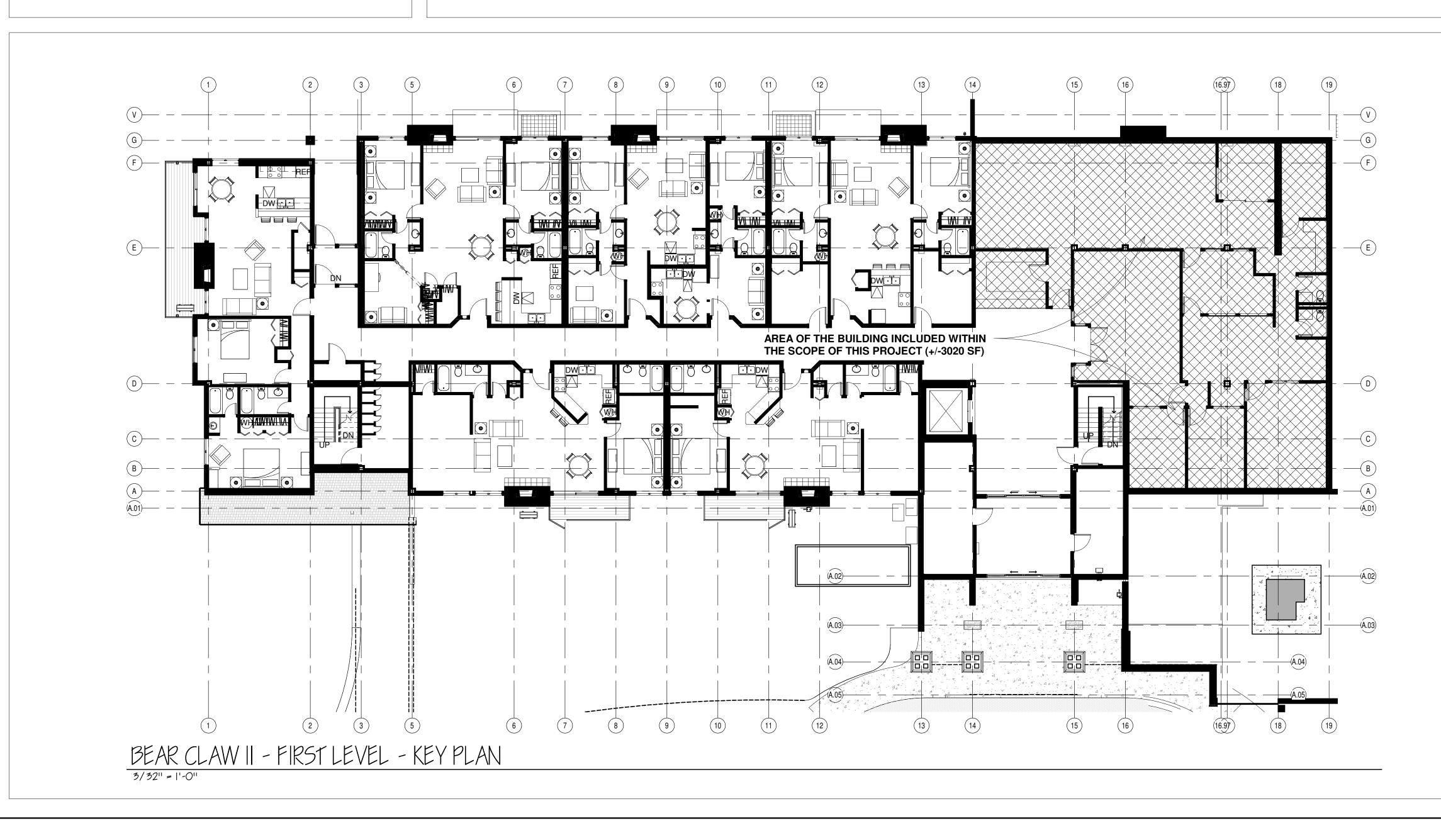


ADAAG 2010

ZONING DISTRICT: RR-2, RESORT RESIDENTIAL TWO MEDIUM DENSITY

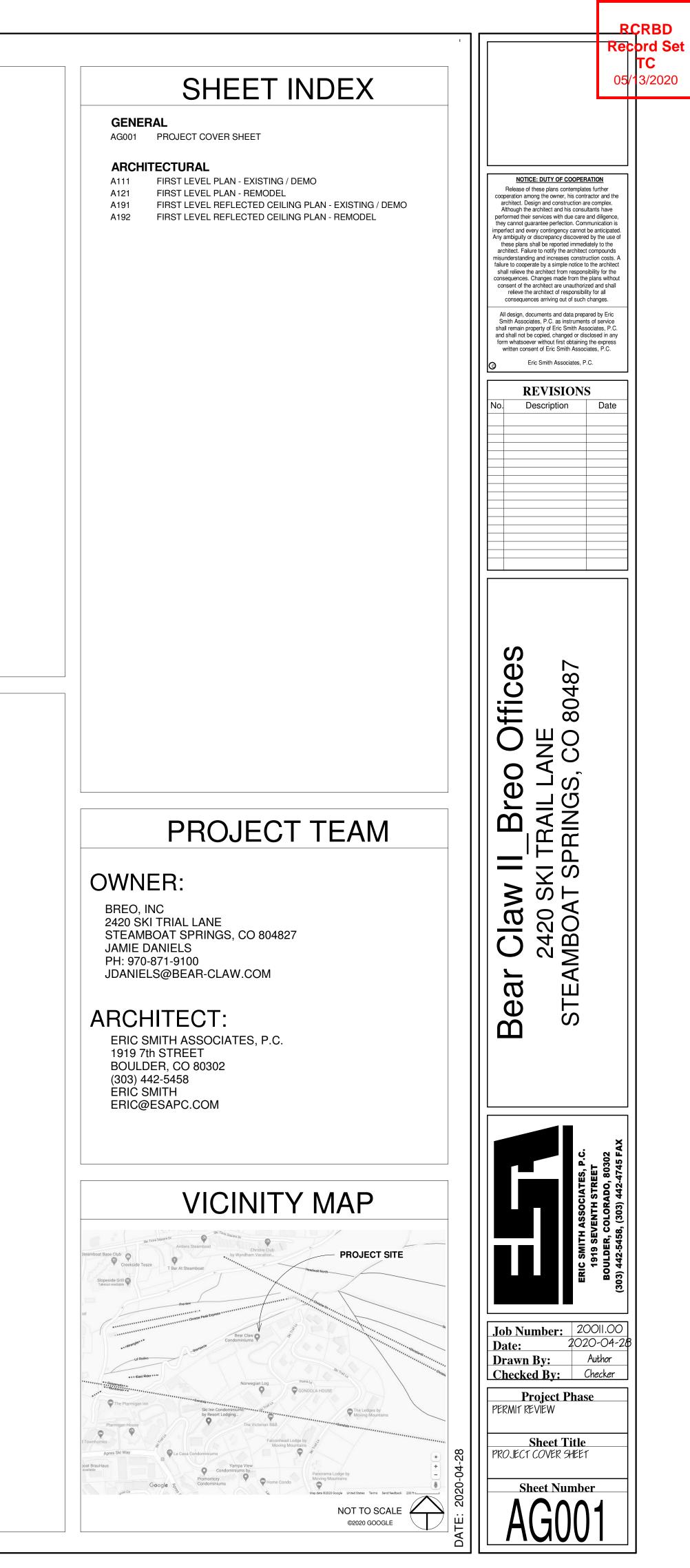


PERMIT SET

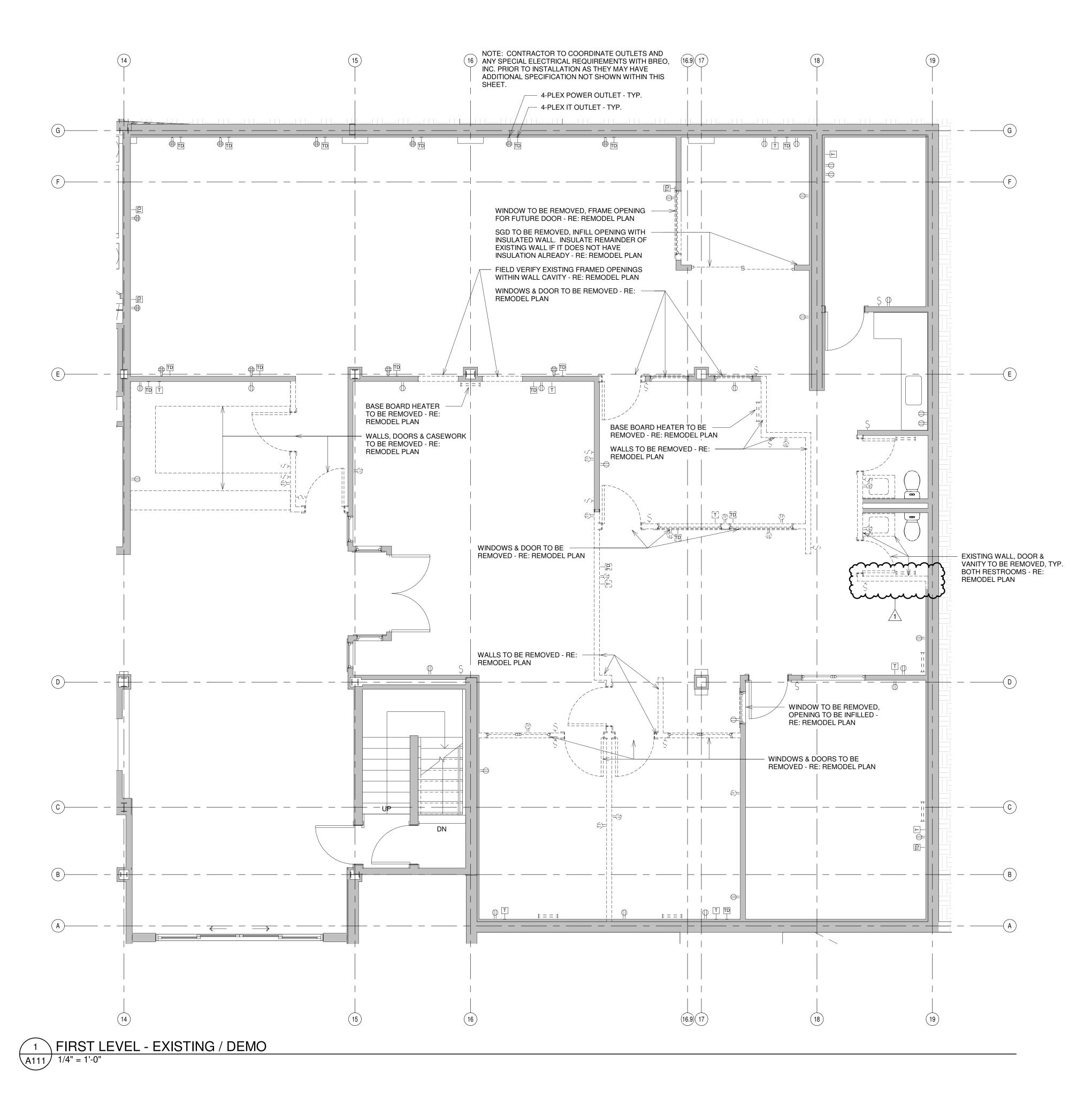
FOR

BEAR CLAW II - BREO OFFICE REMODEL

LEGAL DESCRIPTION: BEAR CLAW II CONDOMINIUMS COUNTY OF ROUTT, STATE OF COLORADO







GENERAL NOTES - EXISTING / DEMO:

- 1. **<u>GENERAL</u>**: THE EXISTING ELEMENTS & CONDITIONS SHOWN WITHIN THIS SET OF PLANS ARE BASED ON PREVIOUS SETS OF DRAWINGS AND GENERAL SITE OBSERVATIONS. PLEASE NOTE THAT THERE MAY BE MODIFICATIONS AND/OR UPDATES TO THE EXISTING BUILDING THAT MAY NOT BE REPRESENTED WITHIN THIS SET OF DRAWINGS. CONTACT THE ARCHITECT WITH ANY DISCREPANCIES FOUND IN THE FIELD THAT MAY HAVE AN AFFECT ON THE REMODEL AS INDICATED WITHIN THIS CD SET.
