

CODE REVIEW

Note: Information below is based on existing conditions at Laundry and Creekside Restaurants. The existing, historically designated building does not fully comply with current 2015 International Building Code requirements, however the Work being proposed does not alter the use, occupancy, exiting or building construction type of the existing building, nor does the Work increase the fire hazard for the building. This building may be reviewed under the 2015 International Existing Building Code, specifically Chapter 12: Historic Buildings.

OCCUPANCY CLASSIFICATION	
Main Level: Assembly Group A-2 Second Level: Business Group B	
CONSTRUCTION TYPE	
V-B, Non-sprinklered	
ZONING	
CK-2: Commercial Oak-2	
NUMBER OF STORIES (TABLE 504.4)	
ACTUAL: 2 Unaltered ALLOWED: 1	
ALLOWABLE BUILDING AREA (TABLE 506.2)	
ACTUAL: 5,035 Total Main Level 1,474 Total Second Level	
ALLOWED: 6,000 SF	
ALLOWABLE BUILDING HEIGHT (TABLE 504.3)	
ACTUAL: <40' ALLOWED: 40'	
OCCUPANT LOAD (TABLE 1004.1.2)	
BUILDING SECTION	Exg. Dining, Laundry: 75 Occupants (OLF: net) Exg. Dining, Creekside: 45 Occupants Exg. Business, Office: 11 Occupant (1,195 +/- sf) (OLF: 100/gross) Exg. Kitchen, Commercial: 4 Occupants (987 sf) (OLF: 200/gross) Exg. Accessory: 3 Occupants (904 sf) (OLF: 300/gross)
EXITS	
CREEKSIDE:	ACTUAL: 3 REQUIRED: 2 (Table 1006.3.1)
LAUNDRY:	ACTUAL: 3 REQUIRED: 2 (Table 1006.3.1)

COMMUNITY DEVELOPMENT CODE REVIEW

ZONING	
CK-2: Commercial Oak - 2	
Existing building exterior and use to remain in-situ. No change in existing occupancy.	
SETBACKS	
All Setbacks Existing, Unaltered	
HEIGHT	
All Height Requirements Existing, Unaltered	
LOT COVERAGE	
Lot Coverage Existing, Unaltered	
FLOOR AREA RATIO	
Floor Area Ratio Existing, Unaltered	

CONSTRUCTION SITE MANAGEMENT NOTES

- This plan shall be kept on site at all times and updated to reflect any changes.
- Clearing or grading shall not begin until all control measures have been installed.
- Contractor is responsible for installing and maintaining temporary erosion and sediment control measures during construction and establishing any required permanent control measures to prevent release of pollutants from the project site.
- Control measures shall be used, modified, and maintained whenever necessary to reflect current conditions. Control measures shall be inspected weekly and after every precipitation event. Accumulated sediment shall be removed from control measures when the sediment level reaches 1/2 the height of the control measure.
- The contractor shall promptly remove all sediment, mud, and construction debris that may accumulate in the right of way, private property, or water ways as a result of the construction activities.
- All ingress and egress access points on to the disturbed site must be stabilized with a vehicle tracking control pad. Access shall only be via approved locations as shown on approved CSMF.
- Temporary soil stabilization measures shall be implemented where ground disturbances have temporarily or permanently ceased for 14 days or for areas of land disturbance within one growing season.
- Concrete waste and washout water from mixing trucks shall be contained on site, removed from the site, and properly disposed. Materials shall not be allowed to enter state waters.
- Contractor is responsible for complying with all local, state, and federal laws. In addition contractor must obtain required permits.
- Emergency access must be kept obstacle free and passable at all times.
- For any work to be done in the Right of Way, coordinate with the City ROW Manager regarding special permitting. No work shall be conducted in the ROW between November 1 and May 1 without prior approval from the director of Public Works.
- Where required as part of the ROW permit or where site work affects the pedestrian or vehicle travel way, traffic control shall be installed. All traffic control shall be in accordance with the Manual on Uniform Traffic Control Devices, latest edition.
- Sidewalks adjacent to construction sites shall be maintained, for public use, by the contractor. In areas where construction is taking place next to the sidewalk and overhead hazards are possible, site is responsible for installing and maintaining sidewalk protection.

