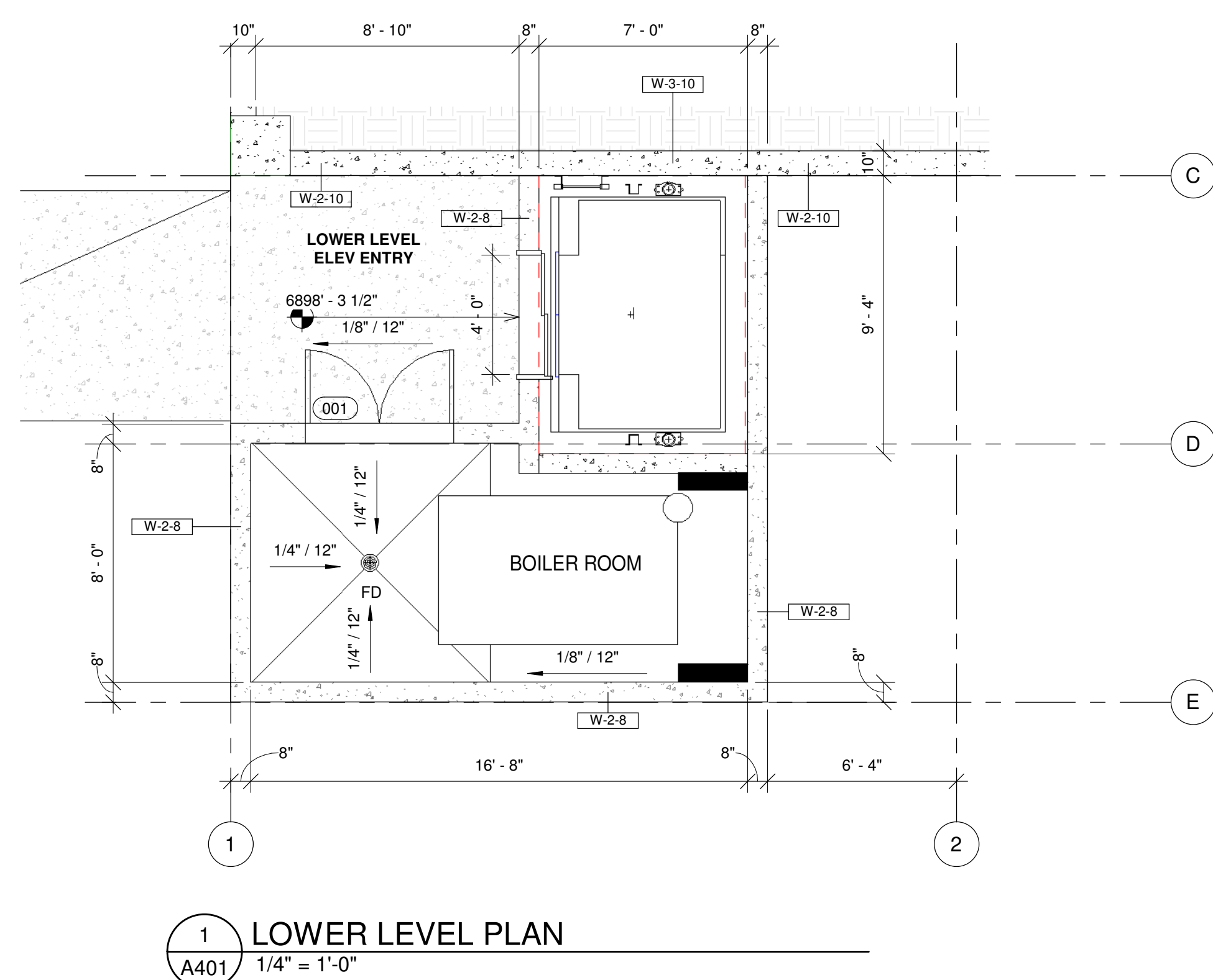
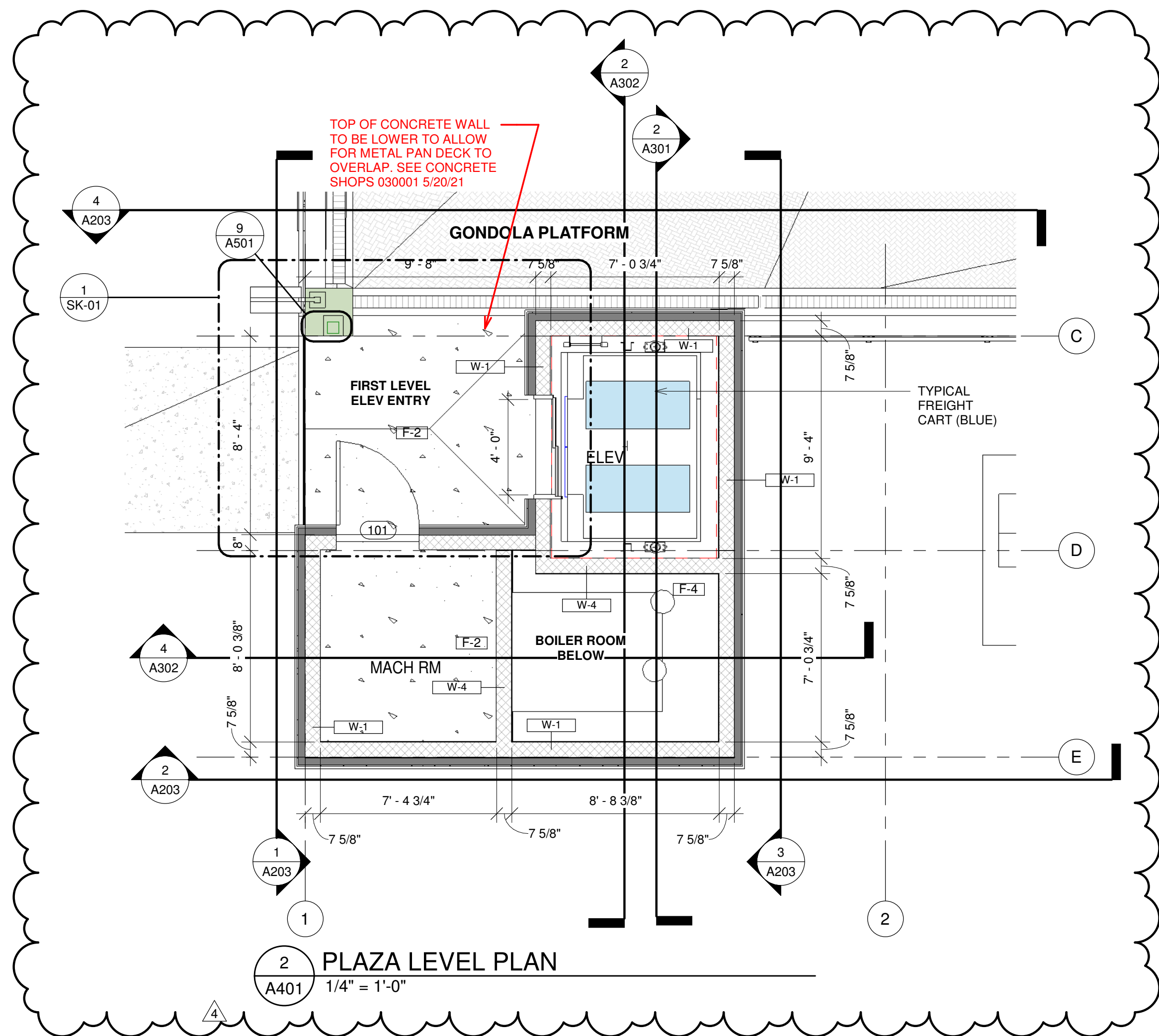