- 2. **GENERAL:** EXISTING CONSTRUCTION & CONDITIONS SHALL BE VERIFIED IN THE FIELD. 3. **GENERAL:** EACH EXISTING SWITCH WITHIN AND SURROUNDING THE AREA OF REMODEL SHALL BE REVIEWED AND VERIFIED WHAT IT OPERATES AND IF IT IS TO BE REMOVED, KEPT IN PLACE BUT RE-ROUTED OR REMOVED COMPLETELY. 4. **GENERAL:** ANY AND ALL AREAS BEYOND THE SCOPE OF THE REMODEL DAMAGED IN THE COURSE
- OF THE DEMOLITION SHALL BE REPAIRED AND FINISHED TO MATCH ADJACENT SURFACES & ELEMENTS. 5. **GENERAL:** ANY PORTION OF AN EXISTING RATED ASSEMBLY (WALL OR ROOF/CEILING) THAT WAS
- REMOVED OR OTHERWISE PENETRATED SHALL BE PATCHED AND/OR REPAIRED TO MATCH OR EXCEED THE EXISTING RATING. 6. **GENERAL:** FIELD VERIFY THE LOCATION OF ANY EXISTING ELEMENTS WITHIN AN EXISTING WALL
- PRIOR TO DEMOING FOR OPENING FOR FUTURE DOOR OR PLACEMENT OF OTHER ELEMENT AS REQ'D FOR THIS REMODEL. 7. **GENERAL:** ANY ELEMENT REMOVED AS PART OF THIS REMODEL INCLUDING, BUT NOT LIMITED TO
- INTERIOR WINDOWS, DOORS, COUNTERS, FIXTURES, ETC... AS IT MAY BE RE-USED WITHIN ANOTHER PART OF THE REMODEL OR KEPT BY THE OWNER FOR THEIR USE AT A LATER DATE. FIELD VERIFY WITH OWNER PRIOR TO THE DISPOSAL OF ANY ELEMENTS. 8. GENERAL: FIELD VERIFY WITH OWNER THE EXTENT OF ANY FLOORING TO BE REMOVED AND REPLACED.
- 9. GENERAL: DISPOSE OF ALL DEMOLISHED ITEMS IN COMPLIANCE WITH AND REQUIRED BY ANY AND ALL APPLICABLE GOVERNING AGENCIES & OFFICIALS.