PJ4504-1
Fire Prevention
In: 11/11/2020
Out: 11/12/2020

AMERICANS WITH DISABILITIES ACT

The Americans with Disabilities Act (ADA) provides that it is a violation of the ADA to design and construct a facility for first occupancy later than 26 January 1993, that does not meet the accessibility and usability requirements of the ADA except where an entity can demonstrate that it is structurally impractical to meet those requirements. The Owner acknowledges the requirements of the ADA will be subject to various and contradictory interpretations. The Architect, therefore, will use its best professional efforts to interpret applicable ADA requirements, and other federal, state, and local laws, rules, codes, ordinances and regulations as they apply to the Project. The Architect, however, cannot and does not warrant or guarantee that the Owner's project will comply with all interpretations of the ADA requirements, and/or the requirements of other federal, state, and local laws, rules, codes, ordinances and regulations as they apply to the Project.

GENERAL NOTES

- General Conditions of the Contract, American Institute of Architects Document A201 - Latest Edition, shall govern as applicable to the same extent as if herein written out in full and shall apply to all Contractors and Subcontractors equally. Copies of said document are on file and available at the Architect's office and shall either act as the basis for, or in conjunction with any and all agreements and contracts, along with the Architect's drawings, notes and specifications.
- All work connected with this project by any trade involved shall be done in a workmanship like manner in accordance with the best practice of the trade.
- All dimensioning and existing conditions are to be verified in the field and shall be the responsibility of the contractor.
- Verify location of all utilities before proceeding with construction.
- The Contractor and each Subcontractor shall be responsible for all cutting, fitting and patching that may be required to complete the work or to make its several parts fit together properly.
- The Contractor and each Subcontractor shall give all notices and comply with all laws, ordinances, rules, regulations and lawful orders of any public authority bearing on the performance of the work.
- These drawings are only diagrams of foreseen construction requirements and are not meant to be exact in every detail. Actual field conditions may require that some of the work should be done differently than shown on these diagrams. Verify with Owner and Architect.
- All dimensions face of stud unless otherwise shown.
- Provide for positive drainage away from site, and to all area and roof drains. All areas receiving snow deposited from roofs shall be graded away from and around the structure at a minimum of one foot in ten feet for a distance of at least ten feet from the structure. Drainage to be planned to prevent ice sheets from forming on critical areas of driveway and walkways.
- These drawings do not include the necessary components for jobsite safety. These requirements remain the sole liability and responsibility of the Contractor and each Subcontractor.
- Before submitting proposal, Contractors, Subcontractors, and Suppliers shall examine drawings and specifications and should any materials and/or its installation be indicated or specified in a manner not approved by the material manufacturer or not indicated or approved by the appropriate industry or regulatory requirements, shall notify Architect and receive his instructions. Failing to do so, Contractor shall provide equivalent materials, suitable for the installation, as selected by the Architect, or if not discovered until after installation, Contractor shall replace materials, with such other equivalent and suitable materials; and either event at no additional cost to the Owner. Adhere strictly to all manufacturer installation recommendations and regulatory requirements.
- The Owner and Architect explicitly reserve the right to reject any or all bids. Bidding irregularities will result in automatic rejection of bid.
- A Colorado certified land surveyor, as indicated on the site plan shall verify location of all improvements.
- Contractor shall provide for jobsite cleanup. Sort and recycle jobsite debris, to the fullest extent possible, including concrete, steel, wood, and gypsum plaster. Clean and remove construction debris from the site on a daily basis. Upon job completion, the Contractor is to sweep the site of nails and all other construction debris.
- Contractors shall be responsible for prior storage of materials, tools and equipment. Materials shall be protected from the weather and shall be stored off the ground for protection against standing water or snow, as necessary.
- Upon completion of the work and prior to final payment, the Contractor shall provide Owner with AIA Documents G706 and G706A - "Contractors Affidavit of Payment of Debts and Claims" and "Contractors Affidavit of Release of Liens", along with lien releases for the contractor, all subcontractors, material suppliers and manufacturers. Provide partial lien releases for the above, if required by the Owner, for progress payments as work proceeds. Contractor to provide accounting records as requested and satisfactory to the Owner and Architect to certify payment requests. All Payment Requests to be submitted on AIA Document G702 and G703. Provide Owner with Certificate of Occupancy and 1 year warranty for all work.

INSURANCE REQUIREMENTS

- All contractors, subcontractors, material suppliers, and contract laborers shall carry the minimum insurance to hold the Owner and Architect harmless, including but not limited to Workman's Compensation (or Medical and Disability) and Liability Insurance in accordance with Article 11 of the American Institute of Architects Document A201, "General Conditions of the Contract", Latest Edition. Proof of Workman's Compensation will be required at the Building Department in addition to providing copies of all proof of insurance to the Owner by each contractor, sub-contractor, material supplier and contract laborer, prior to the commencement of the work. To qualify for exempt status under the Colorado State Workers Compensation Act each independent contractor must comply with, complete, and submit to the Owner or General Contractor a Colorado Compensation Insurance Authority Independent Contractor Notification Form.
- The Owner shall carry the minimum insurance including but not limited to liability and property insurance in accordance with Article 11 of the American Institute of Architects Document A201, "General Conditions of the Contract", latest edition. Property insurance shall be on an all-risk policy form and shall insure against the perils of fire and extended coverage and physical loss or damage including, without duplication of coverage, theft, vandalism, malicious mischief, collapse, lapse work, temporary buildings and debris removal including demolition and enforcement of any applicable legal requirements.