Job Number: 20034
Date: 12/30/20
Drawn By: Author
Checked By: Checker

Project Phase	CONSTRUCTION DOCUMENTS
Sheet Title	BUILDING AND WALL SECTIONS
Sheet Number	A302

CONSTRUCTION SET 03/29/2021

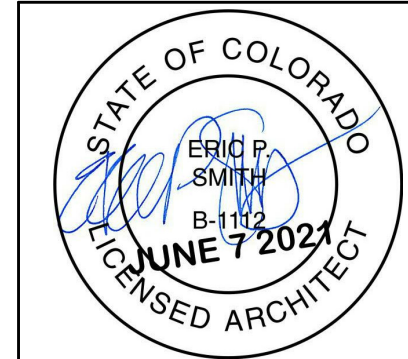
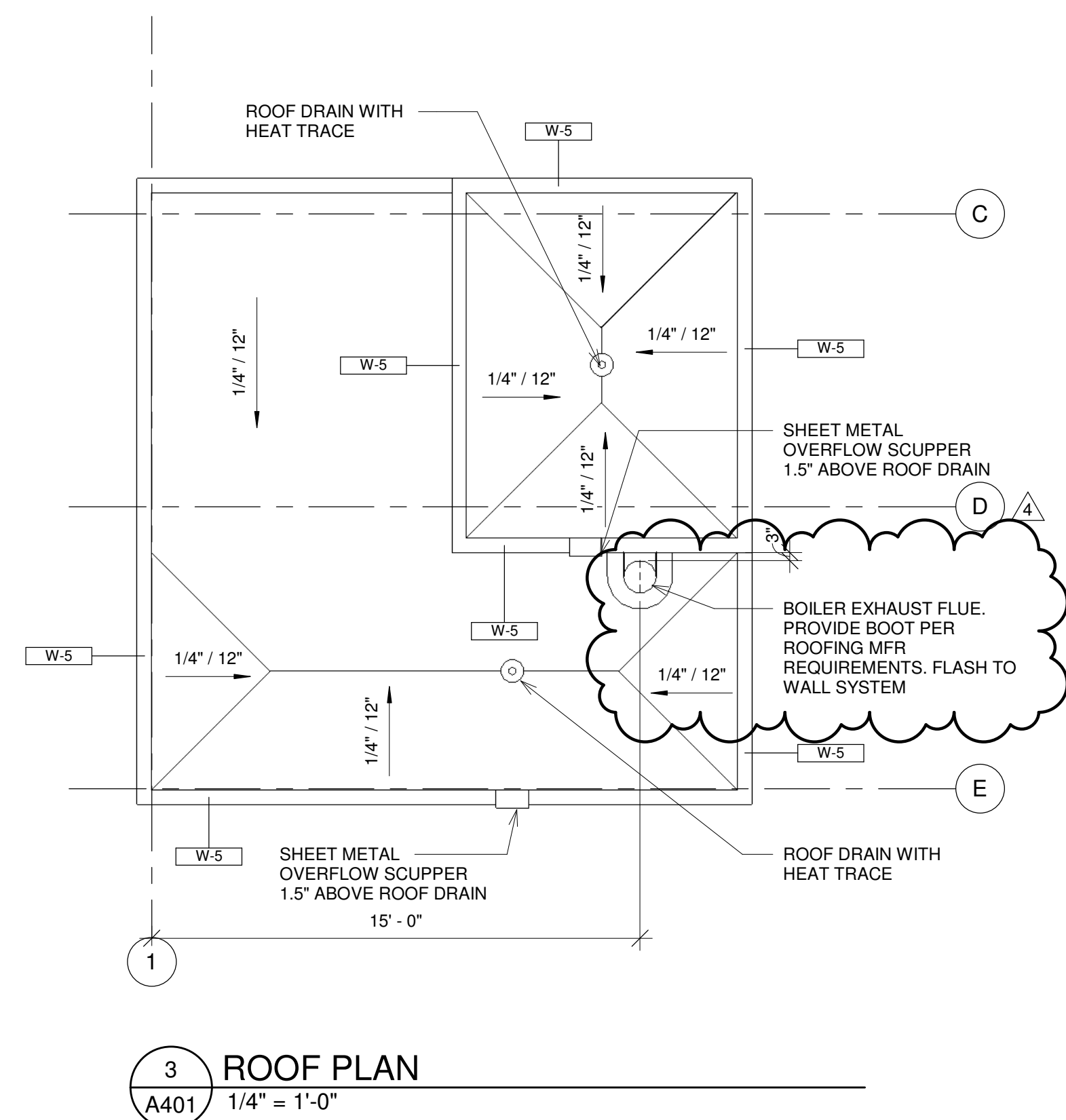
Elevator/Boiler Building Door Schedule													
Door Number	Door						Fire Rating	Hardware	Frame				Comments
	Width	Height	Thickness	Material	Finish	Under Cut			Material	Finish	Jamb	Head	
103	3' - 0"	6' - 6"	0' - 2"										
101	3' - 6"	6' - 8"	0' - 1 3/4"	HM	PT	NO	45 MIN	HG-1	HM	PT			
001	5' - 0"	6' - 8"	0' - 1 3/4"	HM	PT	NO	45 MIN	HG-2	HM	PT			



HG-1 (101) Boiler Room (45 min)			
6	Hinges - 4 1/2" X 4 1/2" 5BB1 5 Knuckle, Ball Bearing Full Mortise Hinge	US26D	IVES
1	Closer - DC516-3 HEAVY DUTY PARALLEL		ASSA ABLOY
1	Pre-wire for future RFID Card Reader adjacent to door (latch side active door).		HID Proximity ProxPro
1	Latchset - Storage Function, L type Lever	US26D	SARGENT
1	Threshold		
1	Manual Flush Bolt for inactive metal door FB458	US26D	IVES
2	Wall Stop - 409 Concave	US26D	ROCKWOOD
2	Smoke Seal - Self-Adhesive Silicone Gasketing/Weatherstrip		NGP
2	12" Kick plate, mount on push side of door		
HG-2 (101) Elevator Machine Room (45 min)			
3	Hinge - 4 1/2" X 4 1/2" 5BB1 5 Knuckle, Ball Bearing Full Mortise Hinge	US26D	IVES
1	Closer - DC516-3 HEAVY DUTY PARALLEL		ASSA ABLOY
1	Pre-wire for future RFID Card Reader adjacent to door (latch side).		HID Proximity ProxPro
1	Latchset - Storage Function, L type Lever	US26D	SARGENT
1	Threshold		
1	Wall Stop - 409 Concave	US26D	ROCKWOOD
1	Smoke Seal - Self-Adhesive Silicone Gasketing/Weatherstrip		NGP
1	12" Kick plate, mount on push side of door		

DOOR AND HARDWARE SCHEDULE NOTES:

1. GENERAL CONTRACTOR TO COORDINATE THE NUMBER OF DOORS, SWING AND THE NUMBER OF ITEMS WITHIN EACH HARDWARE GROUP WITH EACH SPECIFIC DOOR AT TIME OF DOOR AND HARDWARE SUBMITTAL.
2. DOOR HARDWARE IS BASIS-OF-DESIGN PER SPECIFICATIONS. REVIEW HARDWARE WITH OWNER, INCLUDING FUTURE RFD REQUIREMENTS.
3. DOOR OPENING PRESSURE: THE OPENING DOOR FORCE REQUIRES TO BE 5 LBF MAX. ALTERNATIVELY, PROVIDE AN AUTOMATIC DOOR OPENER WITH STANDBY POWER TO OPERATE DOOR. 2010 ADA (404.2.9.1).
4. COORDINATE ALL KEYING WITH OWNER. CORBIN RUSSWIN RJ46.