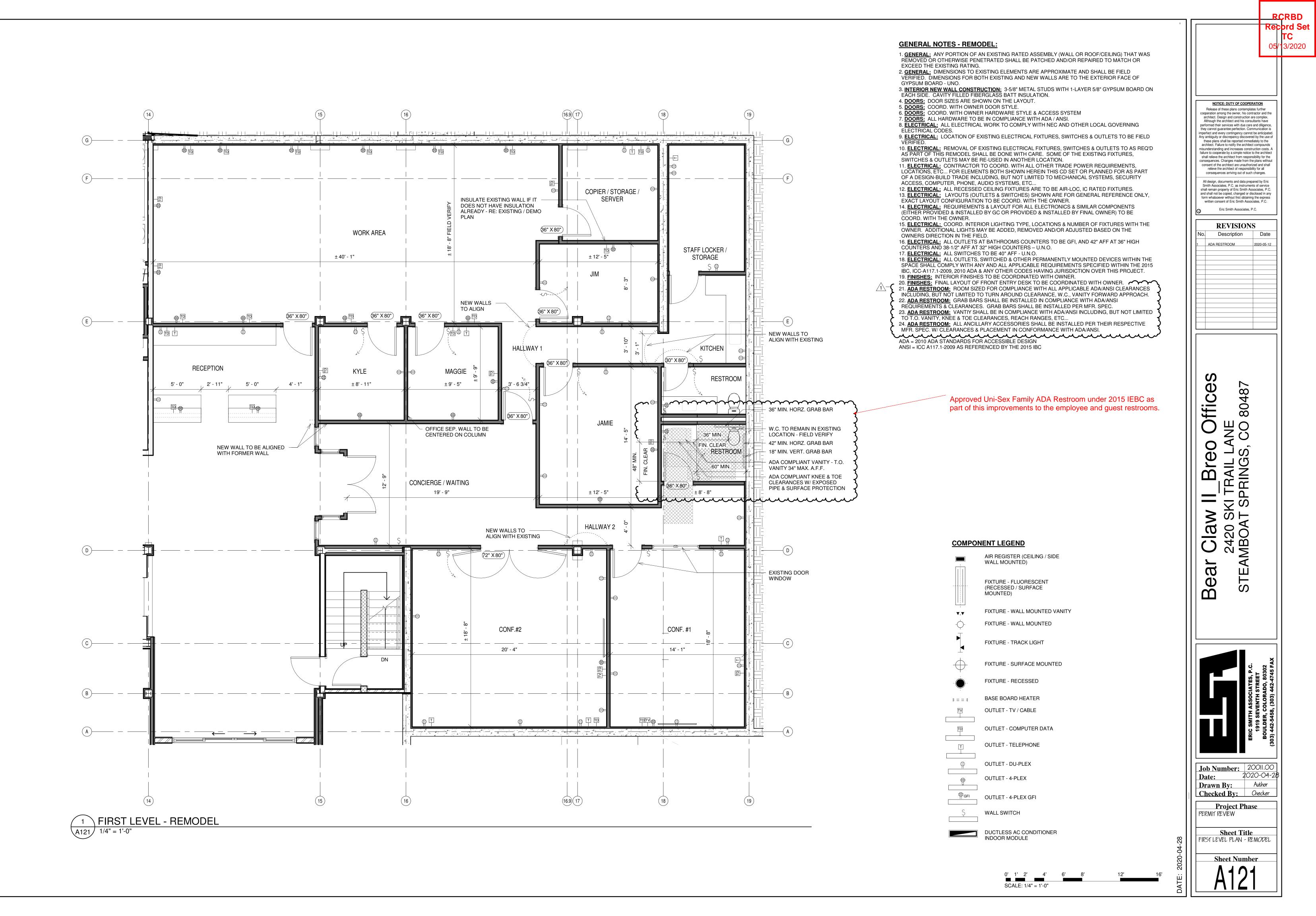
COMPONENT LEGEND

	AIR REGISTER (CEILING / SIDE WALL MOUNTED)
	FIXTURE - FLUORESCENT (RECESSED / SURFACE MOUNTED)
¥.,¥	FIXTURE - WALL MOUNTED VANITY
	FIXTURE - WALL MOUNTED
	FIXTURE - TRACK LIGHT
\oplus	FIXTURE - SURFACE MOUNTED