OWNERSHIP AND USE OF ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS

Drawings, Specifications, and other documents prepared by the Architect for this Project are instruments of the Architect's service for use solely with respect to this Project; and the Architect shall be deemed the author of these documents and shall retain all ownership, common law, statutory, and other reserved rights, including the copyright. The Owner shall be permitted to retain copies, including reproducible copies, of the Architect's Drawings, Specifications, and other documents for information and reference in connection with the Owner's use and occupancy of the project. The Architect's Drawings, Specifications, and other documents shall not be used by the Owner or by others on other projects, for additions to this project, or completion of this project by others, except by agreement in writing and with appropriate compensation to the Architect.

NOTICE - DUTY OF COOPERATION

Release of these drawings contemplates further cooperation among the Owner, his Contractor, and the Architect. Design and construction are complex. Although the Architect and his Consultants have performed their services with due care and diligence, they cannot guarantee perfection. Communication is imperfect, and every contingency cannot be anticipated. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the Architect. Failure to notify the Architect compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to the Architect shall relieve the Architect from responsibility for all consequences. Changes made from the plans without the consent of the Architect are unauthorized, and shall relieve the Architect of responsibility for all consequences arising out of such changes.

NOTICE - BUILDER'S SET

This set of drawings consists of a "Builder's Set" and includes only the minimum architectural information required by the Routt County Building Department to acquire a building permit. These requirements are described in information from the Routt County Regional Building Department, "General Requirements for Building Permits". Interior finishes, fixture selection, appliances, detailing, final site utilities engineering, etc. not required by these documents, become the Owner and Contractor's responsibility to design, verify, negotiate and complete. Unless otherwise agreed, the Contractor shall provide all labor, materials, equipment, supplies, subcontractors, taxes, insurance, tap fees, site utilities, grading etc., to provide a complete job for a certificate of occupancy.

REGULATORY REQUIREMENTS

- All construction shall conform to the current edition of the following codes and standards as adopted by the Routt County Regional Building Department. The following publications shall be considered a part of these contract documents (drawings and specifications) to the same extent as if herein written out in full and shall apply to all Contractors and Subcontractors equally. Provide public notices and comply with laws, ordinances, rules and regulations and orders of any public authority bearing on the performance of the work.
 - International Building Code
 - International Existing Building Code
 - International Plumbing Code
 - International Mechanical Code
 - National Electrical Code and International Electrical Code, Administrative Provisions
 - International Fuel Gas Code
 - International Energy Conservation Code
 - International Fire Code
 - Uniform Code for the Abatement of Dangerous Buildings
 - City of Steamboat Springs Site Management Plan - Municipal Code Section 5-5, Chapter 36
 - Routt County Regional Building Department "General Requirements for Building Permits"
 - City of Steamboat Springs Ordinance and Routt County Resolution adopting Building Codes with Amendments to the Model Codes
 - Local Utility Regulations
 - Local Codes/Regulations/Covenants and Declarations/Deed Restrictions
 - All Town, City, County and State codes, ordinances and resolutions governing construction and currently in effect shall apply as requirements for construction.
 - All work executed in any public right-of-way or on public property shall be completed according to the specifications and requirements of that governing body.
 - Applicable Protective Covenants, Declarations or Deed Restrictions of the subdivision or parcel of land as recorded in the County Clerk Office
 - State of Colorado - Department of Public Health and Environment - Stormwater Quality Requirements
 - State of Colorado - Department of Public Health and Environment - Demolition and Asbestos Compliance Requirements
 - State of Colorado - Department of Public Health and Environment - Demolition and Lead Based Paint Compliance Requirements
 - State of Colorado - Division of Labor - Boiler Inspection Section Requirements
 - U.S. Department of Justice - 28 CFR - Americans with Disabilities Act Accessibility Guidelines
 - American National Standards Institute 117.1
 - National Fire Protection Association Standards
 - The American Institute of Architects - Architectural Graphic Standards

