

[illegible]

Horizontal Scale

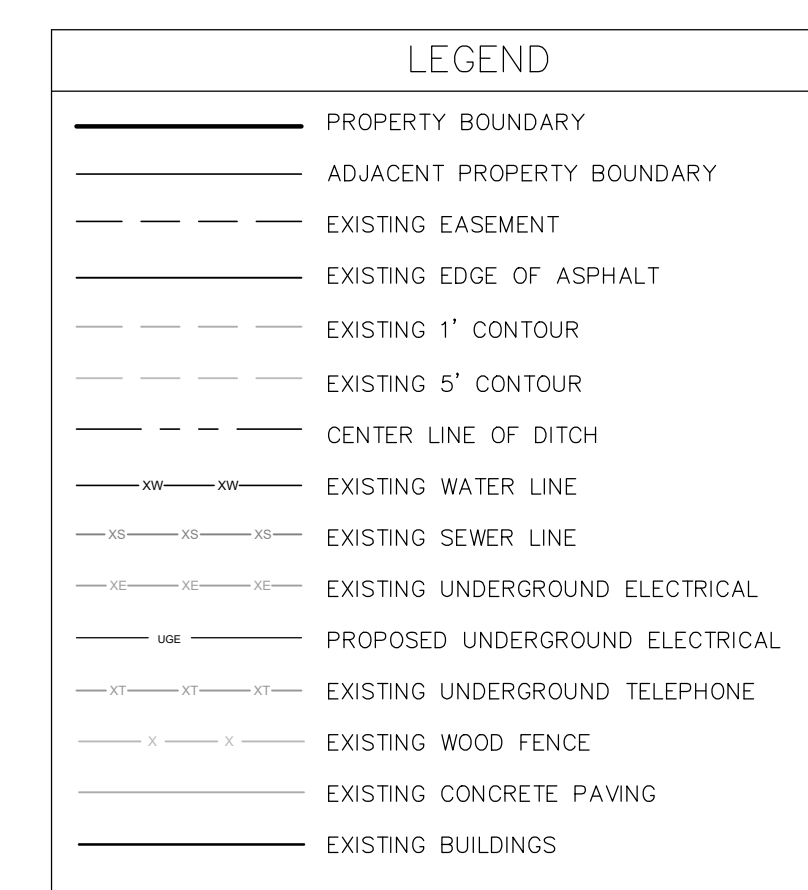


10' 20'

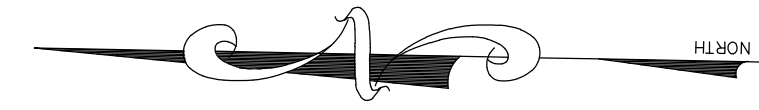
SCALE: 1" = 10'

EXISTING CONDITIONS

C1



1. EXISTING CONDITIONS PLAN OF THE VILLAGE DRIVE TOWNHOMES, LOT 1, STEAMBOAT SPRINGS, COLORADO, VILLAGE DRIVE.
2. CIVIL CONSTRUCTION PLANS COMPLETED BY LANDMARK CONSULTANTS, INC. IN 2022.
3. THIS PLAN IS FOR VARIANCE AND DEVELOPMENT PLAN TO REMOVE THE APPROVED ENTRANCES AND STAIRS TO VILLAGE DRIVE.
4. THE PLAN IS BASED ON FIELD SURVEYING COMPLETED MAY 2024 AND MARCH 2025.

