

LANDSCAPE



Slopeside Remodel 1855 Ski Time Square Drive Steamboat Springs, CO 80487



COVER SHEET

SHEET NO.

A0.0



Slopeside Remodel 1855 Ski Time Square Drive Steamboat Springs, CO 80487 2325

OWNER REVISIONS 06/09/25

JANITOR CLOSET

WASHER

WASHER DRYER
WOOD
WATER HEATER
WATERPROOF/WATERPROOFING
WEIGHT

GENERAL NOTES:

ALL CONSTRUCTION AND MATERIALS SHALL BE AS SPECIFIED AND IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, LAWS, PERMITS AND THE CONTRACT DOCUMENTS.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURATE PLACEMENT OF ALL NEW CONSTRUCTION ON THE SITE. ALL MATERIALS AND COMPONENTS SHALL BE INSTALLED PER MANUFACTURES INSTRUCTIONS AND SPECIFICATIONS WITH FULL WARRANTIES.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK.
 SHOULD A DISCREPANCY APPEAR IN THE CONTRACT DOCUMENTS, OR BETWEEN THE CONTRACT DOCUMENTS AND EXISTING CONDITIONS, NOTIFY THE ARCHITECT AT ONCE FOR INSTRUCTION ON HOW TO PROCEED.

CHANGES FROM THE PLANS MADE WITHOUT CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ALL CONSEQUENCES ARRIVING OUT OF SUCH CHANGES.

5. SHOULD A CONFLICT OCCUR IN OR BETWEEN DRAWINGS AND SPECIFICATIONS, THE SPECIFICATIONS SHALL TAKE PRECEDENCE UNLESS A WRITTEN DECISION FROM THE ARCHITECT HAS BEEN OBTAINED WHICH DESCRIBES A CLARRIFICATION OR ALTERNATE METHOD AND/OR MATERIALS.

6. THE CONTRACTOR SHALL CONFINE HIS/HER OPERATIONS ON THE SITE TO AREAS PERMITTED BY THE

7. THE JOB SITE SHALL BE MANITANICD IN A CLEAN, ORDERLY CONDITION, FREE OF DEBIRS AND LITTER AND SHALL NOT BE UNREASONABLY ENCUMBERED WITH ANY MATERIALS OR GUIDIPHENT. EACH SUB-CONTROL MIMEDIATELY UPON COMPLETION OF EACH PHASE OF HISMER WORK SHALL REMOVE ALL TRASH AND DEBRIS AS OF RESULT OF HISMER OPERATION.

DIRECTOR AND LEGISLATION PAILLE OF ALL COTTING, FITTING OF HASTICHING OF HISNESS WORK THAT MAY BE REQUIRED TO MAKE IT IS SEVERAL PARTS IF TOGETHER PROPERLY AND SHALL HOT ENDANGER ANY OTHER RECOVERED TO MAKE ITS SEVERAL PARTS IF TOGETHER PROPERLY AND SHALL HOT ENDANGER ANY OTHER PARTS WITH A SHALL PARTS WAS AND SHALL PROPERLY AND SHALL PER CONCENTRATION.

10. NO PORTION OF THE WORK REQUIRING A SHOP DRAWING OR SAMPLE SUBMISSION SHALL BE COMMENCED UNTIL THE SUBMISSION HAS BEEN REVIEWED BY THE ARCHITECT. ALL SUCH PORTIONS OF THE WORK SHALL BE IN ACCORDANCE WITH REVIEWED SHOP DRAWINGS AND SAMPLES.

MINISIONS:

A. ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE OF DRAWINGS.

B. ALL DIMENSIONS ARE TO FACE OF STUD, FACE OF C.M.U. OR FACE OF CONCRETE U.N.O.

C. CELING HEIGHT DIMENSIONS ARE FROM FINISHED FLOOR TO FACE OF FINISH CEILING MATERIALS UNLESS NOTED OTHERWINS:

12. CONTRACTOR TO PROVIDE ALL NECESSARY BLOCKING, BACKING AND FRAMING FOR LIGHT FIXTURES, ELECTRICAL UNITS, A.C. EQUIPMENT, RECESSED ITEMS AND ALL OTHER ITEMS AS REQUIRED.

13. WHERE LARGER STUDS OR FURRING ARE REQUIRED TO COVER PIPING AND CONDUITS, THE LARGER STUD SIZE OR FURRING SHALL BE EXTENDED THE FULL SURFACE OF THE WALL WIDTH AND LENGTH WHERE THE

14. PROVIDE ALL ACCESS PANELS AS REQUIRED BY GOVERNING CODES TO ALL CONCEALED SPACES, VOIDS, ATTICS, ETC. VERIFY TYPE REQUIRED WITH ARCHITECT PRIOR TO INSTALLATION.