CONSTRUCTION SITE MANAGEMENT PLAN NOTES

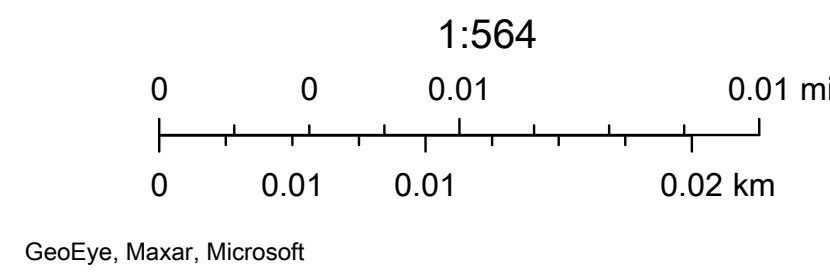
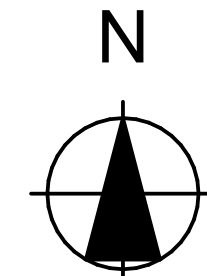
- The approved Construction Site Management Plan shall be kept on site at all times and updated to reflect any changes.
- Any concrete waste and washout water from mixing trucks shall be contained on site, removed from the site, and properly disposed. Materials should not enter state waters.
- Contractor is responsible for installing and maintaining temporary erosion and sediment control during construction and establishing any required permanent Best Management Practices (BMPs).
- Contractor is responsible for complying with any local, state, and federal laws. In addition contractor must obtain required permits.
- The contractor shall promptly remove all sediment, mud, and construction debris that may accumulate in the right of way, private property, or water ways as a result of construction activities.
- Access shall only be via approved locations as shown on approved CSMF.
- Inlet protection shall be installed in conjunction with storm drain inlets where drainage area is not vegetated.
- BMPs shall be used, modified, and maintained whenever necessary to reflect current conditions. BMPs shall be inspected weekly and after every precipitation event. Accumulated sediment shall be removed from BMPs when the sediment level reaches 1/2 the height of the trap.
- Emergency access must be kept obstacle free and passable at all times.
- For any work to be done in the Right of Way, coordinate with the City Construction Site Manager regarding special permitting. No work shall be conducted in the ROW between November 1 and April 1 without prior approval from the director of Public Works.
- Where required as part of the ROW permit or where site work affects the pedestrian or vehicle travel way, traffic control shall be installed. All traffic control shall be in accordance with the Manual on Uniform Traffic Control Devices, latest edition.
- Sidewalk adjacent to construction sites shall be maintained, for public use, by the contractor. In areas where construction is taking place next to the sidewalk and overhead hazards are possible, site is responsible for installing and maintaining sidewalk protection.

PORTALET, TRASH AND RECYCLING TO BE LOCATED AT REAR OF BUILDING, ACCESS FROM ALLEY

ALL LOADING AND UNLOADING TO TAKE PLACE IN PUBLIC ALLEY

EXISTING CREEKSIDE RESTAURANT

EXISTING LAUNDRY RESTAURANT



GeoEye, Maxar, Microsoft
GIS Services
Maxar, Microsoft |

SITE SCHEMATIC

CALL UTILITY NOTIFICATION
CENTER OF COLORADO

1-800-922-1987

CALL 2 BUSINESS DAYS IN ADVANCE
BEFORE YOU DIG, GRADE OR EXCAVATE
FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

City of Steamboat Springs
 Planning and Community Development
APPROVED
 November 10, 2020

RCRBD
Record Set
TC
11/16/2020



CONSULTANTS 970.846.7960
Craig Fritson, Engineering

Interior Access Connection for
LAUNDRY + CREEKSIDE RESTAURANTS
 127 & 131 11th Street
 Steamboat Springs, Colorado
 Lots 1, 2, 3 Blk 12 Original Add to SS That Portion s of Soda Creek (Historic Designation Res #99-038)

DATE	DRAWN BY	CHECKED BY	ISSUE DATE	REVISIONS:

COVER SHEET + SITE PLAN

DRAWING NUMBER
A1
OF 4 SHEETS

M:\Work\CD\Projects\Projects_A\EC\Creekside_Laundry_Opening\CD\EC\Creekside_Laundry_Opening\CD\EC\Creekside_Laundry_Opening.dwg, November 10, 2020 12:40 PM, M:\Work\CD\Projects\Projects_A\EC\Creekside_Laundry_Opening\CD\EC\Creekside_Laundry_Opening.dwg