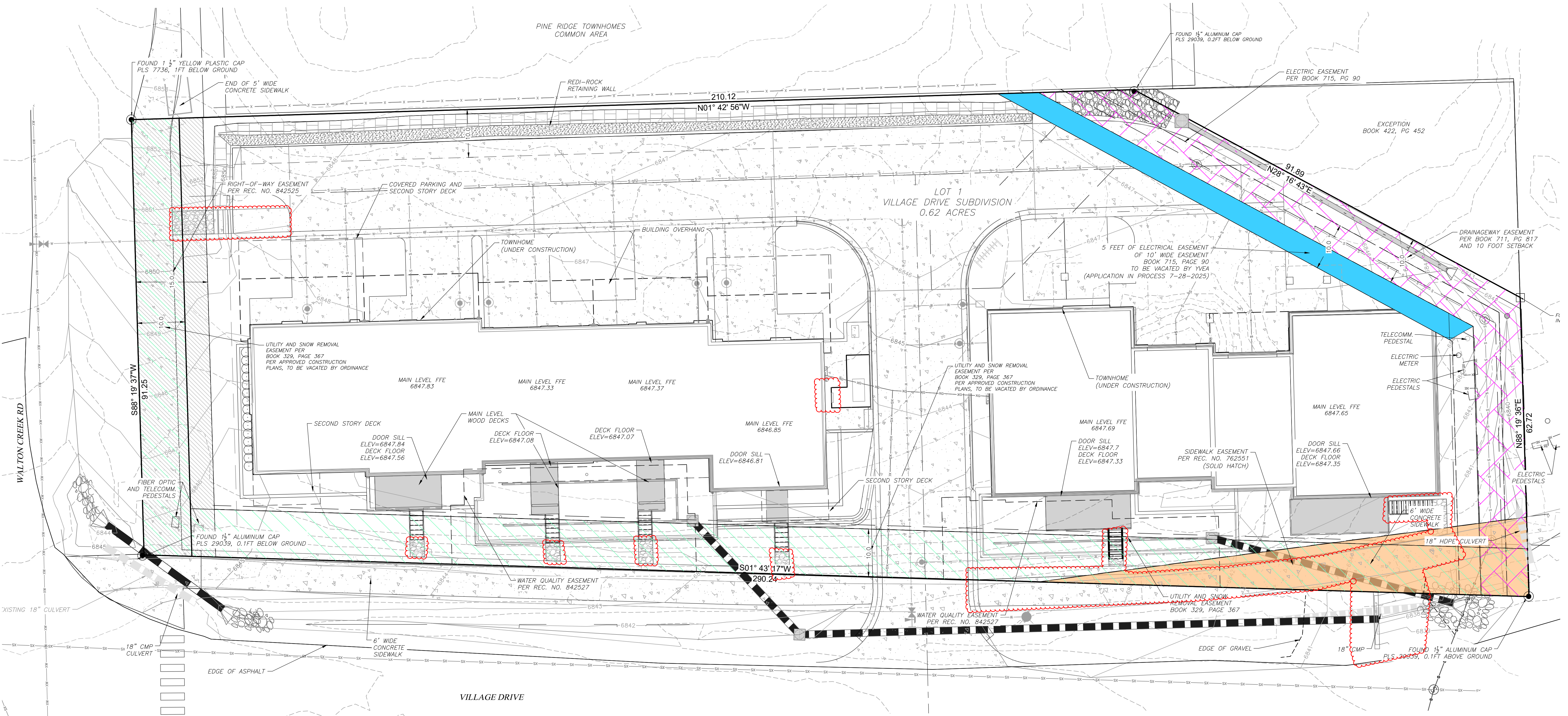


EASEMENT EXHIBIT
OF A REPLAT LOT 1, VILLAGE DRIVE TOWNHOMES
LOCATED IN THE SW ¼ OF SECTION 27, TOWNSHIP 6 NORTH, RANGE 84
WEST OF THE 6TH P.M., STEAMBOAT SPRINGS, ROUTT COUNTY,
COLORADO

REVIEWED
FOR
CODE
COMPLIANCE
11/25/2025



410 S. Lincoln Ave, Unit 15
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Steamboat Springs, CO 80487
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NOTES:

- LOT 1, VILLAGE DRIVE TOWNHOMES FINAL PLAT WAS RECORDED AT RECEPTION NO. 842530 ON DECEMBER 1, 2022. THE FINAL PLAT INCLUDES RECEPTION NUMBERS FOR THE RIGHT OF WAY EASEMENT (REC. NO. 842525) AND WATER QUALITY EASEMENTS (REC. NO. 842527) AS NOTED HEREON.
- THE APPROVED CONSTRUCTION PLANS NOTE THE ELECTRIC EASEMENT BOOK 715, PAGE 90, (REC. NO. 456112) IS TO BE RELOCATED BY SEPARATE DOCUMENT AS REQUIRED BY THIS DEVELOPMENT APPLICATION.
- THE APPROVED DEVELOPMENT PERMIT PL2022-0086 APPROVED UNDER CITY OF STEAMBOAT SPRINGS RESOLUTION 2022-29 DID NOT REQUIRE THE VACATION OF THE NORTH PROPERTY LINE UTILITY AND SNOW REMOVAL EASEMENT. HOWEVER, THE NEW RIGHT OF WAY EASEMENT RECORDED AT REC. NO. 842525 INCLUDES UTILITIES AND SNOW REMOVAL.
- THE APPROVED DUREX ENCROACHES HE ELECTRICAL EASEMENT RECORDED AT BOOK 715, PAGE 90 AND WAS NOTED ON THE CONSTRUCTION PLANS. NO RECORD OF AN APPLICATION FOR THE VACATION OF THIS EASEMENT WAS FOUND UNDER THE PUBLIC RECORD REQUEST NO. 25-69 SUBMITTED TO THE CITY OF STEAMBOAT SPRINGS ON APRIL 10, 2025. THE OWNER IS MAKING A REQUEST FOR VACATION OF THE EASEMENT.

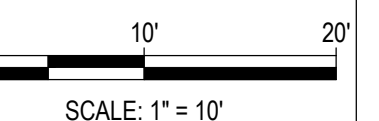


EASEMENT LEGEND	
	UTILITY AND SNOW STORAGE EASEMENT PER BOOK 329, PAGE 367
	RIGHT OF WAY EASEMENT REC. NO. 842525
	UTILITY AND SNOW REMOVAL EASEMENT PER BOOK 329, PAGE 367 PER APPROVED CONSTRUCTION PLANS, TO BE VACATED BY ORDINANCE
	ELECTRIC EASEMENT PER BOOK 715, PAGE 90
	DRAINAGE WAY EASEMENT PER BOOK 711, PAGE 817

LEGEND	
	PROPERTY BOUNDARY
	ADJACENT PROPERTY BOUNDARY
	EXISTING EASEMENT
	EXISTING EDGE OF ASPHALT
	EXISTING 1' CONTOUR
	EXISTING 5' CONTOUR
	CENTER LINE OF DITCH
	EXISTING WATER LINE
	EXISTING SEWER LINE
	EXISTING UNDERGROUND ELECTRICAL
	PROPOSED UNDERGROUND ELECTRICAL
	EXISTING UNDERGROUND TELEPHONE
	EXISTING WOOD FENCE
	EXISTING CONCRETE PAVING
	EXISTING BUILDINGS

LOT 1
VILLAGE DRIVE
SUBDIVISION

Horizontal Scale



SCALE: 1" = 10'

Contour Interval = 1 ft

DATE: 8-21-2025

JOB #: 1949-012

DRAWN BY: WNM + RS

DESIGN BY: WNM

REVIEW BY: FPSE

THIS DRAWING IS PRESENTED IN A
FORMAT OTHER THAN 24" X 36". THE
GRAPHIC SCALE SHOULD BE UTILIZED.