NOTICE: DUTY OF COOPERATION

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
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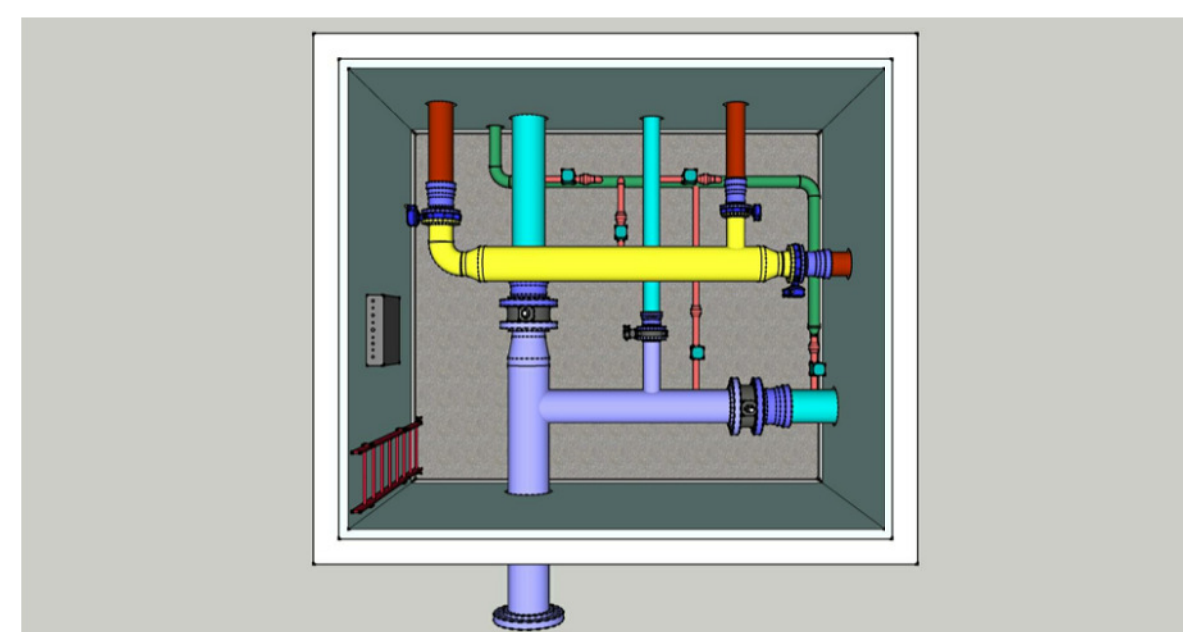
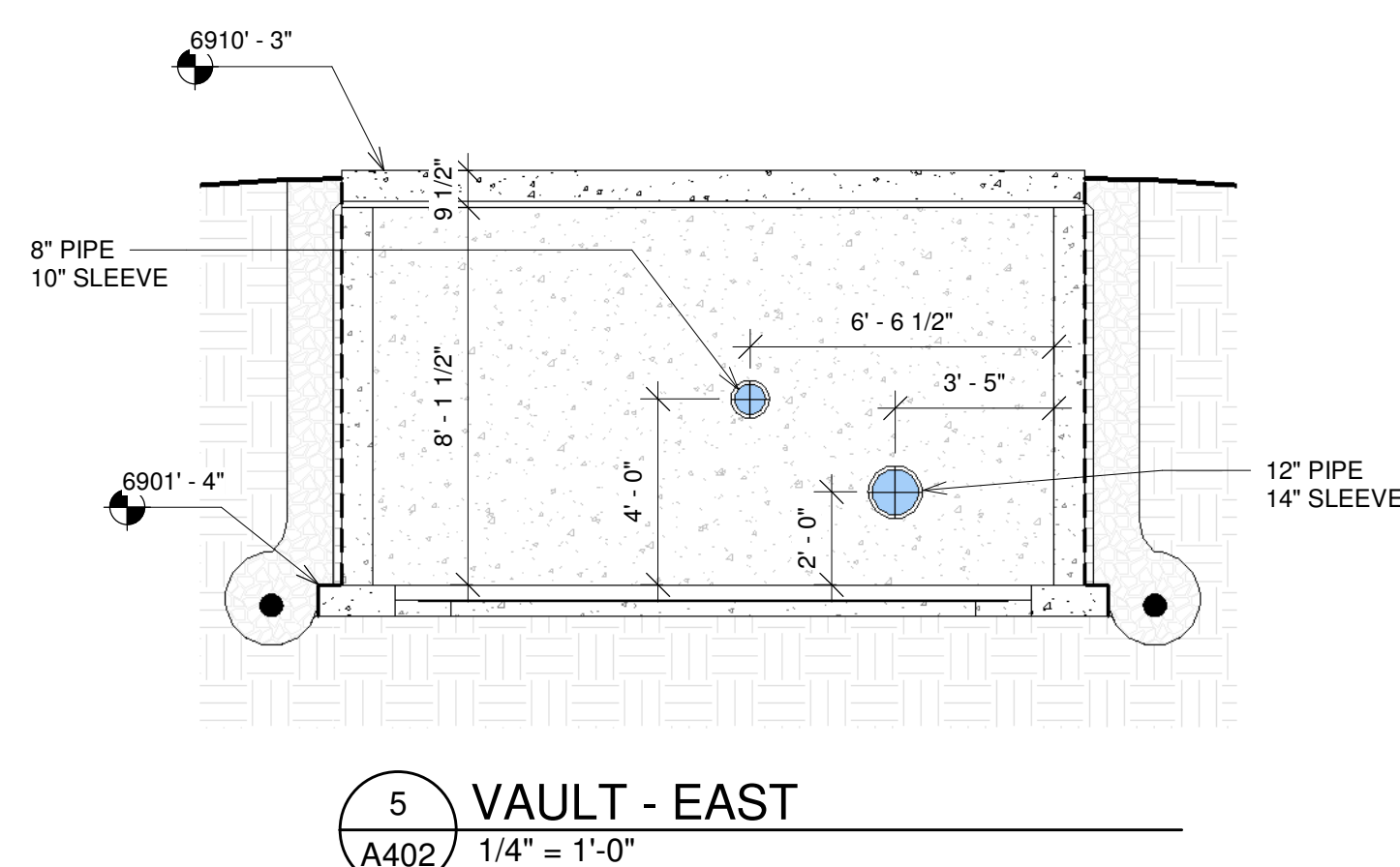
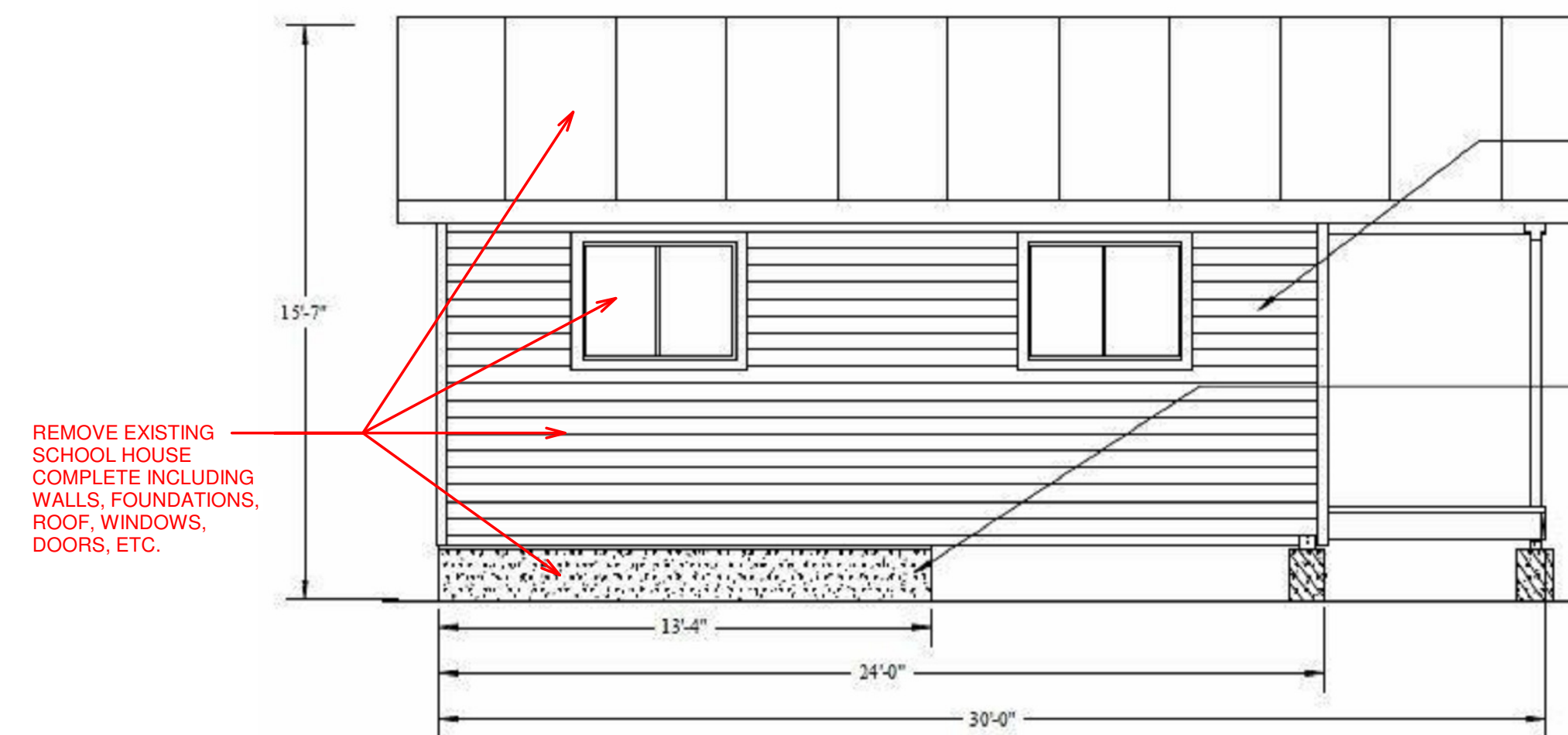
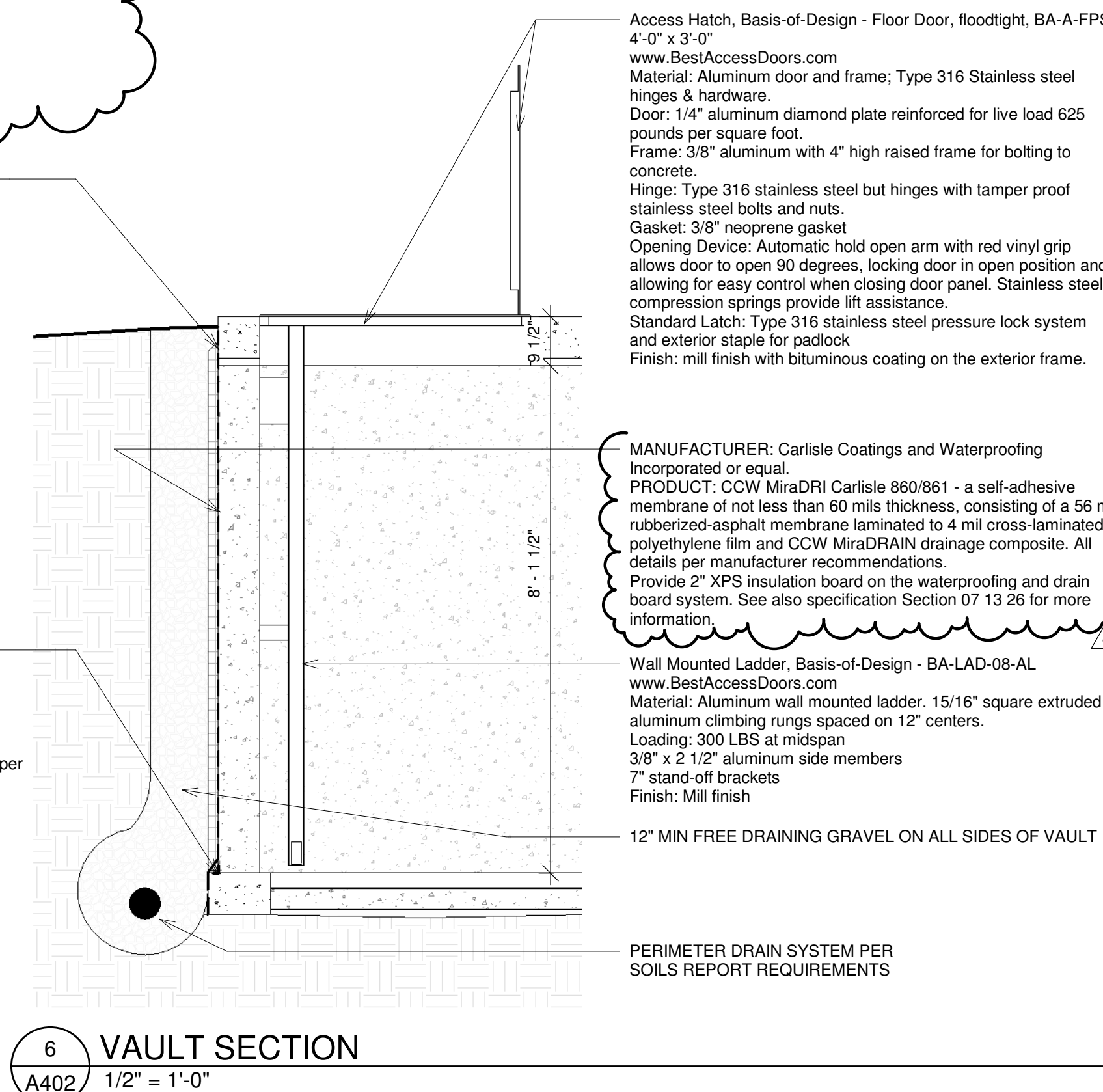
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**STEAMBOAT GONDOLA
RELOCATION**
STEAMBOAT SPRINGS, CO