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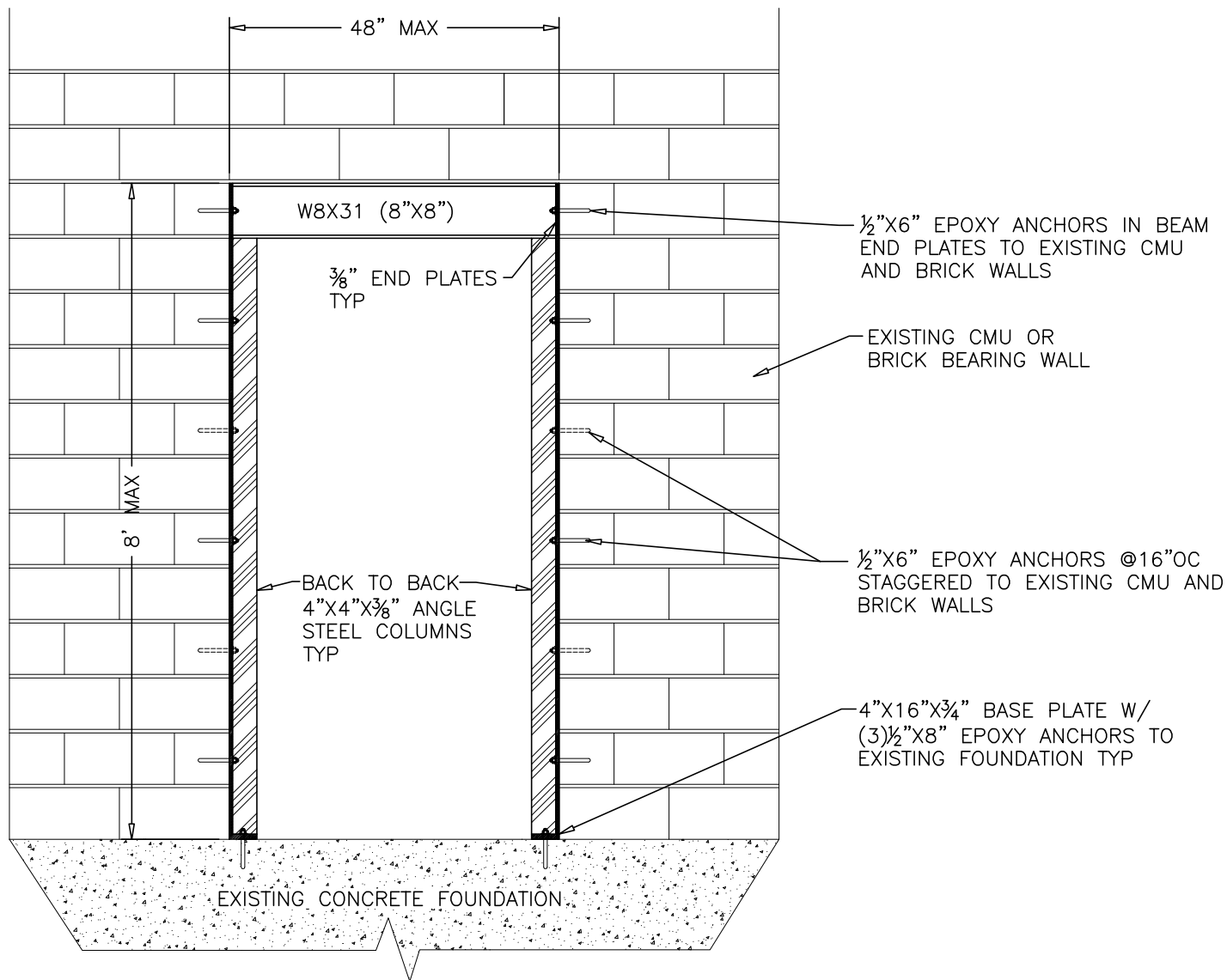
PROFESSIONAL ENGINEERING & DRAFTING SERVICES

PO BOX 772759 | STEAMBOAT SPRINGS, CO 80477

PHONE 970-846-7980 | craigfrithsen@gmail.com

RCRBD
Record Set
TC
11/16/2020

THE STRUCTURAL DETAILS ON THIS AND FOLLOWING PAGES ARE FOR THE PROPOSED NEW DOOR OPENING IN THE BRICK AND CMU BEARING WALL BETWEEN THE LAUNDRY AND CREEKSIDE RESTAURANTS. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND CONTACT CFE WITH ANY DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THOSE SHOWN ON PLAN.