EASEMENT
EXHIBIT

DRAWING:
SHEET #

C1.1

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11/25/2025



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NO.	DATE	REVISIONS	PER CITY PLANNING COMMENTS	CFB	CFB
1	6/17/25	PER CITY PLANNING COMMENTS			
2	7/17/25	ADDENDUM #1 RE-ISSUE			
3	11/25/25	SITE REVISIONS			

LOT 1
VILLAGE DRIVE
SUBDIVISION

Horizontal Scale

0 10' 20'

SCALE: 1" = 10'

Contour Interval = 1 ft

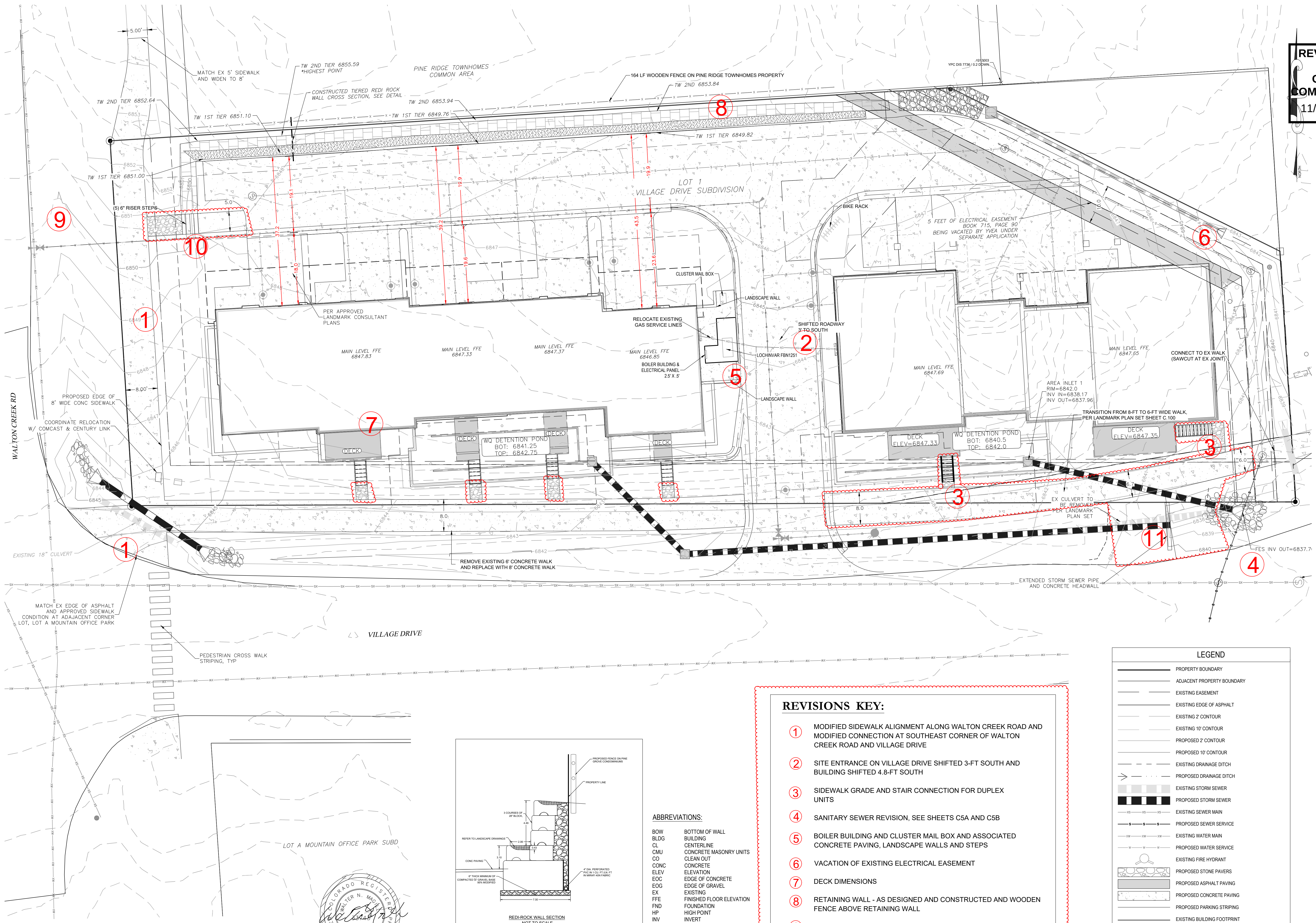
DATE: 8-21-2025
JOB #: 1849-012
DRAWN BY: CFB
DESIGN BY: WNM
REVIEW BY: WNM
THIS DRAWING IS PRESENTED IN A
FORMAT OTHER THAN 24" X 36". THE
GRAPHIC SCALE SHOULD BE UTILIZED.