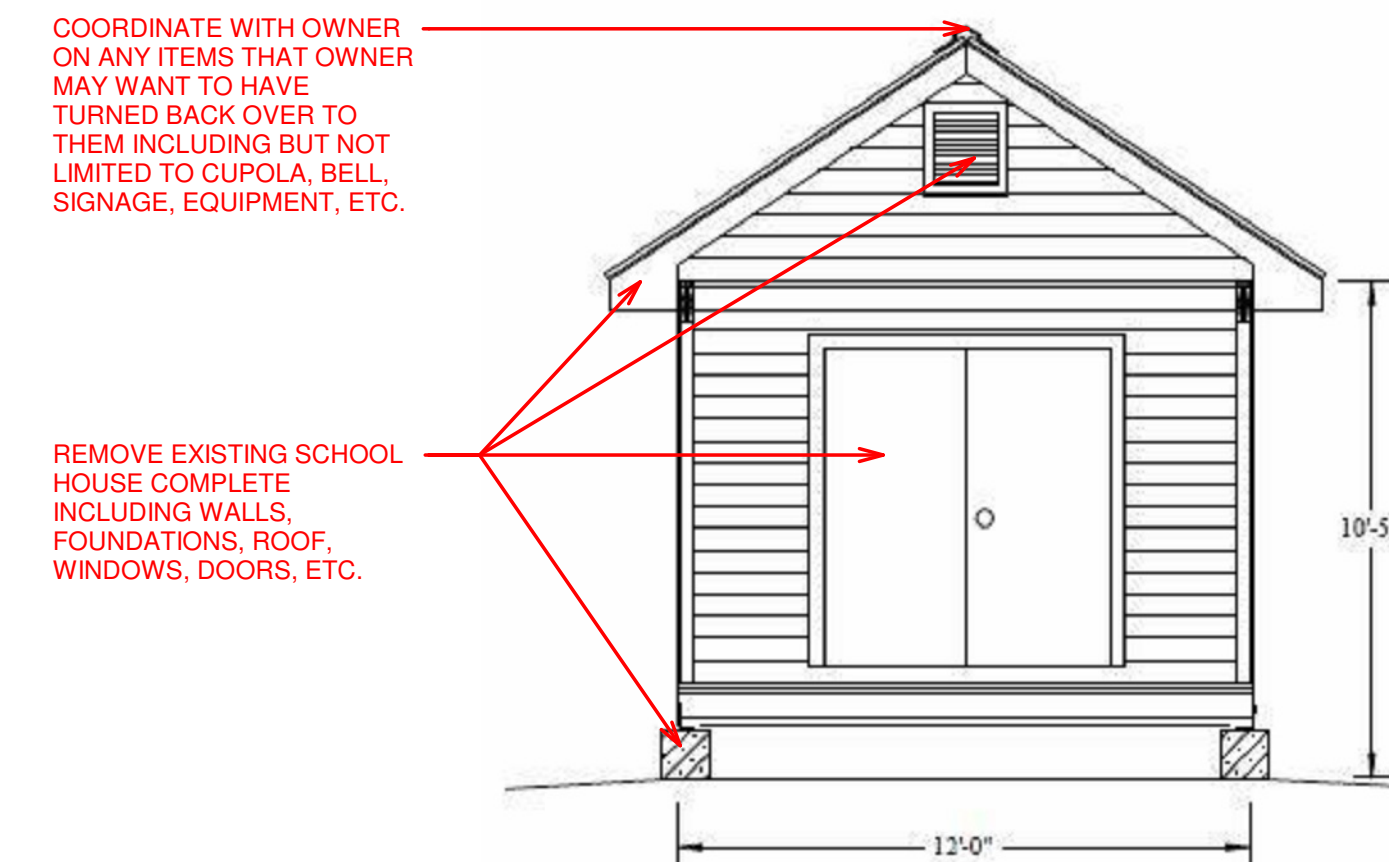


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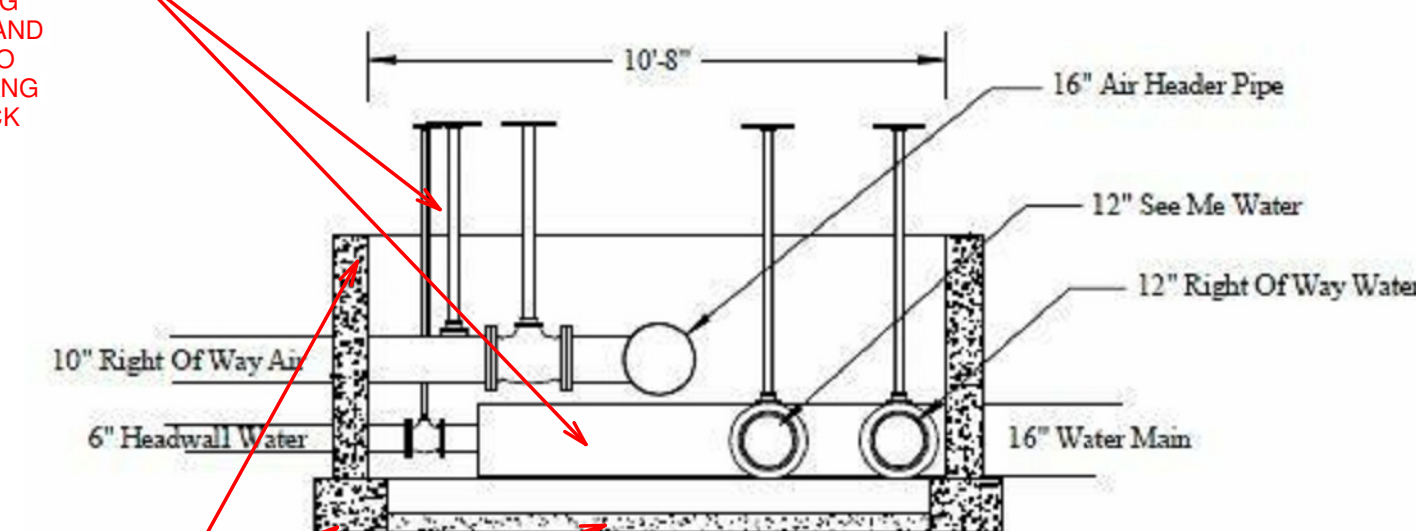
Project Phase CONSTRUCTION DOCUMENTS
Sheet Title FLOOR AND CEILING PLANS
Sheet Number A401 

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COORDINATE WITH OWNER
ON ANY ITEMS THAT OWNER
MAY WANT TO HAVE
TURNED BACK OVER TO
THEM INCLUDING BUT NOT
LIMITED TO CUPOLA, BELL,
SIGNAGE, EQUIPMENT, ETC.