15. PROVIDE ACCESS AND MINIMUM VENTILATION REQUIREMENTS TO ALL CRAWL SPACES AS REQUIRED BY GOVERNING CODES.

17. STRUCTURAL AND FIRE RESISTIVE INTEGRITY SHALL BE MAINTAINED AS REQUIRED BY GOVERNING CODES.

18. FIREBLOCKS AND DRAFT STOPS SHALL BE PROVIDED AS REQUIRED BY GOVERNING CODES.

19 THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE PER JECC R402.4

20. RECESSED LIGHT IN BUILDING THERMAL ENVELOPE SHALL BE SEALED PER IECC 402.4.1.1.

GENERAL DEMOLITION NOTES:

1. CONTRACTOR SHALL COORDINATE ALL DEMOLITION WITH THE NEW CONSTRUCTION TO DETERMINE DIMENSIONS AND SCOPE OF WORK AND TO ENSURE THAT NO ITEMS OR SERVICES TO REMAIN ARE DISTURBED ON PARMAGE.

3. WHERE REMOVALS ARE MADE CONTRACTOR SHALL PATCH ALL CONSTRUCTION TO PROVIDE SMOOTH AS NEW CONDITION.

3. CONTRACTOR SHALL PATCH AND/OR LEVEL ALL EXISTING SURFACES RECEIVING NEW FINISHES.

PROTECT ALL ITEMS TO REMAIN AND ALL EXISTING CONSTRUCTION NOT SCHEDULED TO BE DEMOLISHED -IMMEDIATELY REPAIR OR REPLACE DAMAGED ITEMS.

5. REROUTE ALL UTILITIES REMAINING IN USE INTERRUPTED BY DEMOLITION.

OWNER TO REMOVE ALL FURNITURE, EQUIPMENT, AND OTHER FURNISHINGS FROM CONSTRUCTION AREA PRIOR TO PROJECT START.

7. CONTRACTOR TO COORDINATE DEMOLITION WITH ENGINEERING DOCUMENTS.

8. SEAL ALL OPENINGS UNCOVERED DURING DEMOLITION OF FURRED WALLS, RELOCATION OF DUCT SHAFTS OR PIPE CHASES, OR REMOVAL OF PARTITIONS OR FIXTURES.

9. ALL DAMAGED EXISTING WORK MUST BE REPAIRED AND PREPARED TO RECEIVE NEW FINISHES. THE CONTRACTOR SHALL INCLUDE ON THE BASE PRICE ALL REPAIR OR REPLACEMENT WORK REQUIRED FOR NEW

10. RESTORE THE INTEGRITY OF EXISTING FIRE RATED PARTITIONS, FIREPROOFING AND STRUCTURE DAMAGED DURING DEMOLITION. GC TO FIRE STOP RATED PENETRATIONS AT THE END OF EACH DAY.

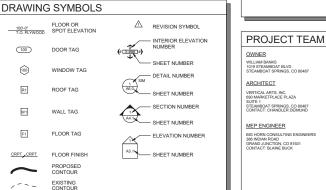
11. DUST PROOF PARTITIONS & RELATED PROTECTIONS ERECTED DURING DEMOLITION OPERATIONS SHALL REMAIN IN PLACE FOR THE DURATION OF THE CONSTRUCTION PERIOD UNLESS OTHERWISE INSTRUCTED BY THE TENANT OR ARCHITECT.

12 VERIEV ALL EVISTING DOMER/DATA/GAS DEVICES: DEMOVE ALL DEAD AND NON-STANDARD DEVICES

VICINITY MAP







GRAPHIC KEY TO MATERIALS EARTH INSULATION COMPACTED FILL BATT POROUS FILL CONCRETE WOOD CAST FINISH GROUT LIGHWEIGHT M ROUGH MASONRY \neg BLOCKING CMU BLOCK GLU-LAM METAL STONE STEEL

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574.536.7800
970.871.0056
970.241.8709

Drive 80487 Slopeside Remodel 1855 Ski Time Square Drive Steamboat Springs, CO 8048