SITE PLAN &
REVISION
EXHIBIT

DRAWING:

SHEET #

C2

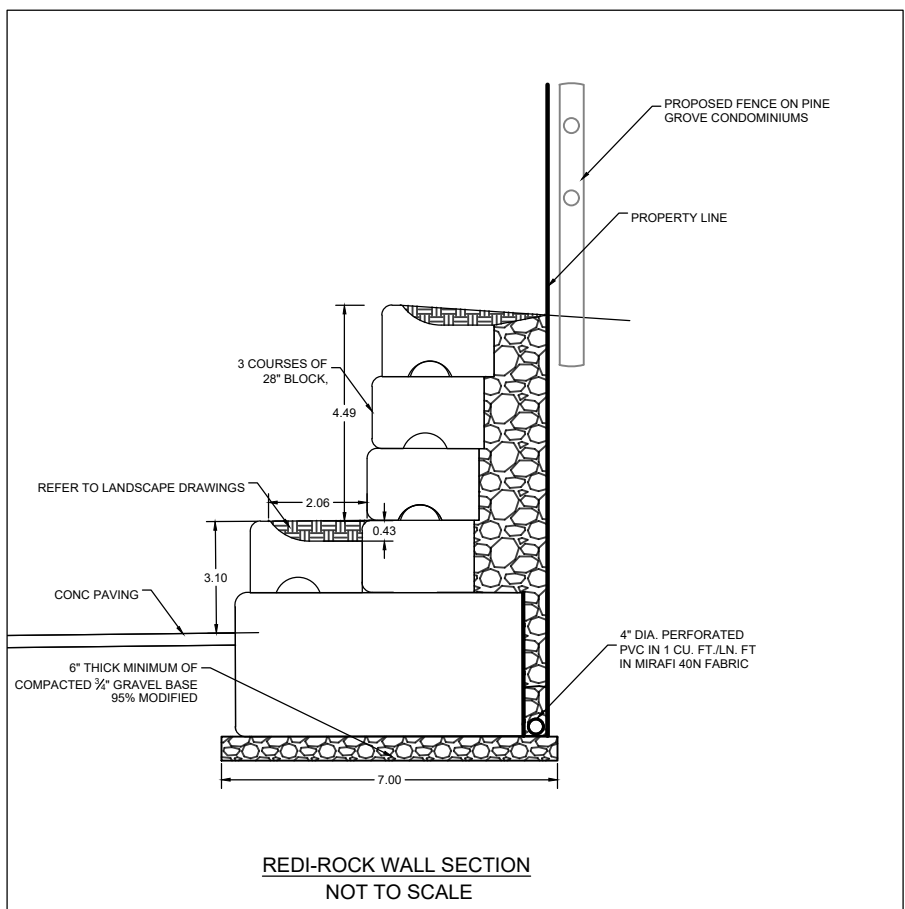


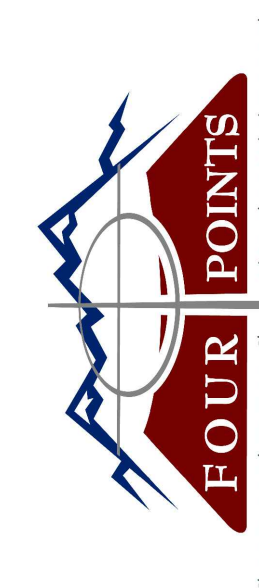
REVISIONS KEY:

- MODIFIED SIDEWALK ALIGNMENT ALONG WALTON CREEK ROAD AND MODIFIED CONNECTION AT SOUTHEAST CORNER OF WALTON CREEK ROAD AND VILLAGE DRIVE
- SITE ENTRANCE ON VILLAGE DRIVE SHIFTED 3-FT SOUTH AND BUILDING SHIFTED 4.8-FT SOUTH
- SIDEWALK GRADE AND STAIR CONNECTION FOR DUPLEX UNITS
- SANITARY SEWER REVISION, SEE SHEETS C5A AND C5B
- BOILER BUILDING AND CLUSTER MAIL BOX AND ASSOCIATED CONCRETE PAVING, LANDSCAPE WALLS AND STEPS
- VACATION OF EXISTING ELECTRICAL EASEMENT
- DECK DIMENSIONS
- RETAINING WALL - AS DESIGNED AND CONSTRUCTED AND WOODEN FENCE ABOVE RETAINING WALL
- WATER LINE REVISION, SEE SHEET C6
- STAIR CONNECTION WITH WALTON CREEK SIDEWALK
- CONCRETE HEADWALL ON EXTENDED STORM SEWER OUTFALL

ABBREVIATIONS:

BOW BOTTOM OF WALL
BLDG BUILDING
CL CENTERLINE
CMU CONCRETE MASONRY UNITS
CO CLEAN OUT
CONC CONCRETE
ELEV ELEVATION
EOC EDGE OF CONCRETE
EOG EDGE OF GRAVEL
EX EXISTING
FEE FINISHED FLOOR ELEVATION
FND FOUNDATION
HP HIGH POINT
INV INVERT
LF LINEAR FEET
PR PROPOSED
SCH SCHEDULE
SF SQUARE FEET
SS SNOW STORAGE
TOW TOP OF WALL





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No.	DATE	REVISIONS	INT
<u>3</u>	7/1/25	ADDENDUM #1 RE-ISSUE	CFB
<u>5</u>	11/2/25	SITE REVISIONS	CFB

**LOT 1
VILLAGE DRIVE
SUBDIVISION**

Horizontal Scale



Scale: 1" = 10'

Contour Interval = 1 ft

DATE: 8-21-2025

JOB #: 1849-012
DRAWN BY: CFB

DESIGN BY: CFB

IF THIS DRAWING IS PRESENTED IN
FORMAT OTHER THAN 24" x 36"

GRAPHIC SCALE SHOULD BE UTILIZED

[illegible]