OWNER TO RELOCATE EXISTING SNOW MAKING PIPING DURING DEMO AND TO REINSTALL SNOW MAKING PIPING INTO NEW BLOCK HOUSE VAULT.



REMOVE EXISTING SCHOOL
HOUSE COMPLETE
INCLUDING WALLS,
FOUNDATIONS, ROOF,
WINDOWS, DOORS, ETC.

STATE OF COLORADO
ERIC P. SMITH
B-11112
JUNE 7 2021
LICENSED ARCHITECT

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**STEAMBOAT GONDOLA
RELOCATION**
STEAMBOAT SPRINGS, CO



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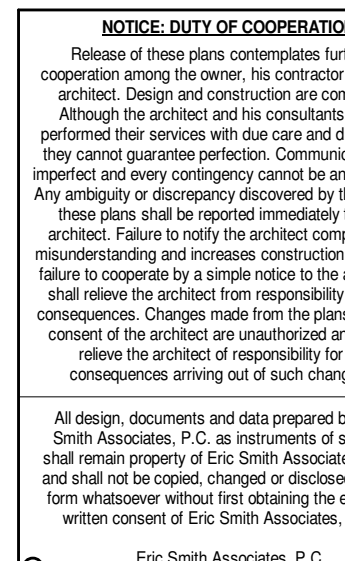
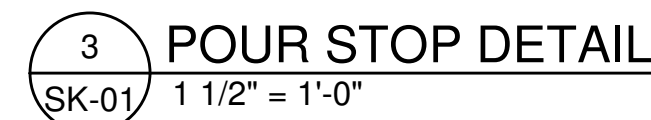
Project Phase
CONSTRUCTION DOCUMENTS