	FIXTURE - RECESSED
= = = =	BASE BOARD HEATER
	OUTLET - TV / CABLE
	OUTLET - COMPUTER DATA
	OUTLET - TELEPHONE
φ	OUTLET - DU-PLEX
₽	OUTLET - 4-PLEX
₩GFI	OUTLET - 4-PLEX GFI
Ş	WALL SWITCH
	DUCTLESS AC CONDITIONER INDOOR MODULE

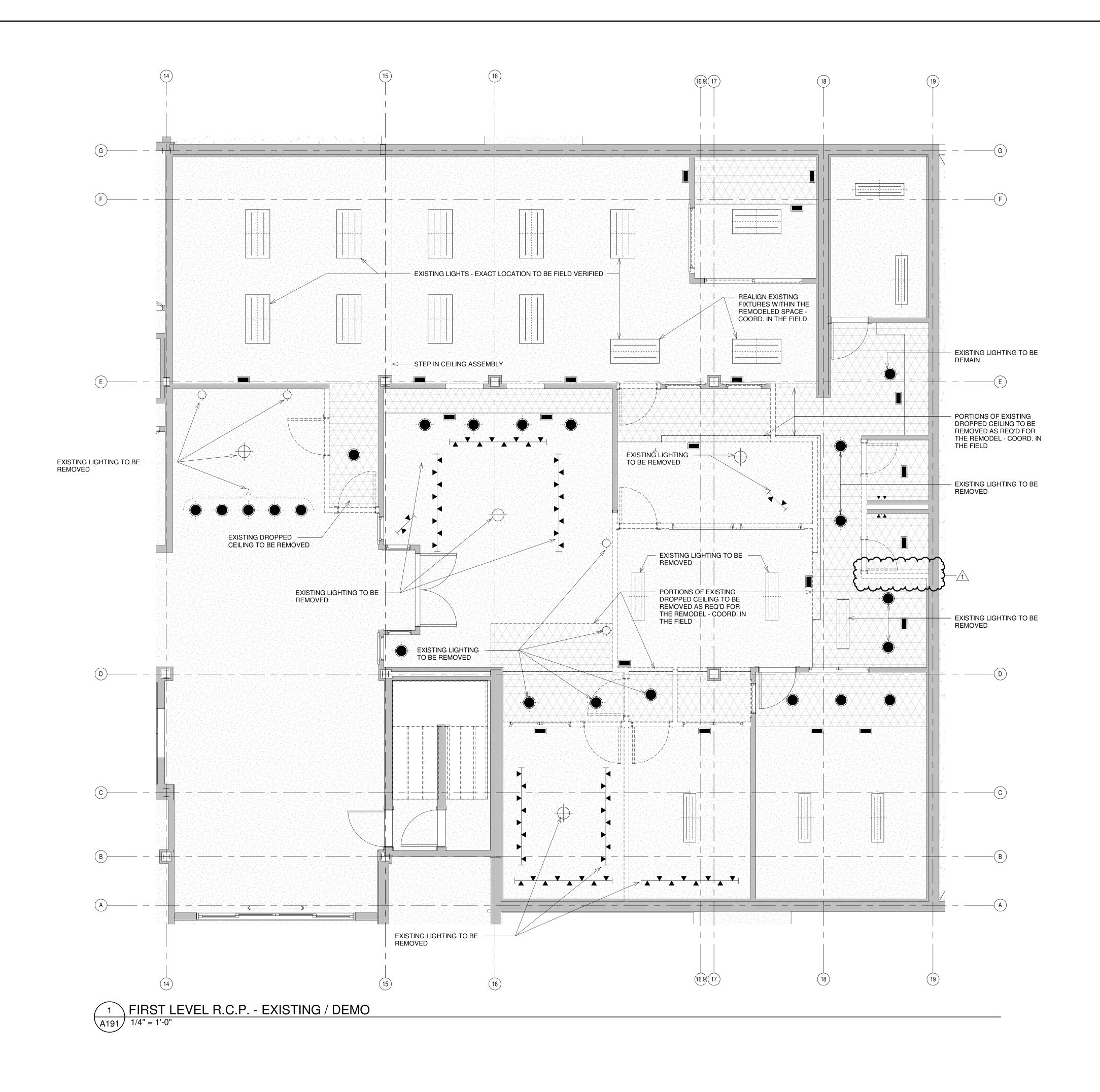
0' 1' 2' 4'