• Z

ND
LA

AN
PI

G E

NOTES

DIANA

MAIN

G: GR
RA

103

RAW

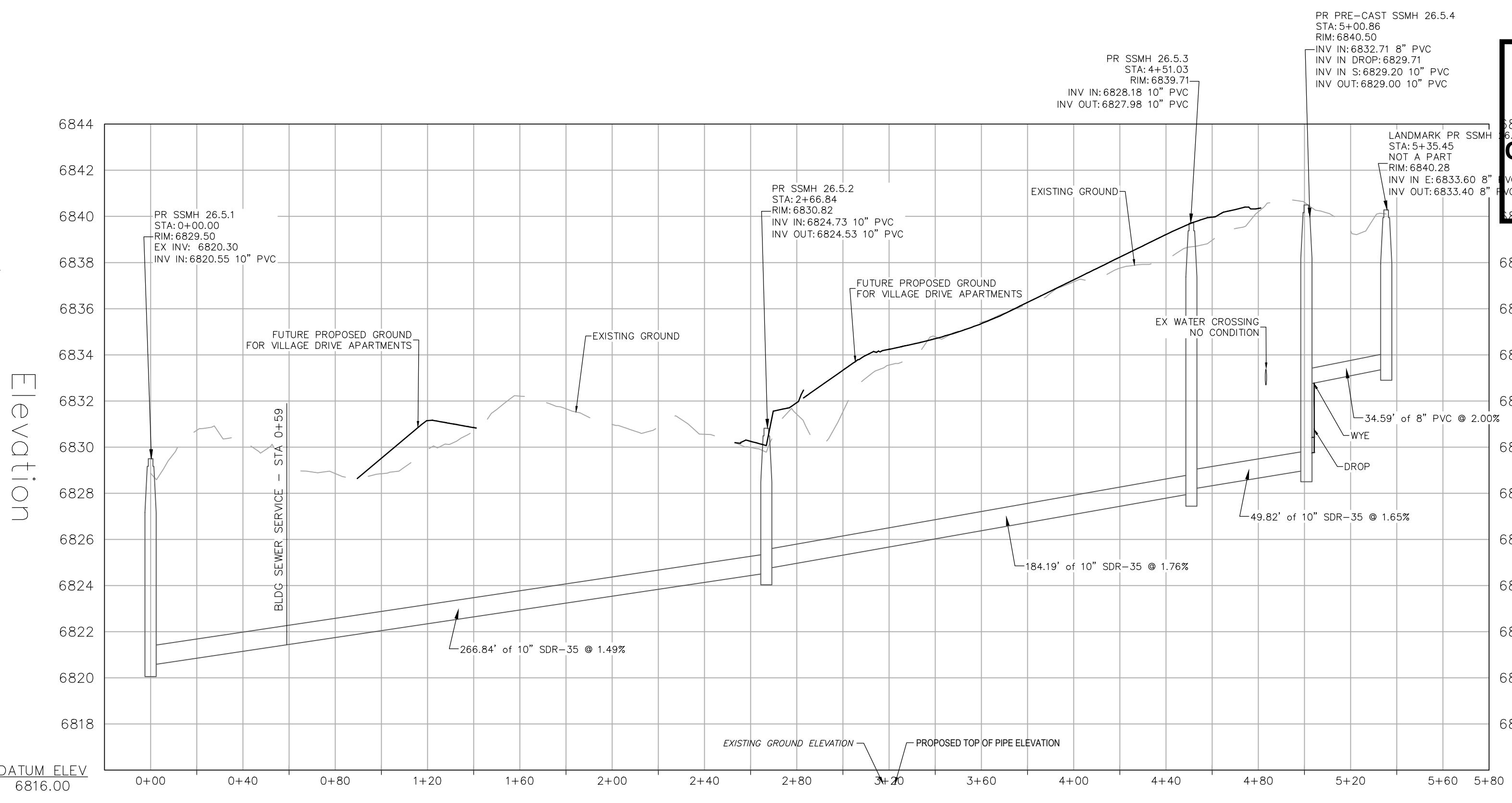
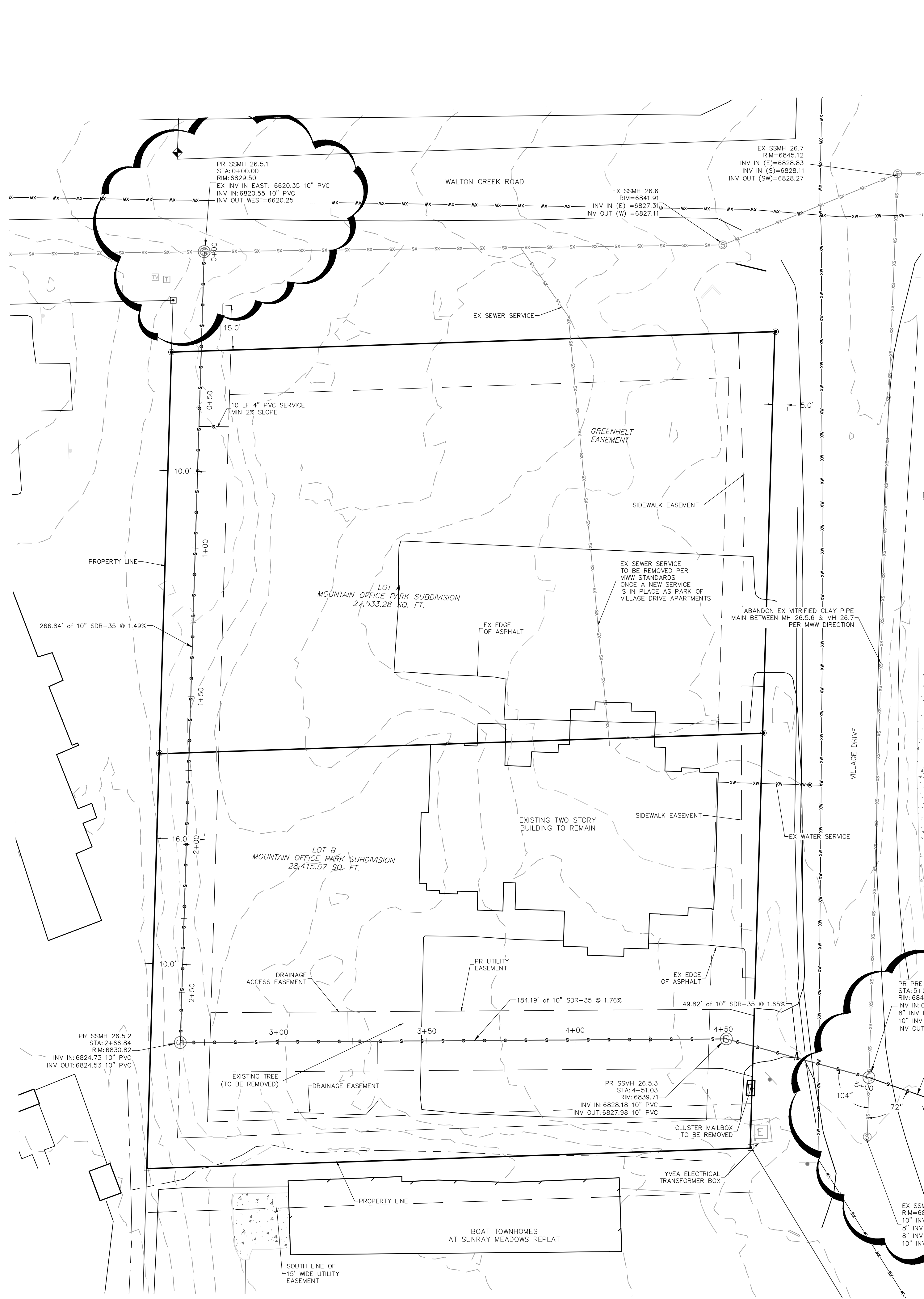
D	
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SHEET #