Sheet Title
SNOW MAKING & ELECTRICAL VAULT

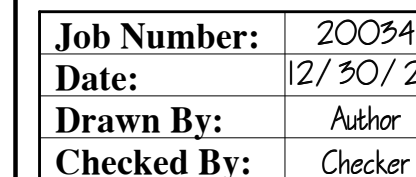
Sheet Number

A402

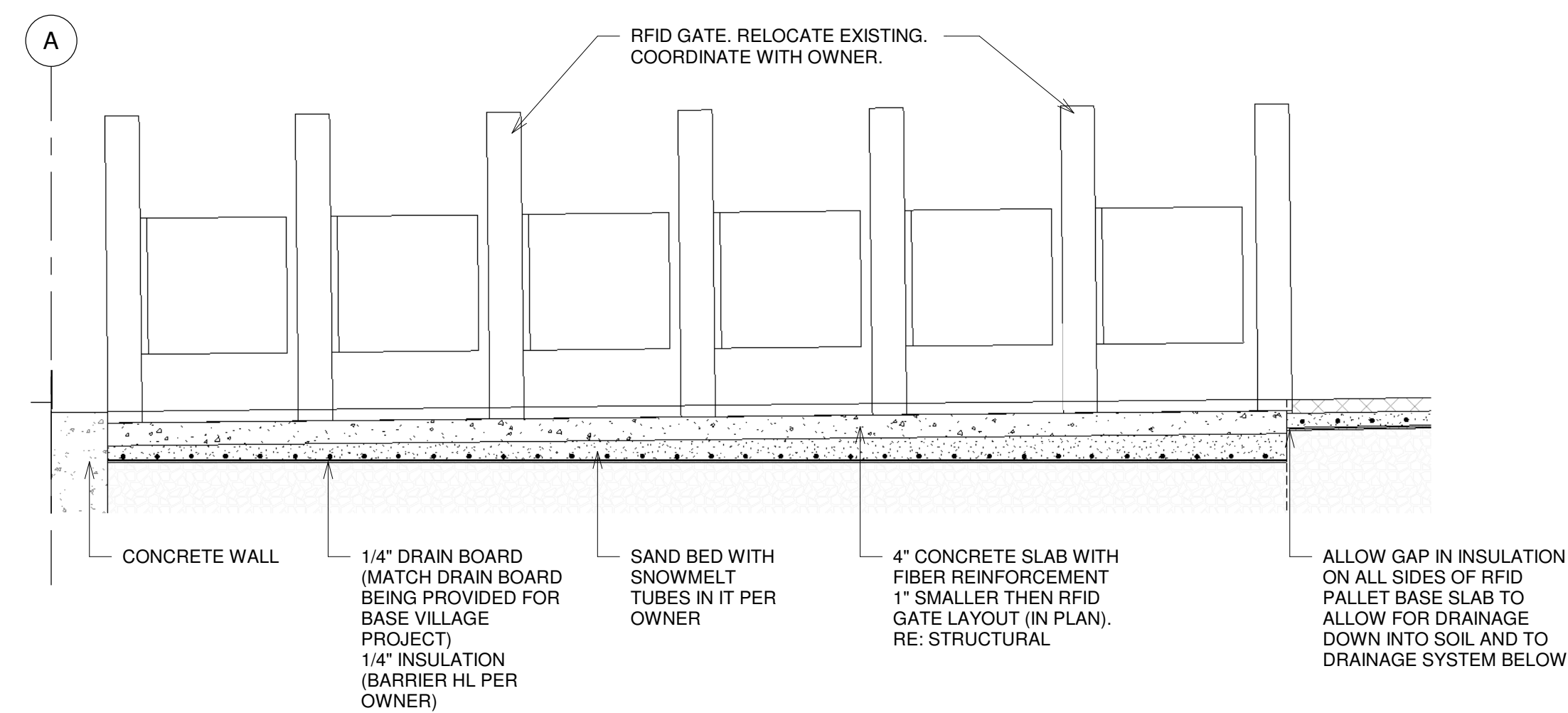
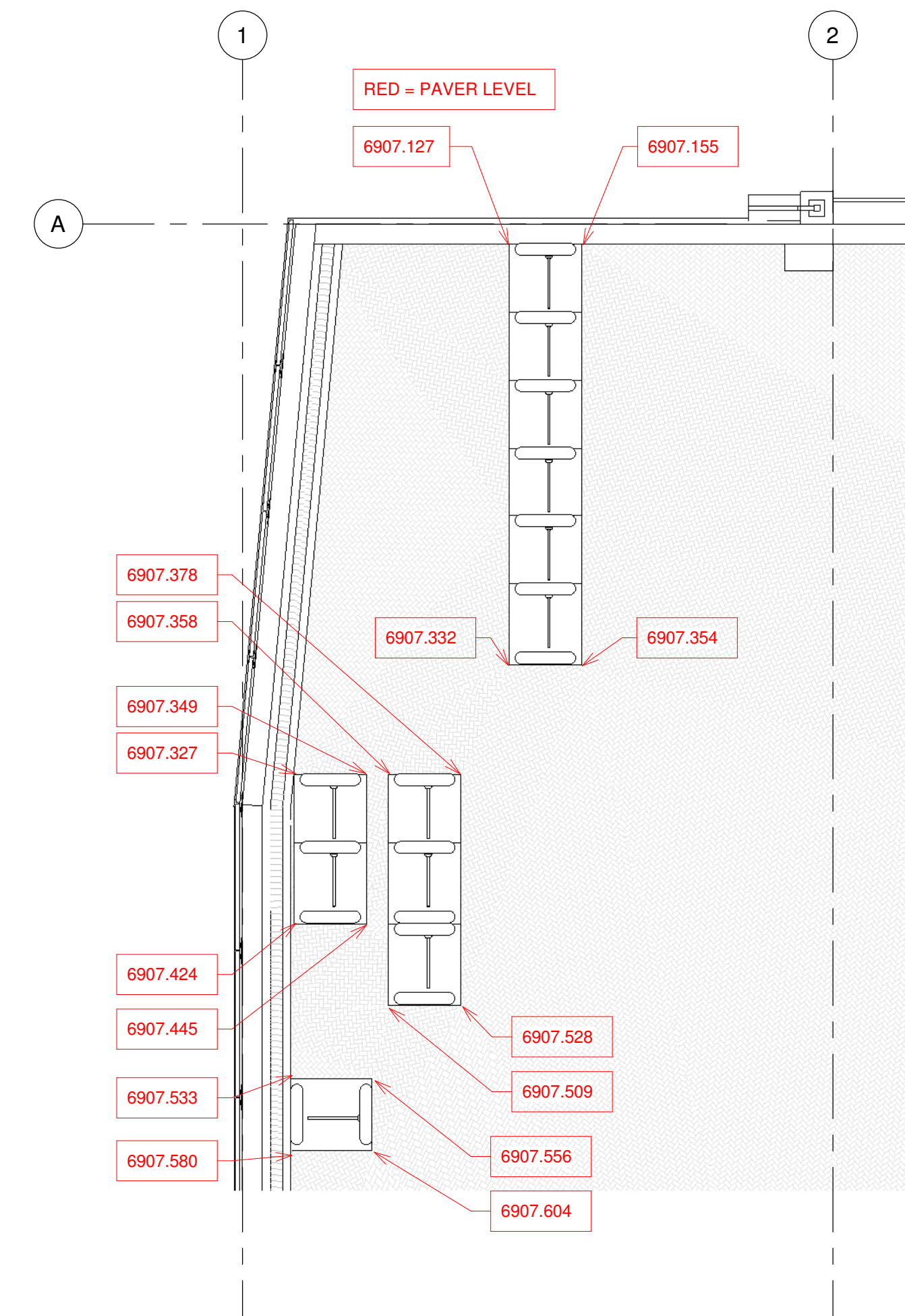