1
S1

HEADER DETAIL

Scale: 1/2" = 1'-0"

CREEKSIDE/LAUNDRY REMODEL

131 11TH STREET
STEAMBOAT SPRINGS, CO





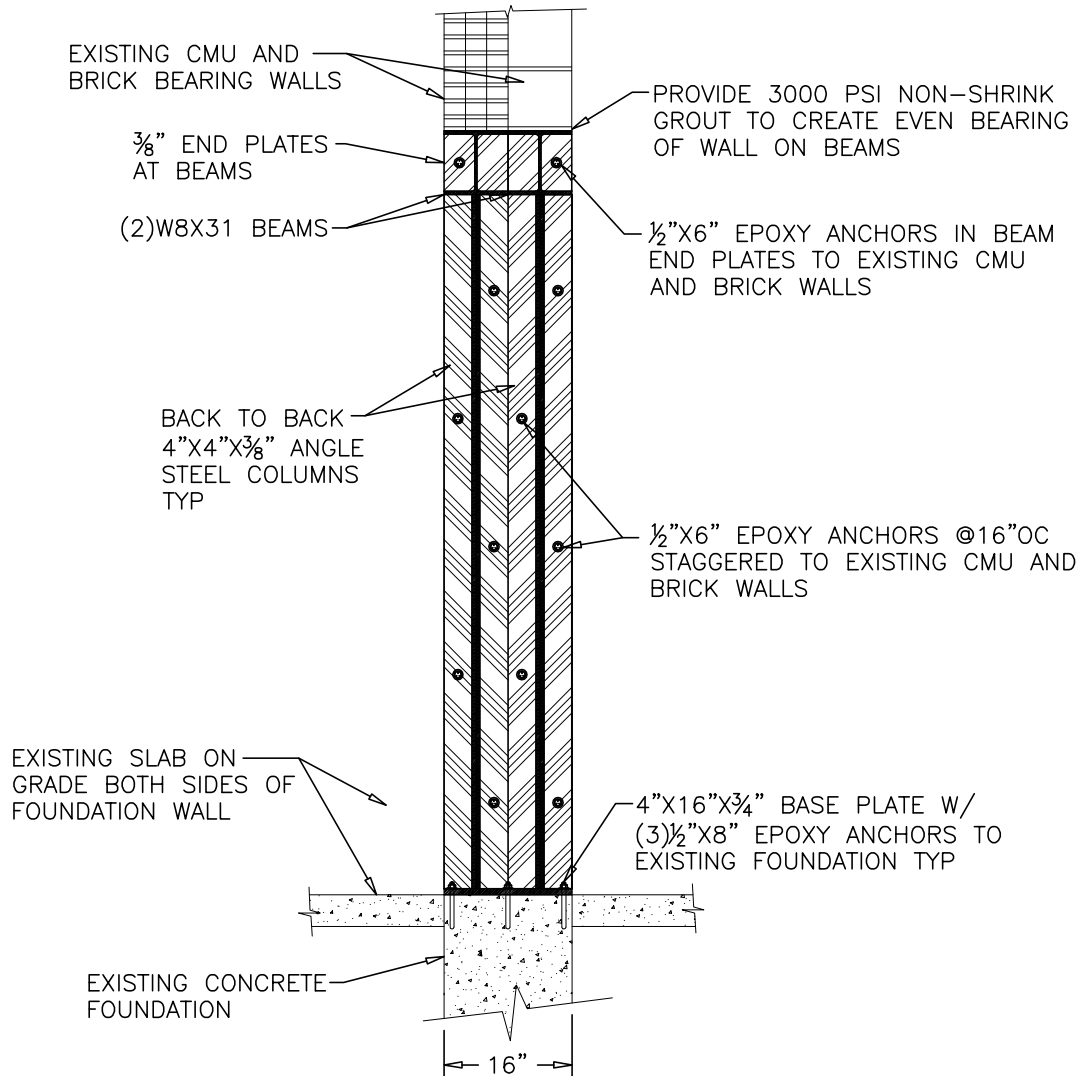
CRAIG FRITHSEN
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1
S2

HEADER SECTION

Scale: 1/2" = 1'-0"

CREEKSIDE/LAUNDRY REMODEL

131 11TH STREET
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GENERAL

- DESIGN LIVE LOADS: Snow=75 psf, Floor=50 psf + 20 psf partition (upstairs office loading Laundry building) and 100 psf (main floor slabs Laundry and Creekside buildings), Wind, Vult=115 mph (3 Second Gust), Seismic Zone B
- RESPONSIBILITY: The contractor is responsible for cross referencing all plans and inspecting work placement at the site to assure that no omissions or discrepancies exist that might adversely affect construction or the integrity of the finished product. Job site and construction safety are not addressed in these plans and are the responsibility of the contractor. These responsibilities are industry standard.
- These plans are intended to be in accordance with 2015 IBC codes. All construction to be in conformance with these codes.

FOUNDATION

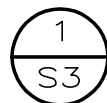
- Foundation analyzed assuming maximum allowable soil bearing pressure = 2500 psf, no min. We recommend a soils engineer verify that soils types and conditions warrant assumed values. CFE is not responsible for structural issues resulting from improperly assumed soils.