92

C3

[illegible]



WATER, SEWER AND UTILITY NOTES:

1. EXISTING UTILITY LOCATIONS WERE OBTAINED FROM FIELD LOCATES AND FIELD SURVEYING AND HAVE NOT BEEN VERIFIED WITH ANY ADDITIONAL UNDERGROUND POTHOLING. POTHOLING AND VERIFICATION OF LINE LOCATIONS SHALL BE REQUIRED AT ALL EXISTING UTILITY CROSSINGS.
2. MINIMUM SEPARATION BETWEEN PARALLEL WATER AND SEWER MAINS AND SERVICES IS TEN (10') FEET. MINIMUM SEPARATION BETWEEN PARALLEL WATER AND SEWER SERVICE LINES IS TEN (10') FEET.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF MOUNT WERNER WATER STANDARDS AND SPECIFICATIONS, LATEST EDITION.
4. MINIMUM COVER FROM FINISHED GRADE TO TOP OF WATER MAIN LINE IS SEVEN (7') FEET UNLESS OTHERWISE NOTED. ALL WATER SERVICE LINES SHALL BE TYPE "K" COPPER AND SEAMLESS BETWEEN FITTINGS.
5. MINIMUM SEPARATION BETWEEN UTILITY PEDESTALS AND FIRE HYDRANTS IS FIFTEEN (15') FEET. MINIMUM SEPARATION BETWEEN FIRE HYDRANTS, WATER OR SEWER MAINS, AND ENDS OF CULVERTS IS FIVE (5') FEET. MINIMUM SEPARATION BETWEEN WATER AND SEWER SERVICE LINES IS TEN (10') FEET. NO RIP-RAP IS PERMITTED WITHIN TEN (10') FEET OF A SEWER MAIN.
6. VALVES SHALL BE OPERATED BY UTILITY PERSONNEL ONLY.
7. SEWER SERVICES ARE ANTICIPATED TO BE FOUR (4") INCH DIAMETER, SDR 35 PVC, MINIMUM SLOPE OF 2% UNLESS NOTED OTHERWISE.
8. DISINFECTION, BACTERIOLOGICAL, AND HYDROSTATIC TESTING IS REQUIRED FOR THE 8" DIP WATER/PIE SERVICE PIPE.
9. ALL MECHANICAL JOINTS, RESTRAINT, THRUST BLOCKS AND CROSSING MUST BE OBSERVED BY THE ENGINEER PRIOR TO THE PLACEMENT OF BACKFILL.
10. MECHANICAL RESTRAINTS AND THRUST BLOCKS ARE REQUIRED AT ALL BENDS, TEES, REDUCERS AND DEAD ENDS.
11. ALL FITTINGS ASSOCIATED WITH UTILITY INSTALLATION WILL BE ON-SITE PRIOR TO WATER LINE SHUT DOWN.