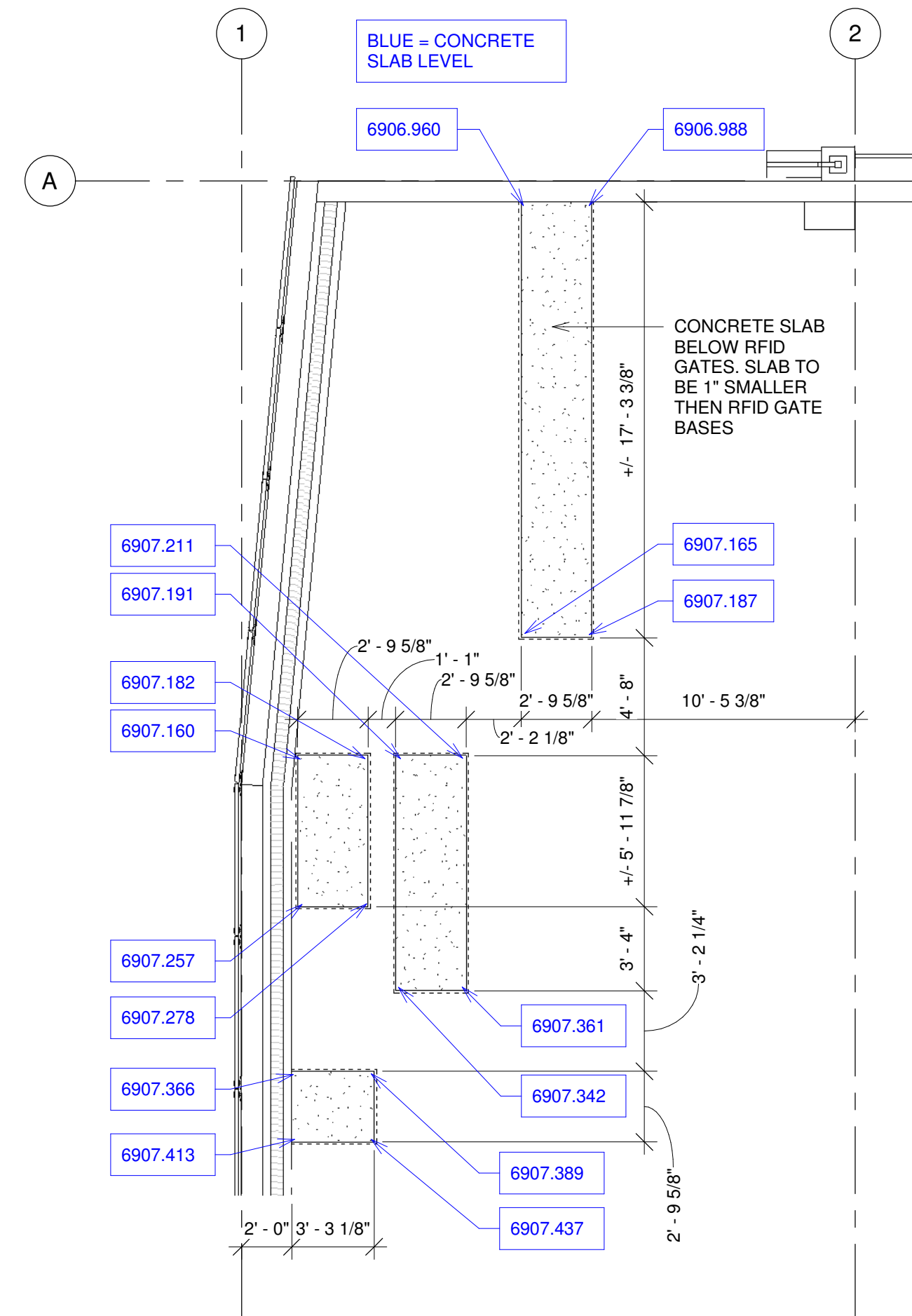
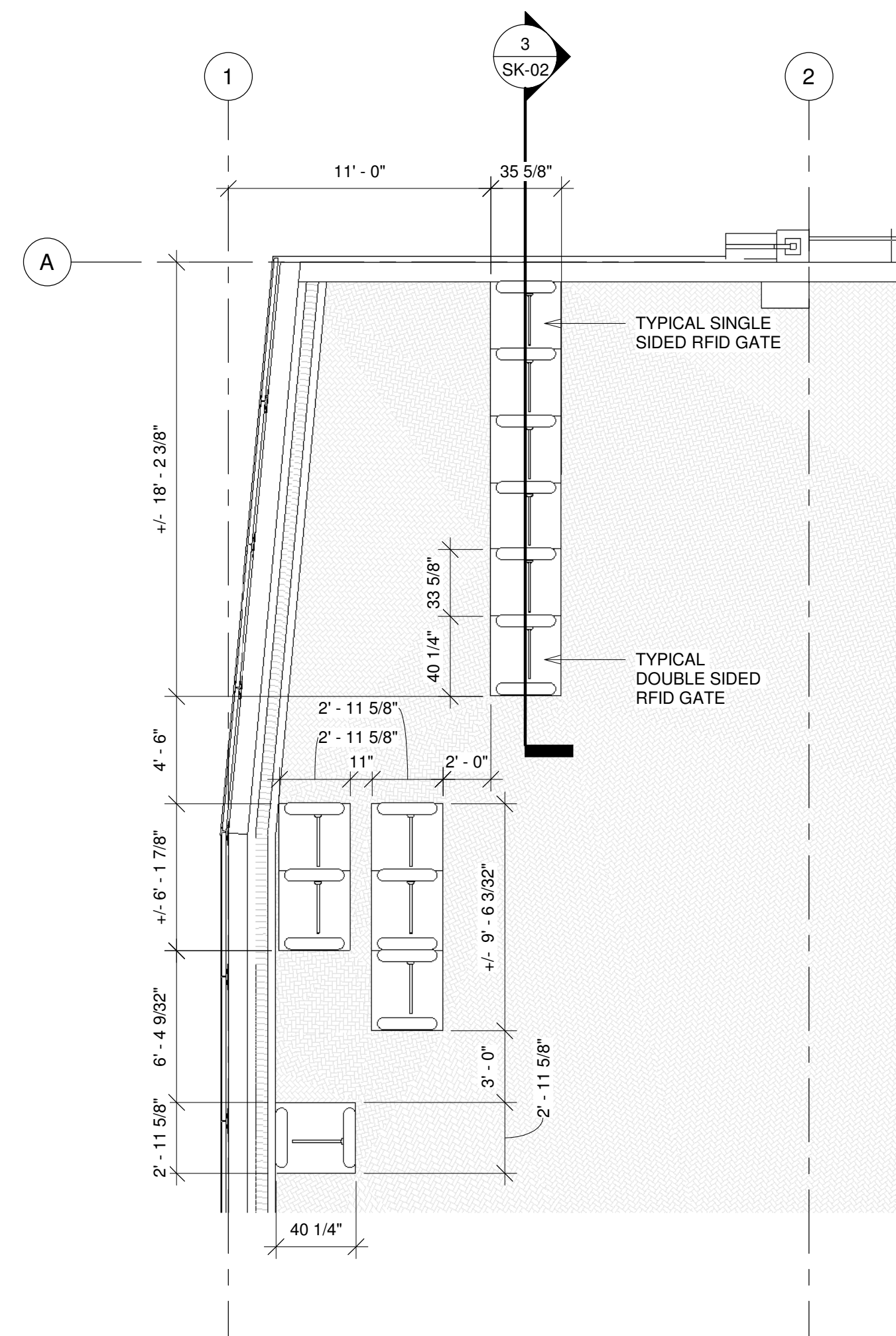
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**STEAMBOAT GONDOLA
RELOCATION**
STEAMBOAT SPRINGS, CO