RCRBD Reviewed for Code Compliance

ARCHITECTURE

PLANNING

LANDSCAPE

INTERIORS

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OF COLOR SARAH TIEDEKEN

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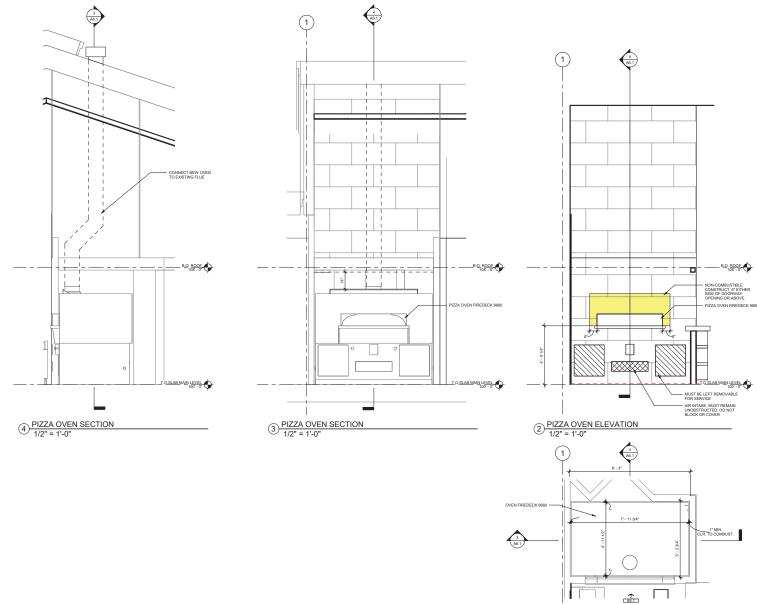
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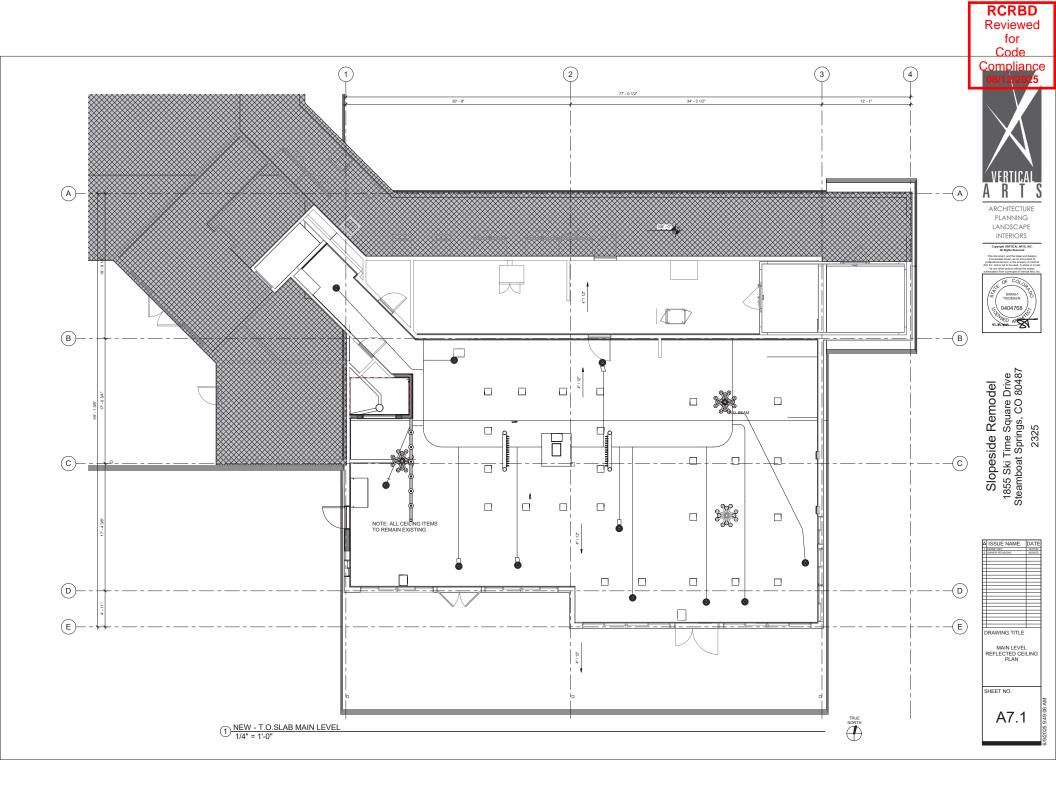
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1/2" = 1'-0"