ABBREVIATIONS:

- BOW BLDG CL CAU CO CONC ELEV EOC EOG EX FFE FND HP INV LF PR PR SCH SF SS TOW
- BOTTOM OF WALL
BUILDING
CENTERLINE
CONCRETE MASONRY UNITS
CLEAN OUT
CONCRETE
ELEVATION
EDGE OF CONCRETE
EDGE OF GRAVEL
EXISTING
FINISHED FLOOR ELEVATION
FOUNDATION
HIGH POINT
INVERT
LINEAR FEET
PROPOSED
SCHEDULE
SQUARE FEET
SNOW STORAGE
TOP OF WALL

LEGEND	
	PROPERTY BOUNDARY
	ADJACENT PROPERTY BOUNDARY
	EXISTING EASEMENT
	EXISTING EDGE OF ASPHALT
	EXISTING 2" CONTOUR
	EXISTING 10" CONTOUR
	EXISTING DRAINAGE DITCH
	EXISTING STORM SEWER
	EXISTING SEWER MAIN
	PROPOSED SEWER SERVICE
	EXISTING WATER MAIN
	EXISTING FIRE HYDRANT
	EXISTING BUILDING FOOTPRINT

REVIEWED
FOR
CODE
COMPLIANCE
11/25/2025

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No.	DATE	REVISIONS	MDM	CFB
1	8/27/24	MANHOLE UPDATES		
2	7/1/25	ADDENDUM #1 RE-ISSUE		

VILLAGE DRIVE
APARTMENTS SEWER
LOT A AND LOT B
MT. OFFICE PARK
SUBDIVISION

Horizontal Scale
0 20' 40'
SCALE: 1" = 20'

Contour Interval = 2 ft

DATE: 1-16-2025
JOB #: 2023-004
DRAWN BY: MDM
DESIGN BY: WNM/MDM
REVIEW BY: FPSE

DRAWING: SANITARY SEWER
PLAN AND PROFILE

SHEET #
C5A

[illegible]

Horizontal Scale



DRAWN BY: MDM

IF THIS DRAWING IS PRESENTED IN A
FORMAT OTHER THAN 24" X 36", THE
GRAPHIC SCALE SHOULD BE UTILIZED

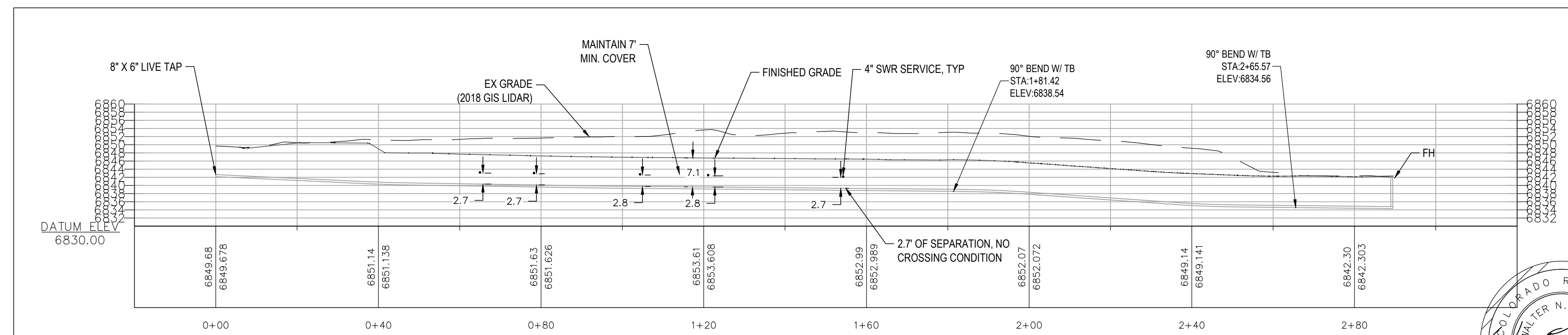
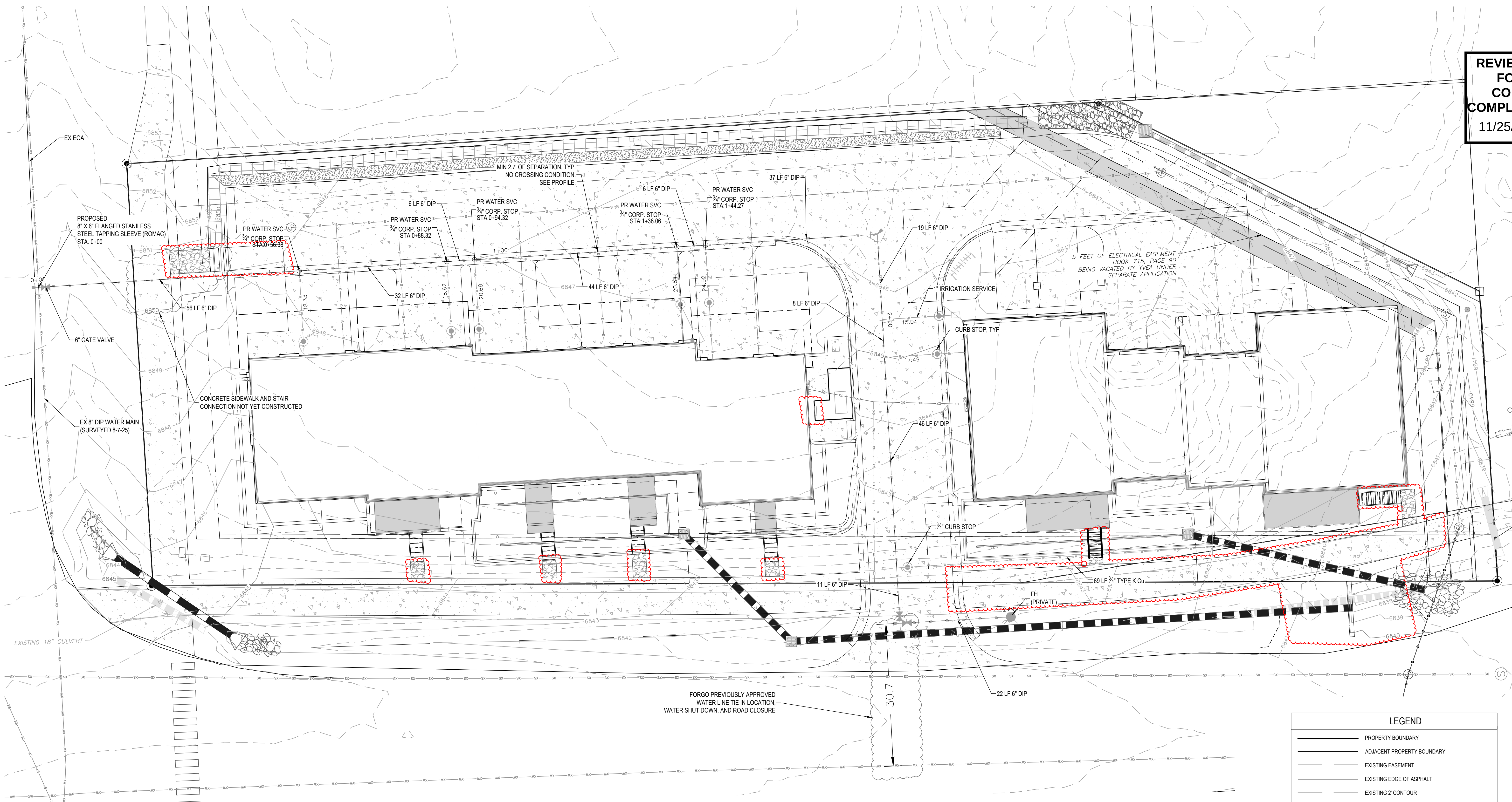
SEWER PROFILE