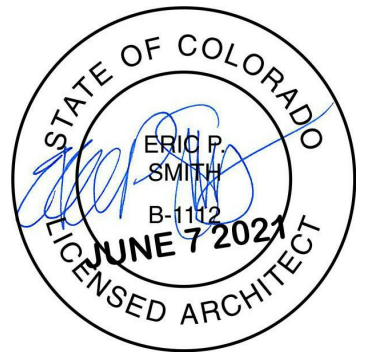


Project Phase CONSTRUCTION DOCUMENTS
Sheet Title CONCRETE SLAB SLOPE CLARIFICATION
Sheet Number SK-01



RFID GATE GENERAL NOTES:

1. RIDF GATES ARE EXISTING TO BE RELOCATED.
STANDARD RIDF GATE PALLET IS 33 5/8" WIDE X 35 5/8" DEEP X 1 13/16" HIGH TALL WITH ITS GRATING. ONE GATE SITS ON TOP OF EACH PALLET AND THE PALLET WOULD BOLT INTO THE SIDE OF THE NEXT PALLET.
END PALLETS ARE 40 1/4" SIDE X 33 5/8" DEEP X 1 13/16" HIGH.
2. DRAINAGE BOARD: 1/4" THICK DRAIN BOARD IS TO MATCH 1/4" DRAIN BOARD BEING USED AT BASE VILLAGE PROJECT. VERIFY WITH BASE VILLAGE MECHANICAL ENGINEER AND ARCHITECT ON SPECIFIED BOARD.
3. INSULATION: 1/4" THICK INSULATION IS PER OWNER APPROVED SUBSTITUTION. PROVIDE NORTHWESTERN OHIO FOAM PRODUCTS, INC. "BARRIER H-8" INSULATION (R-6.2), DO NOT TAPE SEAMS OF INSULATION.
AFTER INSULATION IS INSTALLED PER MANUFACTURER'S PREPARED RECOMMENDATIONS) DO WATER TEST(S) TO VERIFY THAT WATER CAN ESCAPE THROUGH SEAMS IN INSULATION TO DRAINAGE SYSTEM BELOW. PER MANUFACTURER INPUT, PROVIDE ADDITIONAL PERFORATIONS IN THE INSULATION WHERE REQUIRED TO ALLOW FOR PROPER DRAINAGE.
4. PLATFORM PAVERS TO SLOPE AT 2% MAX. RIDF GATES TO BOLT TO CONCRETE SLABS BELOW. ALL GATES ATTACH TO EACH OTHER AND CAN SLOPE MAXIMUM AS A UNIT. SHIM BELONGS TO RIDF GATE PALLETS AND/OR ADJUSTABLE PAVERS MINIMUM. THERE IS NO STEP BETWEEN THE TWO. GUESTS SHOULD WALK ACROSS A FLUSH SURFACE FROM PAVEMENT TO RIDF GATE PALLET AND BACK TO PAVEMENT.
5. RIDF GATE INSTALLATION INCLUDING CONCRETE SLABS IS TO BE COORDINATED WITH OWNER.



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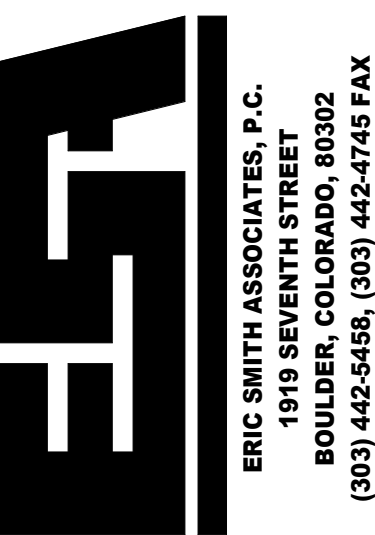
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STEAMBOAT GONDOLA RELOCATION

STEAMBOAT SPRINGS, CO



Job Number:	20034
Date:	12/30/20
Drawn By:	Author
Checked By:	Checker

Project Phase

Sheet Title
RFID GATE DETAILS

Sheet Number

SK-02