STRUCTURAL STEEL

- All structural steel shall conform to ASTM specifications A36 except pipe columns which shall conform to ASTM A53 Grade B, and steel tube columns which shall conform to ASTM A500 Grade B. Steel to steel member connection bolts shall be A325 steel and miscellaneous wood embedded items shall be A36 steel.
- Steel column base plates shall bear evenly to concrete below via 4000 psi non shrink grout.
- Minimum welds to be per AISC and/or AWS, but not less than 3\16" continuous fillet unless otherwise noted. Welding quality control shall be per AWS. All welders shall have evidence of passing the American Welding Society Standard Qualifications Test as detailed in AWS D1.1.

TYPICAL ABBREVIATIONS

EE = EACH END
ES = EACH SIDE
EW = EACH WAY
OC = ON CENTER
SOG = SLAB ON GRADE
TYP = TYPICAL
UNO = UNLESS NOTED OTHERWISE



STRUCTURAL NOTES

Scale: NTS

CREEKSIDE/LAUNDRY REMODEL

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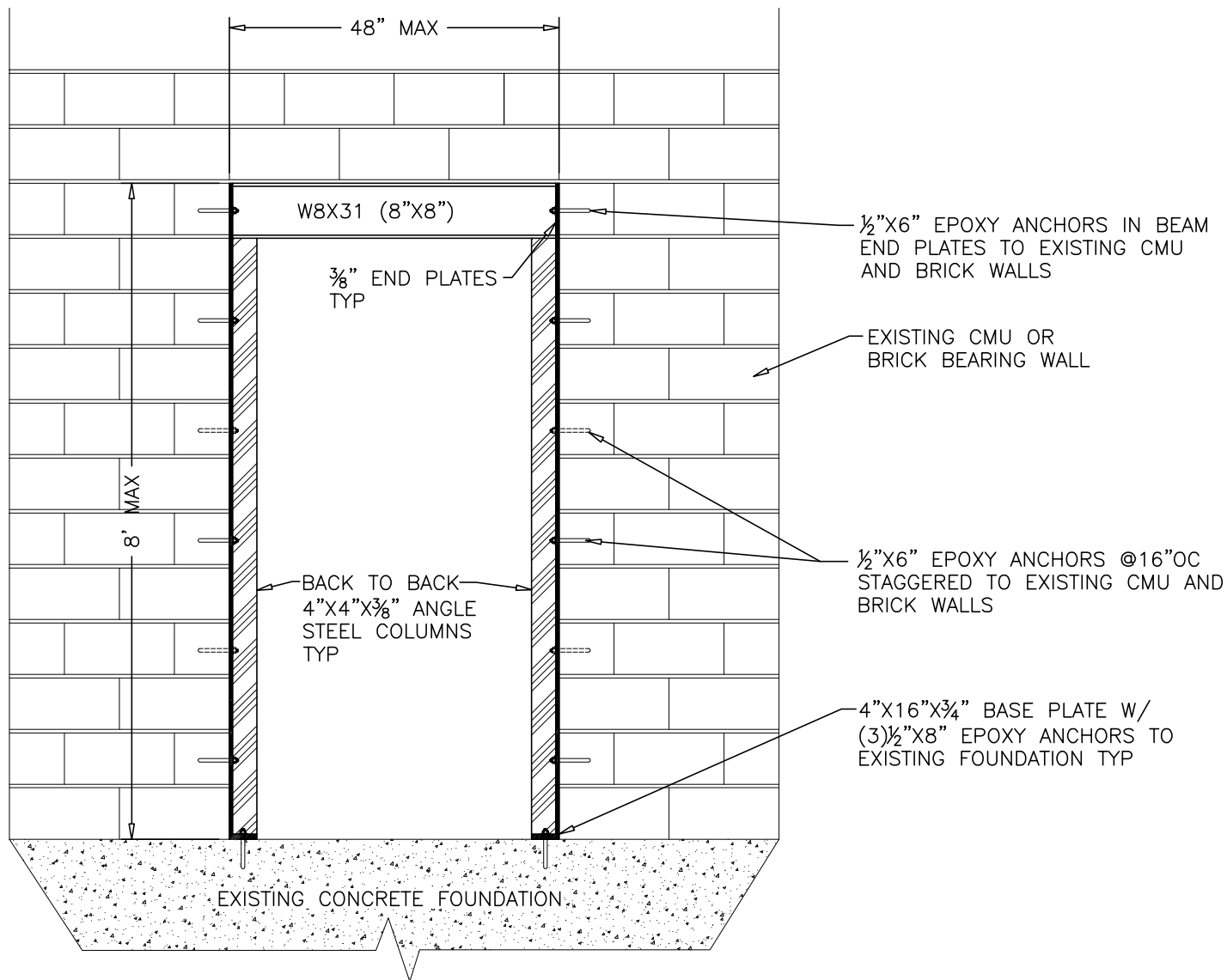
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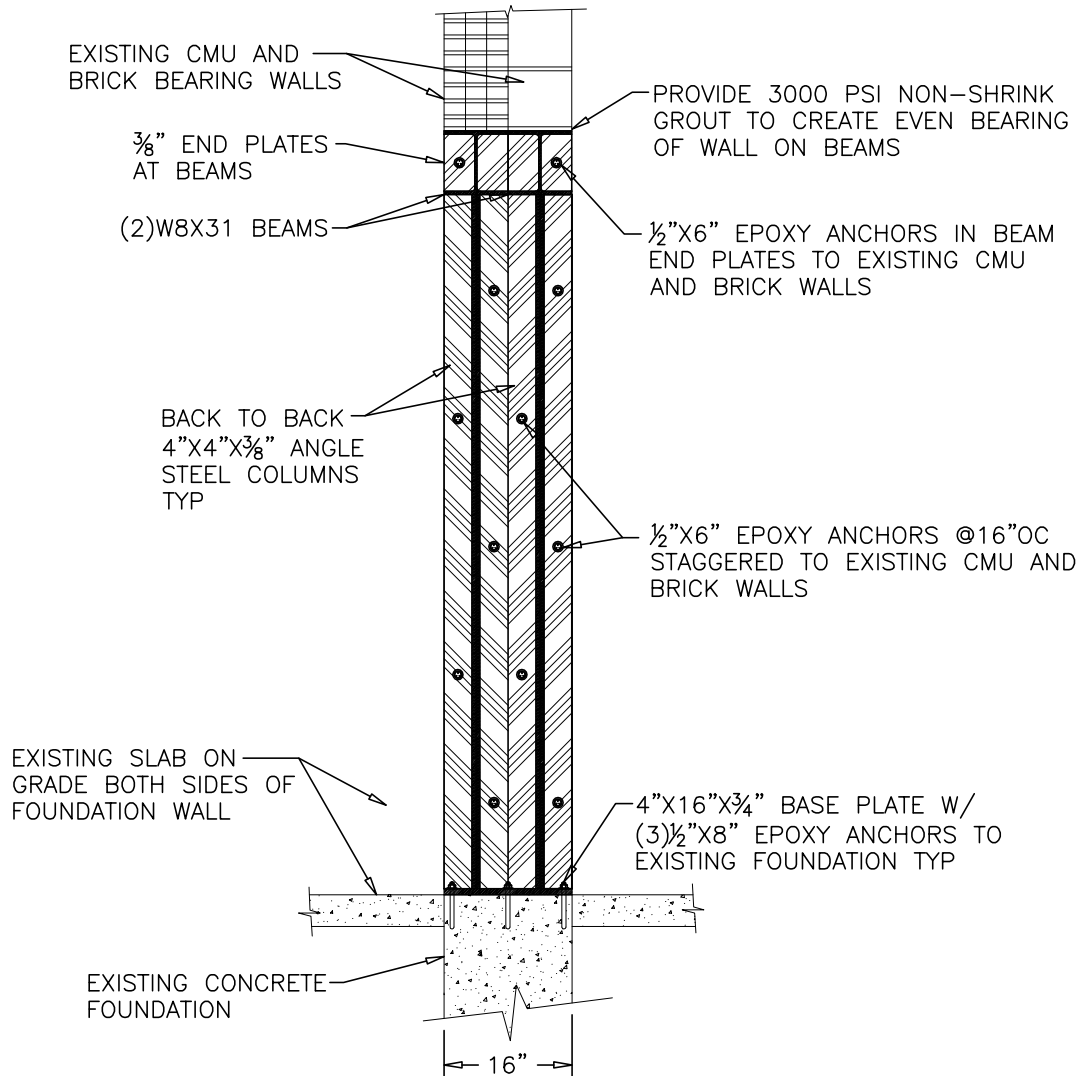


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- These plans are intended to be in accordance with 2015 IBC codes. All construction to be in conformance with these codes.

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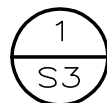
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- Steel column base plates shall bear evenly to concrete below via 4000 psi non shrink grout.
- Minimum welds to be per AISC and/or AWS, but not less than 3\16" continuous fillet unless otherwise noted. Welding quality control shall be per AWS. All welders shall have evidence of passing the American Welding Society Standard Qualifications Test as detailed in AWS D1.1.

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