C5B





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FOR
CODE
COMPLIANCE
11/25/2025

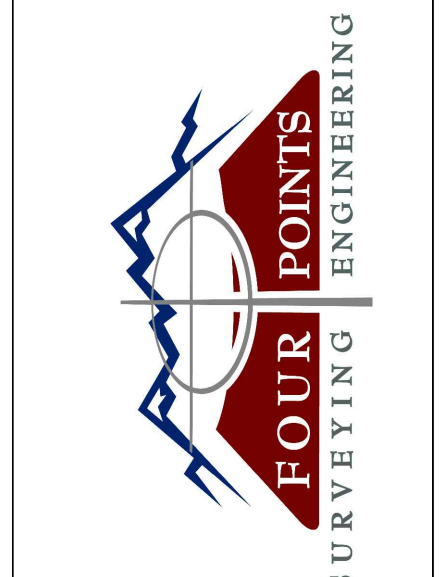


WATER, SEWER AND UTILITY NOTES:

- EXISTING DRY UTILITY LOCATIONS WERE OBTAINED FROM UTILITY MAPPING, FIELD SURVEYING AND HAVE NOT BEEN VERIFIED WITH ANY ADDITIONAL UNDERGROUND POTHOLES.
- MINIMUM SEPARATION BETWEEN PARALLEL WATER AND SEWER MAINS AND SERVICES IS TEN (10') FEET.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST EDITION OF MOUNT WERNER WATER STANDARDS AND SPECIFICATIONS.
- MINIMUM COVER FROM FINISHED GRADE TO TOP OF WATER MAIN LINE IS SEVEN (7) FEET. ALL WATER SERVICE LINES SHALL BE TYPE "K" COPPER AND SEAMLESS BETWEEN FITTINGS.
- MINIMUM COVER FROM FINISHED GRADE TO TOP OF SEWER SERVICE LINE IS FOUR (4) FEET. MINIMUM SLOPE FOR SEWER SERVICE LINE IS 2% SEWER SERVICE LINES BETWEEN STRUCTURE AND CLEAN OUT SHALL BE SCHEDULE 40 PVC PIPE, ALL OTHER SEWER SERVICE LINES SHALL BE SDR 35 PVC PIPE.
- VALVES SHALL BE OPERATED BY UTILITY PERSONNEL ONLY, UNLESS PERMISSION OF THE UTILITY COMPANY IS OBTAINED.
- ALL DIMENSIONS ARE IN FEET UNLESS OTHERWISE SPECIFIED.
- ALL WATER SERVICE LINES ARE 1/2" UNLESS OTHERWISE SPECIFIED



LEGEND	
	PROPERTY BOUNDARY
	ADJACENT PROPERTY BOUNDARY
	EXISTING EASEMENT
	EXISTING EDGE OF ASPHALT
	EXISTING 2" CONTOUR
	EXISTING 10' CONTOUR
	PROPOSED 2" CONTOUR
	PROPOSED 10' CONTOUR
	EXISTING DRAINAGE DITCH
	PROPOSED DRAINAGE DITCH
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	EXISTING SEWER MAIN
	PROPOSED SEWER SERVICE
	EXISTING WATER MAIN
	PROPOSED WATER SERVICE
	EXISTING FIRE HYDRANT
	PROPOSED STONE PAVERS
	PROPOSED ASPHALT PAVING
	PROPOSED CONCRETE PAVING
	PROPOSED PARKING STRIPING
	EXISTING BUILDING FOOTPRINT
	PROPOSED BUILDING FOOTPRINT
	PROPOSED BUILDING OVERHANG



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NO.	DATE	REVISIONS	INT	CFB	CFB
1	7/1/25	ADDITIONAL REVISION			
2	11/25/25	SITE REVISIONS			

LOT 1
VILLAGE DRIVE
SUBDIVISION

Horizontal Scale
0 10' 20'
SCALE: 1" = 10'
Contour Interval = 1 ft
DATE: 8-21-2025
JOB #: 1949-012
DRAWN BY: CFB
DESIGN BY: CFB
REVIEW BY: WNM

WATERLINE
PLAN & PROFILE

DRAWING:
SHEET #
C6