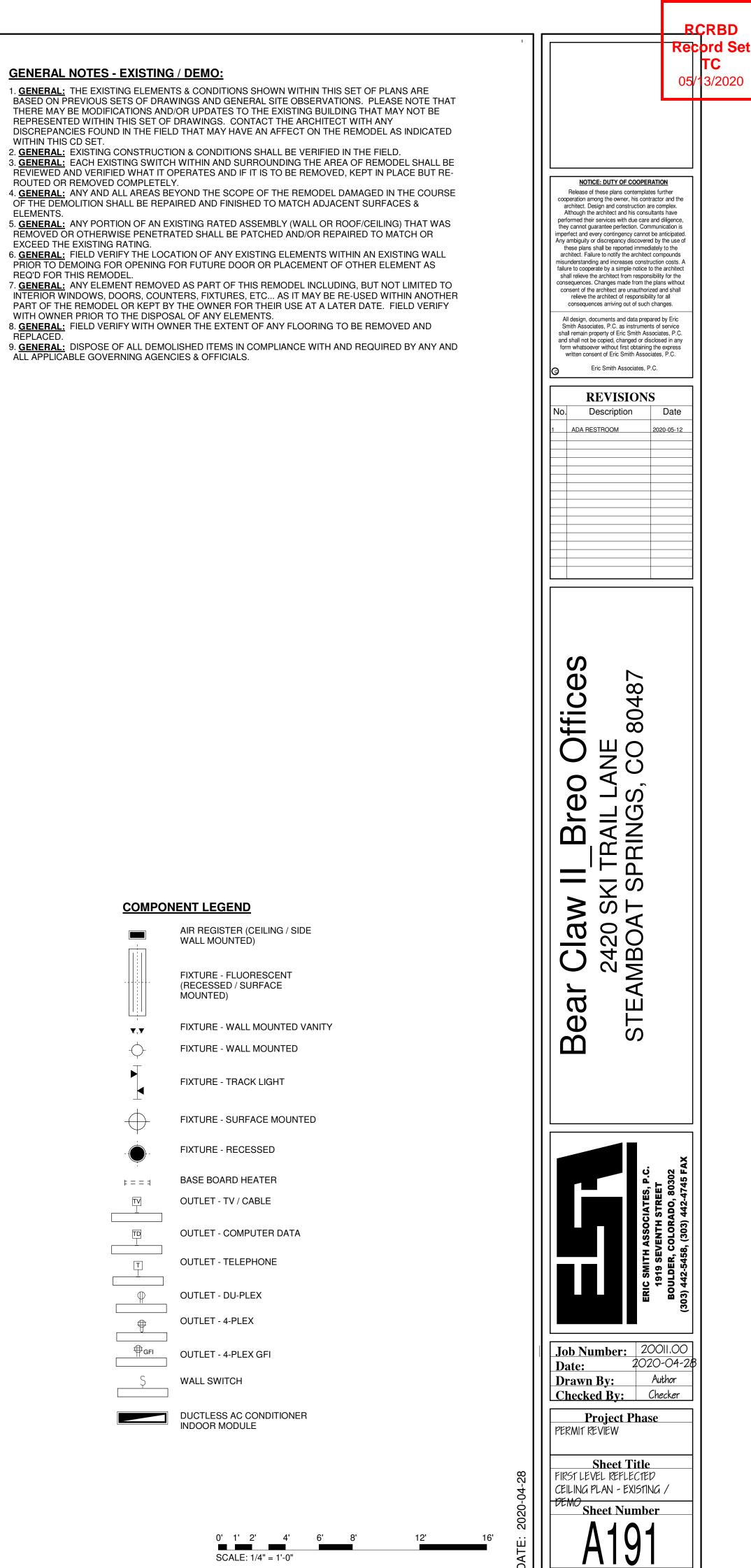
SCALE: 1/4" = 1'-0"