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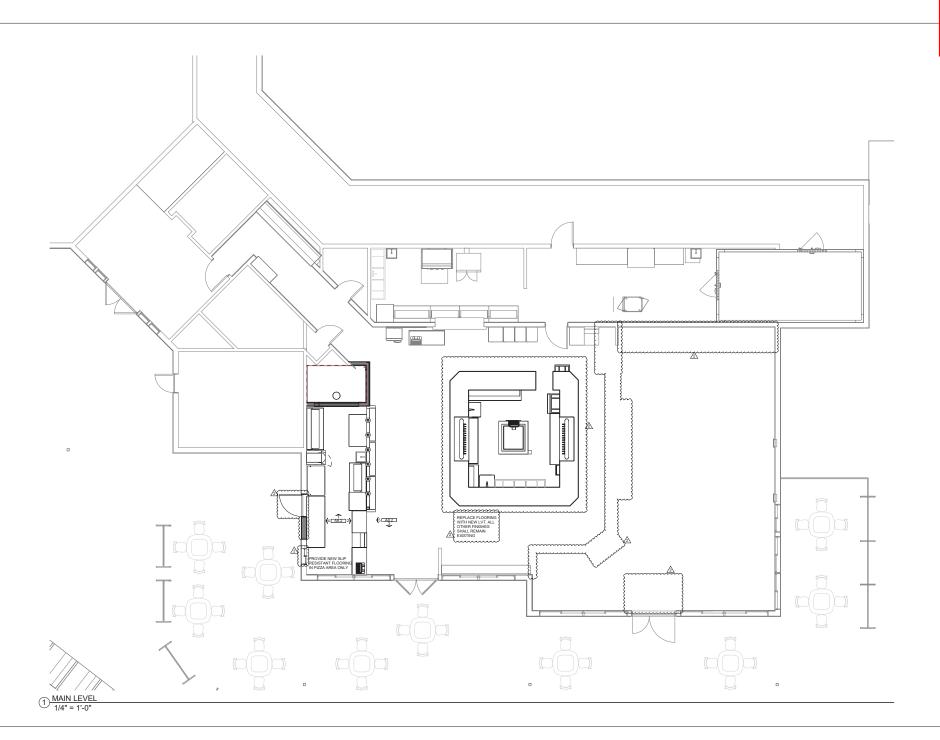


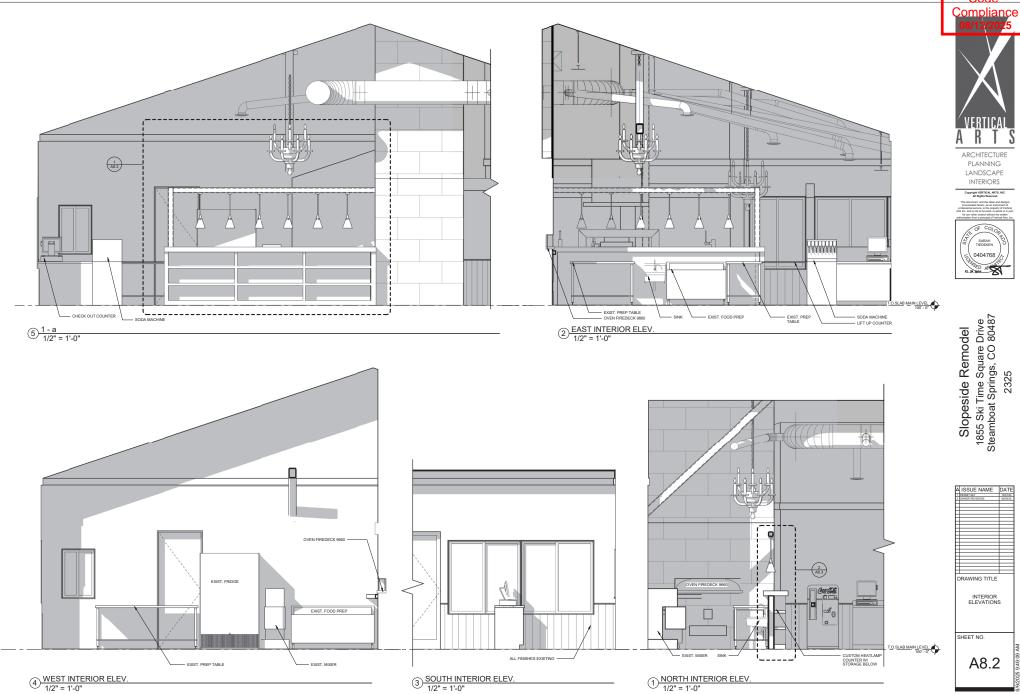
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ARCHITECTURE **PLANNING** landscape interiors

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This document, and the ideas and designs incorporated herein, as an intrinsent of professional services, in the property of Vertical Port for any other forms of the control of the c

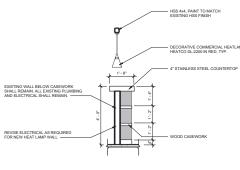


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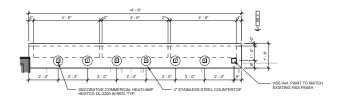
A ISSUE NAME DATE DRAWING TITLE INTERIOR DETAILS

SHEET NO.

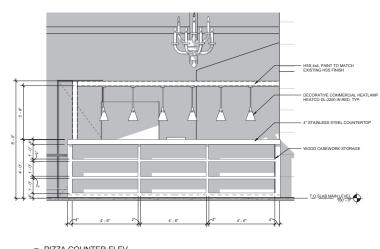
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2 PIZZA COUNTER SECTION 1/2" = 1'-0"



3 PIZZA COUNTER PLAN 1/2" = 1'-0"



1) PIZZA COUNTER ELEV. 1/2" = 1'-0"