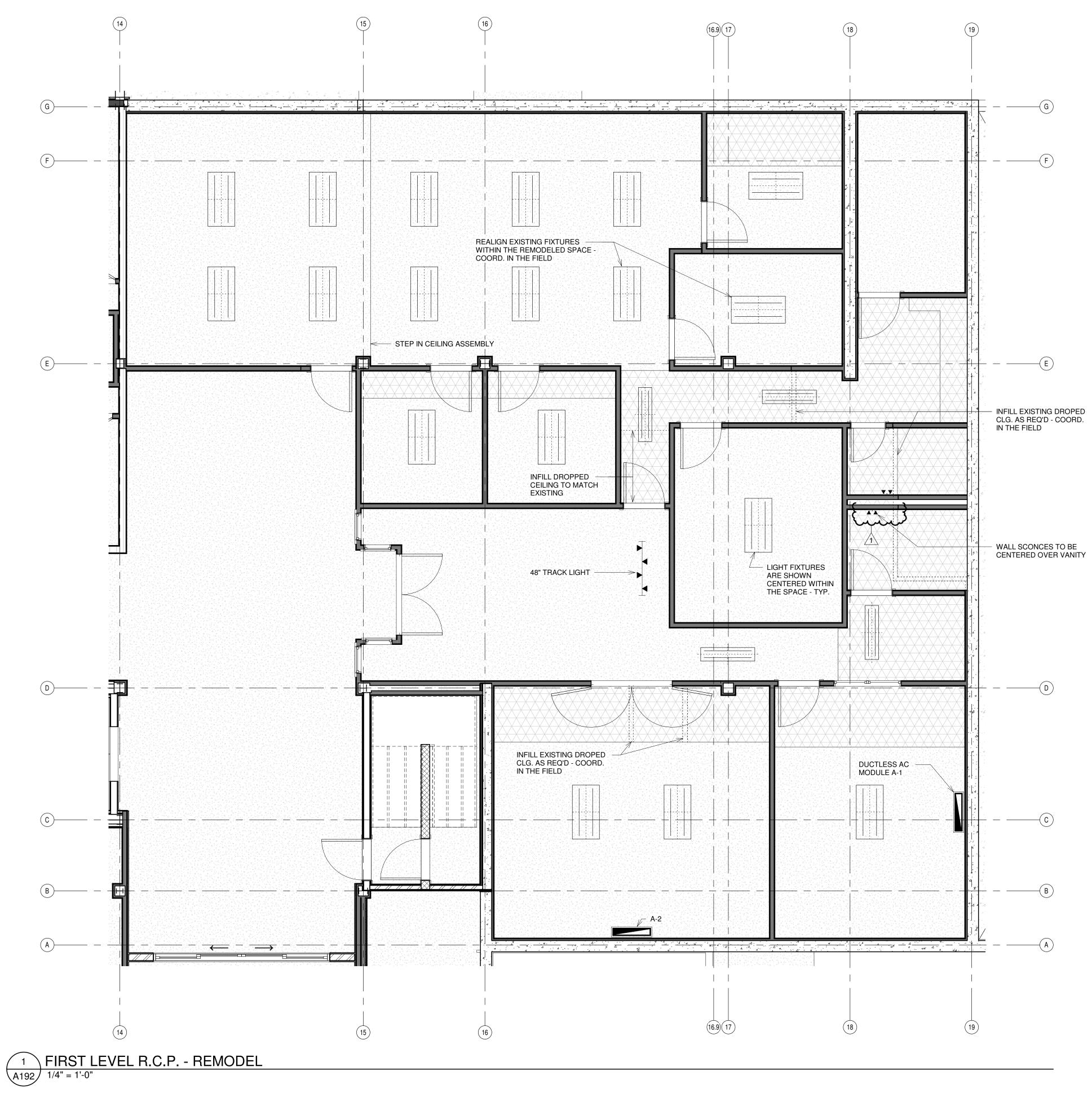




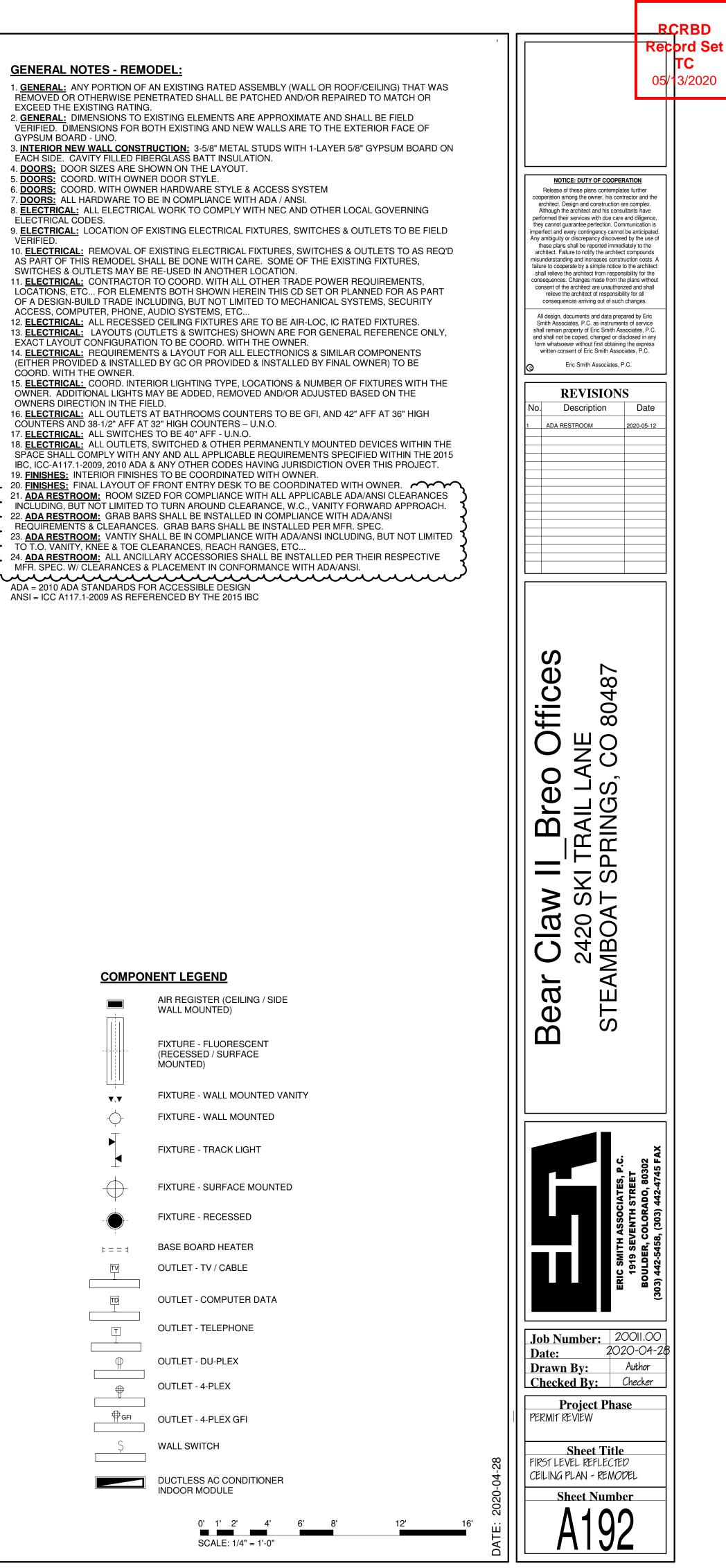
2/2020 3:12:17 PM FILE: 20011.00 Bear Claw II Breo Offices V19.rv







2/2020 3:12:19 PM FILE: 20011.00 Bear Claw II Breo Offices V19.r





April 30, 2020

Attn: Todd Carr Routt County Building Department 136 6th St. Suite 201 Steamboat Springs, CO 80487

RE: BREO Office Remodel Permit Submittal Bear Claw II, 2420 Ski Trail Lane Steamboat Springs, CO 80487 RCRBD Record Set TC 05/06/2020

This letter is to be included with the permit review drawings submitted to Routt County Building Department for permit review on Thursday April 30, 2019 by Jamie Daniels (BREO, Inc. Owner). Due to current circumstances, I was not able to access my office in Boulder, Colorado where my stamp is located at the time the drawings were ready for submittal.

Included under my State of Colorado Licensed Architect stamp are the following drawings dated 2020-04-28 which have been submitted for a Building Permit to the Routt County Building Department:

AGOOI	PROJECT COVER SHEET
AIII	FIRST LEVEL PLAN – EXISTING / DEMO
A121	FIRST LEVEL PLAN – REMODEL
A191	FIRST LEVEL REFLECTED CEILING PLAN - EXISTING / DEMO
A192	FIRST LEVEL REFLECTED CEILING PLAN - REMODEL
Thank you, Thank you, Eric Smith	

ESA ARCHITECTURE . PLANNING 1919 7TH STREET, BOULDER CO 80302 303.442.5458 <u>www.esapc.com</u>